



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**



# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, March 25, 2020**

Time: **Not before 9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance**

Hearing Body: **Zoning Administrator**

PROJECT INFORMATION		APPLICANT INFORMATION	
Project Address:	<b>3420-3422 20th Street</b>	Applicant:	<b>Eliza Hart</b>
Cross Street(s):	<b>S Van Ness Ave</b>	Company:	<b>Hart Wright Architects</b>
Block /Lot No.:	<b>3595 / 089 &amp; 090</b>	Applicant Address:	<b>340 Potrero Avenue</b>
Zoning District(s):	<b>RTO-M /55-X</b>	City, State:	<b>San Francisco, CA 94103</b>
Area Plan:	<b>Mission</b>	Telephone:	<b>(415) 503-7071</b>
Record Number:	<b>2019-014557VAR</b>	E-Mail:	<b>eliza@hartwrightarchitects.com</b>
PROJECT DESCRIPTION			
<p>The proposal is to expand the rear building into the existing wash porch area and to replace the rear exterior stairs with a new elevator that would be located within the new rear additions. The project also includes interior and front façade alterations by widening the garage door and the second-floor bay to match the exiting third-floor bay and replacing the existing foundation.</p> <p><b>PLANNING CODE SECTION 134</b> requires the subject property to maintain a rear yard of approximately 26 feet. The proposed rear addition will encroach approximately 19 feet 6 inches into the required rear yard and result in a rear yard of approximately 6 feet 6 inches. Therefore, the project requires a rear yard variance.</p>			
ADDITIONAL INFORMATION			
<p><b>ARCHITECTURAL PLANS:</b> To view the plans and related documents for the proposed project, visit <a href="https://sf-planning.org/notices">sf-planning.org/notices</a> and search the Project Address listed above. The plans will also be available one week prior to the hearing through the hearing agenda at: <a href="https://sf-planning.org/hearings">sf-planning.org/hearings</a> or by request at the Planning Department office located at 1650 Mission Street, 4<sup>th</sup> Floor.</p>			
<p><b>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:</b></p> <p>Planner: <b>Xinyu Liang</b> Telephone: <b>(415)575-9182</b> E-Mail: <b>Xinyu.Liang@sfgov.org</b></p>			

# GENERAL INFORMATION ABOUT PROCEDURES

## HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident near the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to comment on the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice to the Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

## BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **On January 15, 2020, the Department issued the required Section 311 notification for this project, which expires on February 14, 2020.**

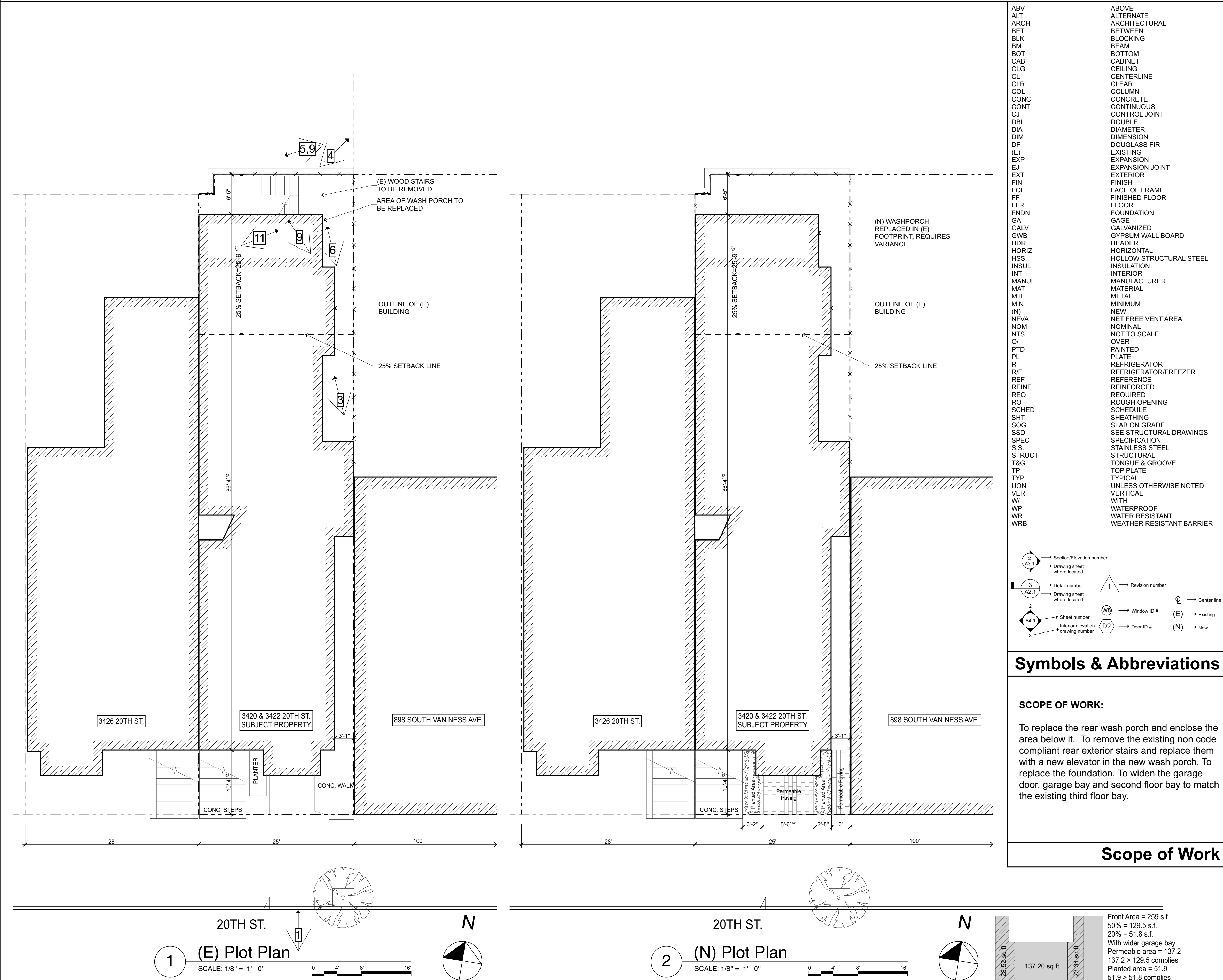
## APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department or Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

# Franklin & Heyman Residence



**Owner**  
Jennifer and Nick Heyman  
3420 20th St.  
San Francisco, CA 94110  
Ruth and Matt Franklin  
3422 20th St.  
San Francisco, CA 94110  
v: 415-902-1434  
email: jennifert@gmail.com

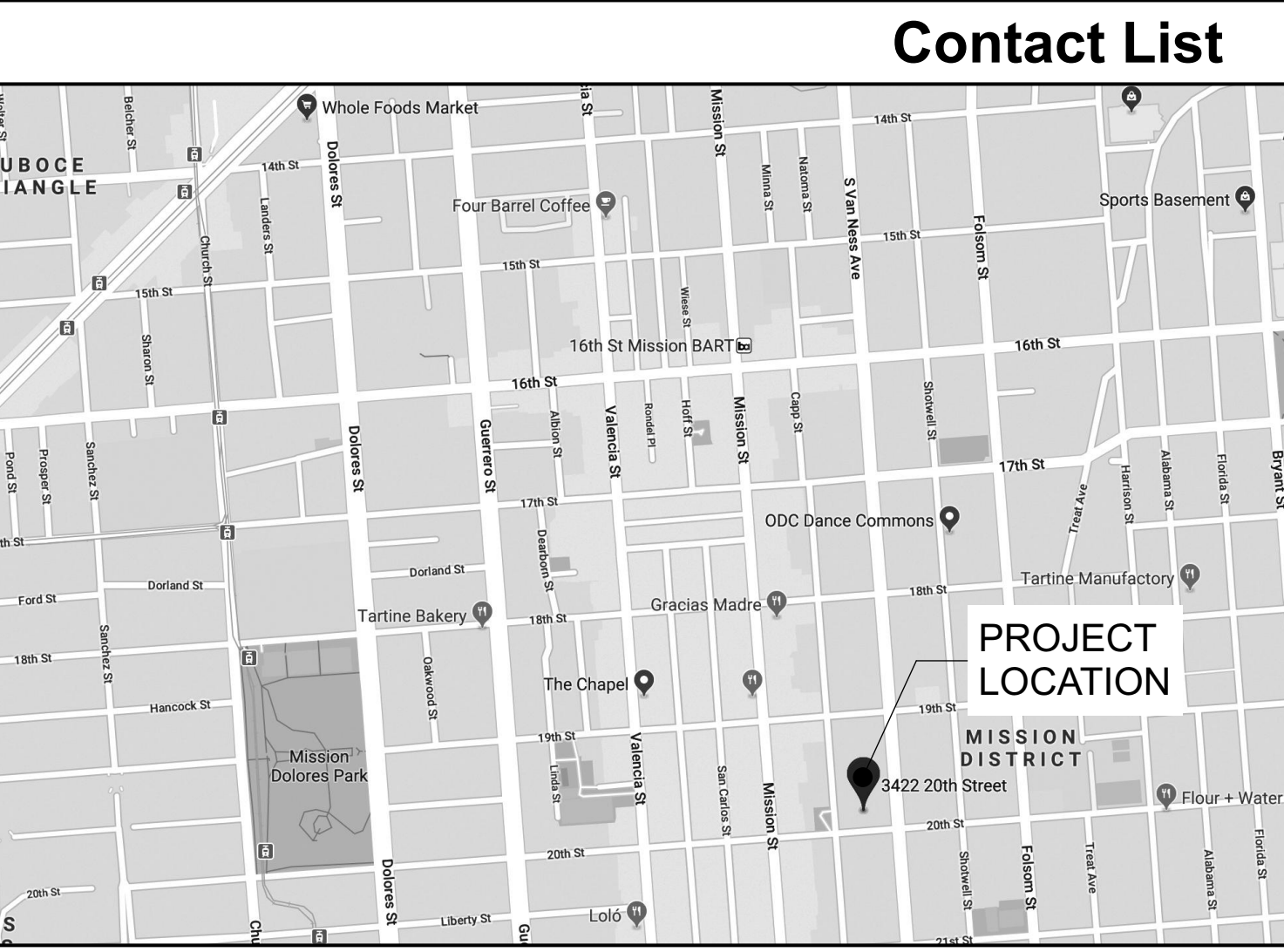
**Mechanical Engineer/Title 24 Energy**  
Easy Title 24  
Steve Means  
654 Oakland Ave.  
Oakland, CA 94611  
v: 415-259-4068  
email: skmeans@easytitle24.com

**Architect**  
Eliza Hart  
Hart Wright Architects  
340 Potrero Ave.  
San Francisco, CA 94103  
v: 415-503-7071  
email: eliza@hartwrightarchitects.com

**Structural Engineer**  
Hom Pisano Engineering  
Mike Hom  
1046 32nd Avenue  
San Francisco, CA 94122  
v: 415-682-4978  
email: hom@hompisano.com

**Agency**  
San Francisco Dep't of Building Inspection  
1660 Mission St.  
San Francisco, CA 94103  
v: 415-558-6088

**General Contractor**  
TMC General Contractors  
Bevin Dieters  
1400 Irving St.  
San Francisco, CA 94122  
v: 415-994-9250  
email: bevin@tmcconstruction.com



Architectural Sheets		Structural Sheets	
T1	Title/Project Data/(E) & (N) Plot Plan	S1.0	General Structural Notes
T2	Photographs	S2.0	Seismic & Hazard Forms
T3	Title 24	S2.1	Garage Foundation & 2nd Level
C7	Cal Green	S2.2	3rd Flr. Framing & Roof Framing
A1.1	(E) Garage & 2nd Floor Plans	S3.1	Typical Concrete Details
A1.2	(E) Third Floor & Roof Plans	S3.2	Concrete Details
A1.3	(N) Garage & 2nd Floor Plans	S4.1	Typical Wood Details
A1.4	(N) Third Floor & Roof Plans	S4.2	Typical Wood Details
A2.0	(E) Exterior Elevations	S4.3	Wood Details
A2.1	(E) Exterior Elevations	S5.1	Typical Steel Details
A2.2	(N) Exterior Elevations		
A2.3	(N) Exterior Elevations		
A3.0	(E) & (N) Building Sections		
A3.1	(E) & (N) Building Sections		
E1.0	Garage Lighting Plan		

Sheet Index			
<b>Applicable Codes &amp; Regulations:</b> California Building Code 2016 Edition California Mechanical Code 2016 Edition California Plumbing Code 2016 Edition California Electric Code 2016 Edition California Green Building Code (CALGreen) 2016 California Residential Code 2016 Edition (CRC) CA Energy Efficiency Standards Code 2016 Edition (CEES)			
<b>A.P.N.: 3595-089 &amp; 090</b>		<b>STORIES:</b>	3 <b>UNITS:</b> 2 <b>ZONING:</b> RTO-M
<b>HEIGHT &amp; BULK DISTRICT:</b> 55-X		<b>PRESERVATION STATUS:</b> Category C	
<b>BEDROOMS:</b> 2		<b>JURISDICTION:</b> San Francisco	<b>OCCUPANCY:</b> R3
<b>CONSTRUCTION TYPE:</b> VB		<b>SPRINKLERED:</b> N	

Project data			
<b>Area Table</b>			
Level/Story	Existing	(N) Area Added	Proposed Total
Garage	1,691 s.f.	174 s.f.	1,865 s.f.
Second Floor	1,834.5 s.f.	11 s.f.	1,845.5 sf
Third Floor	1,885 s.f.	0	1,885 s.f.
Total	5,412 s.f.	185 s.f.	5,595.5 s.f.
<b>Total Soil Disturbance:</b> 46.8 cu.yd.			
<b>Maximum depth of excavation:</b> 3'-0"			
<b>New area under wash porch =</b> 8'-6" by 19'-9"			

## Area & Quantity Calculations

**HART WRIGHT ARCHITECTS**

**Licensed Architect**  
Eliza W. Hart  
No. C 90337  
Ren. 8/31/21  
State of California

**Franklin/Heyman Residences**  
3420 & 3422 20th Street  
San Francisco, CA 94110  
A.P.N.: 3595-089 & 090

**DATE:** 07/19/19  
**JOB #:**  
**DRAWN BY:**  
**APPROVED:**  
**REVISIONS:**

**Planning Code Review**  
#1 Response 12/18/19

**Permit**

**SCALE:**

**T1**





7. Wash porch interior



4. View from stair looking Northeast



1. View of subject building from 20th St.



10. Looking Northwest from underneath subject wash porch



8. Looking Southeast from underneath subject wash porch



5. Looking West from exterior stair



2. View of subject building from South East corner of intersection of South Van Ness & 20th St.



11. Looking Northeast from underneath subject wash porch



9. Wash porch from stair



6. (E) Stairs to be removed



3. Looking North up side yard

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HART WRIGHTS  
340 PETER ST. SAN FRANCISCO CA 94103 T 415.533.1071

LICENSED ARCHITECT  
EDNA W. HART  
NO. C 90337  
REN. 8/31/21  
STATE OF CALIFORNIA

Franklin/Heyman Residences  
3420 & 3422 20th Street  
San Francisco, CA 94110  
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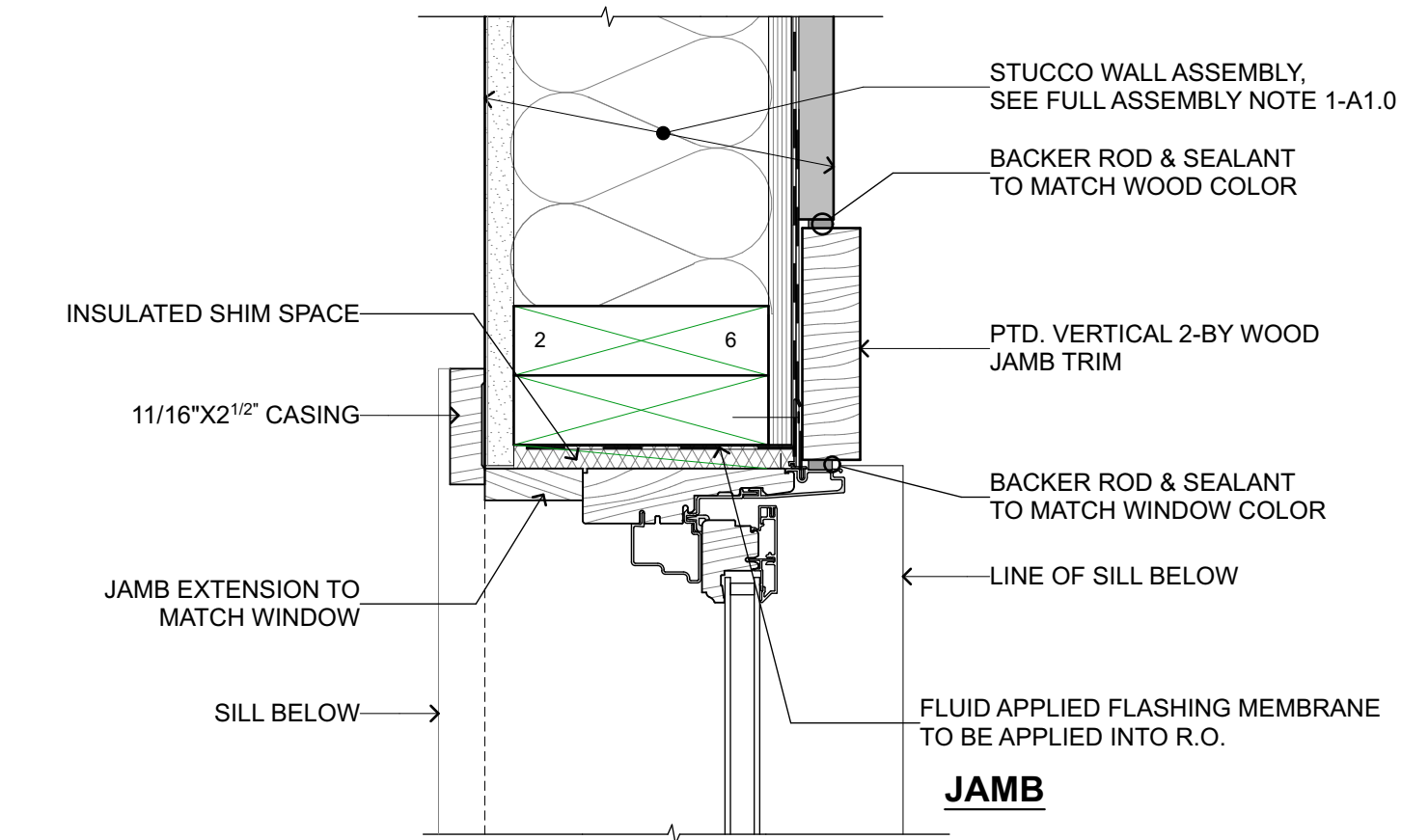
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WINDOW SCHEDULE <span>(W1)</span>											
ID.	LOCATION	DESCRIPTION	UNIT SIZE		R.O.			GLAZING	TYPE	REMARKS	
			W.	HGT.	W.	H.	HD.				
W1	GARAGE	DOUBLE HUNG	3'-0"	5'-0"	-	-	8'-8"				
W2	STORAGE	DOUBLE HUNG	3'-0"	5'-0"	-	-	8'-8"	Temp.			
W3	STORAGE	DOUBLE HUNG	3'-0"	5'-0"	-	-	8'-8"				
W4	STORAGE	DOUBLE HUNG	3'-0"	5'-0"	-	-	8'-8"				
W20	OFF./FRONT	DOUBLE HUNG	2'-8"	6'-8"	-	-	9'-3"				
W21	OFF./FRONT	FIXED	4'-1"	6'-8"	-	-	9'-3"				
W22	OFF./FRONT	DOUBLE HUNG	2'-6"	6'-8"	-	-	9'-3"			COMBO UNIT W/ 2 MULLED DH UNITS	
W23	OFF./FRONT	DOUBLE HUNG	2'-8"	6'-8"	-	-	9'-3"				
W24	BEDROOM 2	DOUBLE HUNG	3'-3"	6'-8"	-	-	9'-3"			EGRESS	
W25	BEDROOM 2	DOUBLE HUNG	3'-3"	6'-8"	-	-	9'-3"			EGRESS	
W26	BEDROOM 1	DOUBLE HUNG	2'-4"	7'-6"	-	-	9'-3"				
W27	BEDROOM 1	DOUBLE HUNG	3'-6"	7'-6"	-	-	9'-3"			EGRESS	
W28	LIVING	DOUBLE HUNG	3'-0"	7'-4"	-	-	9'-3"				
W29	LIVING	DOUBLE HUNG	3'-0"	7'-4"	-	-	9'-3"				
W30	KITCHEN 1	DOUBLE HUNG	6'-6"	6'-0"	-	-	9'-3"			COMBO UNIT 2 MULLED DH UNITS	
W32	KITCHEN 1	DOUBLE HUNG	2'-8"	6'-0"	-	-	9'-3"				
W33	KITCHEN 1	DOUBLE HUNG	2'-8"	6'-0"	-	-	9'-3"				
W34	KITCHEN 1	DOUBLE HUNG	2'-8"	6'-0"	-	-	9'-3"				
W35	KITCHEN 1	DOUBLE HUNG	2'-8"	6'-0"	-	-	9'-3"				
W35	KITCHEN 1	DOUBLE HUNG	2'-8"	6'-0"	-	-	9'-3"				
W40	KITCHEN 2	DOUBLE HUNG	2'-8"	6'-0"	-	-	9'-3"				
W41	KITCHEN 2	DOUBLE HUNG	2'-8"	6'-0"	-	-	9'-3"				
W42	KITCHEN 2	DOUBLE HUNG	2'-8"	6'-0"	-	-	9'-3"				
W43	KITCHEN 2	DOUBLE HUNG	2'-8"	6'-0"	-	-	9'-3"				
W44	KITCHEN 2	DOUBLE HUNG	2'-8"	6'-0"	-	-	9'-3"				

Notes: 1. Window W.P. & flashing instructions see 1-4-A1.0.  
2. All units by Marvin, wood with aluminum cladding. Color: T.B.D. All glazing to be dual insulated.  
3. Head height listed is taken from finished floor.  
4. All windows labelled "EGRESS" to comply w/ 2016 CRC section R310.2

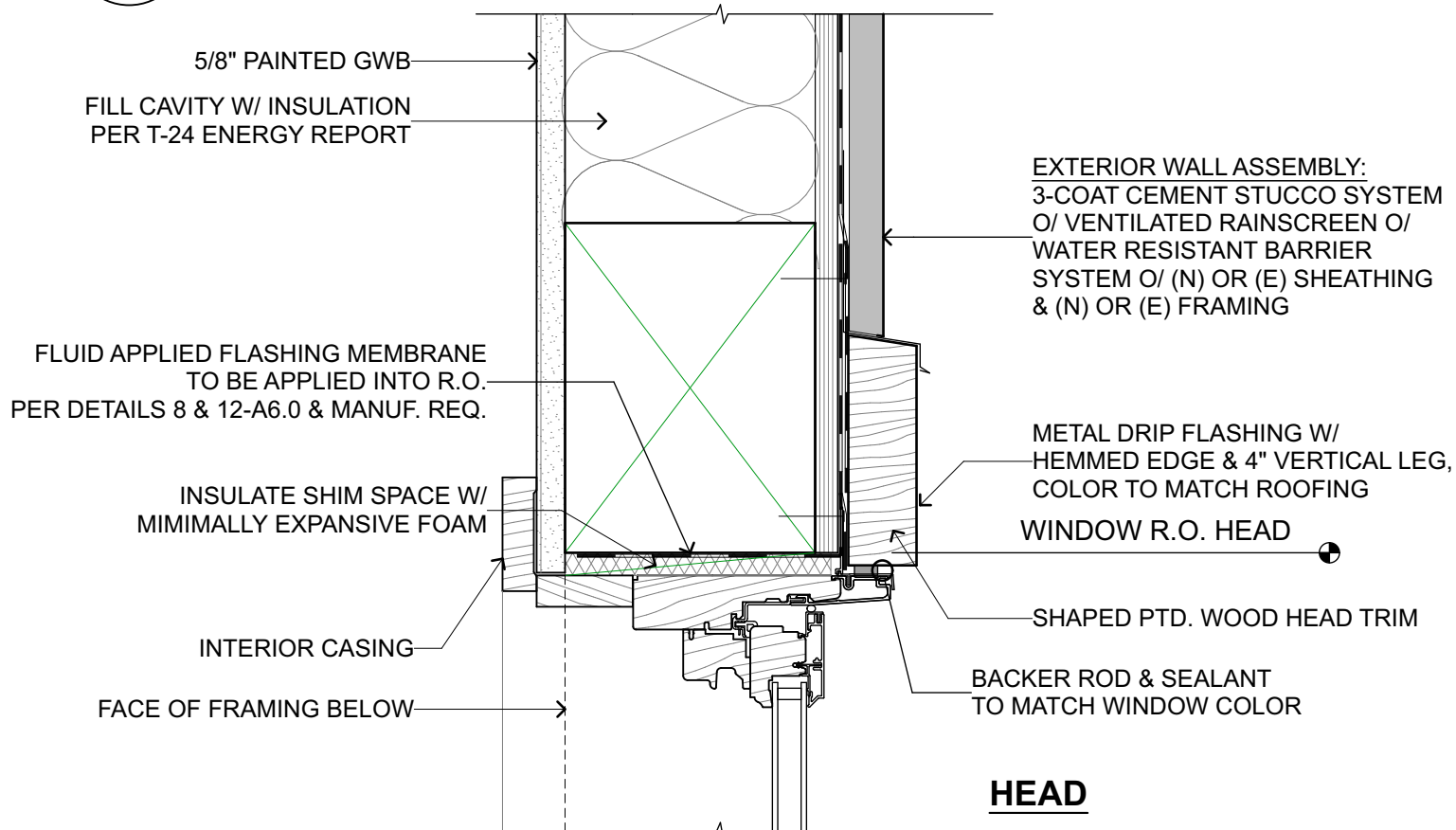
DOOR SCHEDULE (D1)									
ID.	LOCATION	DESCRIPTION	UNIT SIZE		R.O.		R. HEAD	GLAZING	REMARKS
			W.	H.	W.	H.			
EXTERIOR DOORS									
D1	3420 ENTRY	CUSTOM WOOD IN-SWING DOOR W/ TRANSOM	2'-6 1/2"	7'-8"	3'-6 1/2"	6'-8"	6'-9"		
D2	3422 ENTRY	CUSTOM WOOD IN-SWING DOOR W/ TRANSOM	2'-6 1/2"	7'-8"	-	-	7'-0"		
D3	GARAGE	PAINTED WOOD SECTIONAL	8'-10"	7'-0"	-	-	7'-0"		MAX OPENING WIDTH ON STREET FACE = 8'-4"

Notes: 1. Verify dimensions in field. Rough openings to be coordinated with door manufacturer by Contractor.



2 Window @ Stucco Wall-Jamb

SCALE: 3" = 1' - 0"



1 Window @ Stucco Wall-Head

SCALE: 3" = 1' - 0"



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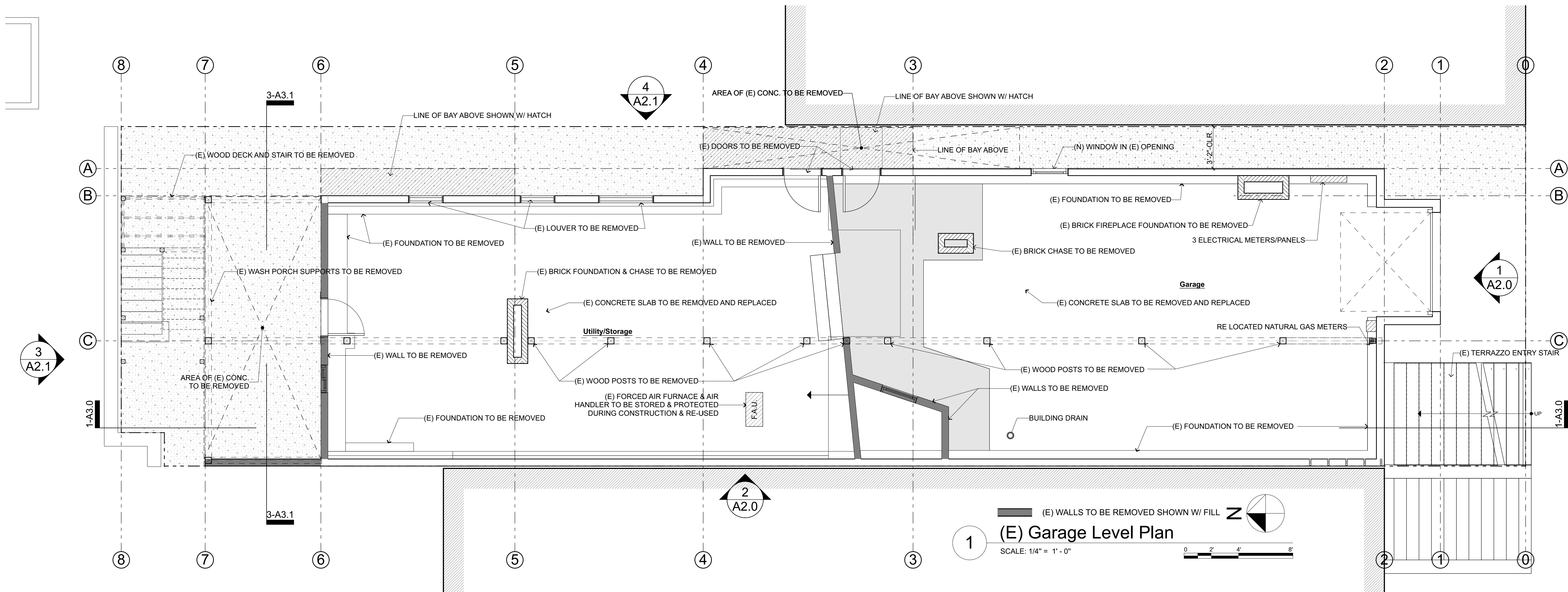
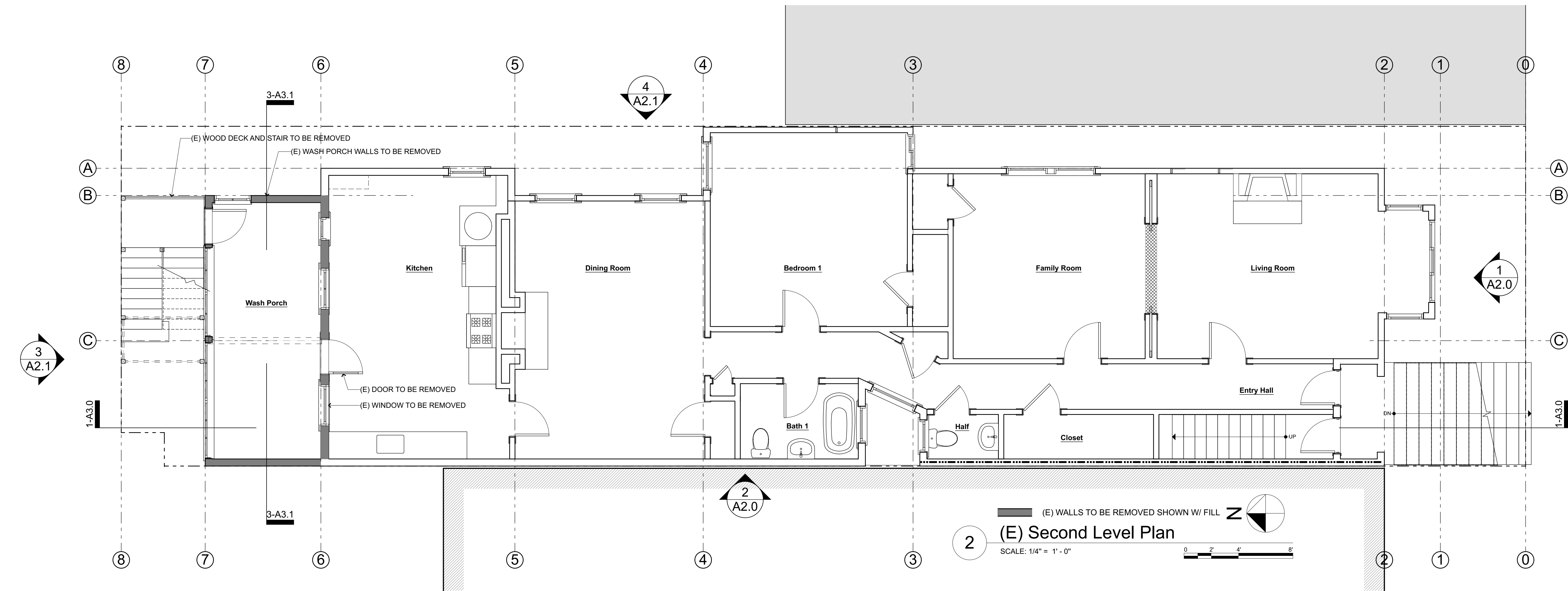
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Finish Schedule/Window Types

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(E) Garage & Second Floor Plans

HART WRIGHT  
ARCHITECTS  
340 PETERSEN AVE. SAN FRANCISCO CA 94110  
T 415.593.1071

LICENSED ARCHITECT  
EDIZA W. HART  
NO. C 90337  
EXP. 8/31/21  
STATE OF CALIFORNIA

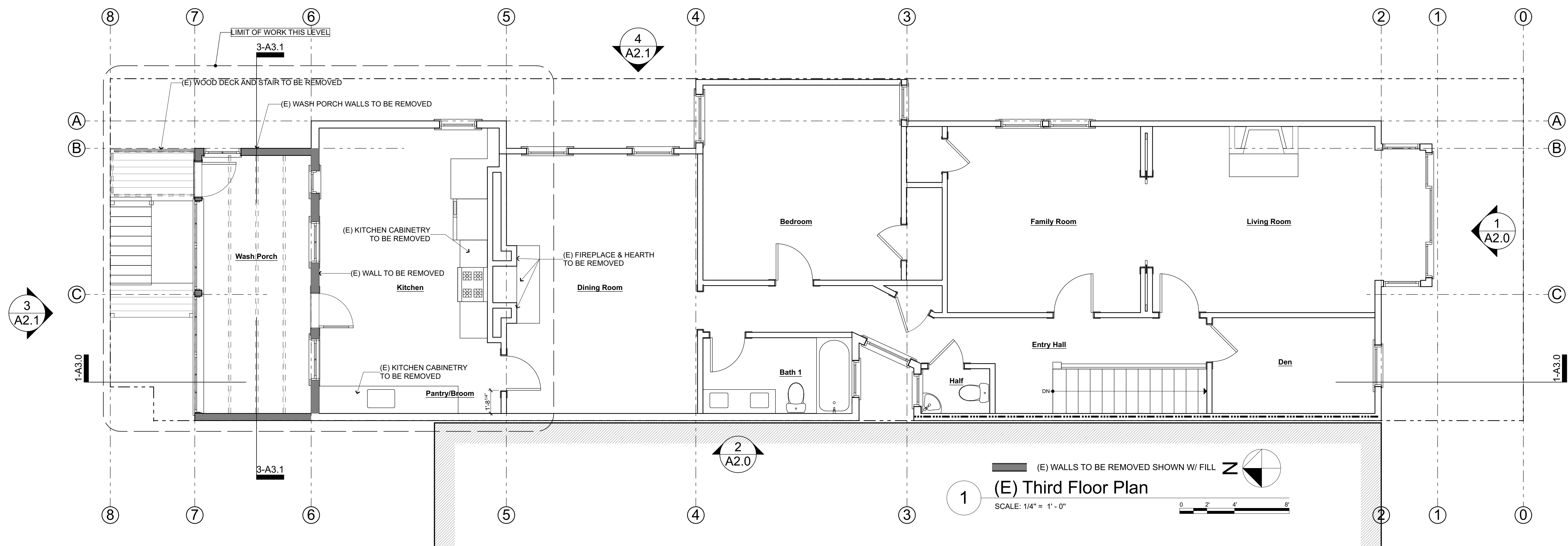
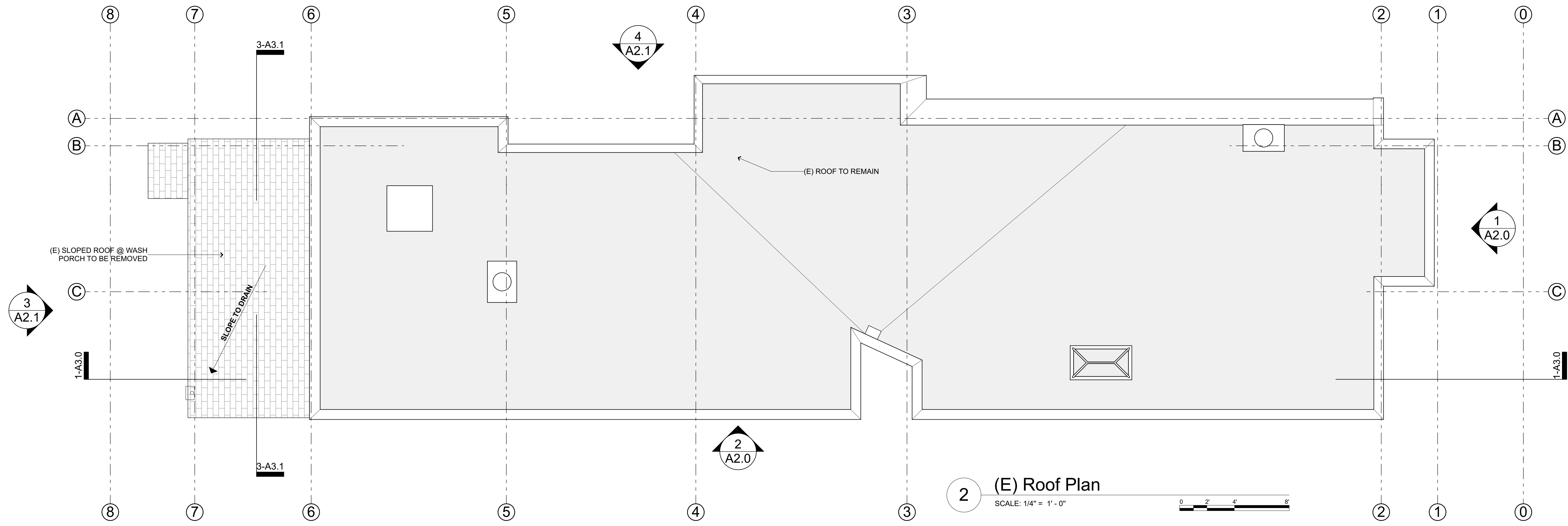
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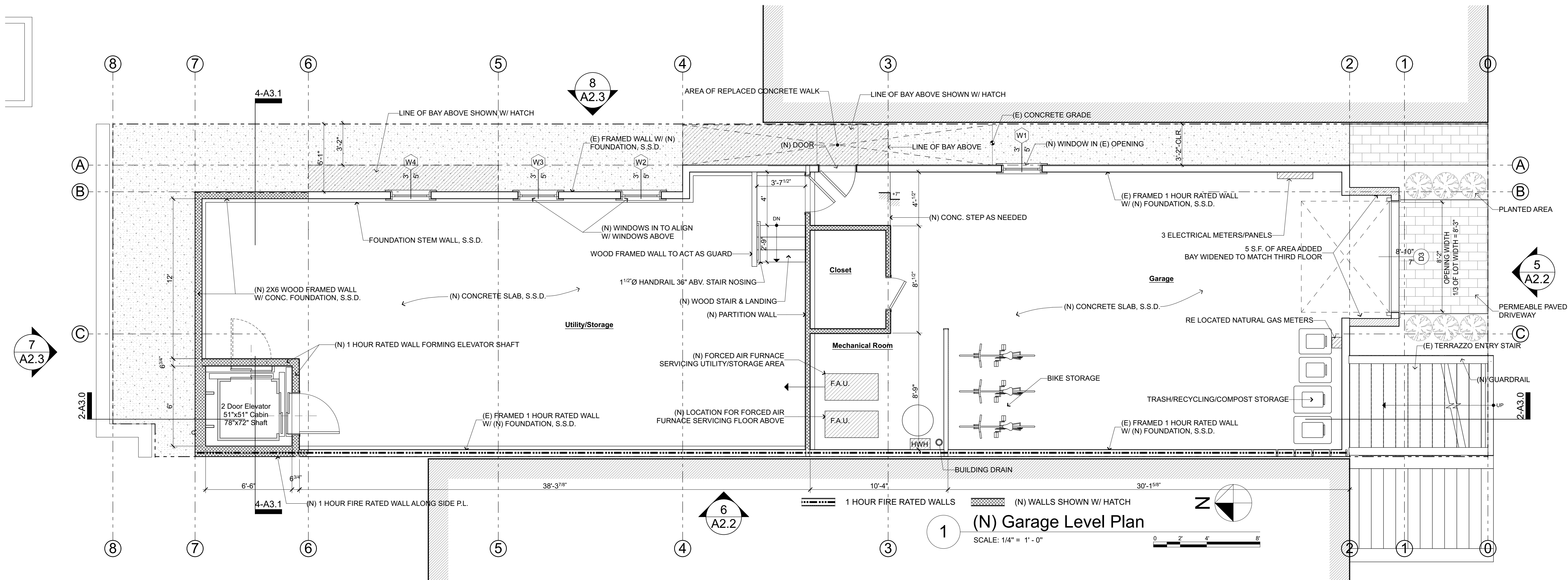
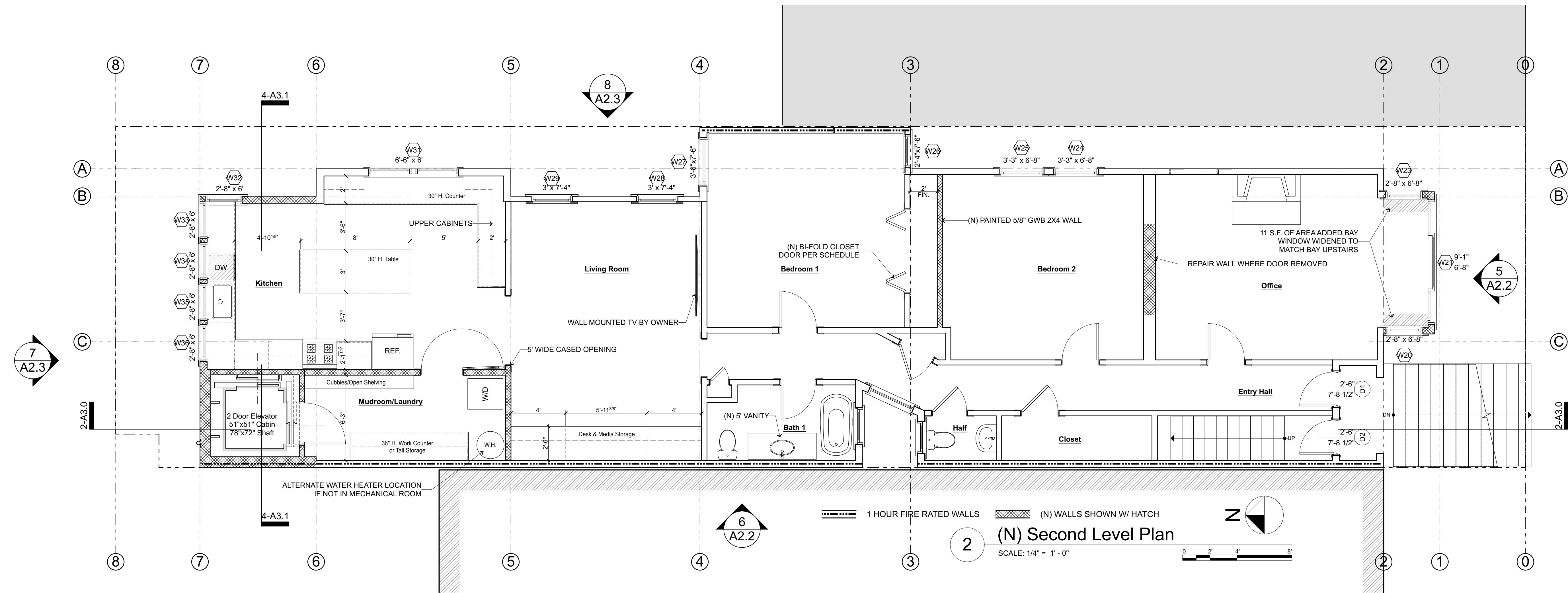
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(N) Garage & Second Floor Plan

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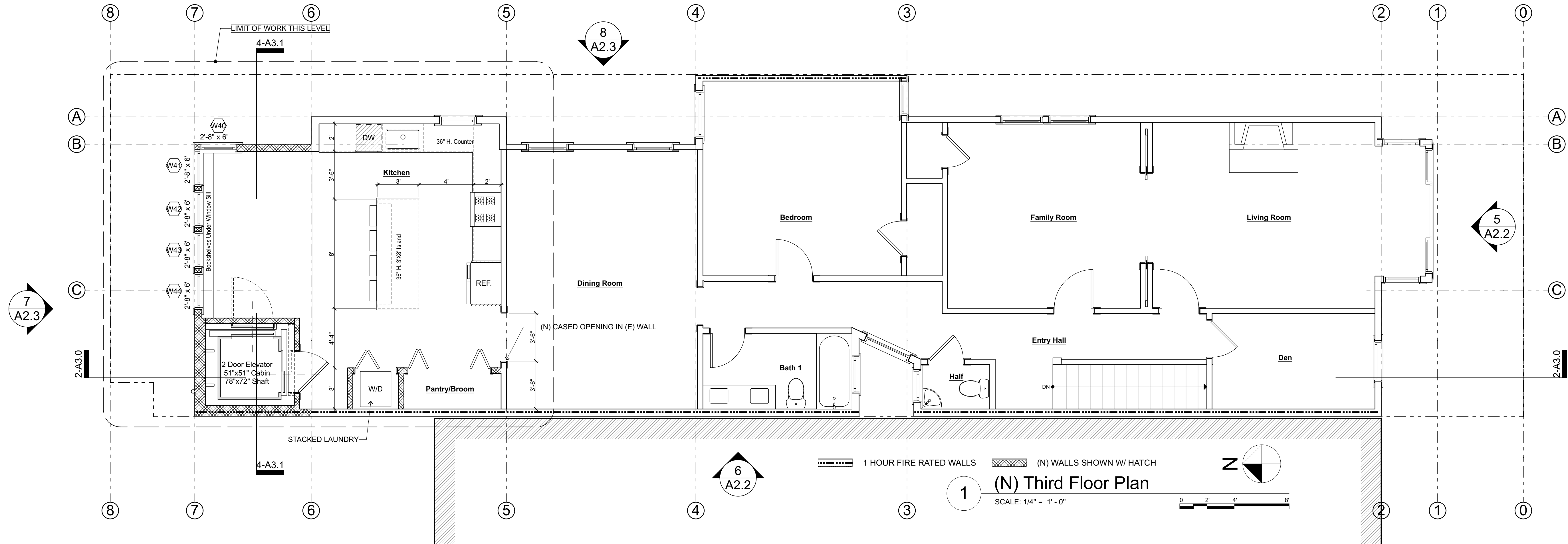
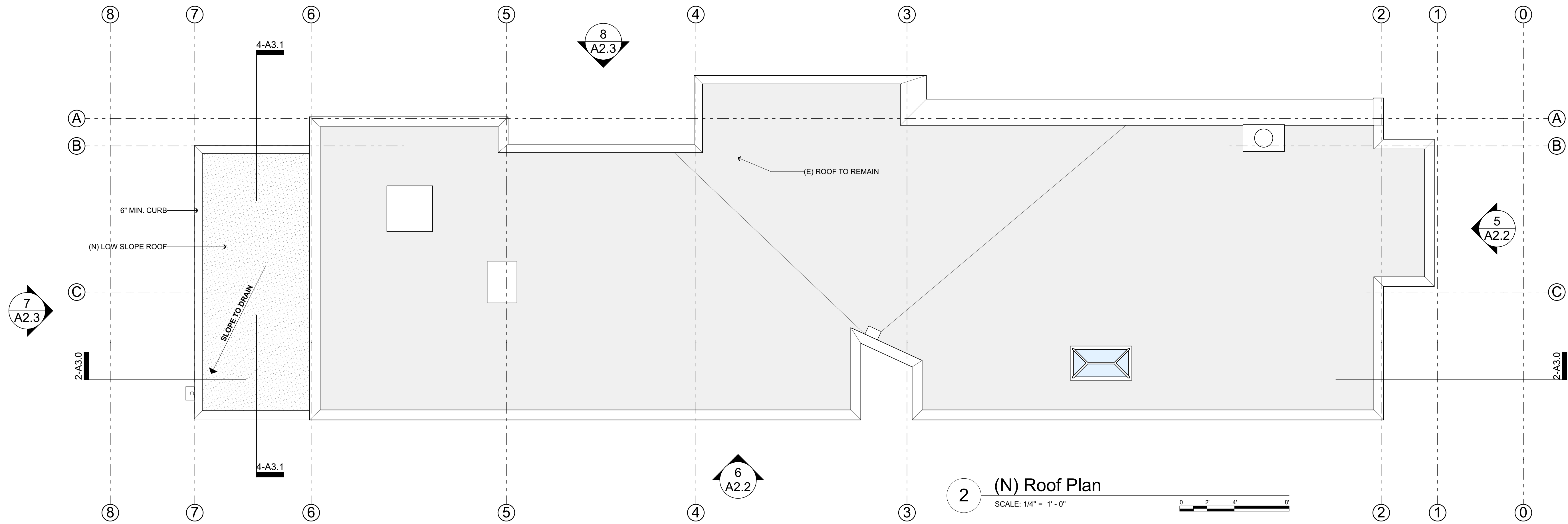
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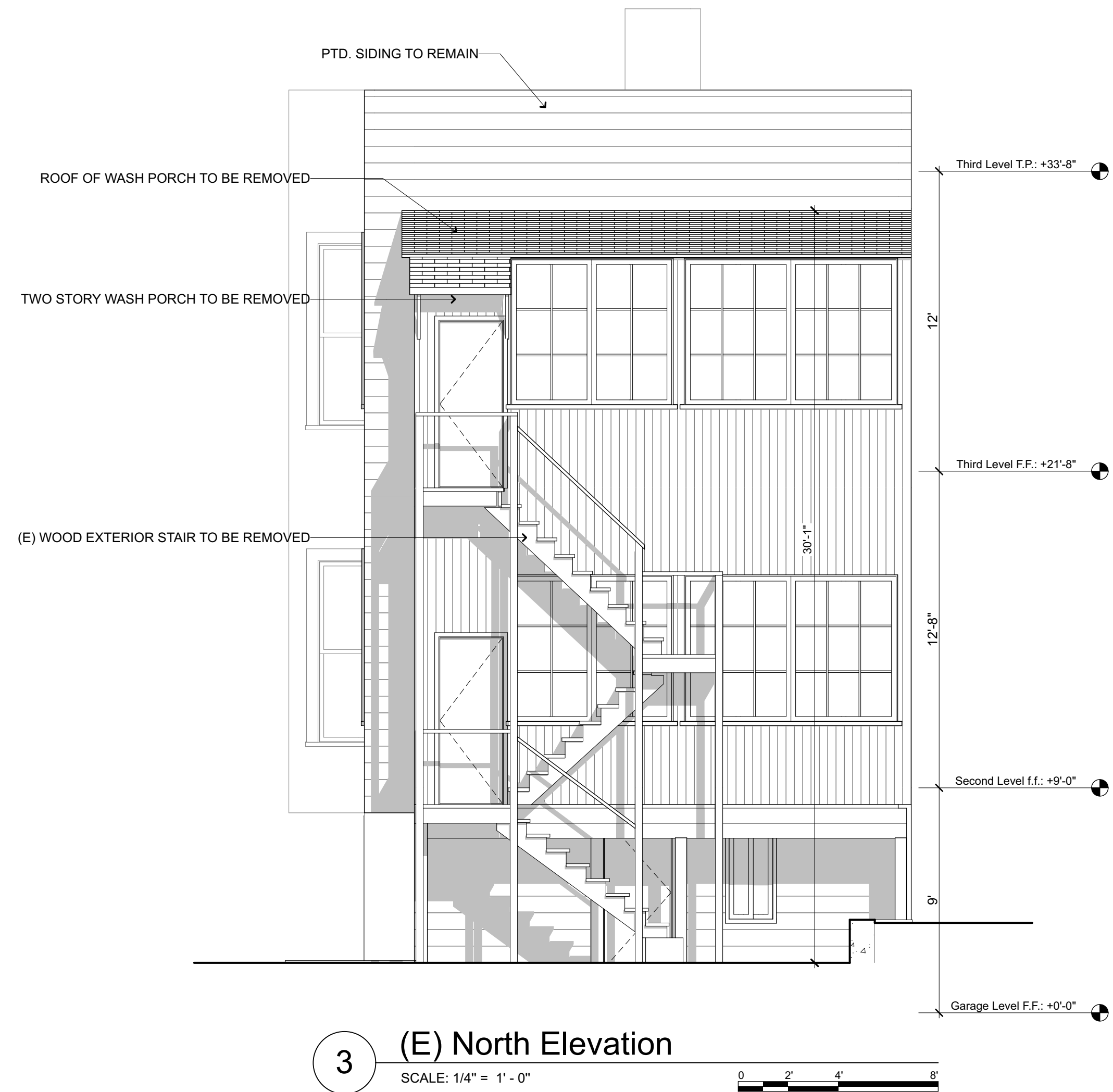
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(E) Exterior Elevations

HART WRIGHT  
ARCHITECTS  
340 PETERSEN AVE. SAN FRANCISCO CA 94103 T 415.533.7071

LICENSED ARCHITECT  
ELIZA W. HART  
NO. C 90337  
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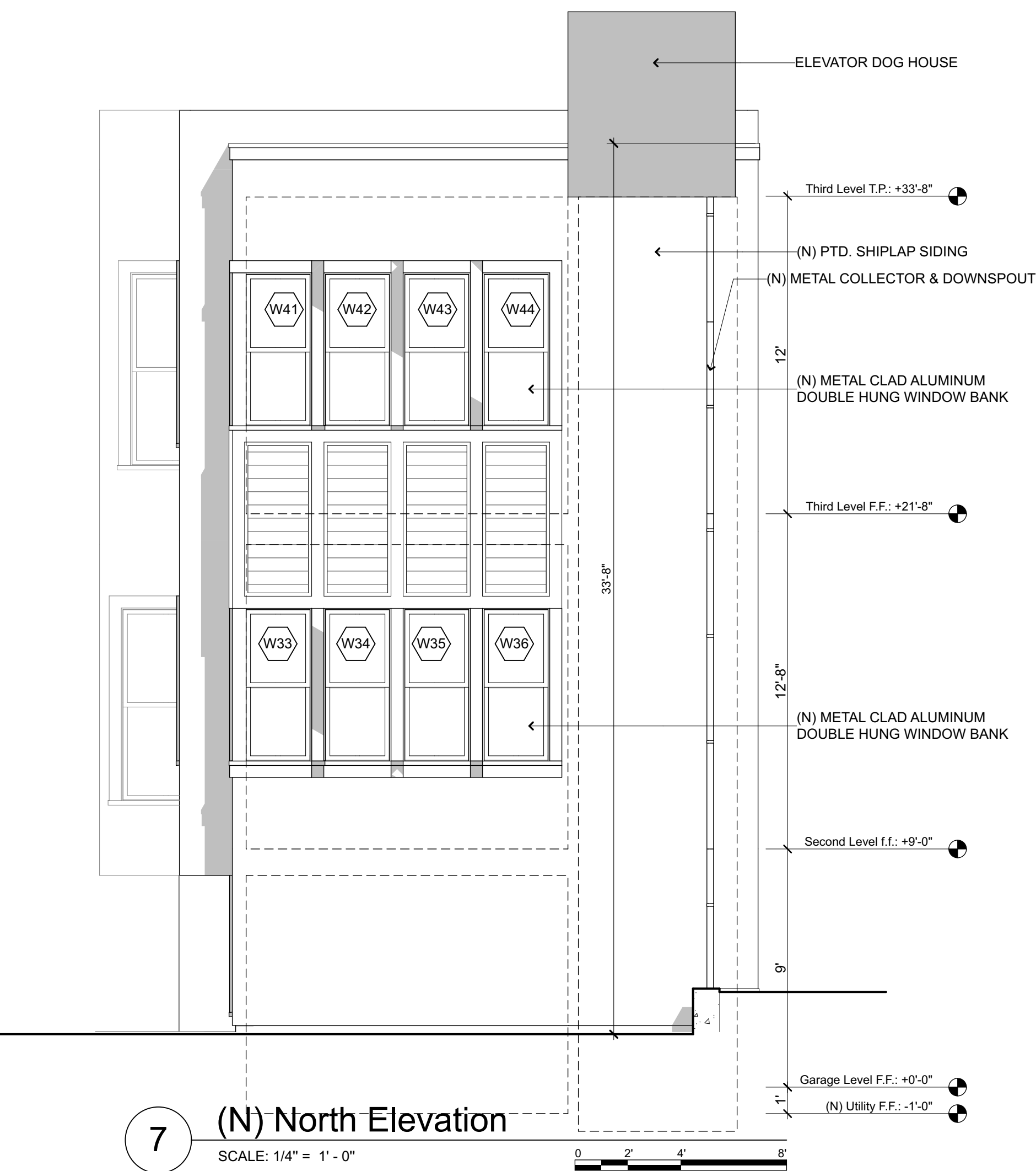
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### A3.1

## Existing & New Building Sections

