MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St. Suite 400 San Francisco, CA 94103-2479

Reception: 415.558.6378

Fax: 415.558.6409

Planning Information: 415.558.6377

GENERAL NOTES All work shall be in compliance with all applicable local building codes and regulations. Contractor shall be responsible for permits applicable to specific trades or subcontractor's work. Contractor will have examined the premises and site so as to compare them with the drawings and will be satisfied as to the condition of existing work and adjacent property price. drawings and will be saustied as to the contains or existing work and adjacent property prior to submission of bid. No allowances will subsequently be made in behalf of the contractor by reason of any omission on his/her part to include the costs of all items of work, either labor or materials, whether they are or are not especially or particularly shown or noted but which are implied or required to attain the completed conditions proposed in the drawings. All subcontractors to the general contractor shall inspect the site and shall convey any questions regarding design intent and scope of work to the architect prior to submitting bid and prior to commencion work. and prior to commencing work. Contractor shall coordinate the work of the various trades and subcontractors and shall be

- nsible for any acts, omissions, or errors of the subcontractors and of persons directly or
- ction materials and supplies to be stored, handled, and installed, according to
- If errors or omissions are found in the drawings they shall be brought to the attention of the
- in errors of dimissions are found in the drawings they shall be prolight to the attention or the architect before proceeding with the work. Drawings schemelically indicate new construction. The contractor should anticipate, based on experience, a reasonable number of adjustments to be necessary to meet the design on experience, a reasonable number of adjustments to be necessary to meet the design When is specific features of construction are not large to the contraction of the contraction of the contraction of the same character as similar conditions. All dimensions to be taken from numeric designations only; dimensions are not to be scaled off drawings.
- oft drawing. These notes to apply to all drawings and govern unless more specific requirements are indicated applicable to particular divisions of the work. See specifications and general notes in the subsections of the drawings.

 All dimensions are to face of framing, unless otherwise noted. Weatherstriping at the doors leading from heated to unheated areas. Provide vinyl bead type weatherstripping at these doors and windows. All sides of the door must be watherstripping directly including the threshold. 12.

- Caulk and seal openings in building exterior 1/8" or greater to prevent air infiltration. Windows to be made operable and cleaned, U.O.N.
- All wall framing to be 2x4 @ 16" o.c. minimum, U.O.N.

- All wall framing to be 2/4 (@ 16° o.c. minimum, U.O.N. 5/6" gypsum wall board on walls.

 All gypsum and/or plaster surfaces shall be smooth, continuous, free of imperfections, and with no visible joints, U.O.N.

 Stucco over wood sheathing shall include two layers of grade D building paper.

 Structural wood members adjacent to concrete or earth to be pressure treated Douglas fir.

 All wall and floor insulation to be R-19. All roof insulation to be R-23 min.

 All users of these drawings agree by using these drawings to hold the architect harmless for any and all work that does not conform to requirements and minimum standards of the uniform building code, local ordinances and acceptable standards.

 These drawings are the property of Craig O'Connell, Architect and are not to be used in part for any work other than the location shown heron.

 The architect has no control or charge of and shall not be responsible for construction means, methods, techniques, sequences or procedures for any safety precautions and programs in connection with the work.
- The architect assumes no responsibility for the performance of products or materials not
- specified in these drawings. Items required by title 24 "Energy Conservation Standards" shall be certified by California Energy Commission (CEC). Equipment which requires preventative maintenance for efficient operation shall be furnished with the complete and necessary maintenance

CODE RELATED NOTES

1) Fire-stops shall be provided in the following spaces;

a) Concealed spaces of stud walls and partitions, including furred spaces at the ceiling and floor levels, and at ten-foot intervals both vertical and horizontal.
 b) At all intersections between vertical and horizontal spaces such as soffits, drop and

c) In concealed spaces between stair stringers at the top and bottom of the run, and between studs along and in line with the run of the stairs if the walls under the stairs are

unmissied.

d)In openings around vents, pipes, ducts, chimneys, freplaces and similar openings which afford a passage for fire at the floor and celling levels with combustible materials.

e)At openings between attic spaces and chimney chases for factory-built chimneys

2) Pre-manufactured items, including but not limited to, fireplaces,wood-burning stoves, fixtures, equipment and appliances shall be installed as per manufacturer's specifications and requirements

3) Attic space shall be provided with access 22 inches by 30 inches minimum head-room

4) Attic spaces shall be provided with cross-ventilation. minimum ventilation equal to 1/150 of the

5) All habitable rooms shall be provided with natural light by means of exterior windows or skylights with an area not less than 1/10 of the floor area of such a room with a minimum of ten square feet.

6) All habitable rooms shall be provided with natural ventilation by means of exterior openings with an area of not less 1/20 of the floor area of such rooms with a minimum of five square feet.

7) Bars, grilles, grates or similar devices may be installed on an emergency escape or rescue

a) Such devices are equipped with approved release mechanisms which can be operated from the inside without use of a key or special knowledge or effort; and b) The building is equipped with smoke detectors in accordance with the California building code.

e) All particles, water closet comparaments, suandy tooms and similar aroam said be produced with natural verifiation by means of an operating exterior opening with an area of not less with 1/20 of the floor, area of such rooms with a minimum openeted to 11 of 5 equare feet. In lieu of natural ventilation, a mechanical ventilation system connected of the outside may be provided. The mechanical ventilation system shall be a capable of five air chances per hour & equipped with a backdraft demptation system shall be a minimum of 3' clear from any opening into the

9) All platforms and open sides of stairways, landings, ramps balconies or porches which are more than 30 inches above grade or floor below, shall be protected by a guardrail. guardrails shall be 36 inches in height with intermediate railings spaced to prevent a 4 inch sphere from passing through

10) The minimum width of stairways shall not be less than 36 inches, the minimum run shall be 9 inches and the maximum riser height shall be 8 inches, there shall not be a variation of greater than 3/8 inch between any riser, the mini measured plumb from the stair tread nosing.

SYMBOLS

(A101)

A101

(1) (A101)

Name Ovation

N

101

Room name

4

101

Volume

Room name

 \triangle

SECTION HEAD FILLED

SECTION - HEAD OPEN

CALLOUT - HEAD

LEVEL HEAD -CIRCLE

ROOM TAG WITH AREA

ROOM TAG WITH VOLUME

REVISION CLOUD WITH

NORTH ARROW

ROOM TAG

SECTION - HEAD NO ARROW

CODE RELATED NOTES

11) All stairs with 3 or more risers shall have at least one handrail, the handrail shall be between 34 and 38 inches above the nosing of the tread and be continuous the full length of the stairs.

12) Water closets shall be provided in a minimum 30 inch wide space and have a minimum of 24 inches clear in front of the fixture, water closets to be "ultra-low flush" type and provide a maximum flush volume of 1.6 gali

13) Shower heads, lavatory and sink faucets shall have a maximum flow rate of 2.5 gallons per

14) Under-floor access shall be given by a minimum 18" x 24" clear opening, typ.

15) Under-floor ventilation shall be provided by openings into the under-floor areas not less than 1-1/2 sq. ft. for each 25 linear ft. of exterior wall. openings shall be located to optimize cross

DISCLOSURE STATEMENT

THIS SET OF DRAWINGS IS TO COMMUNICATE TO THE GENERAL CONTRACTOR AND THE THIS SET OF DRAWINGS IS TO COMMUNICATE TO THE GENERAL CONTRACTOR AND THE INDIVIDUAL SUB-CONTRACTORS THE GENERAL INTENT OF THE DESIGN. A CONTRACTOR'S BID THAT IS BASED ON THESE DRAWINGS SHALL BE UNDERSTOOD TO INDICATE THAT THE CONTRACTOR UNDERSTANDS THE INTENT OF THE DRAWINGS, FINDS THEM SUFFICIENTLY EXPLICIT FOR THEIR USE IN IMPLEMENTATION OF THE CONSTRUCTION, IS THOROUGHLY FAMILIAR WITH THE EXISTING CONDITIONS AND ACCEPTS THE REQUIREMENTS FOR FIRST QUALITY MATERIALS, WORKMANSHIP SENISHES TO SATISFACTION OF THE ARCHITECT. IT IS THE CONTRACTOR'S RESPONSIBILITY THAT ALL WORK CONFROM WITH EACH AND EVERY APPLICABLE CODE. ORDINANCE AND REGULATION ISSUED BY ANY ENTITY OR GOVERNMENTAL AGENCY HAVING AUTHORITY OR JURISDICTION THEREOF. THE CONTRACTOR SHALL FILE FOR ANY AND ALL PERMITS AND PAY FOR ANY EES CONNECTED THEREWITH.

IT IS THE CONTRACTOR, NOT THE ARCHITECT WHO SHALL BE RESPONSIBLE FOR SUPERVISION AND COORDINATION OF ALL PHASES OF THE WORK FROM START TO FINISH, THESE DRAWINGS SHALL NOT BE SCALED FOR ANY REASON, NOTIFY THE ARCHITECT IF ADDITIONAL DIMENSIONS ARE REQUIRED FOR ANY REASON.

RIGHT, TITLE AND INTEREST IN THE DESIGN, THE DRAWINGS AND ANY SPECIFICATIONS RIGHT, ITILE AND INTEREST IN THE DESIGN, THE DRAWINGS AND ANY SPECIFICATION AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN PROPERTY OF CRAIG O'CONNELL ARCHITECTURE WHETHER OR NOT THE PROJECT IS COMMENCED, DESICULD THE PROJECT IS COMMENCED, DESICULD THE PROJECT IS COMMENCED. THIS SET SHALL NOT BE MADE AVAILABLE TO OR USED BY ANY PERSON OR ENTITY EXCEPT IN FURTHERANCE OF THIS PROJECT WITHOUT PRIOR WIRITTEN CONSENT OF CRAIG O'CONNELL ARCHITECTURE

PROJECT TEAM

ARCHITECT:

Suite 133 San Francisco, CA 94123 craig@craig-o 415.516.8047

OWNERS:

Phillip Davis HOA rep phillipdavis1@gmail.com 650.452.2917

GENERAL CONTRACTOR:

Lisa TSE, S.E.,

STRUCTURAL ENGINEER:

Integrand Inc. Structural Engineer & Design 250 Clara Terrace Fremont, CA 94539 510-299-7520 lisat@integrand-inc.co www.integrand-inc.cor

PROJECT DATA

3617

40-X

3355 / 3357 / 3359 21st street

CONSTRUCTION: TYPE V, NON-RATED

ZONING: RH-3 OCCUPANCY TYPE: Multy Family

LOT: 086-088

BLDG DEPTH: 73'-4"

SITE LOCATION:

BLOCK:

HEIGHT:

YEAR BUILT:

SETBACKS: Ø N/A 45% LOT DEPTH (114') = 51'-3"

LOT SIZE:

MODEL BUILDING CODES: (W/ SF AMENDMENTS)

2019 CBC - BUILDING 2019 CPC - PLUMBING 2019 CMC - MECHANIC 2019 CEC - ELECTRICA 2019 ENERGY CODE

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REVISIONS No. Description Date

ABBREVIATIONS

ANGLE CENTERI INF DIAMETER OR ROUND POUND OR NUMBER EXISTING (N) (R) REMOVE A.B. ADJ. ANCHOR BOLT ADJUSTABL ADJ. AGGR. ALUM. APPRO ARCH. A.S. ARCHITECTURAL AIR SPACE BD. BLDG. BUILDING BLK. BLKG BM. BOT. BEAM BOTTOM

CAB. CABINET CEM. CER. CLG. CLKG CEMENT CL. CLR. CNTR. COL. CONC. COUNTER COLUMN CONCRETE CONT CONTINUOUS DBL. DET. DIA. DIM. DISP. DIMENSION DISPENSER DOOR OPENING DRAWING DRAWER DWR. FI EVATION EL. ELEC. ELEV. ENCL. EQ. FLEVATO

EQUIPMENT

EXISTING

EXTERIOR

EXST.

FOUNDATION FLOOR FLASHING FLASH. FLUOR. FLUORESCENT FIXTURE FACE OF CONCRETE F O F FIRE RATED FULL SIZE FOOT OR FEET FT. FTG. FOOTING FURR. FURRING GSM

GALVANIZED SHEET METAL GA. G.F.I. GAGE
GROUND FAULT INTERCEPTOR
GLASS
GROUND GL. GND. GR. GYP. GRADE GYPSUM HOSE BIB HOLLOW CORE HARDWOOD HARDWARE HDWD. HDWR. HGT. HORIZ. HR. HEIGHT HORIZONTAL HOUR INSIDE DIAMETER (DIM.) INSULATION

INSUL. LAM. LAV. L.O. LT. LAVATORY LINE OF LIGHT MAXIMUM MEDICINE CABINET MANUFACTURER MINIMUM MIRROR MISC. MISCELLANEOUS NOT IN CONTRACT

NOMINAL NOT TO SCALE

OVERALL

OBSCURE ON CENTER

OUTSIDE DIAMETER (DIM.)
OPENING
OPPOSITE

N.T.S.

PAINT GRADE PLATE PLASTIC LAMINATE P.LAM. PLYWD. PLYWOOD PROP.LN. PROPERTY LINE
P.T. PRESSURF TREA PRESSURE TREATED REFERENCE REFRIGERATOR REINFORCED REQUIRED RESILIENT RM. R.O. ROUGH OPENING

S.C. SOUTH
S.C. SOLID CORE
SCHED. SCHEDULE
S.D. SOAP DISPEI
SECT. SECTION SOAP DISPENSER SLOPE SPECIFICATION SEE STRUCTURAL DRAWINGS S.S.D S.S.D. S.ST. STD. STL. STOR. STRUC SYM. STAINLESS STEEL STANDARD STRUCTURA SYMMETRICAL TREAD TOWEL BAR

TOP OF CURB TONGUE AND GROOVE TEMPERED TOP OF PAVEMENT TOP OF WALL TOILET PAPER DISPENSER T.S. T.V. TYP. TUBUI AR STEFI VINYL COMPOSITION TILE

VERTICAL VERIFY IN FIELD WEST

150 SF 1 View Name
1/8" = 1'-0" No. TAG

AREA TAG

VIEW TITLE

CENTER LINE



EQUIPMENT TYPE ON SCHEDULE



WINDOW TAG

DOOR TAG

KEYNOTE



EXTERIOR ELEVATION TAG



INTERIOR ELEVATION TAG



GRID-HEAD



SPOT ELEVATION VIEW REFERENCE



WALL TAG



NEW WALL



REMOVE EXISTING DRY ROT / DAMAGED EGRESS STAIR AT

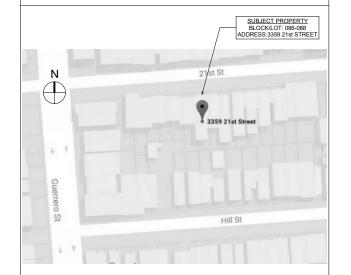
PROJECT DESCRIPTION

REAR YARD, BACK OF STRUCTURE *REQUIRED 2ND MEANS OF EGRESS

REPLACEMENT STAIR WITH CODE COMPLIANT RISE AND RUN, INTERMEDIATE LANDINGS, AND HANDRAILS /

EXPANSION OF 3RD LEVEL DECK LANDING FROM 31 SF OF OF PATHWAY TO 103 SF OF USE-ABLE DECK AREA. SEE ENLARGED PLANS FOR CLARITY.

VICINITY MAP



Structural Drawings Sheet No. Sheet Name Deck Framing Plan

Architectural Drawings

Pre App info Site Plan

Sheet Name

SHEET INDEX

Sheet No.

Stair Rebuild

Cover Sheet

Project number 17-21 8.02.19

RB СО

AS SHOWN

		THE PROPERTY OF A CONTRACTOR OF THE PARTY OF	
Approved: 2nd Res	Approved: 7/22/59	REFER TO: Byceau of Engineering BBI Struct Engineer Boiler Inspector	BLDG, FDRM No. 223 APPLICATION DF
CPC Setbacks. JUL. 16 1969 CPC Setbacks. JUL. 16 1969 CPC Setbacks. JUL. 16 1969	Department of Public Health	Art Commission Dept. at Public Health Approved 7/20 19.57	Carra Sententina Duner FOR PERMIT TO MAKE ADDITIONS, ALTERATIONS OF REPAIRS
Department of City Planning Approved:	Department of Electricity	Approved 1/20 1. For construction of atour 3, all stans must K supprovides on mesony of 2" moment ploch with me words allowed	Son Francisco, Cal
	Approved:	with me works allowed	Total Coat 5 560 00 Filed July 13 19 59 Approved:
Borrowed:	Boller Inspector		,1012
Structurei Engineer, Ruman Building Inspection	Workman's Compensation Inpurance Policy or Certificate filed with Central Permit Bureau No Workman's Compensation Insurance Policy or Certifization file for reason at	Bullising Inspector, Bureau of Building Inspection	Superlatendent, Pareau at Building Inspection
Approved:	(a) Na one to be employed	I agree to comply with all conditions of atipulations of the various Burrais of Departments noted hereon. Carrier gennendays.	Permit No. 202030
Bureau of Engineering	return far sid or sustenance anly, received from any religious, char- itable or reliof organization	Owner's Authorized Agent	Jasued 191 2 1 100c 19

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HISPECTA O: CONTRACT	Write in Ink-Pile Two Copies
	CITY AND COUNTY OF BAN FRANCISCO
DEPAI	RIMENT OF PUBLIC WORKS ISSU JUL 17 TH 2:55 CENTRAL PERMIT BUREAU
BLDG.	APPLICATION FOR BUILDING PERMIT
	ADOLTIONS, ALTERATIONS OF BEPAIRS
	ophiration is hereby made to the Department of Public Works of San Francisco for permission in a accordance with the plans and specifications submitted herewith and according to the description
build a	
	ocation 3355 - 57 759 - 26 St. SE Cal
	Cotal Cast S 2000, DC (3) Na of stories 3 (4) Basement (2)
	The state of the s
SE STATE OF THE SECOND	
	7
## ***	Type of construction (10) 1.2.3.4. or 5 Building Code Occupancy Classification
5.20	Yes or No
(12) 1	Does this alteration weste en additional floor of occupancy.
(13) I	Does this afteration create an additional story to the huilding
(14) 2	Electrical wark to be performed 10 Plumbing work to be performed 20
(15) (Ground floor area af building sq. ft. (15) Height of building ft.
1000	Detailed descriptian of work to be done.
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#4) Are fire-rated walls required on West property line up to 42" a.f.f. only? (Section 705.2.3 – Exterior Walls Projections)

Response: No, no fire wall detail required at property line. No height requirements

SFDBI

74 mm JHSFFD

Ma - SF Building

Janice Hayes – SF Fire

....ue Hayus, SFFD

JUN 26 2019

June 3, 2019

Remove/Replace 3 Level Exterior Stair 3355,3357 & 3359 21st Street SF, CA 94110 RH-3 Residential, House – Three Family LOT: 086-088 BLOCK: 3617
Construction Type: V- non rated wood frame

Project Description: Remove and replace existing dry rot damaged egress stair connecting 3 levels of a multi-family residence consisting of 3 separate units (1 per floor). Stair to be replaced with code compliant stairs, handrails and landings.

Owner: Kristina Pappas, Shari Steiner, Dianna Tsay
Architect: Craig O'Connell – 415.516.8047, craig@craig-oconnell.com

Re: Remove and replace existing 3 levels exterior egress stair. {section 1011.12.3 stair

#1) The existing stair encroaches into the rear yard setback. I am proposing to replace with existing 3 level stair within the current footprint. A site visit has been conducted by Joseph Duffy upon request, and it was determined that the current stair is unsafe and hinders life safety. I am requesting to amend the current stair and site conditions without proceeding with a formal variance process. CBC 2016

Response: This is a SF Planning related Question

SFDBI

replacement}

____SFFD

#2) The multi-level stair is a required second means of egress for 3rd floor tenant. The new stair shall be constructed in accordance with (Section 1021 – Egress Balconies & Section 1027 - Exterior Exit Stairways and Ramps.)

Response: Confirmed, replacement of stair required

SFDBI

SFFD

#3) Current stair considered non-compliant, new stair to be replaced with code compliant egress width, treads, risers and landings (Section 1011 – Stairways)

Response: Confirmed, replacement stair to be reconfigured in the same general area, attempting to adhere to current codes. If space restricts this effort, replacement may exist in lieu of certain code requirements. Current design address riser height, tread, handrail requirements.

SFDBI



CRAIG O'CONNELL





Dappas / Steiner / Tsa

	REVISION	
No.	Description	Dat
	PROGRESS	3.11.19
	REVISIONS	7.29.19
	PreApp Mtg	10.16.1

Stair Rebuild

Pre App info

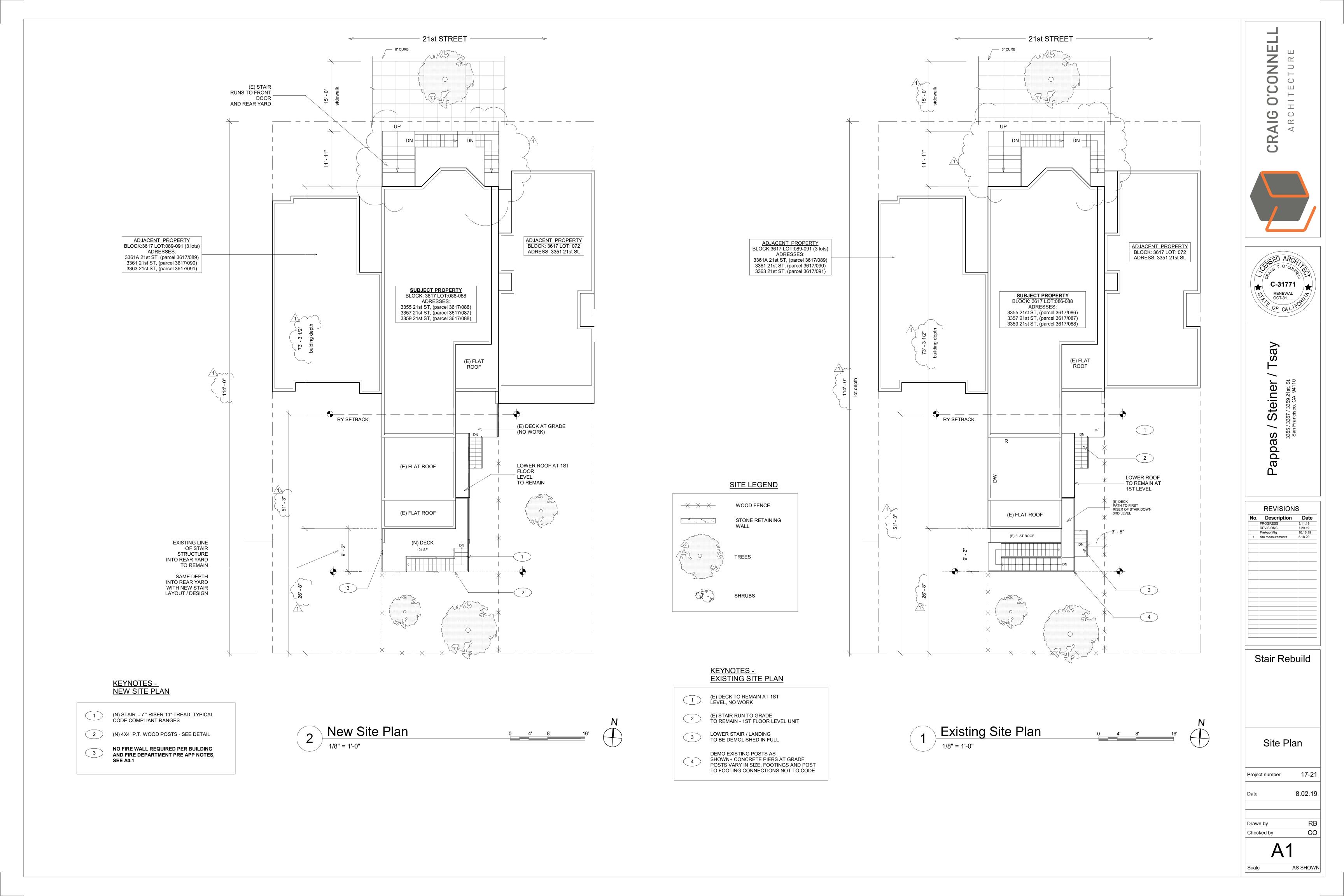
Project number 17-21

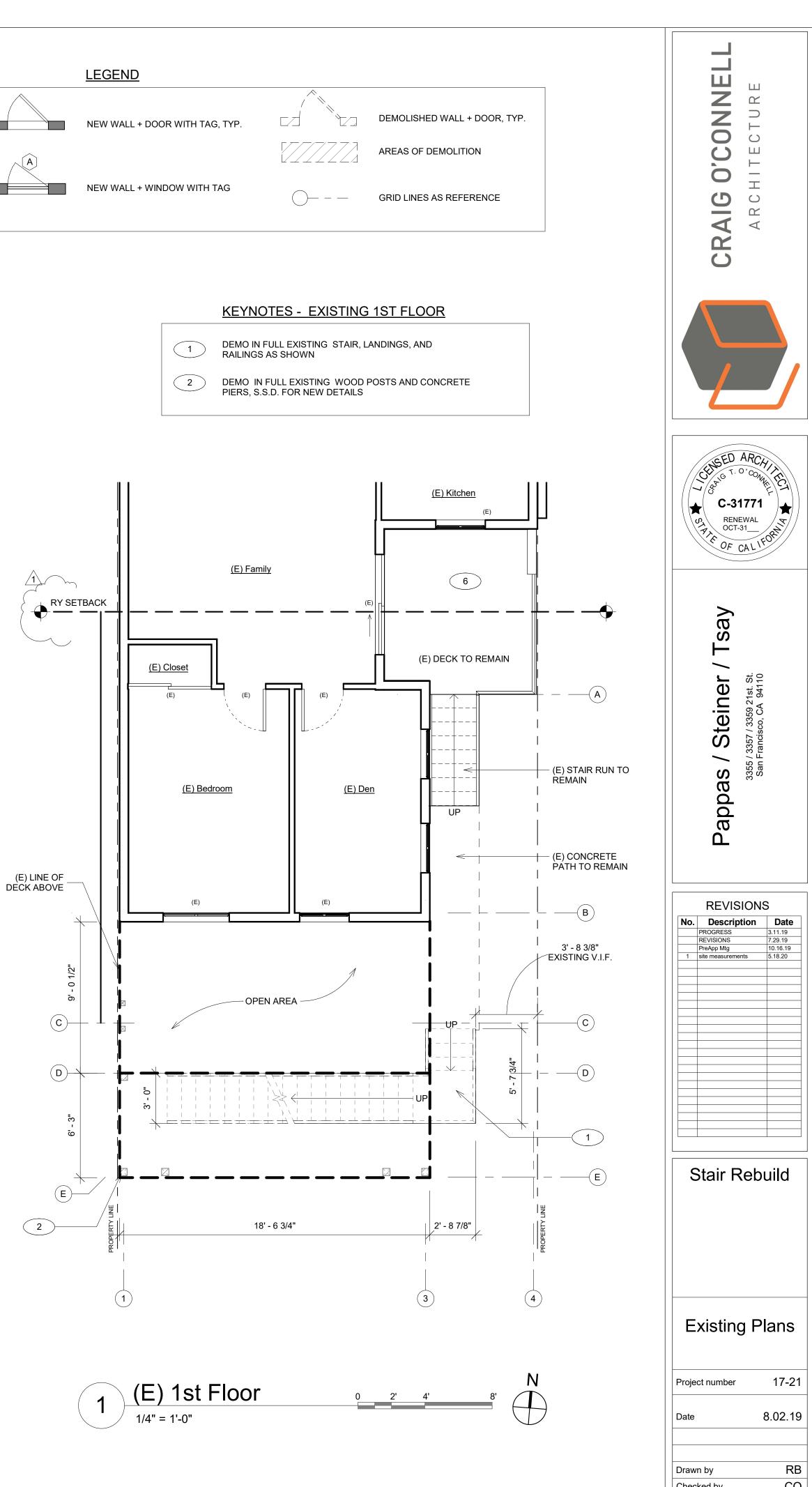
8.02.19

Drawn by RB
Checked by CO

A0.1

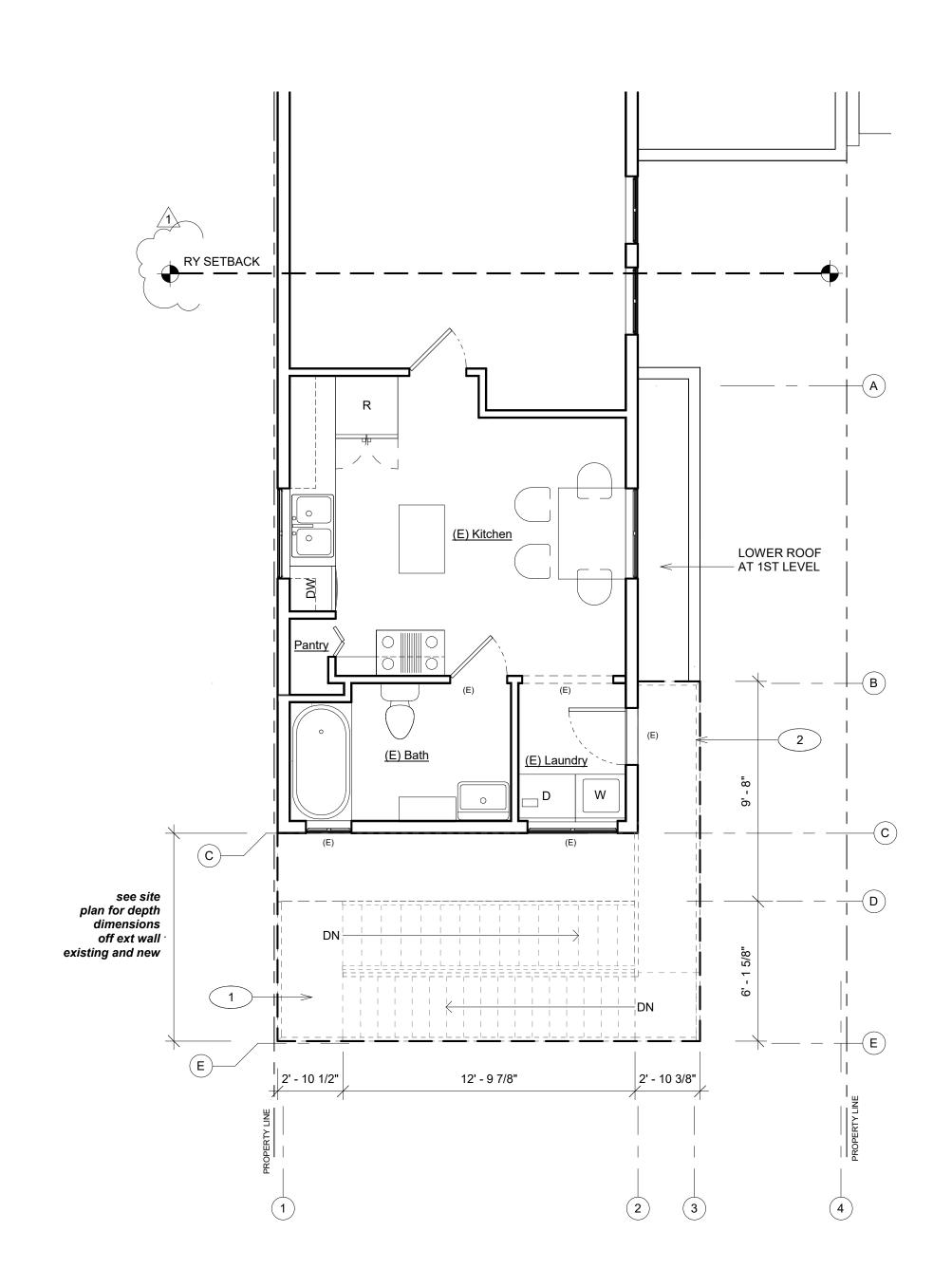
Scale AS SHOWN







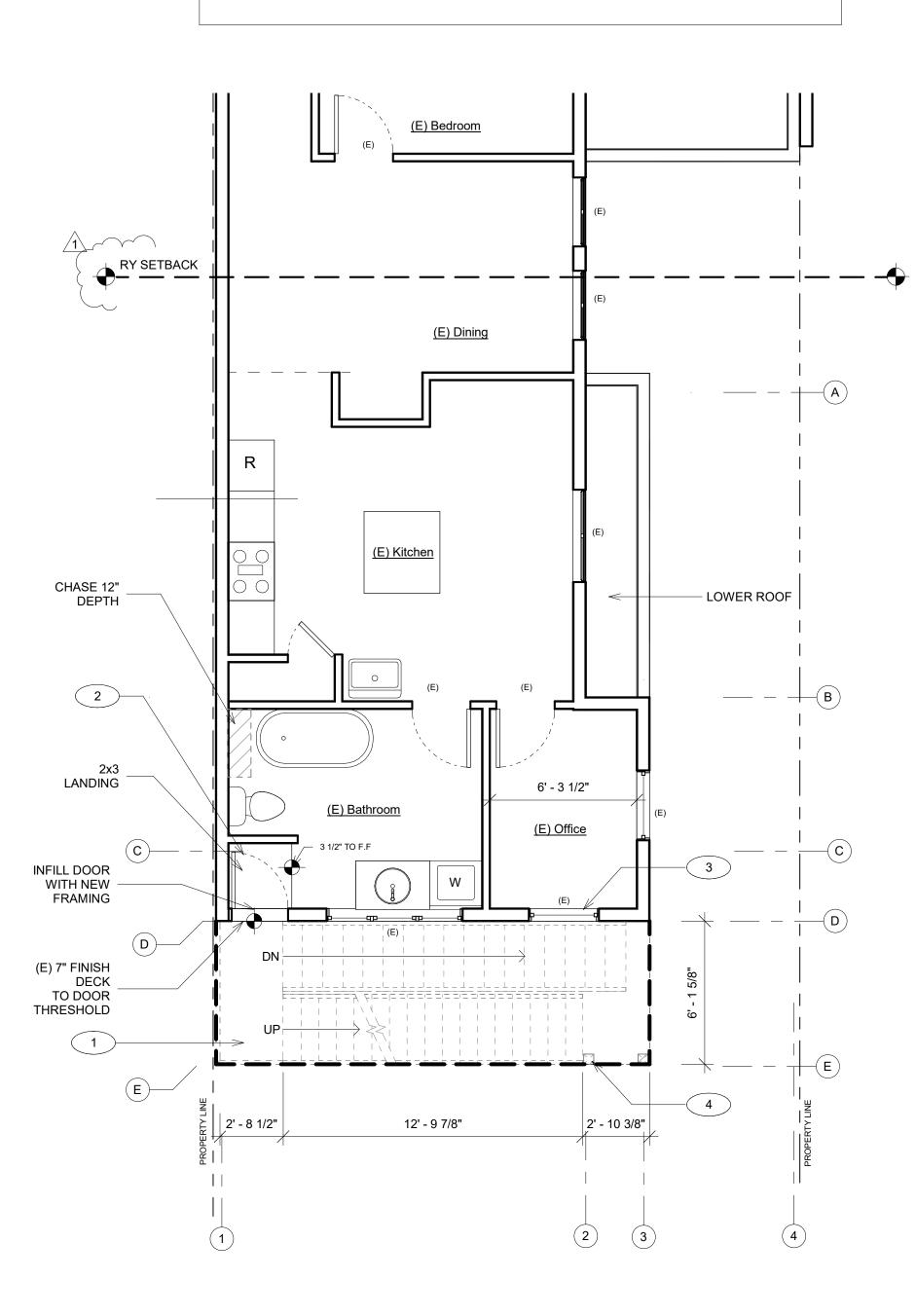
- DEMO EXISTING STAIR, LANDINGS AND RAILINGS AS SHOWN IN FULL
- DEMO EXISTING RAILING AS SHOWN IN FULL WIDEN WALKWAY TO DOOR ACESS SEE (N) PLAN





KEYNOTES - EXISTING 2ND FLOOR

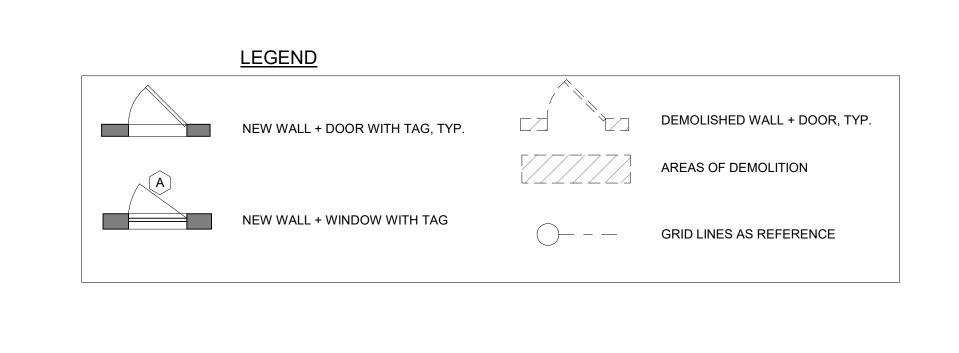
- DEMO EXISTING STAIR, LANDINGS AND RAILINGS AS SHOWN IN FULL
- DEMO DOORS + WINDOWS AS SHOWN. REMOVE EXISITING DOOR, PROVIDE NEW WINDOW
- (3) DEMO WINDOW, PROVIDE NEW DOOR PER NEW PLAN + STAIR LAYOUT
- 4 DEMO EXISTING WD. POSTS AND ASSOCIATED CONC. PIERS

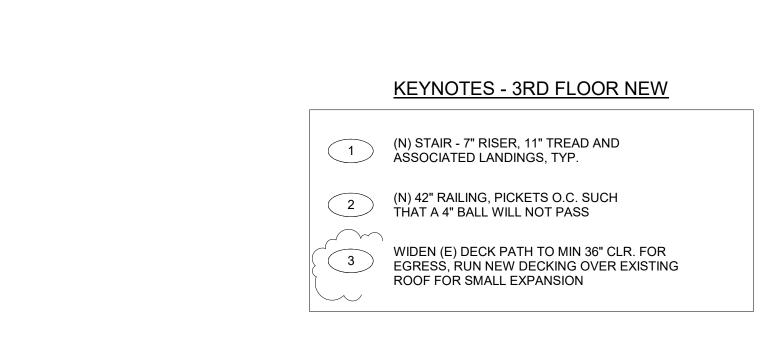


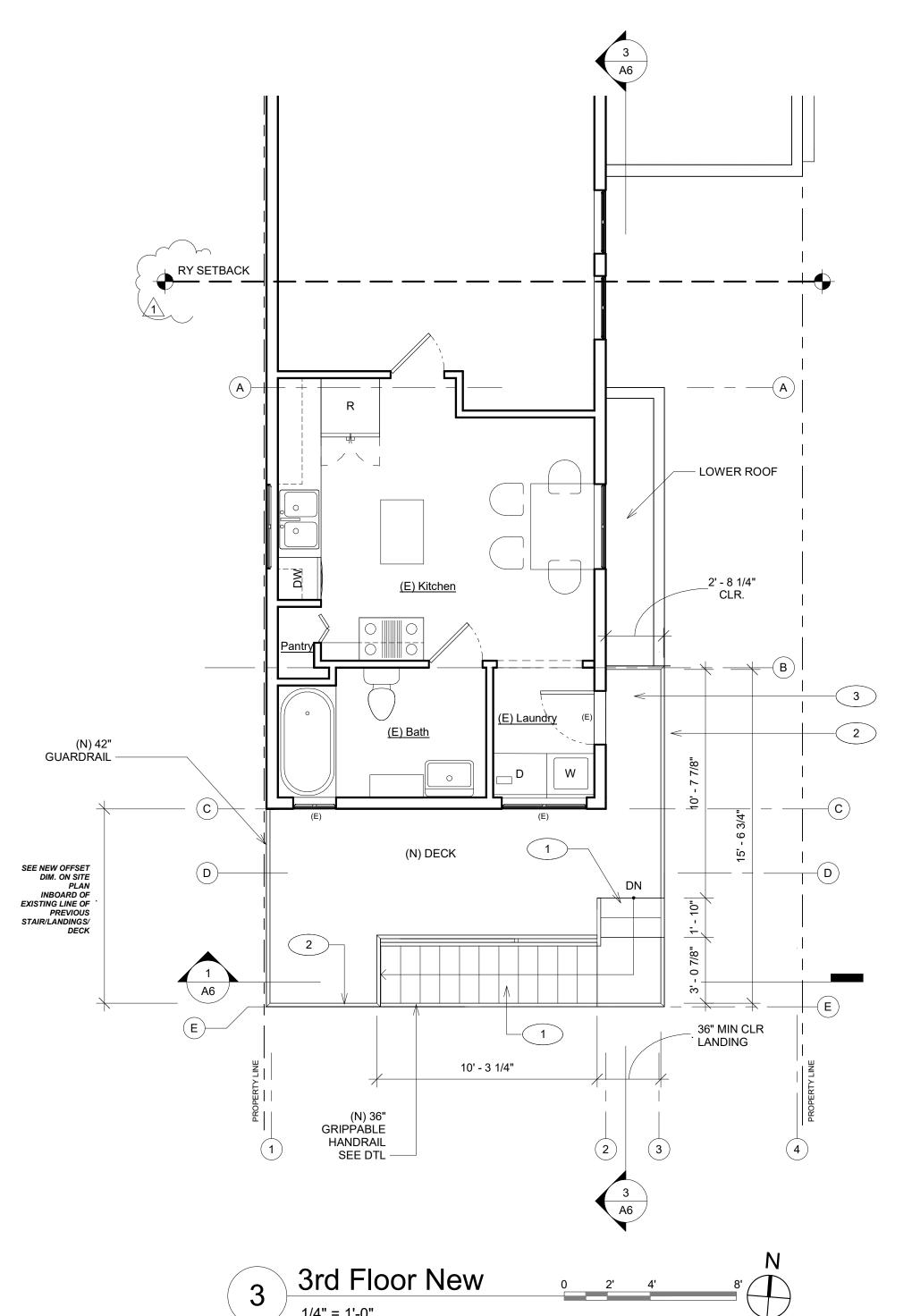
(E) 2nd Floor

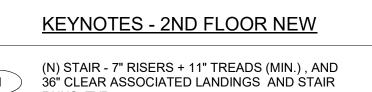
CO Checked by

AS SHOWN



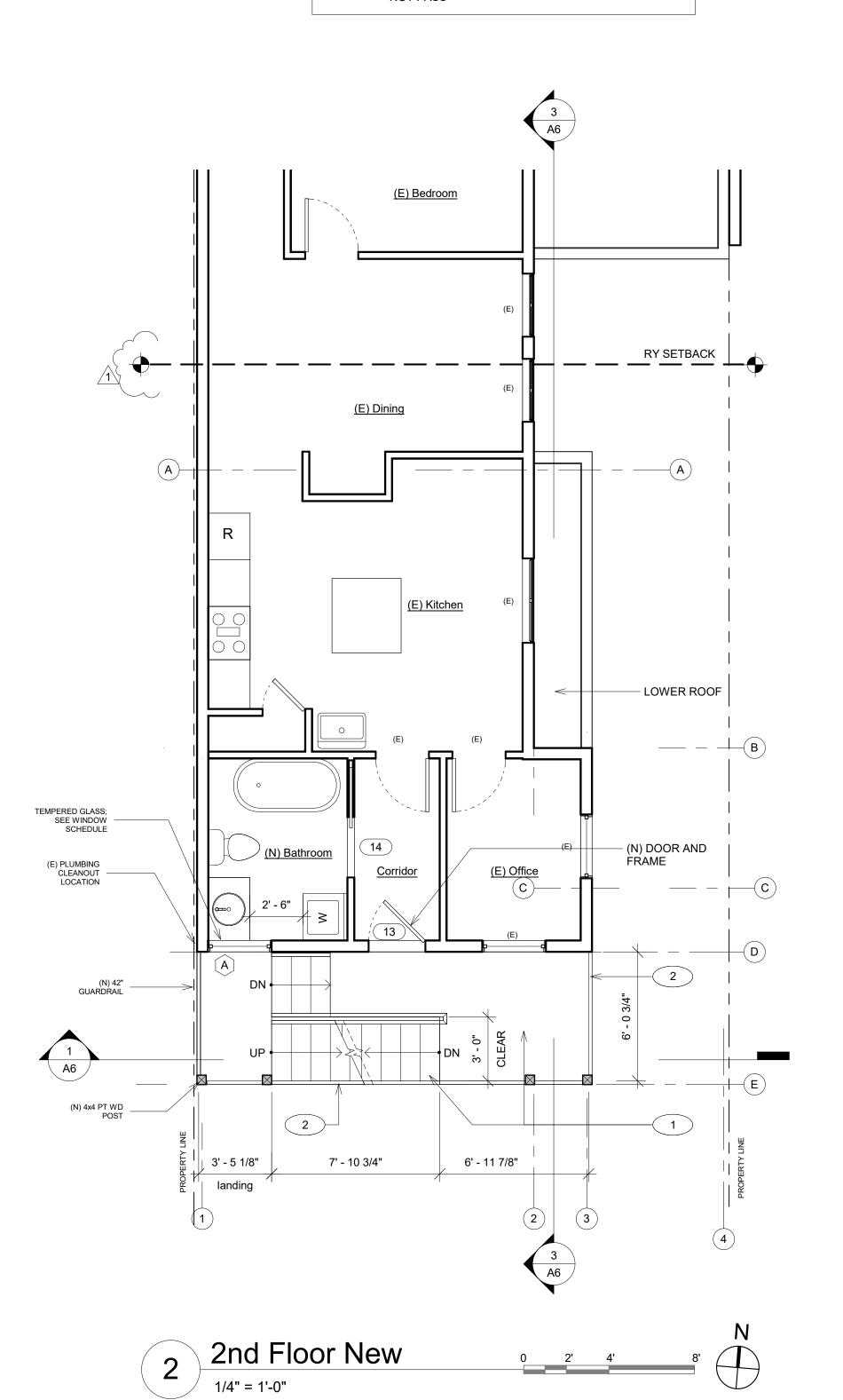






RUNS ,TYP.

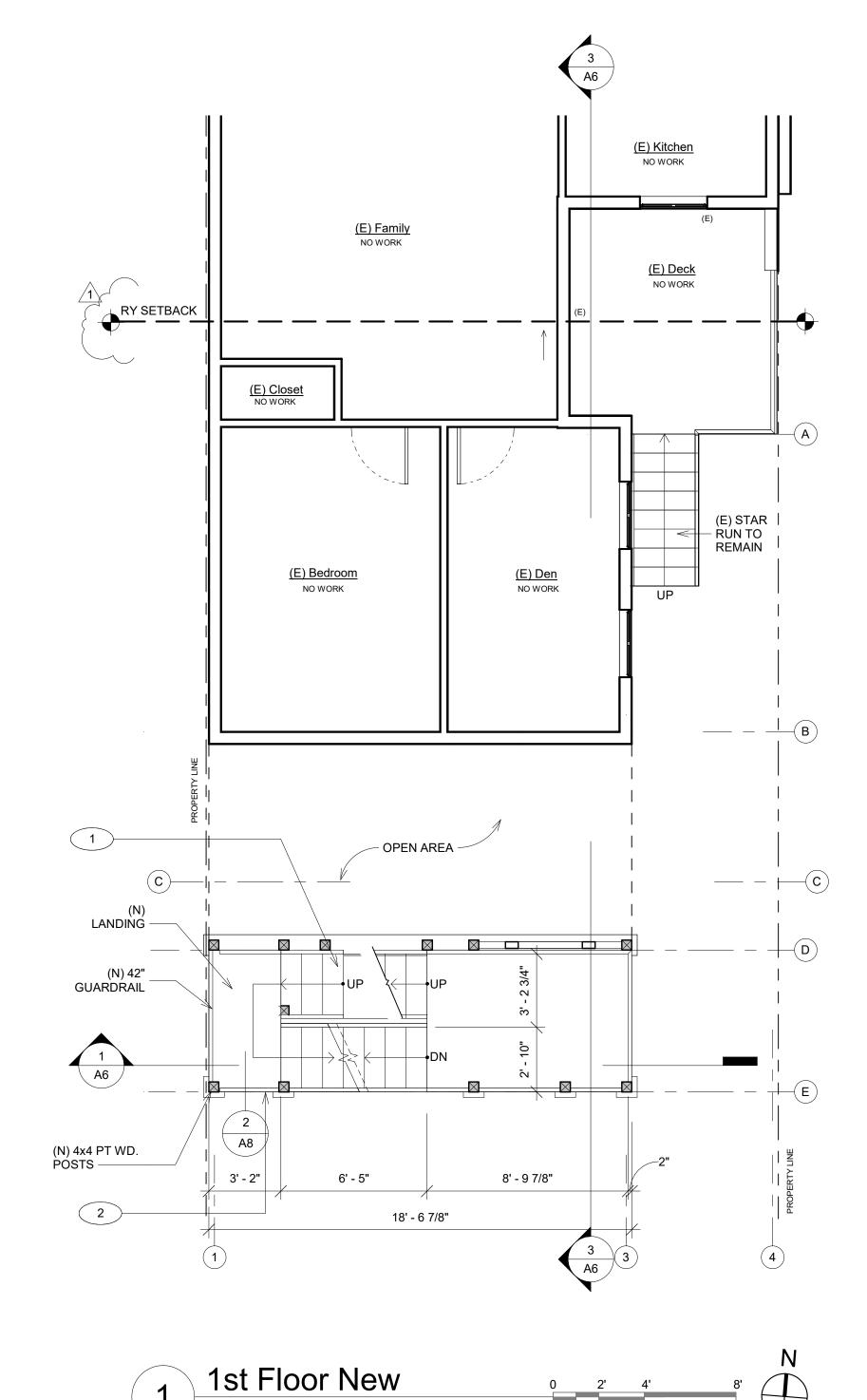
(N) 42" GUARDRAILS, VERTICAL
PICKETS O.C. SUCH THAT A 4" BALL WILL
NOT PASS

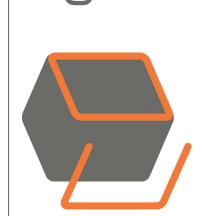


KEYNOTES - 1ST FLOOR NEW

(N) STAIR - 7" RISERS + 11" TREADS (MIN.), AND 36" CLEAR ASSOCIATED LANDINGS AND STAIR BLINS TYP

(N) 42" GUARDRAILS, VERTICAL PICKETS O.C. SUCH THAT A 4" BALL WILL NOT PASS





Z

0

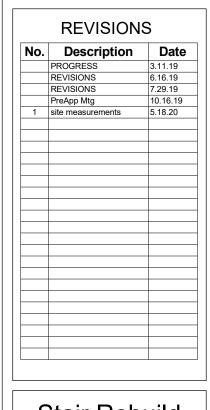
0

16

4



Pappas / Steiner / Tsay



Stair Rebuild

New Plans

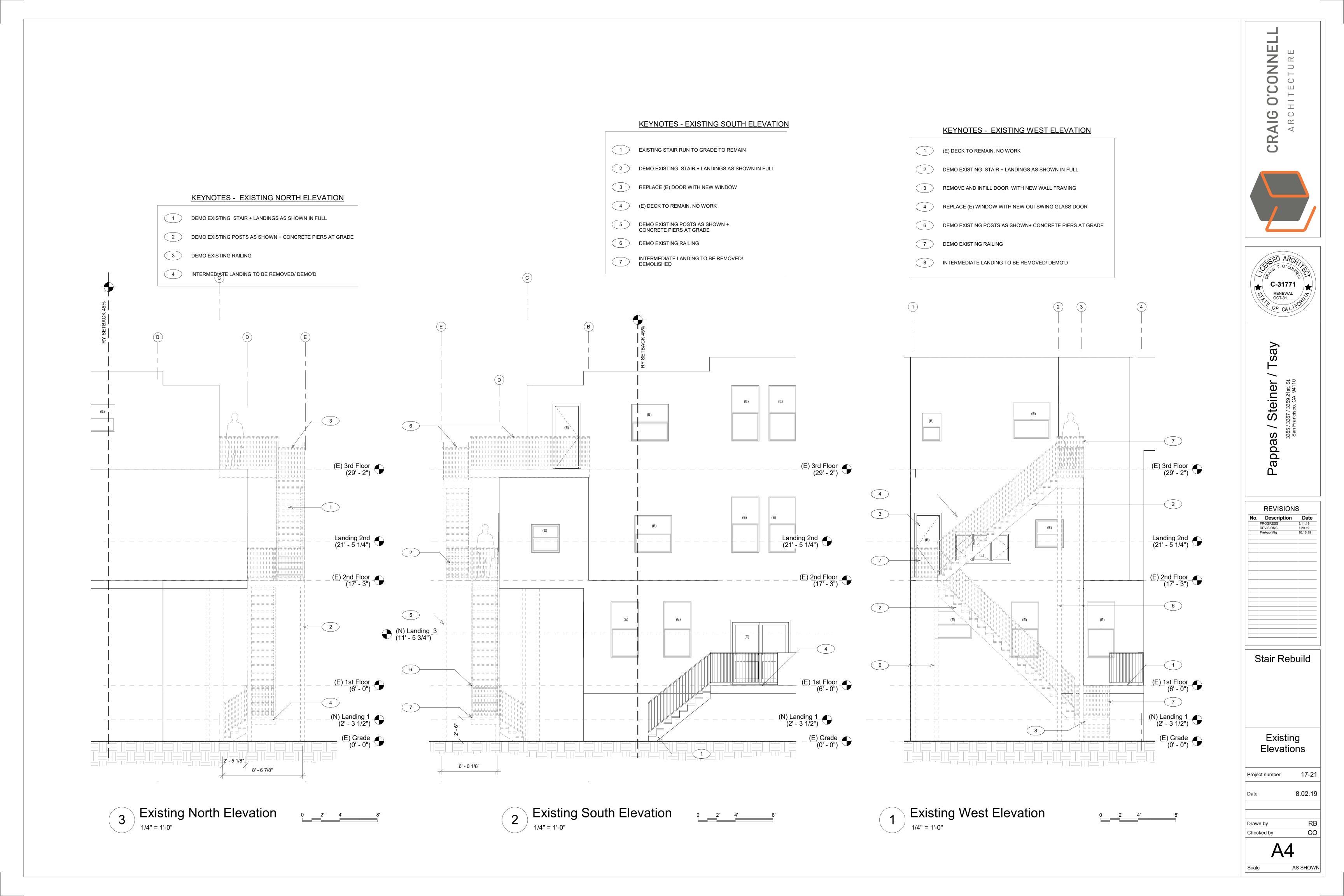
Project number 17-21

Date 8.02.19

Drawn by RB
Checked by CO

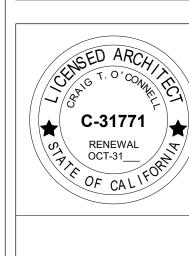
A3
ale AS SHOWN

1/4" = 1'-0"









Pappas / Steiner / Tsay

Stair Rebuild

Stair Sections

Project number 17

ate 8.02.19

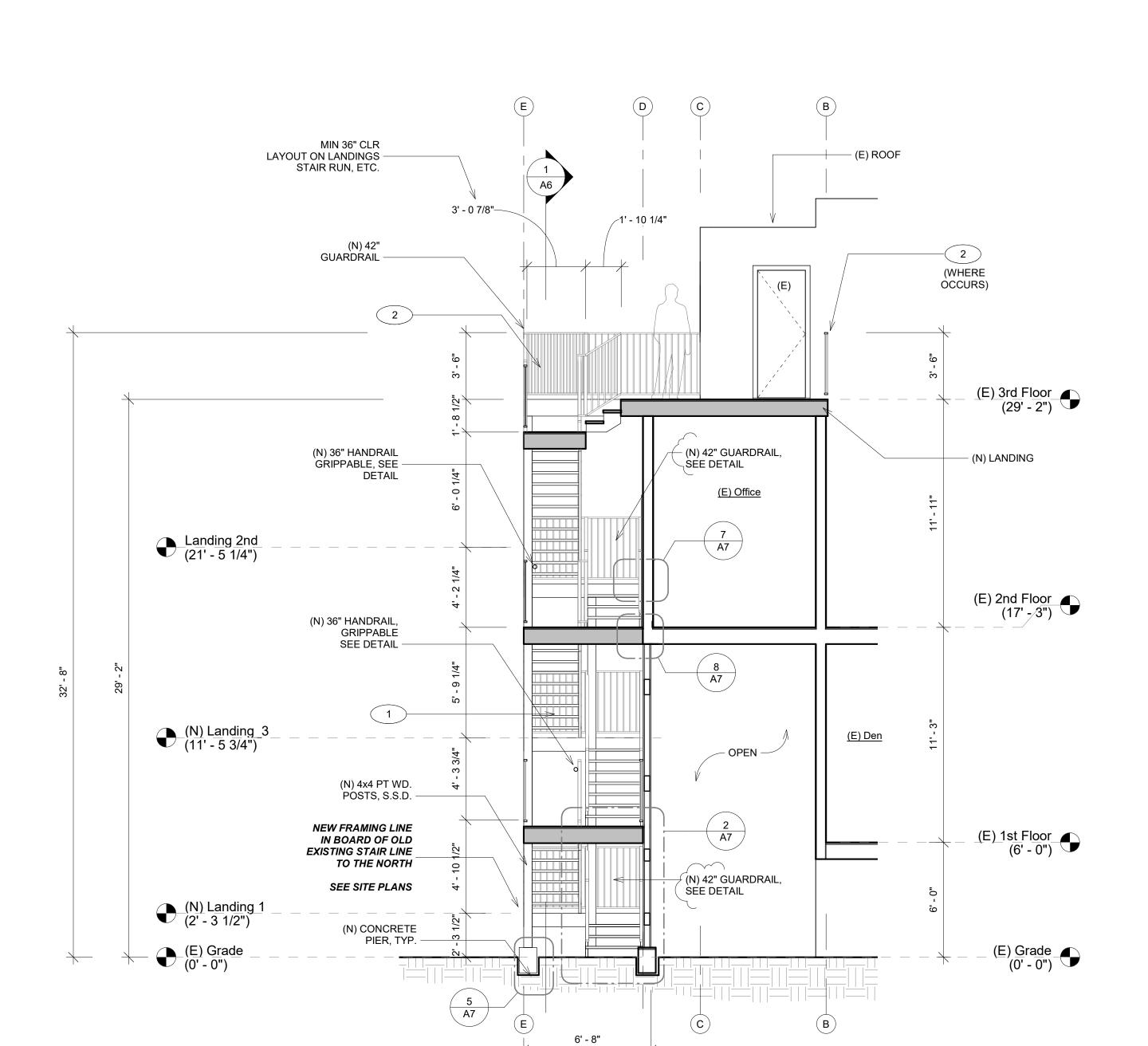
CO

Drawn by
Checked by

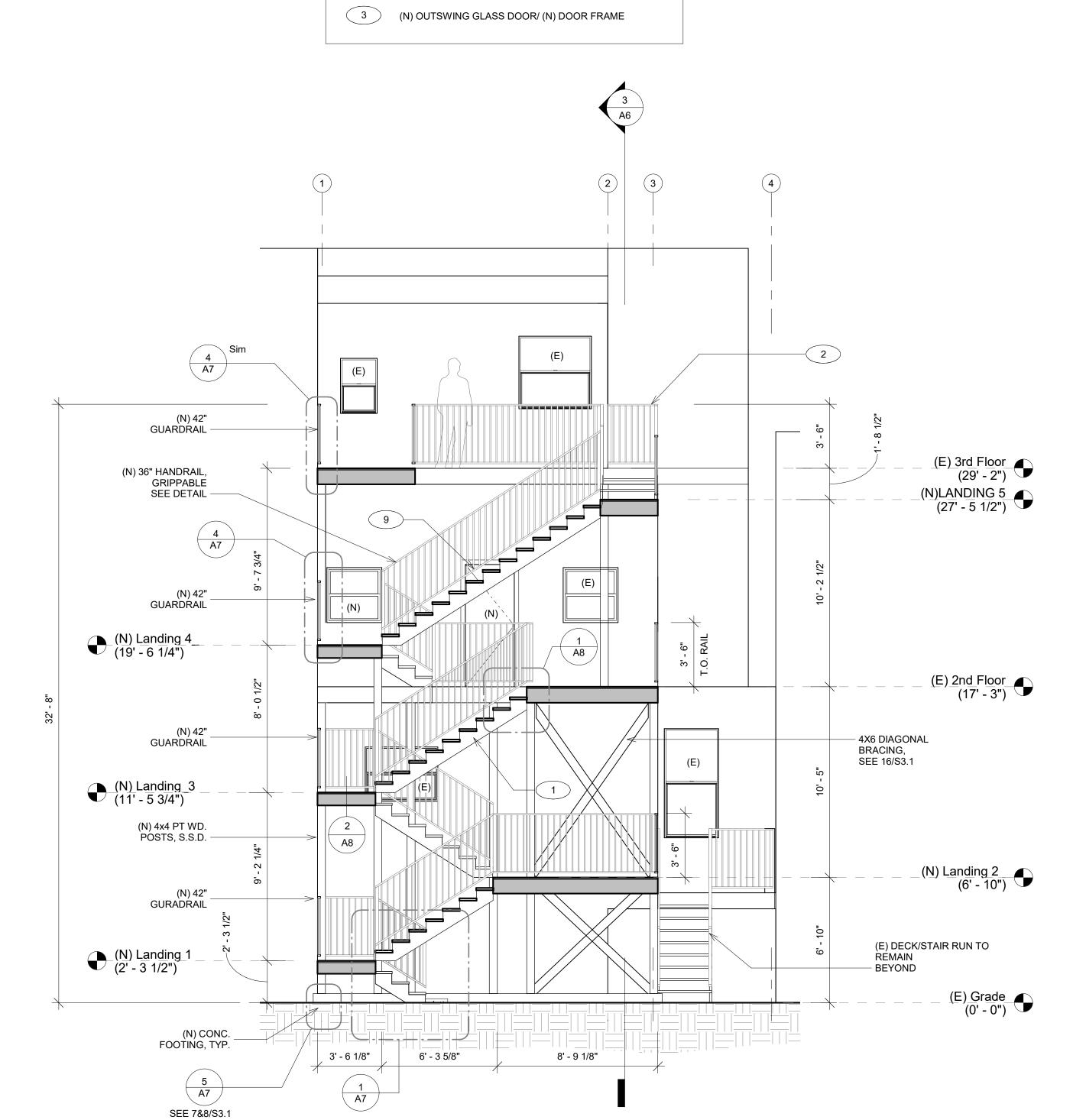
A6
Scale AS SHOWN

KEYNOTES - N/S SECTION

- (N) STAIR 7" RISER, 11" TREAD, AND ASSOCIATED LANDING, TYP.
- (N) 42" RAILING, PICKETS @ 5" O.C. SUCH THAT A 4" BALL WILL NOT PASS





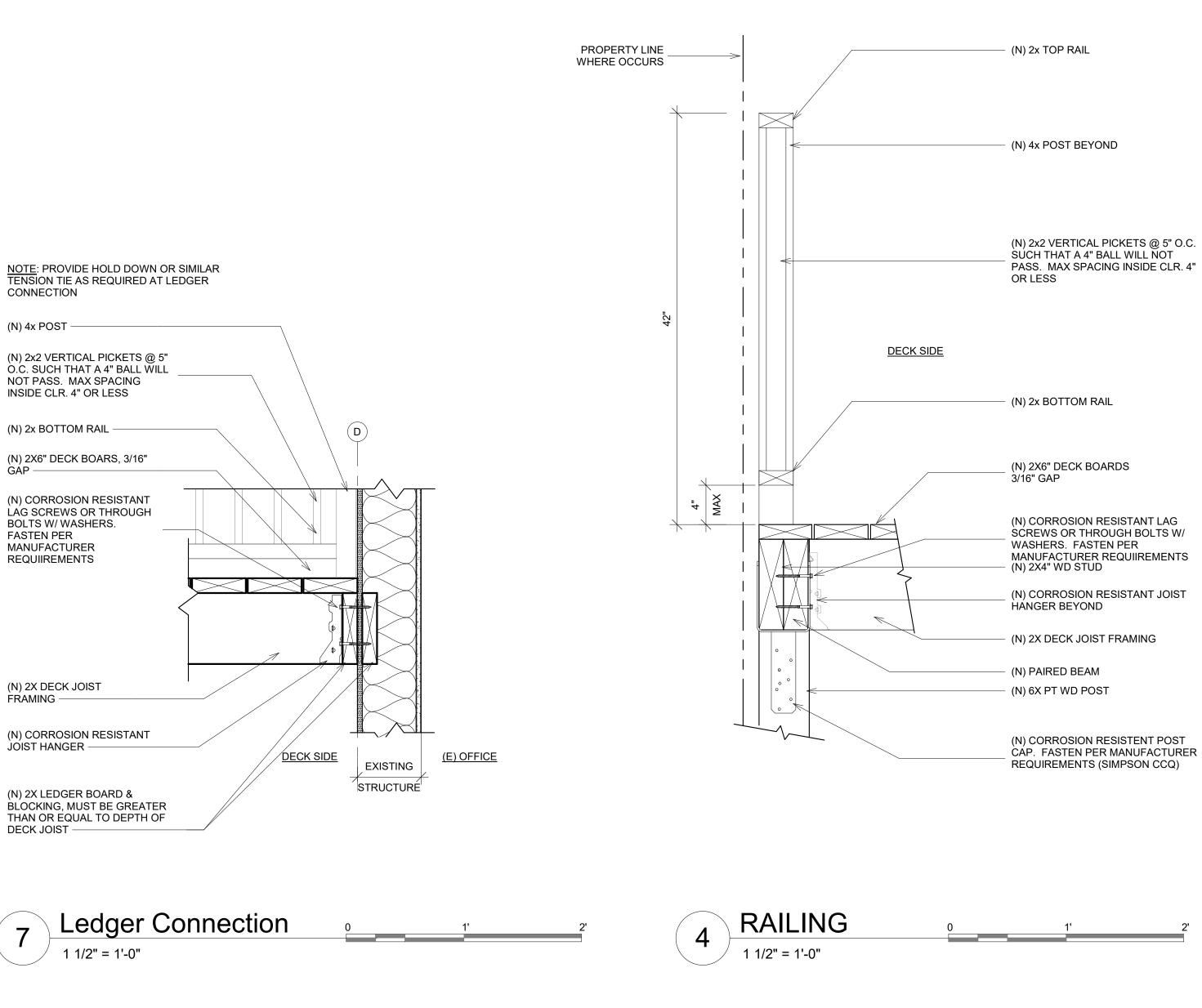


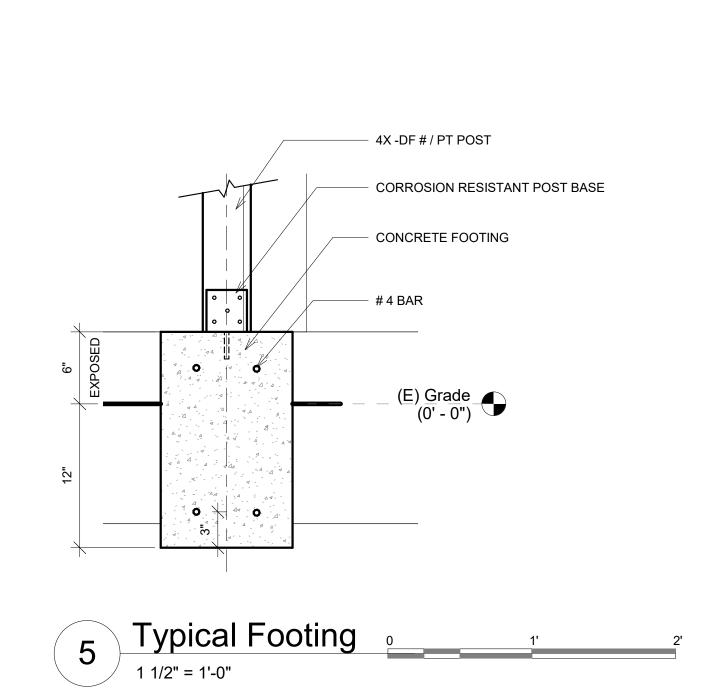
KEYNOTES - E/W SECTION

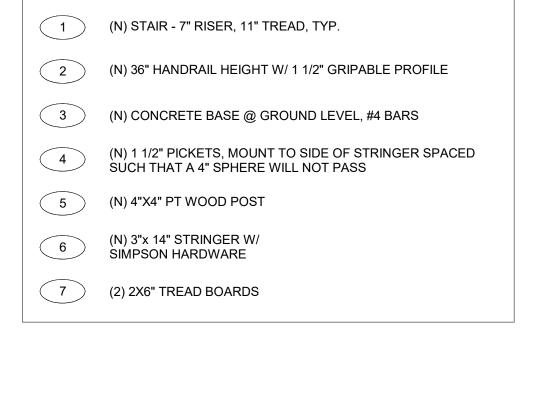
(N) 42" RAILING, PICKETS @ 5" O.C. SUCH THAT A 4" BALL WILL NOT PASS

(N) STAIR - 7" RISER, 11" TREAD AND ASSOCIATED LANDING, TYP.

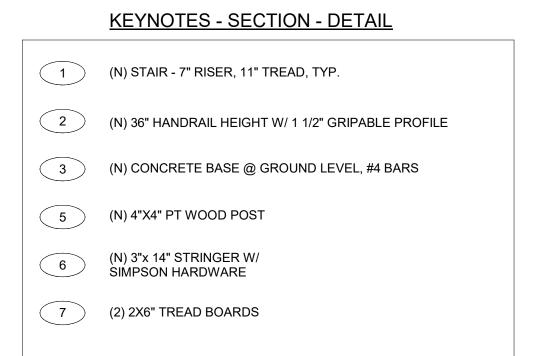
1 E/W Section 0 2' 4' 1/4" = 1'-0"

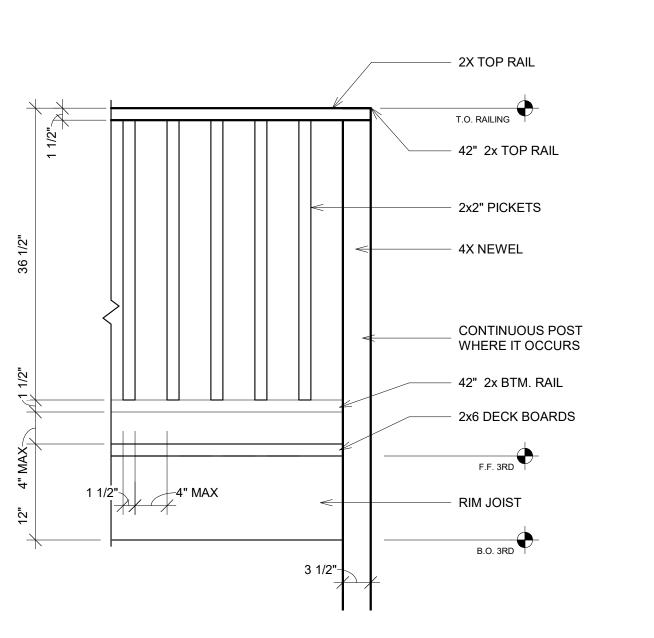




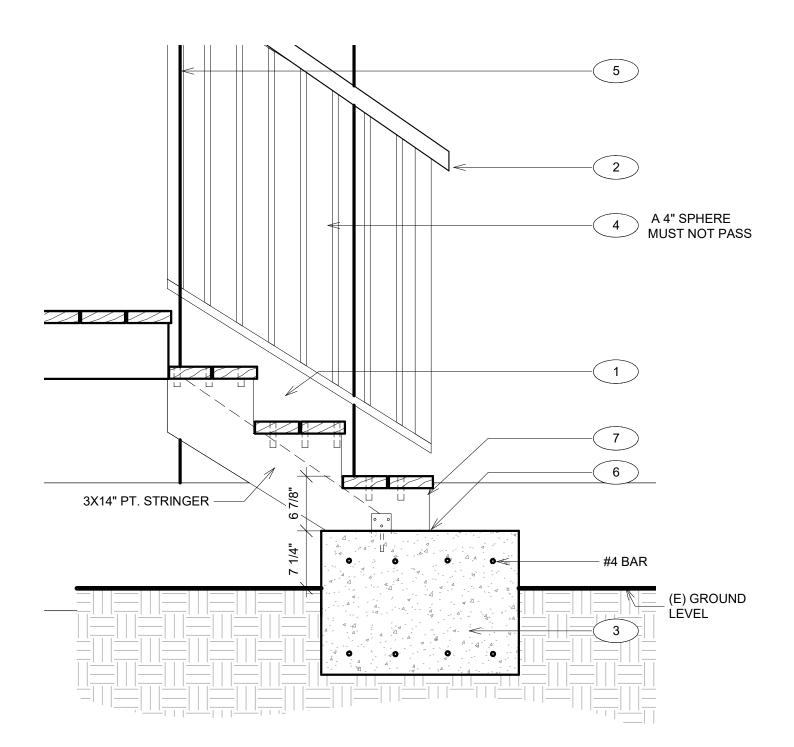


KEYNOTES - STAIR TO GRADE - DETAILS

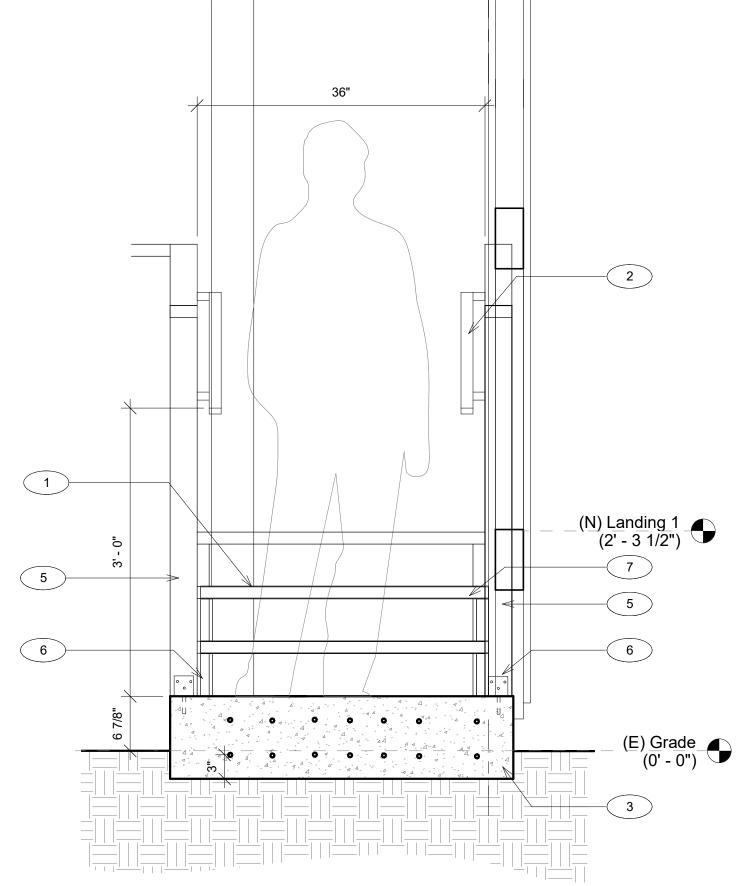




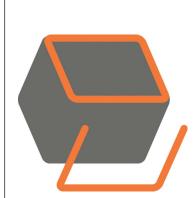














Steiner

No.	Description	Dat
	PROGRESS	3.11.19
	REVISIONS	6.16.19
	REVISIONS	7.29.19
	PreApp Mtg	10.16.19

Stall Rebuild

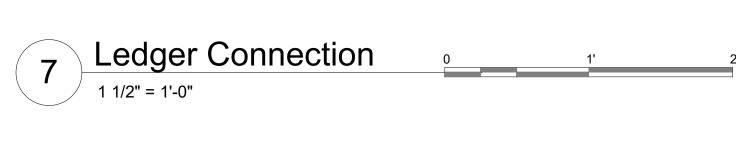
Details

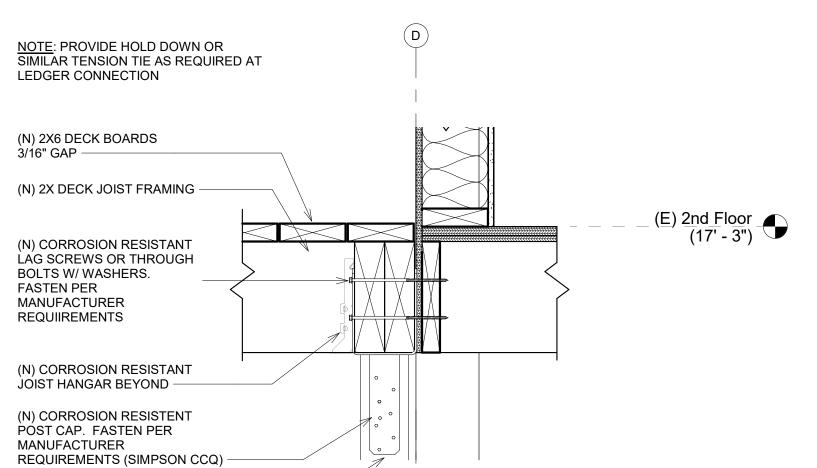
Project number 8.02.19

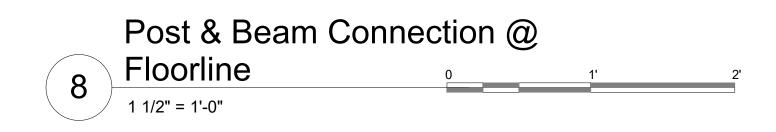
CO

A7 AS SHOWN

2 N/S Section - Detail Drawn by Checked by

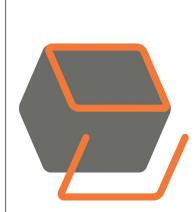


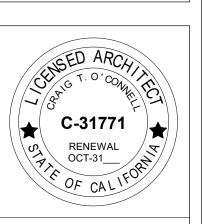




(N) 4X PT WOOD POST

(E) <u>2nd Floor</u> (17' - 3")

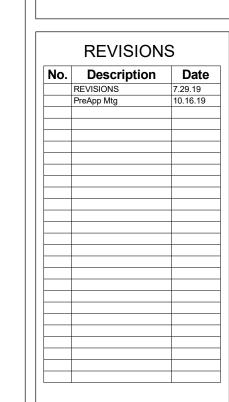




 Pappas / Steiner / T

 3355 / 3357 / 3359 21st. St.

 San Francisco, CA 94110



Stair Rebuild

Details

Project number

8.02.19

Drawn by Checked by

A8 AS SHOWN

CO

CORROSION RESISTANT STAIR STRINGER CONNECTOR Stringer at Landing
1 1/2" = 1'-0"

12".

2X6 DECKING -

2X RIM JOIST

(2) 2X6" DECK BOARDS, 3/16" GAP -

3X14" PT STRINGER -

	E
(N) 6"X6" CONTINUOUS PT WD POST —	
(N) 2"X6" DECK BOARDS, 3/16" GAP	
(N) CORROSION RESISTANT MACHINE BOLTS OR THREADED RODS W/ NUTS AND WASHERS. FASTEN PER MANUFACTURER REQUIIREMENTS	8 3/4"
(N) 2X RIM JOIST	
(N) CORROSION RESISTANT DECK TENSION TIE.POST CONNECTOR	
(N) 2X DECK JOIST FRAMING —	

Post Edge Connection

1 1/2" = 1'-0"