



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

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415.558.6409

Planning
Information:
415.558.6377



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, February 26, 2020**

Time: **Not before 9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance**

Hearing Body: **Zoning Administrator**

PROJECT INFORMATION		APPLICANT INFORMATION	
Project Address:	474 Liberty Street	Applicant:	Tansy Robinson
Cross Street(s):	Rayburn and Sanchez Sts	Company:	Tecta Associates
Block /Lot No.:	3604/101	Applicant Address:	2747 19th Street
Zoning District(s):	RH-1/ 40-X	City, State:	San Francisco, CA
Area Plan:	N/A	Telephone:	(415) 362-5857
Record Number:	2019-01601VAR	E-Mail:	tansyr@tectacom
PROJECT DESCRIPTION			
<p>The Project proposes a single-story, horizontal rear addition with a roof deck above and spiral staircase to provide access to the rear yard.</p> <p>PLANNING CODE SECTION 134 requires the subject property to maintain a rear yard of 51 feet 3 inches. Planning code Section 136 allows a one-story, 12-foot projection into the required rear yard. As proposed, the spiral staircase will extend 3-feet beyond the allowed 12-foot projection. Additionally, the addition will fill in the required clearance beneath an existing bay window in a manner inconsistent with Section 136. Therefore, a rear yard variance is required.</p>			
ADDITIONAL INFORMATION			
<p>ARCHITECTURAL PLANS: To view the plans and related documents for the proposed project, visit sf-planning.org/notices and search the Project Address listed above. The plans will also be available one week prior to the hearing through the hearing agenda at: sf-planning.org/hearings or by request at the Planning Department office located at 1650 Mission Street, 4th Floor.</p>			
<p>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF: Planner: Linda Ajello Hoagland Telephone: 415-575-6823 E-Mail: linda.ajellohoagland@sfgov.org</p>			

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident near the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to comment on the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice to the Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

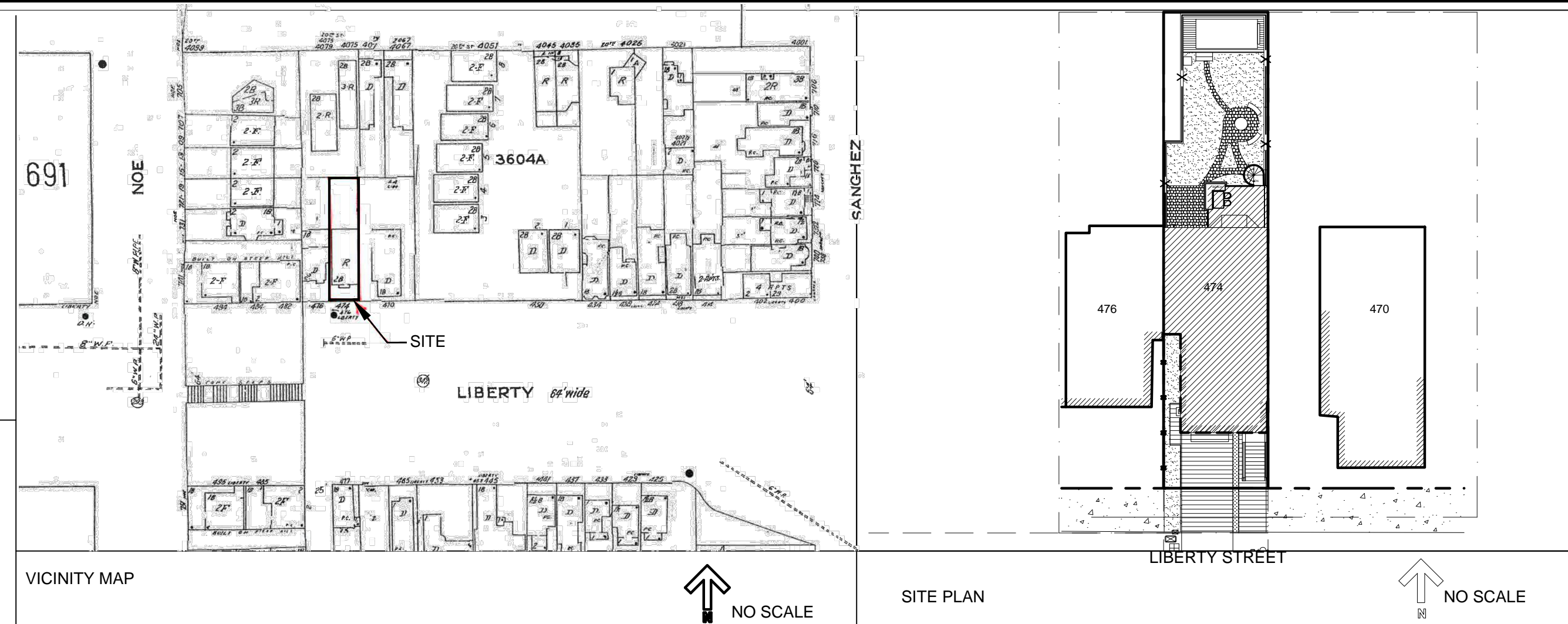
APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department or Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

474 LIBERTY STREET
SAN FRANCISCO, CA.



&	AND	H.B.	HOSE BIB	S.N.D.	SANITARY	T.P.D.	TOILET PAPER
L	ANGLE	H.C.	HOLLOW CORE		NAPKIN		DISPENSER
@	AT	HDR.	HANDRAIL		DISPENSER	T.V.	TELEVISION
¢	CENTERLINE	HDWD.	HARDWOOD	S.N.R.	SANITARY	T.W.	TOP OF WALL
Ø	DIAMETER	HDWE.	HARDWARE		NAPKIN	TYP.	TYPICAL
#	POUND OR NUMBER	HGT.	HEIGHT		RECEPTACLE	UNF.	UNFINISHED
(E)	EXISTING	H.S.	HINGE SWITCH	SPEC.	SPECIFICATION	U.O.N.	UNLESS
ACOUS.	ACOUSTICAL	J.T.	JOINT		SQ.		OTHERWISE
A.D.	AREA DRAIN	KIT.	KITCHEN	S.ST	STAINLESS		NOTED
ADJ.	ADJUSTABLE	LAB.	LABORATORY		STEEL	UR.	URINAL
AGGR.	AGGREGATE	LAM.	LAMINATE	S.S.K.	SERVICE SINK	VERT.	VERTICAL
	ALU.	LAV.	LAVATORY	STA.	STATION	VEST.	VESTIBULE
APPROX.	APPROXIMATELY	LKR.	LOCKER	STD.	STANDARD	W.	WEST
ARCH.	ARCHITECTURAL	LT.	LIGHT	STL.	STEEL	W/	WITH
ASB.	ASBESTOS	MAX.	MAXIMUM	STR.	STORAGE	W.C.	WATER
ASPH.	ASPHALT	M.C.	MEDICINE CABINET	STORL.	STRUCTURAL		CLOSET
BD.	BOARD	MDF	MEDIUM DENSITY	SUSP.	SUSPENDED	WD.	WOOD
BITUM.	BITUMINOUS		FIBERGLASS	SYM.	SYMMETRICAL	W/O	WITHOUT
BLDG.	BUILDING	MECH.	MECHANICAL	TREAD.	TREAD	WP.	WATERPROOF
BLK.	BLOCK	MEMB.	MEMBRANE	T.B.	TOWEL BAR	WSCT.	WAINSCOT
BLKG.	BLOCKING	MET.	METAL	T.C.	TOP OF CURB		
BM.	BEAM	MFR.	MANUFACTURER	TEL.	TELEPHONE		
BOT.	BOTTOM	MH.	MANHOLE	TER.	TERRAZZO		
B.U.R.	BUILT-UP ROOFING	MIN.	MINIMUM	T.&G.	TONGUE & GROOVE		
CAB.	CABINET	MIR.	MIRROR				
C.B.	CATCH BASIN	MISC.	MISCELLANEOUS	THK.	THICK		
CEM.	CEMENT	M.O.	MASONRY OPENING	T.P.	TOP OF PAVEMENT		
CER.	CERAMIC						
C.I.	CAST IRON						
C.G.	CORNER GUARD						
CLG.	CEILING						

• APN	:	3604/101	
• LOT AREA	:	2850	
• ZONING	:	RH-1	
• CODES	:	CBC 2016	
• CONSTRUCTION	:	V	
• OCCUPANCY	:	RH-1	
• AUTOMATIC FIRE SPRINKLERS	:	YES	
• EXISTING BUILDING	:	3381 SQ.FT.	
• PROPOSED BUILDING	:	3517 SQ.FT.	
• AREA OF ADDITION	:	136 SQ.FT.	
• LOT COVERAGE	:	EXISTING	100.18%
	:	PROPOSED	100.23%

	COLUMN LINES
	LETTERS HORIZONTAL
	NUMBERS VERTICAL
	GRID LINES
	DOOR TYPE
	LOUVER TYPE
	WINDOW TYPE
	EQUIPMENT TYPE
	MATCHLINE
	WORK POINT
	SECTION
	SECTION IDENTIFICATION
	SHEET WHERE DRAWN
	LOCATION WHERE CUT
	DETAIL
	SECTION IDENTIFICATION
	SHEET WHERE DRAWN
	LOCATION WHERE CUT
	INTERIOR ELEVATION
	SECTION IDENTIFICATION
	SHEET WHERE DRAWN
	ELEVATION OF FINISH
	ROOM IDENTIFICATION
	ROOM NAME
	ROOM NUMBER
	ROOM FINISH (SEE SCHEDULE)
	FLOOR, BASE, WALL, CEILING
	PROPERTY LINE
	CONTOURS
	NEW OR FINISHED
	EXISTING CONTOURS
	SPOT ELEVATIONS
	EXISTING GRADE
	NEW FINISH GRADE
	TOP OF WALL
	TOP OF CURB
	TOP OF PAVEMENT

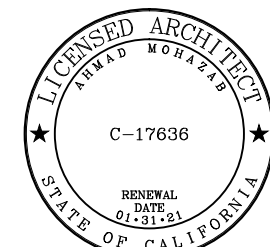
- EXTEND THE REAR GROUND FLOOR 10FT x 13.5FT. NEXT TO EXISTING CONCRETE RETAINING WALL TO MAKE SPACE FOR A GUEST ROOM. PROVIDE A ROOF DECK ABOVE IT WITH ACCESS FROM THE KITCHEN. RELANDSCAPE EXISTING CONCRETE PATIO ON GRADE WITH PAVERS.

ARCHITECTURAL:	
T-0.0	COVER SHEET
A-0.1	SURVEY
A-1.0	EXISTING AND PROPOSED SITE PLANS
A-2.0	EXISTING AND PROPOSED GROUND FLOOR PLANS
A-2.1	EXISTING AND PROPOSED FIRST FLOOR PLANS
A-2.2	EXISTING AND PROPOSED SECOND FLOOR PLANS
A-3.0	EXISTING AND PROPOSED FRONT EXTERIOR ELEVATIONS
A-3.1	EXISTING AND PROPOSED NORTH EXTERIOR ELEVATIONS
A-3.2	EXISTING AND PROPOSED EAST EXTERIOR ELEVATIONS
A-3.3	EXISTING AND PROPOSED WEST EXTERIOR ELEVATIONS

TECA
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ARCHITECTURAL PROJECT NO.: 18.070

RESIDENTIAL REMODEL
474 LIBERTY STREET
SAN FRANCISCO, CA.

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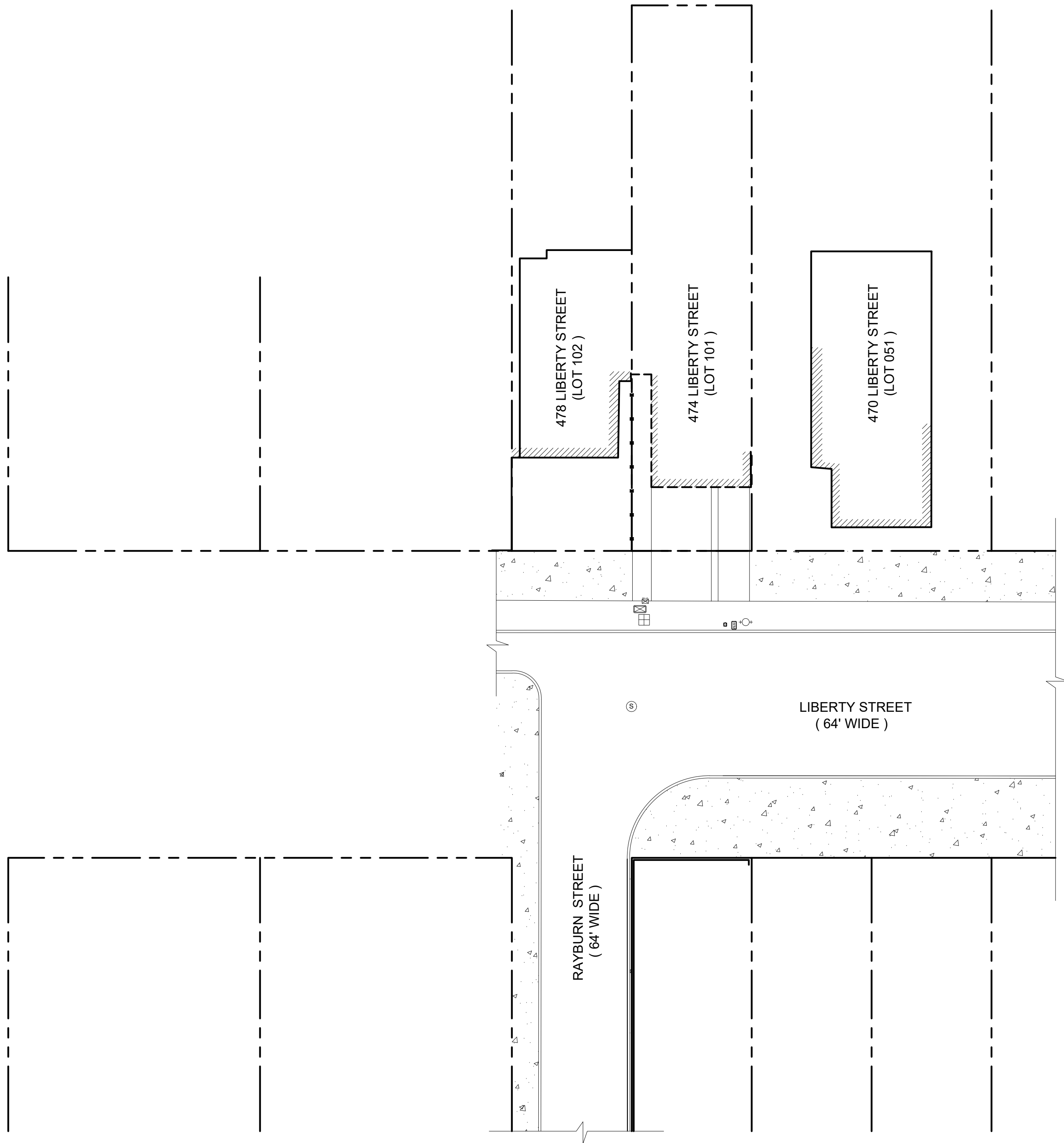
ISSUE DATE: 06/24/2019
SPACE PLAN DATE: 05/29/2019

DRAWING TITLE:

COVER SHEET

DRAWING NUMBER:

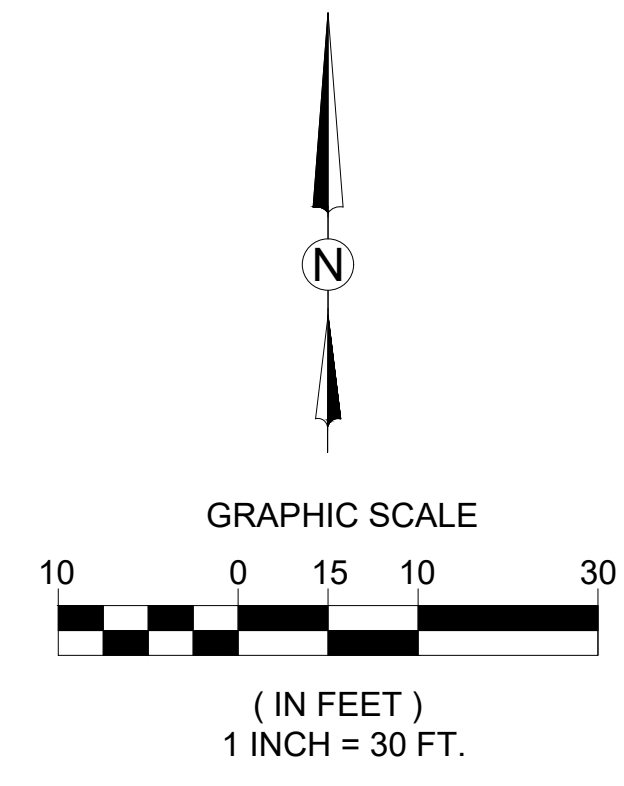
T-1.0



LEGEND AND ABBREVIATIONS	
	BOUNDARY LINE
	WOODEN FENCE
	BLDG
	CONCRETE
	FIRE HYDERANT
	MANHOLE - SANITARY SEWER
	PULLBOX - CABLE/TV
	PULLBOX - PG&E
	PULLBOX - UNKNOWN
	STORM DRAIN CLEANOUT
	WATER METER

NOTE:
1) SURVEY DATA BASED UPON THE CONDITION AT THE TIME OF SURVEY PERFORMED BY F3 & ASSOCIATES APRIL 3 , 2019.
2) ALL MEASUREMENTS ARE IN FEET AND DECIMAL THEREOF, UNLESS OTHERWISE NOTED.

F3 & Associates, Inc.
LAND SURVEYING - 3D INDUSTRIAL LASER SCANNING
701 E. H ST, BENICIA , CA 94510
PHONE(707)748-4300 FAX(707)361-0295
www.F3-Inc.com



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Suite 2300,
San Francisco, CA 94110
P: 415 352 5047
F: 415 352 5044
www.tecna.com

ARCHITECTURAL PROJECT NO.: 18.070

RESIDENTIAL REMODEL 474 LIBERTY STREET SAN FRANCISCO, CA.

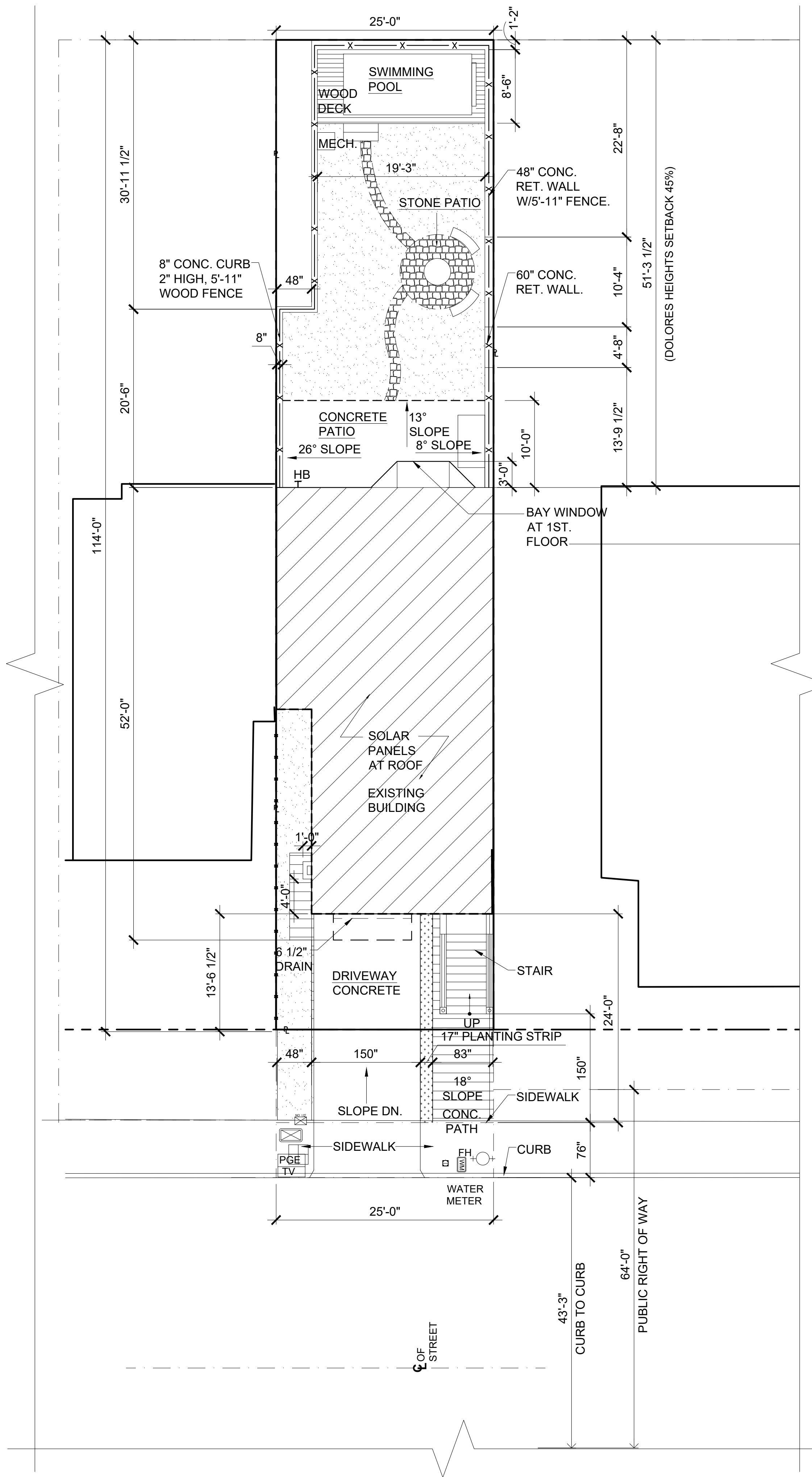
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ISSUE DATE: 06/24/2019
SPACE PLAN DATE: 05/29/2019

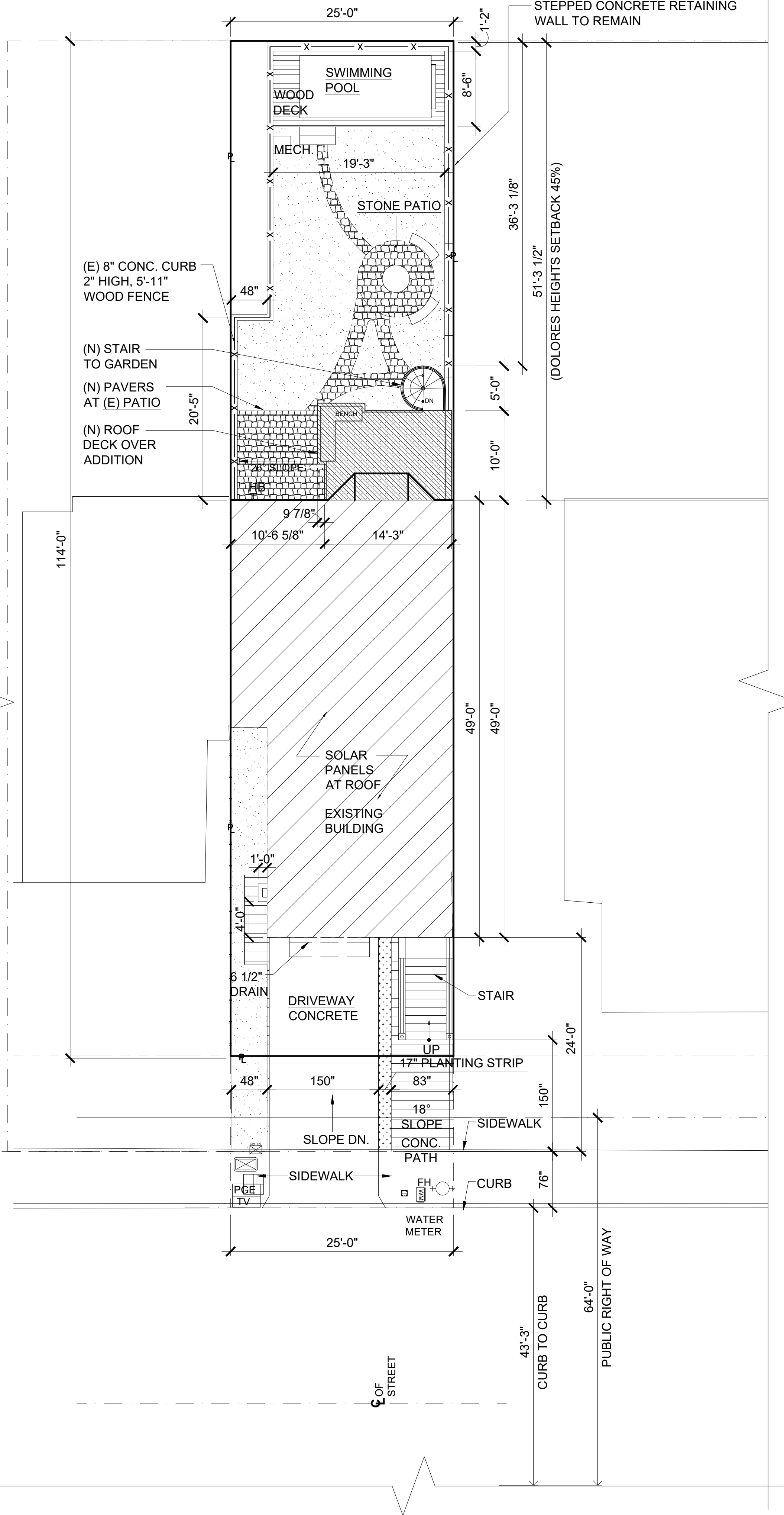
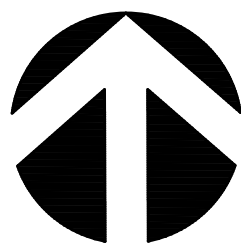
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SURVEY

DRAWING NUMBER:
A-0.1



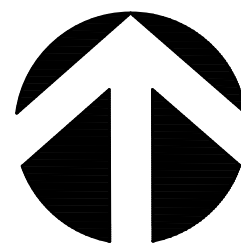
1 EXISTING SITE PLAN

Scale: 1/8" = 1'-0"



2 PROPOSED SITE PLAN

Scale: 1/8" = 1'-0"



LEGEND

- BUILDING
- HARDSCAPE
- PERMEABLE HARDSCAPE
- LANDSCAPE
- FENCE
- CURB / LOW WALL
- PROPERTY LINE
- AREA OF ADDITION

RESIDENTIAL REMODEL
474 LIBERTY STREET
SAN FRANCISCO, CA.

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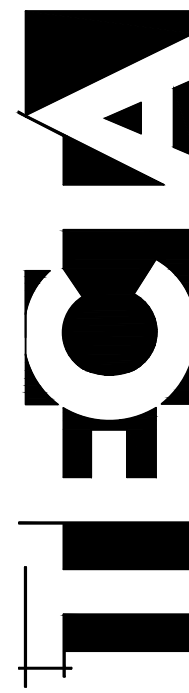
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SPACE PLAN DATE: 10/30/2019

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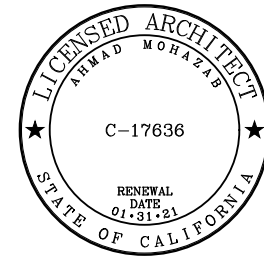
SITE PLANS

DRAWING NUMBER:

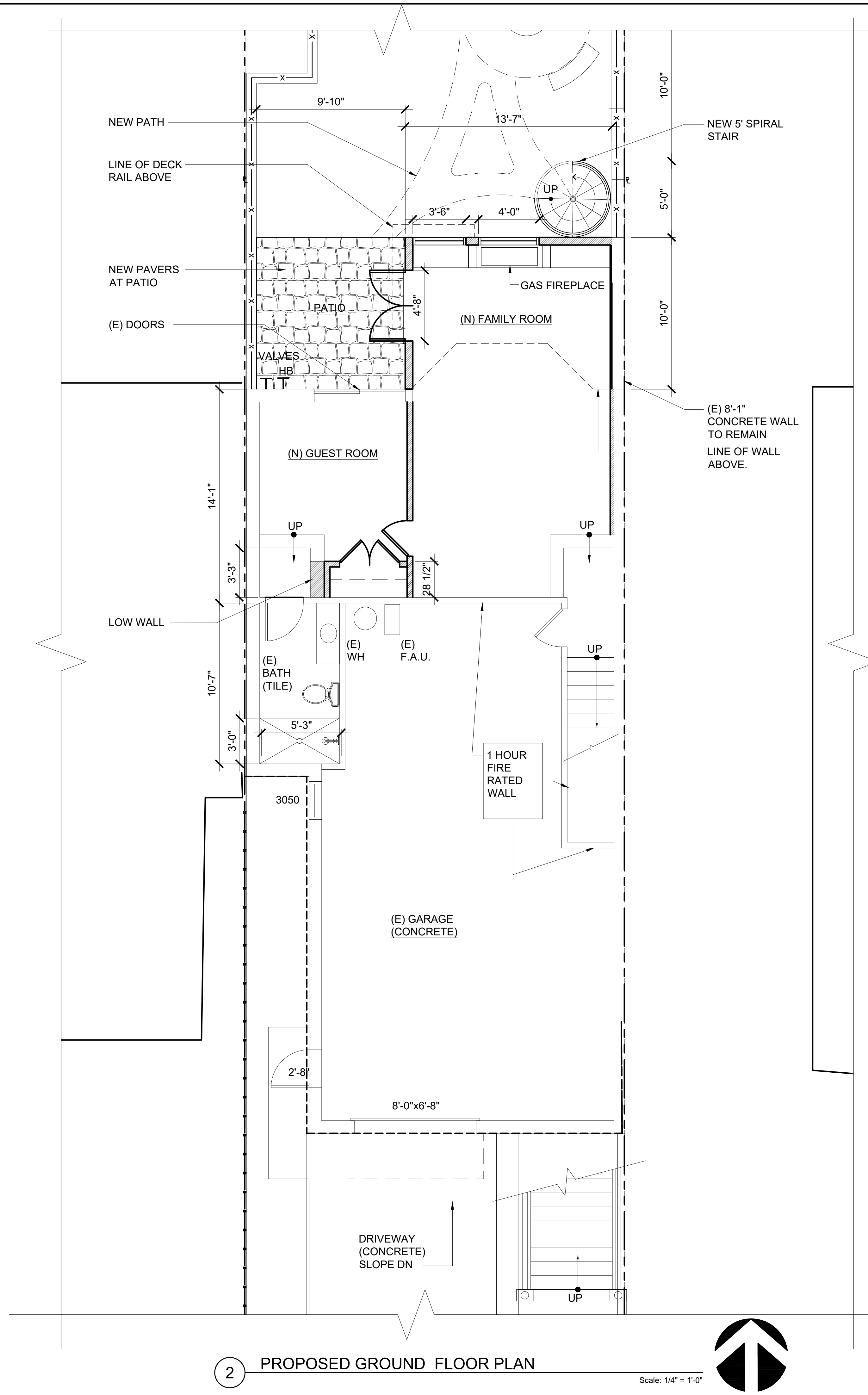
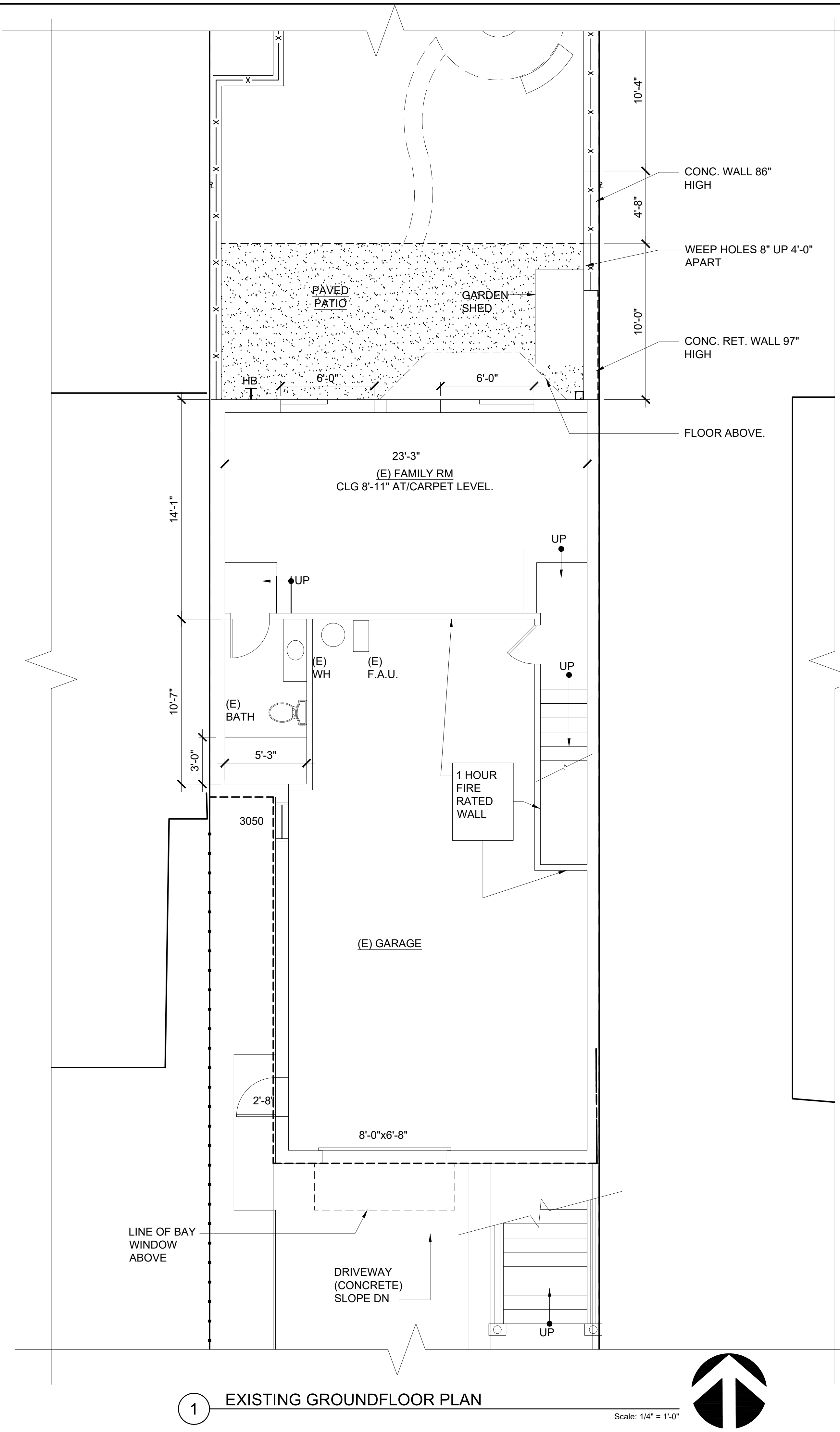
A-1.0



TECTA ASSOCIATES
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www.tecta.com



ARCHITECTURAL PROJECT NO.: 18.070



RESIDENTIAL REMODEL
474 LIBERTY STREET
SAN FRANCISCO, CA.

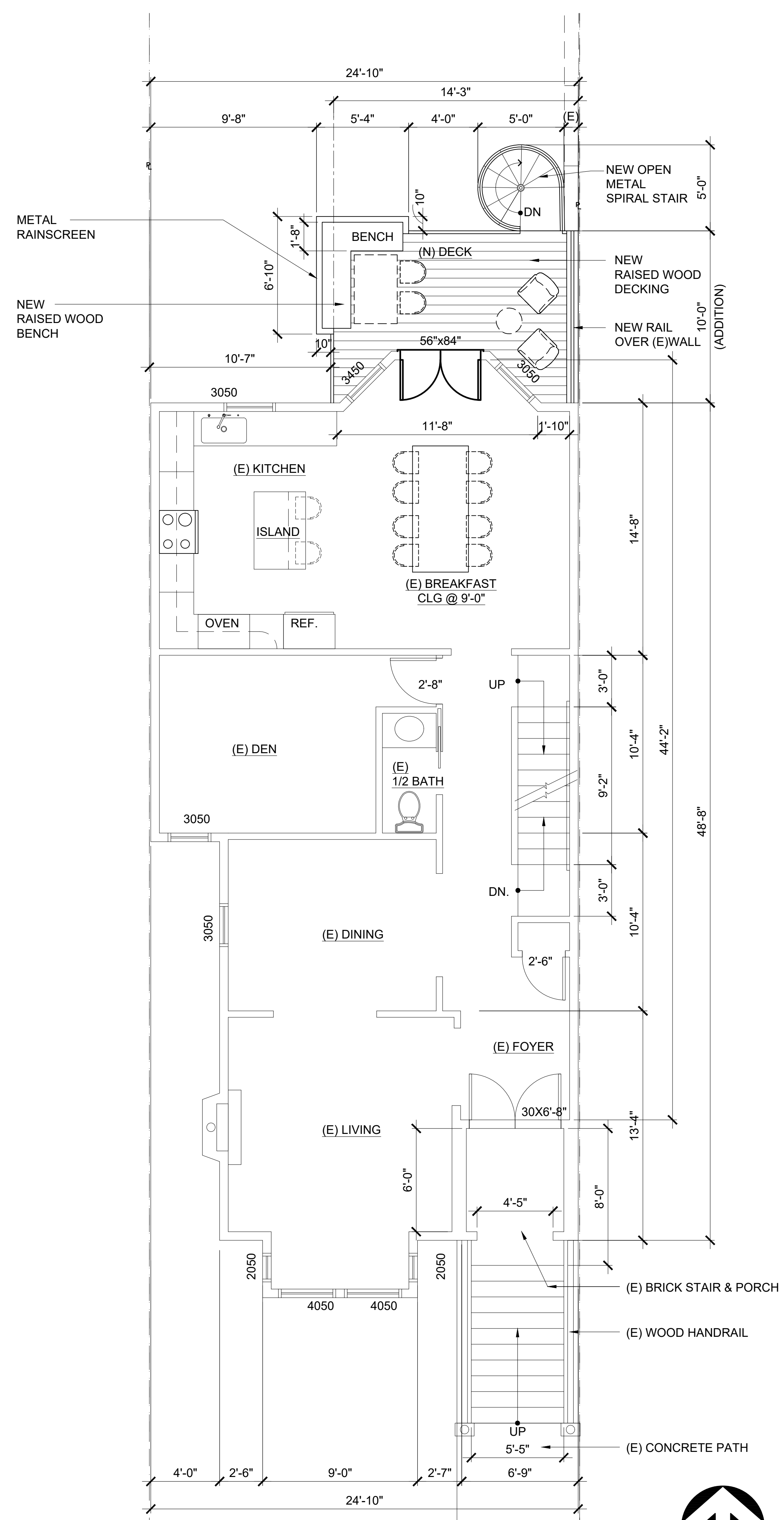
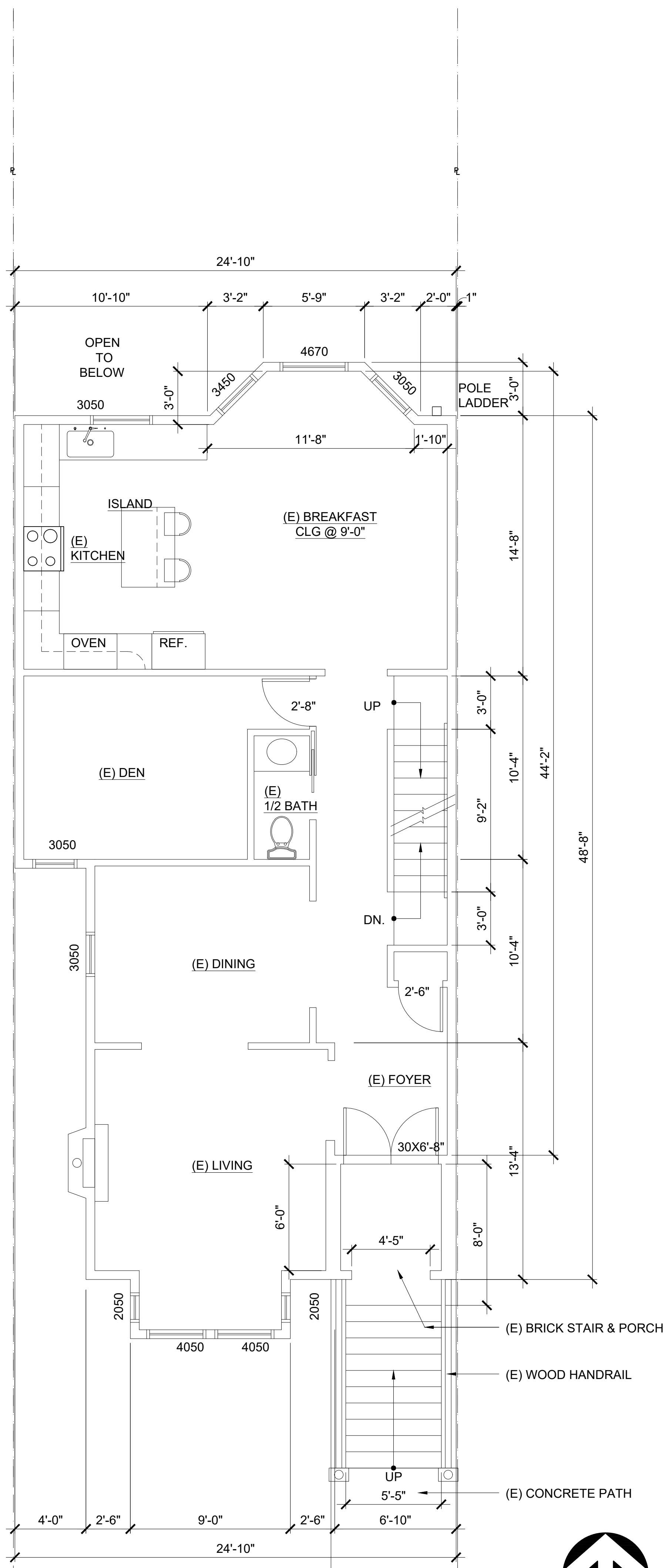
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ISSUE DATE: 00/00/2018
SPACE PLAN DATE: 10/30/2019

DRAWING TITLE:
EXISTING & PROPOSED
FLOOR PLANS

DRAWING NUMBER:
A-2.0



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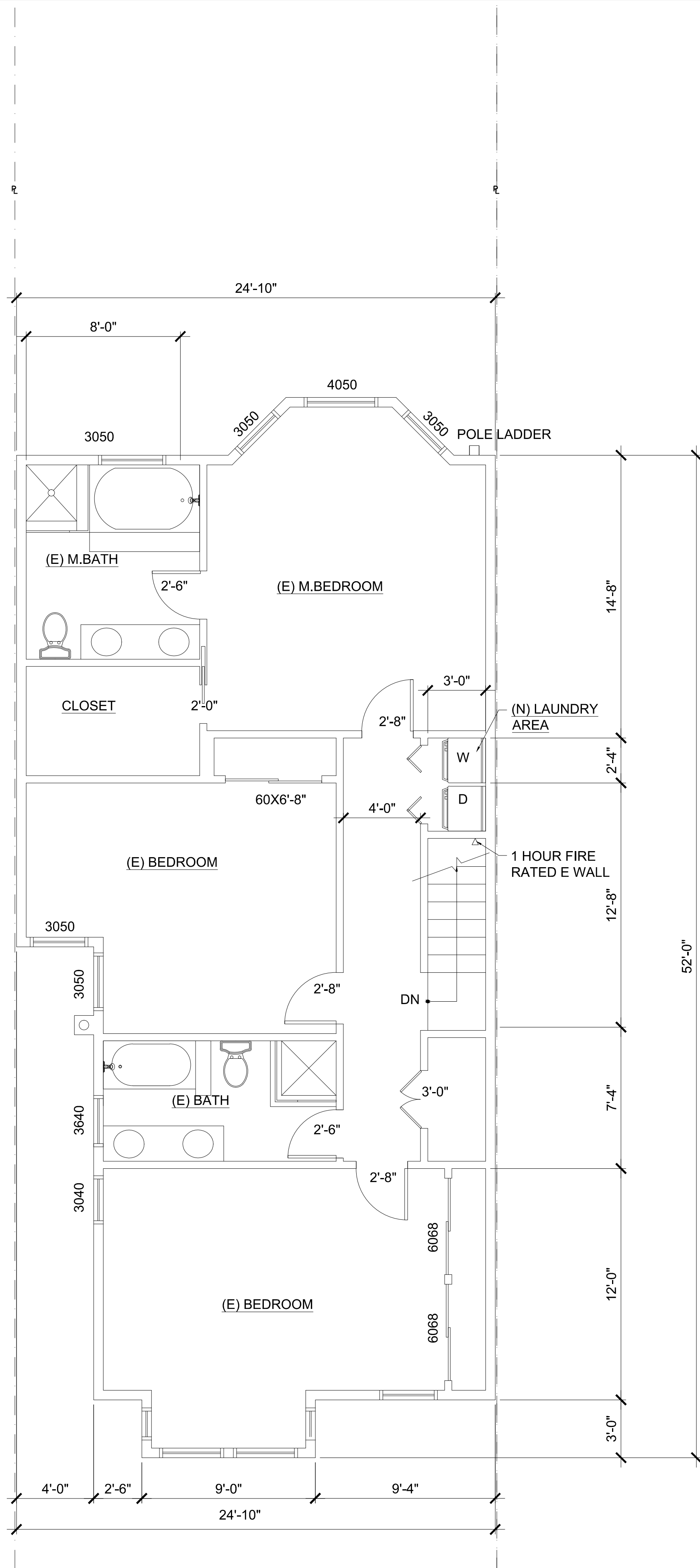
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ISSUE DATE: 00/00/2018
 SPACE PLAN DATE: 10/30/2019

DRAWING TITLE:
 EXISTING & PROPOSED
 FLOOR PLANS

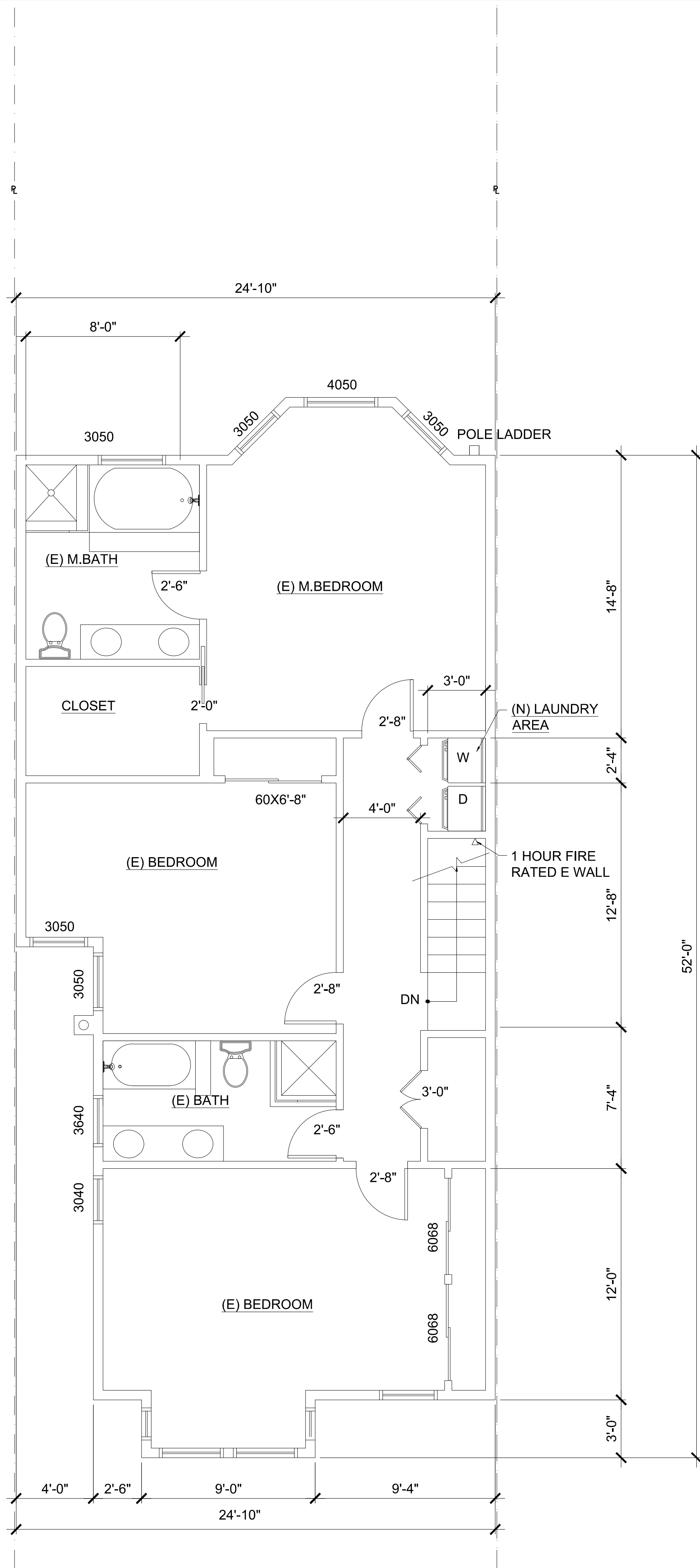
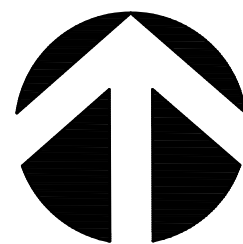
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A-2.1



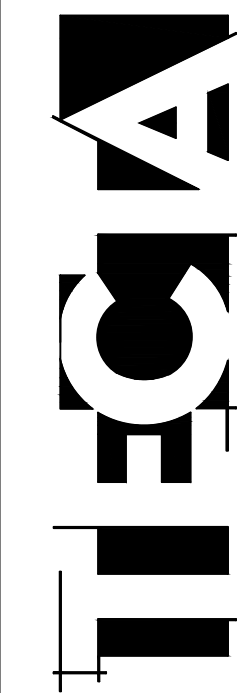
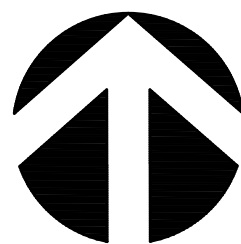
1 EXISTING SECOND FLOOR PLAN

Scale: 1/4" = 1'-0"

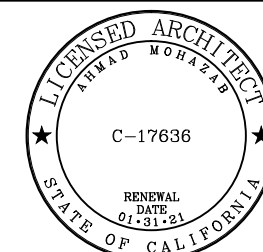


2 PROPOSED SECOND FLOOR PLAN - NO CHANGE

Scale: 1/4" = 1'-0"



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ARCHITECTURAL PROJECT NO.: 18.070

RESIDENTIAL REMODEL
474 LIBERTY STREET
SAN FRANCISCO, CA.

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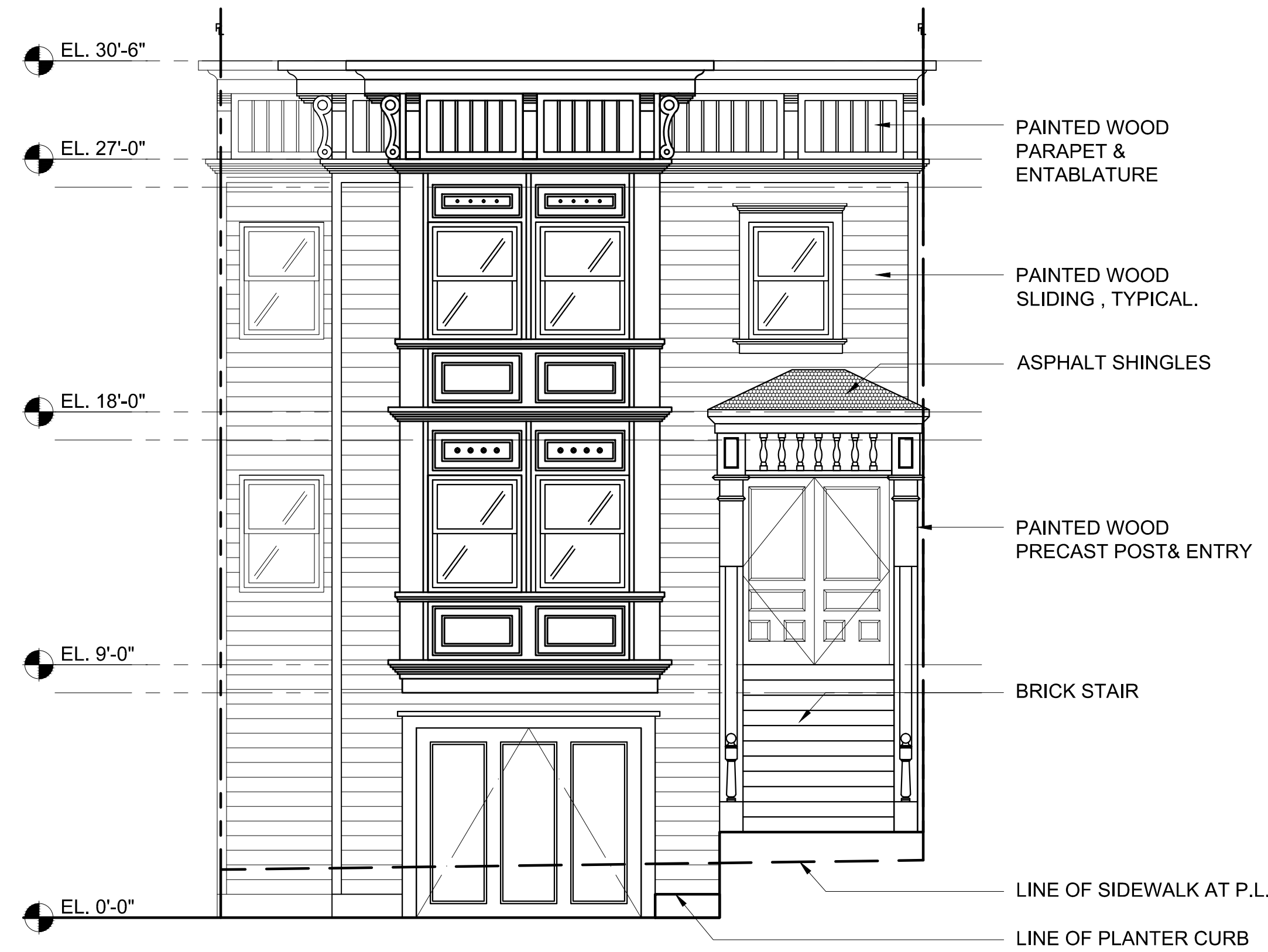
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ISSUE DATE: 06/24/2019
SPACE PLAN DATE: 05/29/2019

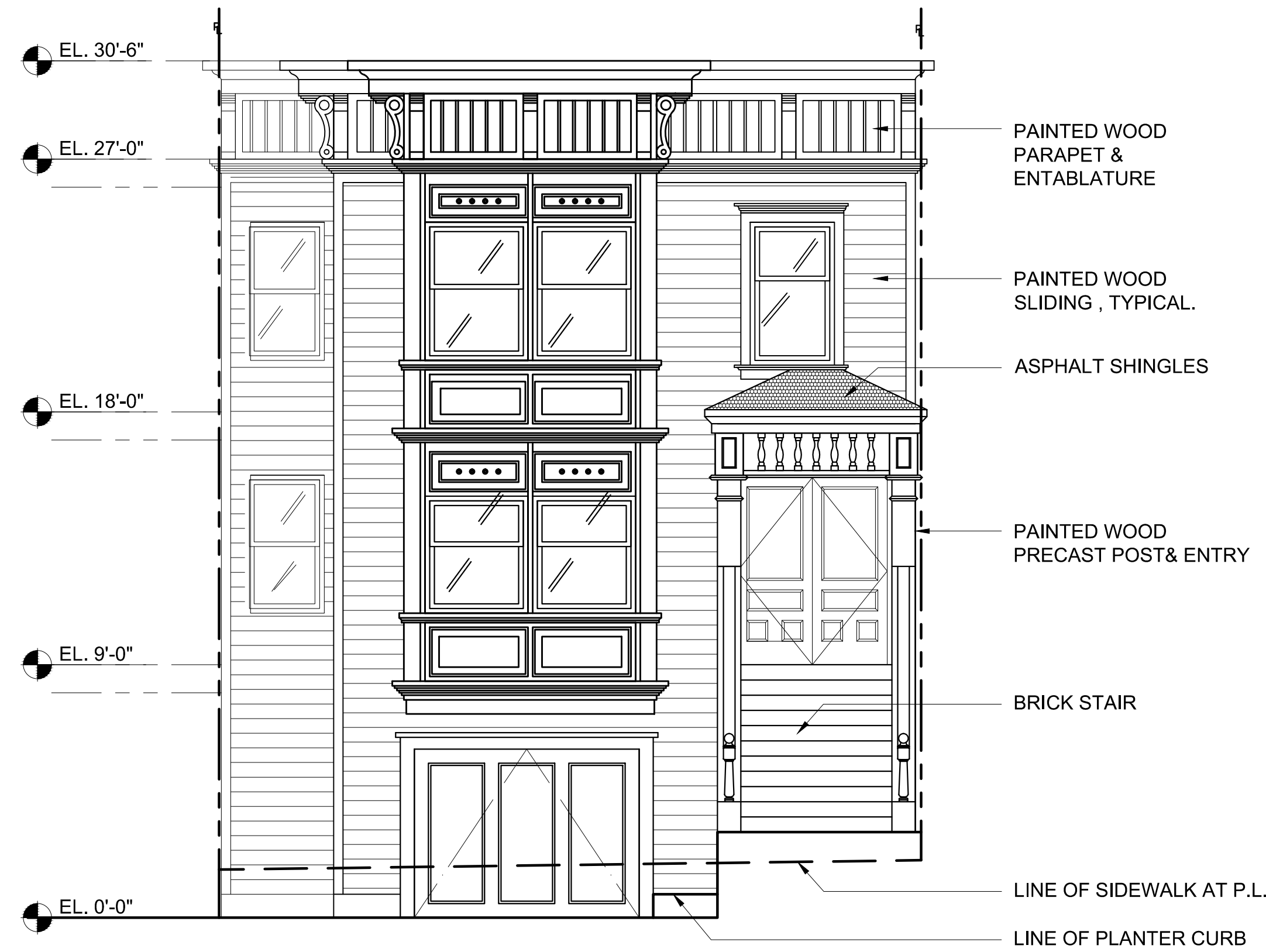
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EXISTING & PROPOSED
SECOND FLOOR PLANS

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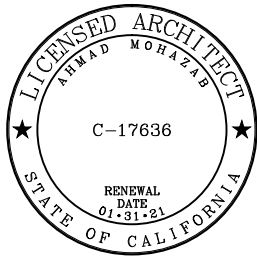
A-2.2



1 EXISTING FRONT ELEVATION
Scale: 1/4" = 1'-0"



2 PROPOSED FRONT ELEVATION - NO CHANGE
Scale: 1/4" = 1'-0"



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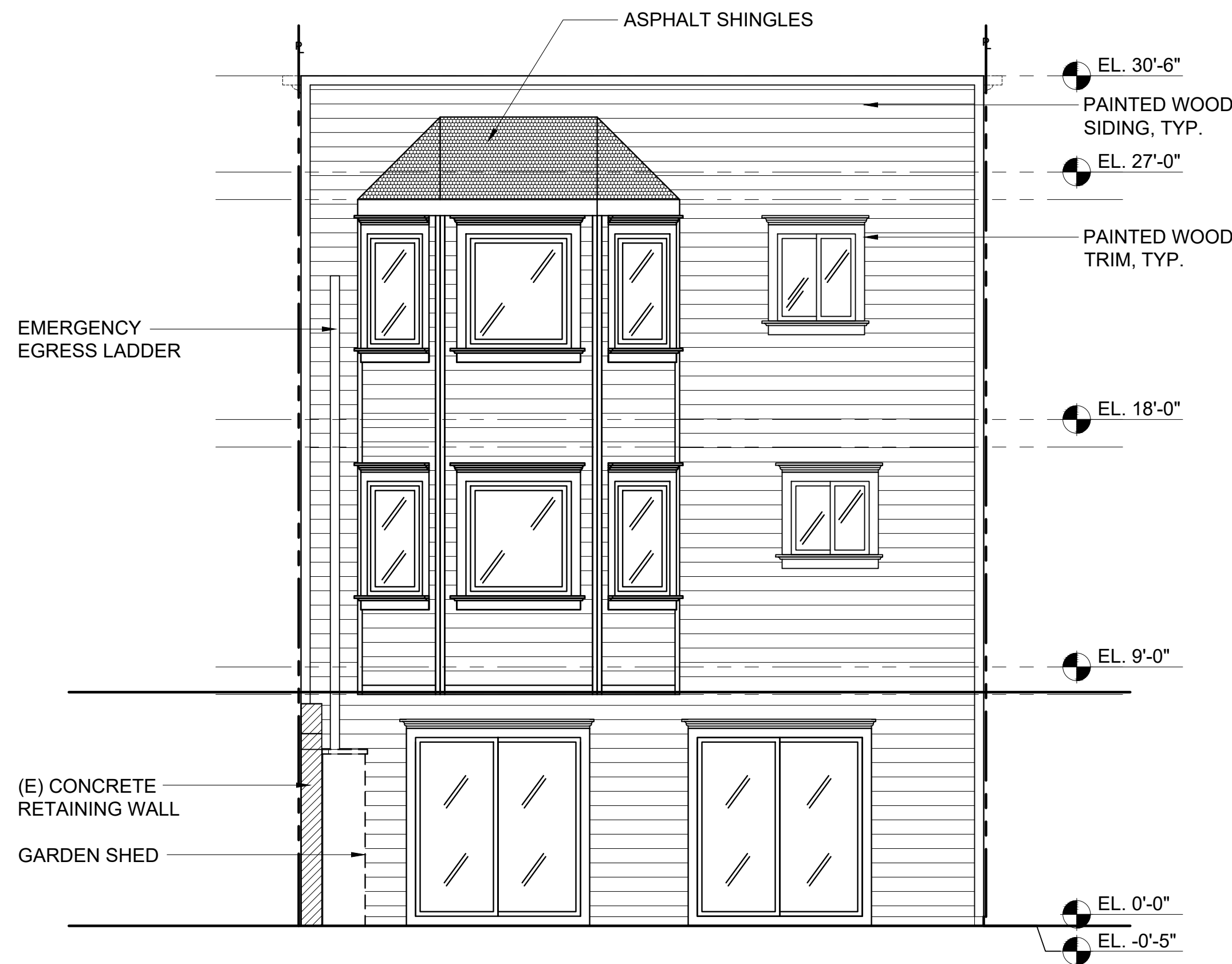
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ISSUE DATE: 06/24/2019
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DRAWING TITLE:
EXISTING & PROPOSED
EXTERIOR ELEVATIONS
FRONT

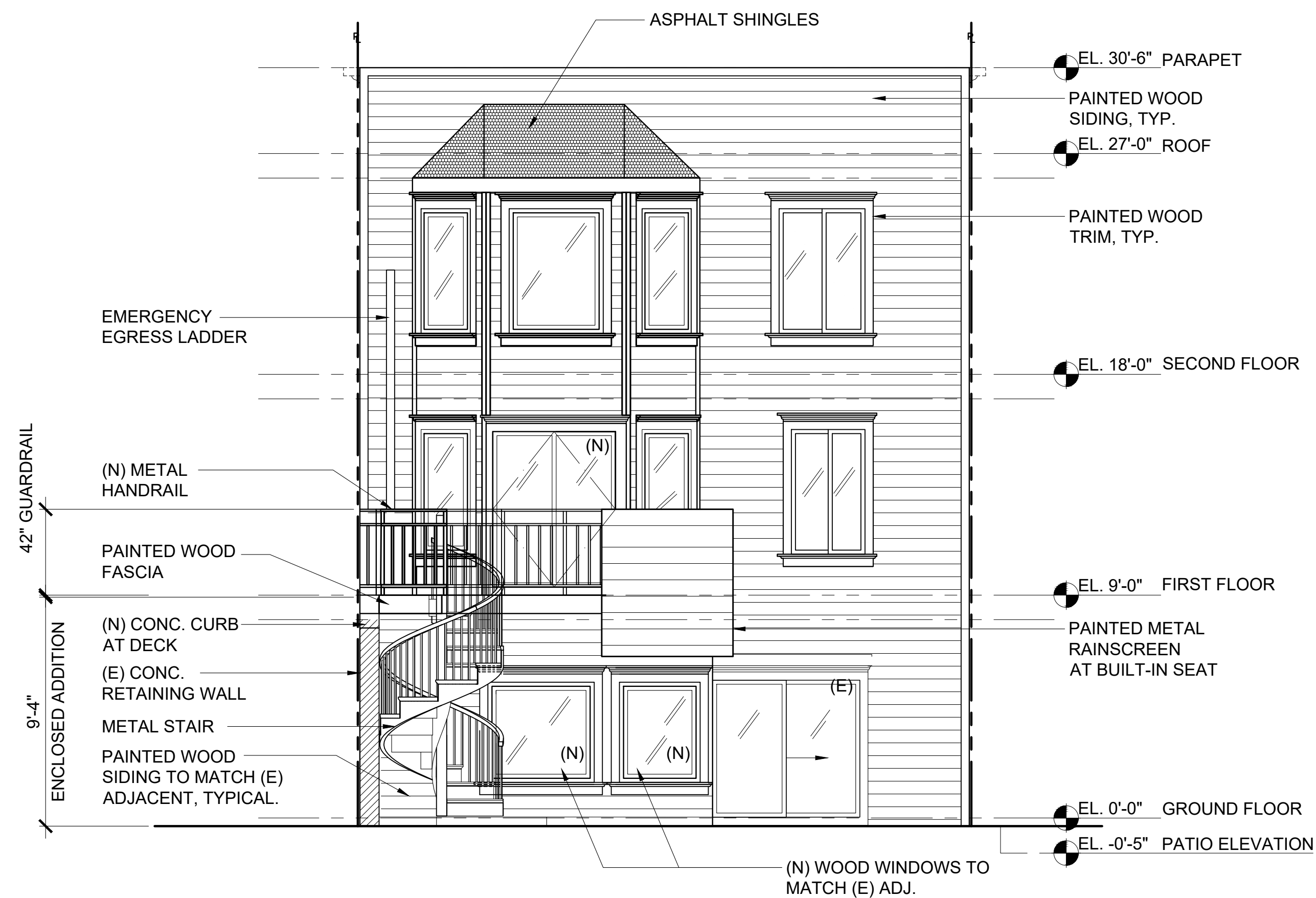
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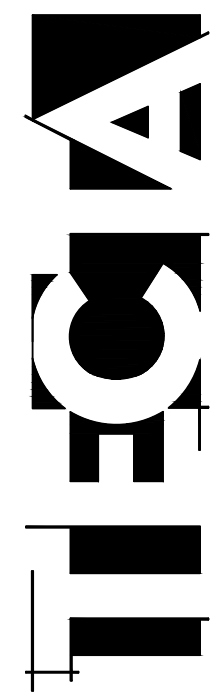
1 EXISTING NORTH ELEVATION

Scale: 1/4" = 1'-0"

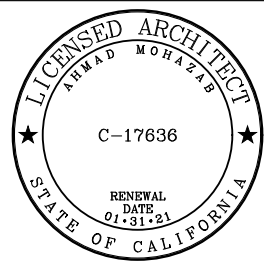


2 PROPOSED NORTH ELEVATION

Scale: 1/4" = 1'-0"



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ARCHITECTURAL PROJECT NO.: 18.070

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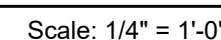
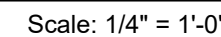
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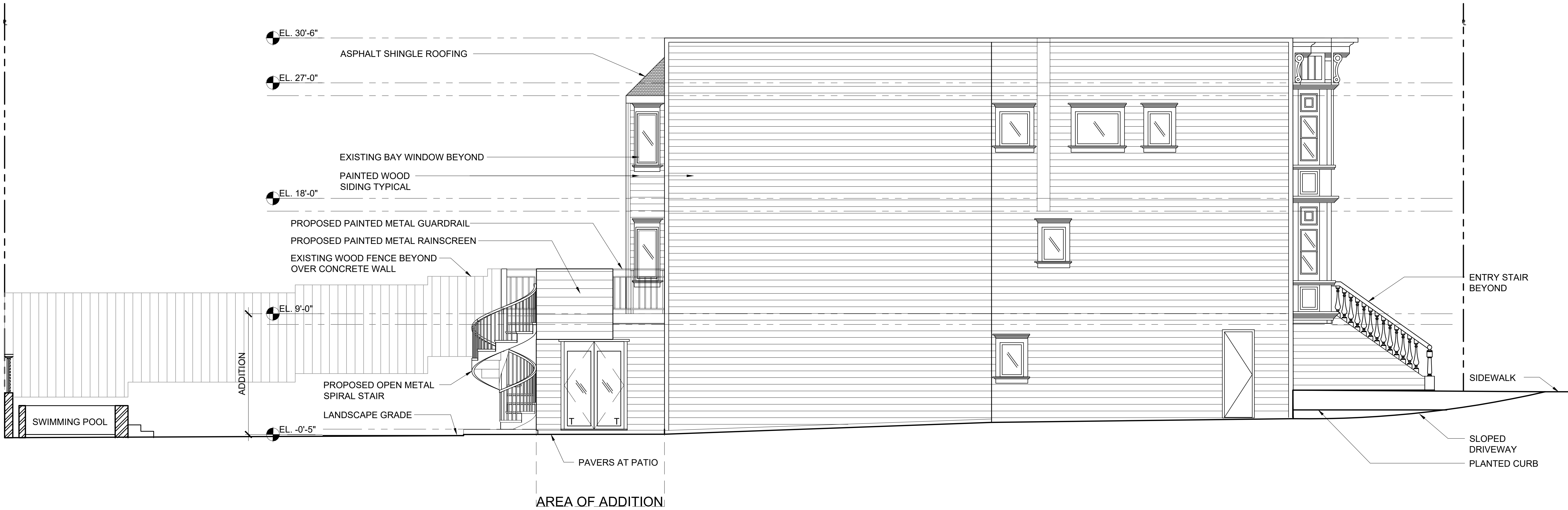
ISSUE DATE: 08/23/2019
SPACE PLAN DATE: 10/30/2019

DRAWING TITLE:
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EXTERIOR ELEVATIONS

DRAWING NUMBER:

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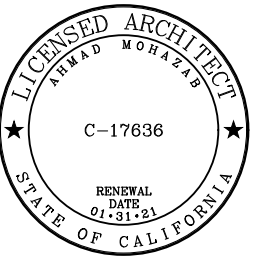
2 PROPOSED WEST SIDE ELEVATION

Scale: 1/4" = 1'-0"



1 EXISTING WEST SIDE ELEVATION

Scale: 1/4" = 1'-0"



ARCHITECTURAL PROJECT NO.: 18.070

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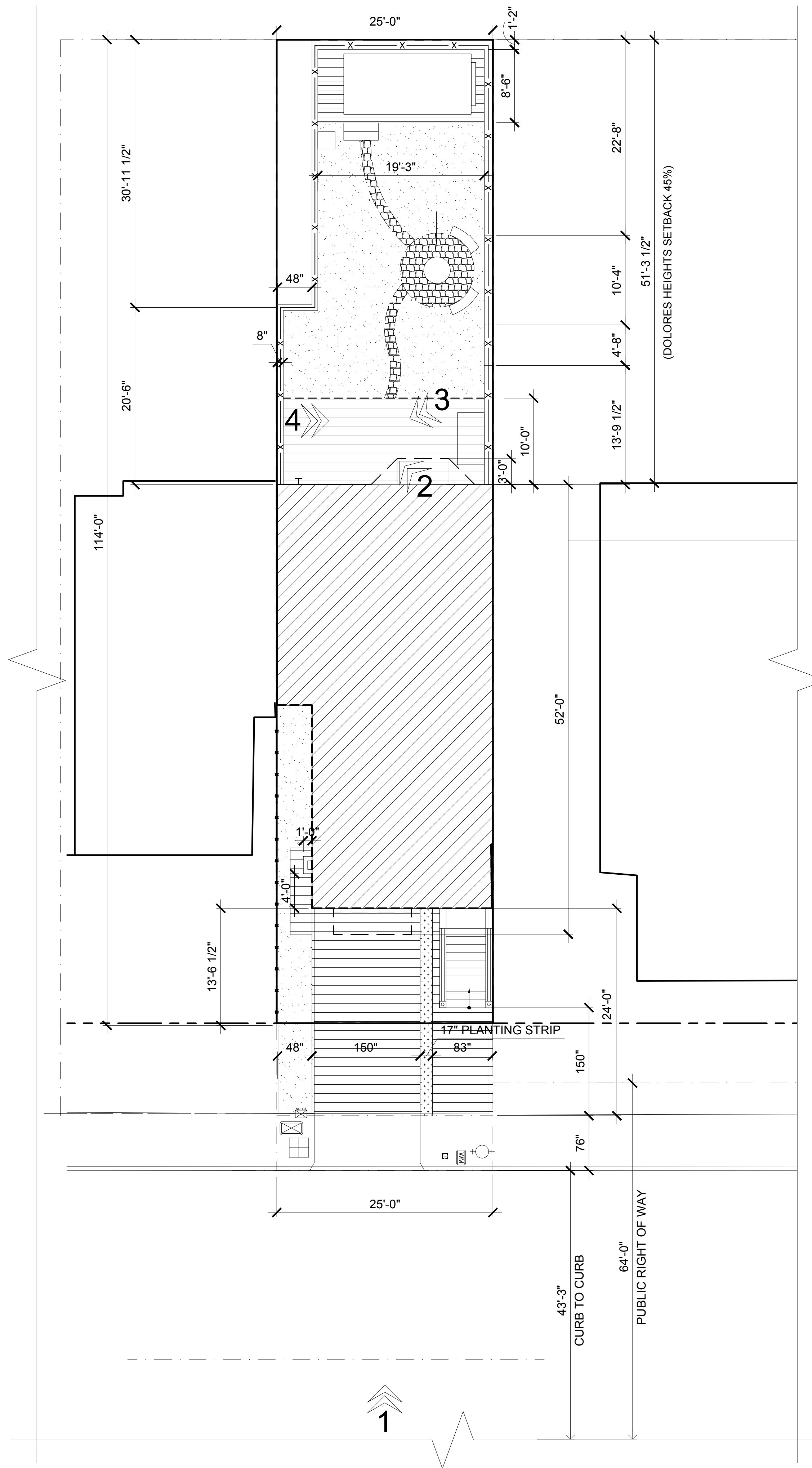
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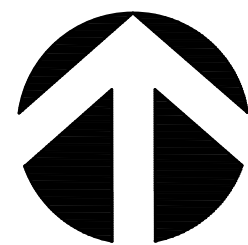
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1 EXISTING PROJECT VIEWS
Scale: 1/8" = 1'-0"



5 VIEW 2
Scale: 1/32" = 1'-0"



3 VIEW 3
Scale: 1/32" = 1'-0"



4 VIEW 4
Scale: 1/32" = 1'-0"



2 VIEW 1
Scale: 1/32" = 1'-0"

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DRAWING TITLE:
PROJECT VIEWS

DRAWING NUMBER:
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