



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

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Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

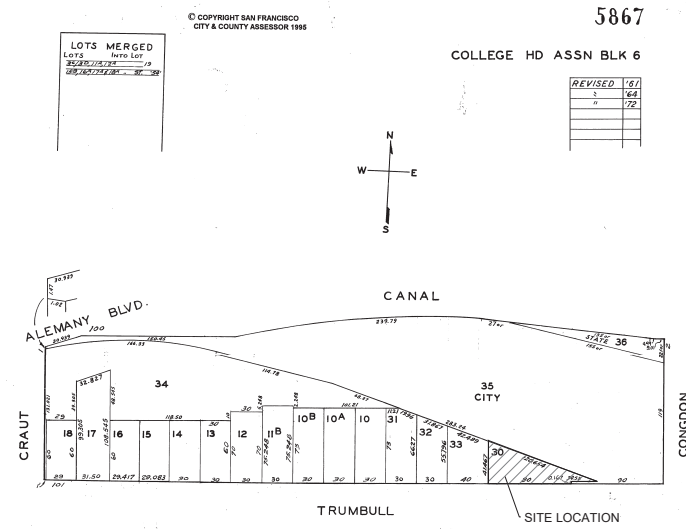
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ASSESSOR'S PARCEL MAP



5867

COLLEGE HD ASSN BLK 6

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PROJECT INFORMATION

ADDRESS OCCUPANCY GROUP BUILDING TYPE ASSESSOR'S PARCEL NUMBER ZONING USE DISTRICT 183 TRUMBULL ST. R-3 V-B 5867-030 RH-1

SCOPE OF WORK

VARIANCE TO LEGALIZE NON-PERMITTED REAR YARD DECK

SHEET SCHEDULE

- A0.....PROJECT INFORMATION, ASSESSOR'S PARCEL MAP & GENERAL NOTES
A1.....SITE PLANS
A2.....FLOOR PLANS & ELEVATIONS - LAST PERMITTED USE (BPA #291669/2)
A3.....FLOOR PLANS & ELEVATIONS - AS-BUILT
A4.....FLOOR PLANS & ELEVATIONS - PROPOSED

GENERAL NOTES

- 1. All work shall conform to requirements of the 2016 San Francisco Building Code, San Francisco Electrical Code, San Francisco Plumbing Code, San Francisco Mechanical Code, California Energy Code and all other applicable local and state codes, ordinances and regulations.
2. All bidders shall visit the site of the proposed work and shall acquaint themselves with the existing conditions as they affect the work to be performed.
3. The contractor shall verify all dimensions and all conditions at the site. Any omissions or conflicts in the drawings, specifications or field conditions shall be brought to the attention of the architect before proceeding with work.
4. Dimensions shall always take precedence over scale.
5. All clarifications or required drawings shall be issued by the architect.
6. The contractor shall obtain inspection approval on all items in writing from the inspector. The contractor shall obtain and pay for all permits and licenses required by legally constituted authorities. The contractor shall obtain a certificate of occupancy and the release of liens on all material and labor at the completion of the project.
7. Details marked "typical" shall apply in all similar cases unless specifically noted otherwise. Where no detail is shown, construction shall be guided by details for similar work.
8. The contractor shall furnish a written guarantee for all work for a period of one year from date of completion as evidenced by final payment. Upon receipt of formal notice from architect, contractor shall make all repairs due to faulty materials, installation or construction or inadequate maintenance or supervision at no additional cost.
9. The contractor shall adequately shore all existing construction for which the support is removed until all new supports are in place. Where walls are removed which provide lateral support for the building, a sequence of construction shall be followed which allows lateral forces to be supported by new walls prior to removal of existing walls or adequate temporary lateral bracing shall be provided until all new construction is in place.
10. Requests for change orders and substitutions shall be approved in advance by the architect.
11. All operating manuals, warranties and consumer information for equipment and fixtures installed on premises shall be surrendered to the owner upon completion of the project.
12. Glass doors, adjacent panels and all glazed openings within 18" of the adjacent floor or enclosing a tub or shower shall comply with CPSC 16 CFR Part 1201.
13. All new windows and glazed doors shall be N.F.R.C. certified with a maximum U-value of 0.32 in conformance with current California Energy Commission Standards.
14. All installed luminaires must be high efficacy in accordance with TABLE 150.0-A of the 2016 Building Energy Efficiency Standards.
15. Bathrooms: All lighting shall be high efficacy luminaires and at least one luminaire be controlled by vacancy sensor.
16. Garages, laundry rooms, and utility rooms: Must have at least one luminaire be controlled by a vacancy sensor.
17. Kitchens: All installed wattage of luminaires shall be high efficacy and shall have a manual on/off in addition to a vacancy sensor or dimmer. Under cabinet lighting shall be have separate switch.
18. Outdoor lighting: all luminaires mounted to the building or to other buildings on the same lot shall be high efficacy luminaires and must be controlled by a manual on and off switch, and controlled by one of these automatic control types:
a. photocontrol and a motion sensor
b. astronomical time clock
c. energy management control system (EMCS).
19. All other newly installed luminaires shall be controlled by either dimmer switches or motion sensors.
20. All plumbing fixtures and fittings will be water conserving and will comply with the 2016 CGBSC.
21. Toilet shall use no more than 1.28 gallons per flush and showerhead shall have a maximum flow rate of 2.0 gallons per minute at 80 psi.
22. Faucets in kitchen, wet bars, laundry sinks, etc. shall have a water flow not to exceed 1.8 gallons per minute at 60 psi (CPC 420.2.1)
23. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi (CPC 407.2.1.2)
24. All exterior doors to be security openings and shall be open able from the inside without special knowledge or the use of a key.
25. All operable windows to have bug screens.
26. All exterior trim and mouldings shall be backprimed with paint or varnish as required.
27. Smoke detectors to be installed in each sleeping room and in corridors or area giving access to each separate sleeping area. Smoke detectors shall be 120V with battery backup.
28. Carbon Monoxide detectors to be installed outside of each sleeping room and on every level. Carbon Monoxide detectors shall be 120V with battery backup or battery operated.
29. Per 2016 CGBSC, mechanical exhaust fans which exhaust directly from bathrooms shall comply with the following:
a. Fans shall be energy star compliant and be ducted to terminate outside the building.
b. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidistat which shall be readily accessible. humidistat controls shall be capable of adjustment between a relative humidity range of 50 to 80 percent.
30. HERS rater field verification is required for sealed duct system.
31. All exposed wood shall be either pressure treated or have natural decay resistance.
32. Electrical, mechanical and plumbing systems shall be provided as design/build and installed in conformance with current California Electrical, Mechanical and Plumbing Codes.

FOUNDATION NOTES

Concrete

- 1. All foundation steel shall be Grade 60 min. and conform to ASTM A615-86 specifications.
2. All concrete shall be Type II Portland cement concrete, minimum 2500 psi, with a minimum slump of 6 in.
3. All concrete steps shall have a concrete finish with a coefficient of friction not to exceed 0.5.

FRAMING NOTES

Lumber

- 1. All dimensional framing members to be Douglas Fir-Larch, maximum moisture content 16%.
2. Minimum lumber grades (UON).
DF #2- studs, sills, plates, joists and rafters
DF #1- beams and posts
3. Provide pressure treated Douglas Fir or foundation grade redwood for lumber in contact with concrete within 3 feet of grade or permanently exposed to weather.
4. Provide 2" nom. full height blocking at each support plus:
a. 10' o.c. for roof rafters
b. 8' o.c. for floor joists
c. at mid-height on studs longer than 10'
d. Along all walls at soffit height.
5. Provide solid blocking below all walls perpendicular to joists.
6. All joists, rafters and beams to have "crown" camber up.
7. Provide full height studs from floor to roof UON.
8. Built up headers shall be spiked with 16d nails at 9" o.c. staggered.

Plywood:

- 1. Plywood shall meet requirements of PS 1-83 and be APA stamped.
2. Minimum grade plywood shall be C-D plugged exposure 1 (UON).
3. Place face grain of floor and roof sheathing perpendicular to supports.
4. Seams in sheathing shall be staggered min. 32".

Connectors:

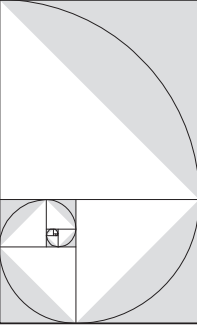
- 1. All connectors shall be by Simpson Strong-Tie Co., Inc. or equivalent unless otherwise noted.
2. All bolts shall be hex head machine type and conform to ASTM A307 or better, (UON). Provide standard cut washers at each end (UON).
3. Nailing shall be in accordance with CBC table 2304.9.1 in addition to nailing specified in these drawings.
4. Nails shall be cooler gauge green vinyl sinkers, galvanized box or common gauge.
5. All connectors in exposed positions shall be corrosion resistant.
6. All connections to pressure treated lumber shall use a "Z-Max" galvanized finish or equivalent ACQ combative coating.

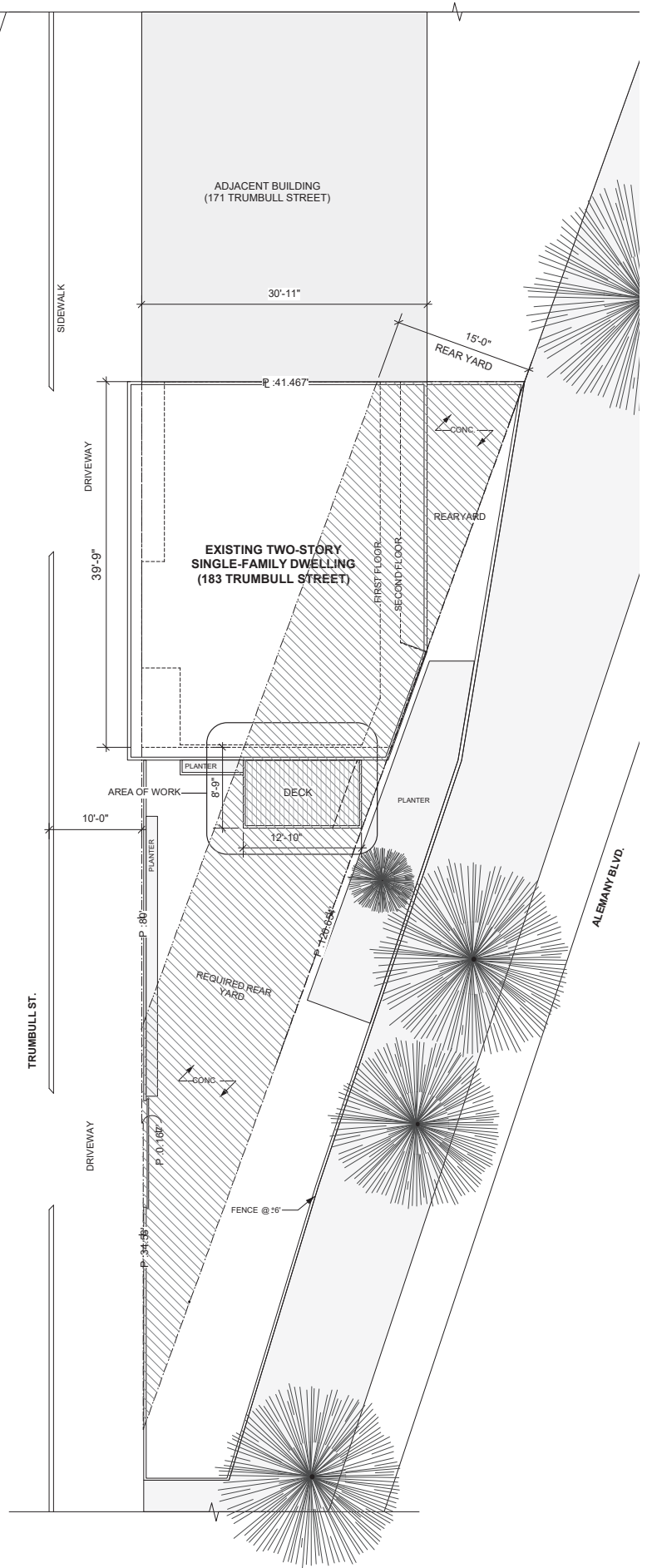
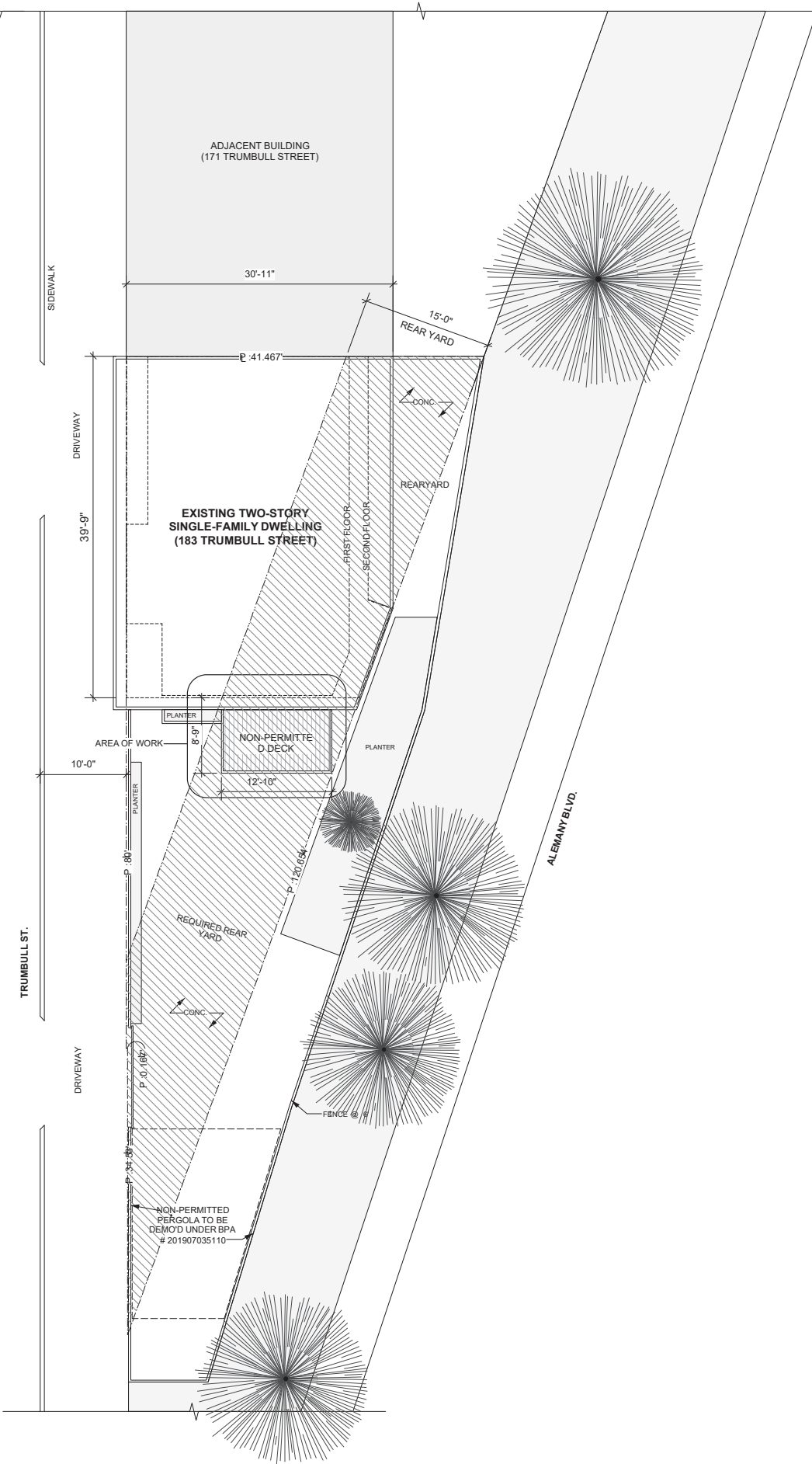
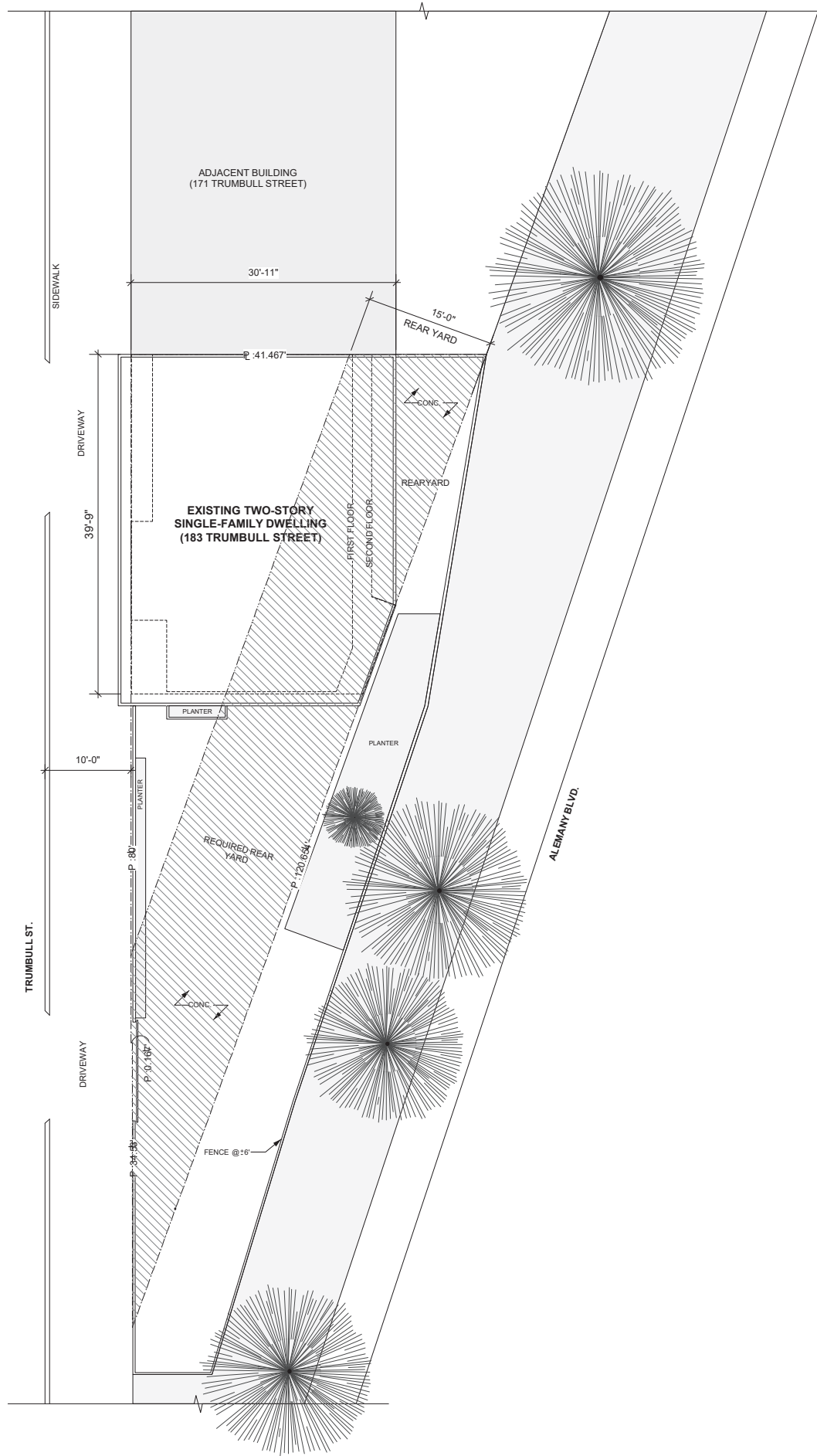
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VARIANCE FOR DHILLON RESIDENCE
183 TRUMBULL STREET, SAN FRANCISCO, C.A., 94112


PROJECT INFORMATION, ASSESSOR'S PARCEL MAP & GENERAL NOTES






SITE PLAN - LAST PERMITTED (BPA# 291669/2)
 Scale: 1/8" = 1'-0"

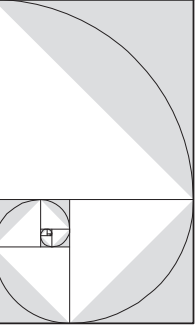

SITE PLAN - AS-BUILT
 Scale: 1/8" = 1'-0"


SITE PLAN - PROPOSED
 Scale: 1/8" = 1'-0"

NO CHANGE PROPOSED

VARIANCE FOR DHILLON RESIDENCE
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SITE PLANS



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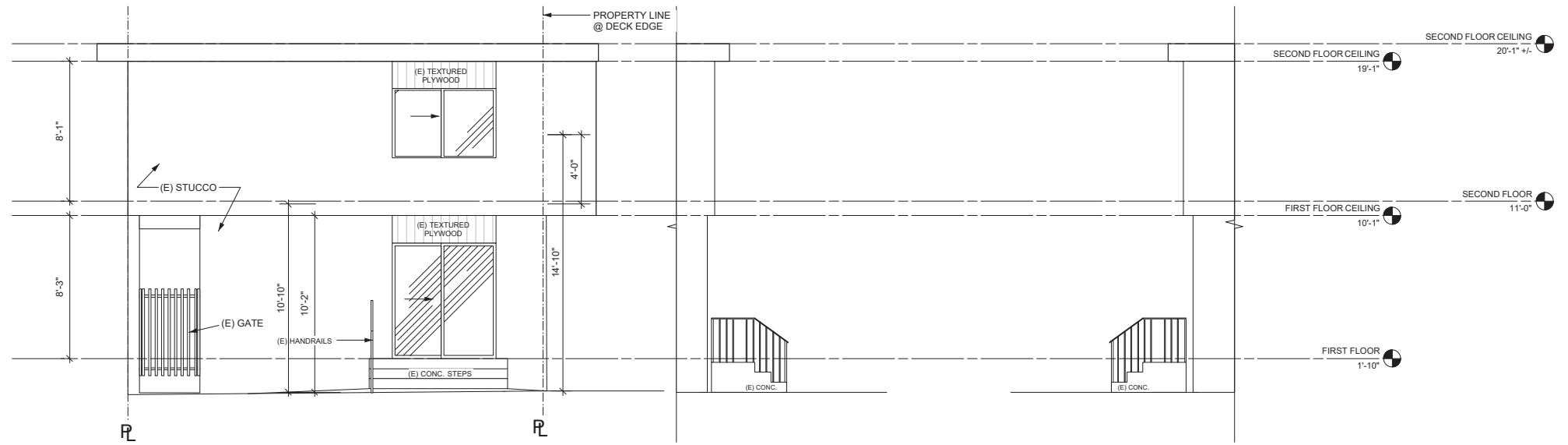
scale AS NOTED

date 02/19/2020

revised

drawn by T.SCHULTHEIS

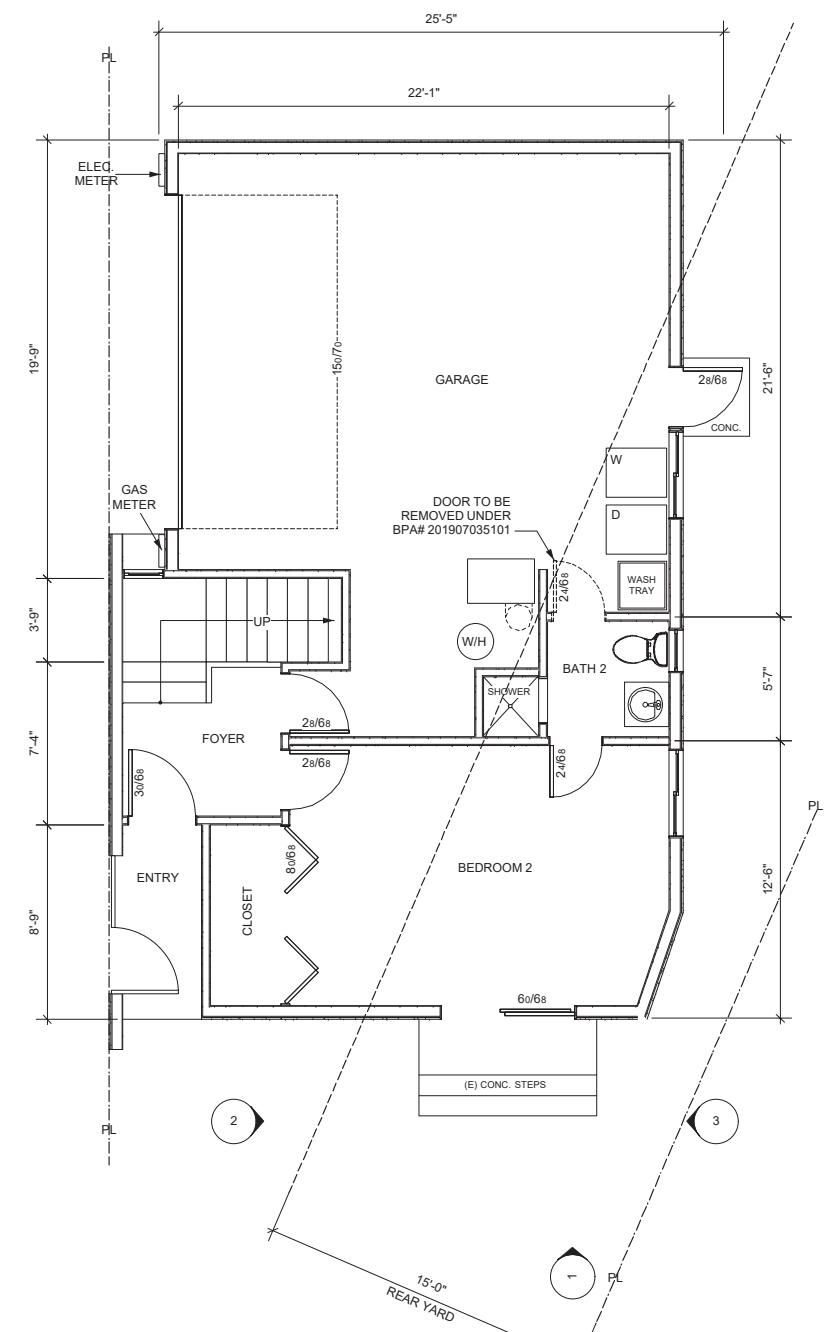
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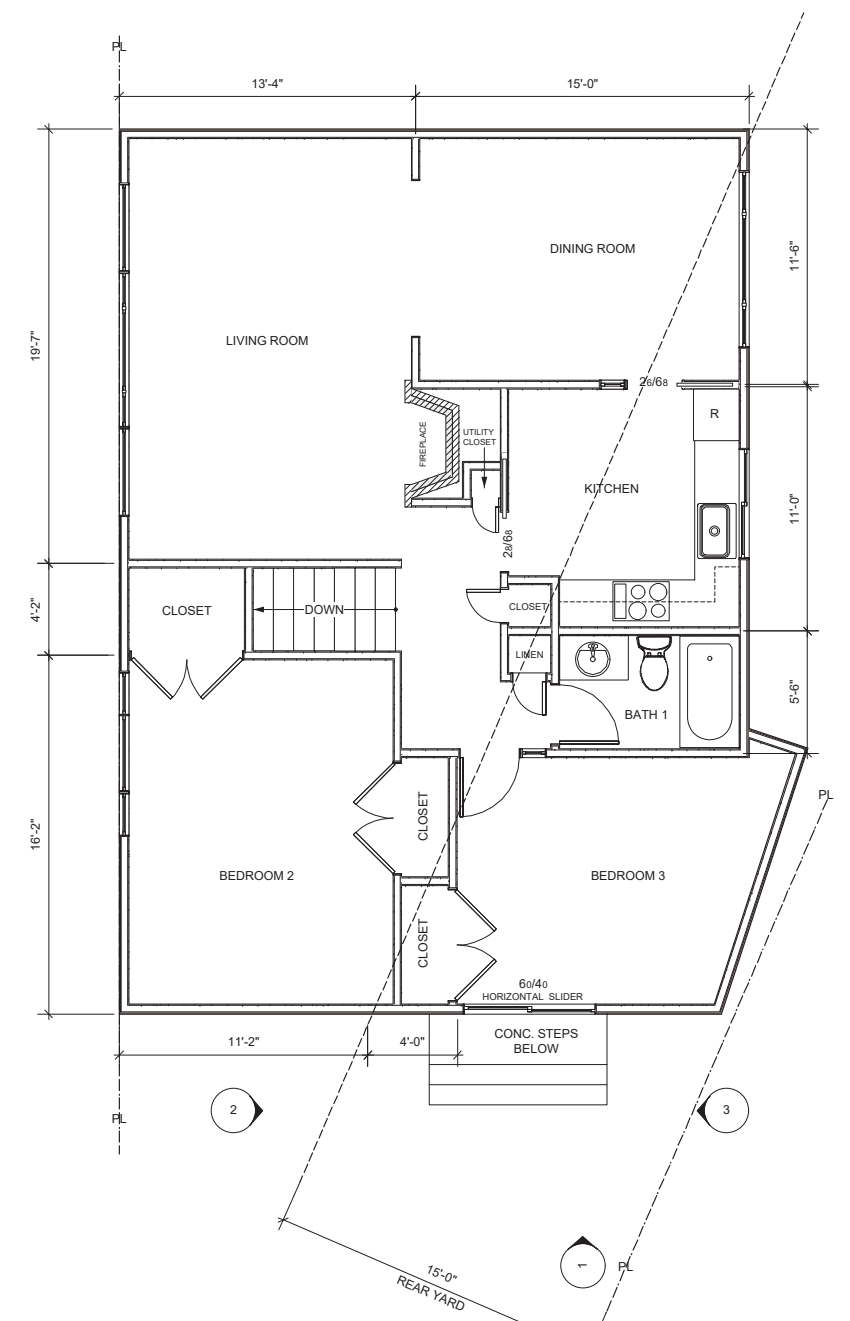
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Scale: 1/4" = 1'-0"

2 SOUTH DECK ELEVATION
Scale: 1/4" = 1'-0"

3 NORTH DECK ELEVATION
Scale: 1/4" = 1'-0"



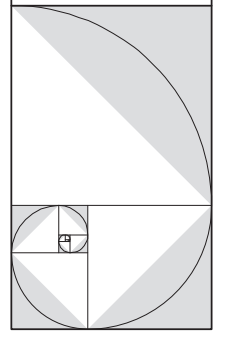
FIRST FLOOR PLAN - LAST PERMITTED
Scale: 1/4" = 1'-0"



SECOND FLOOR PLAN - LAST PERMITTED
Scale: 1/4" = 1'-0"

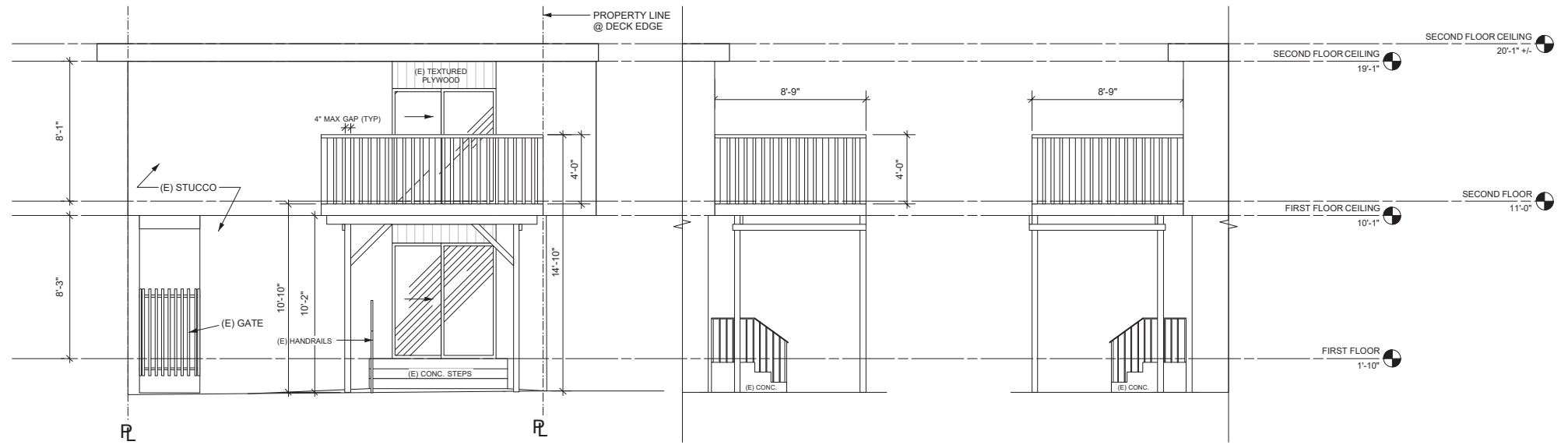
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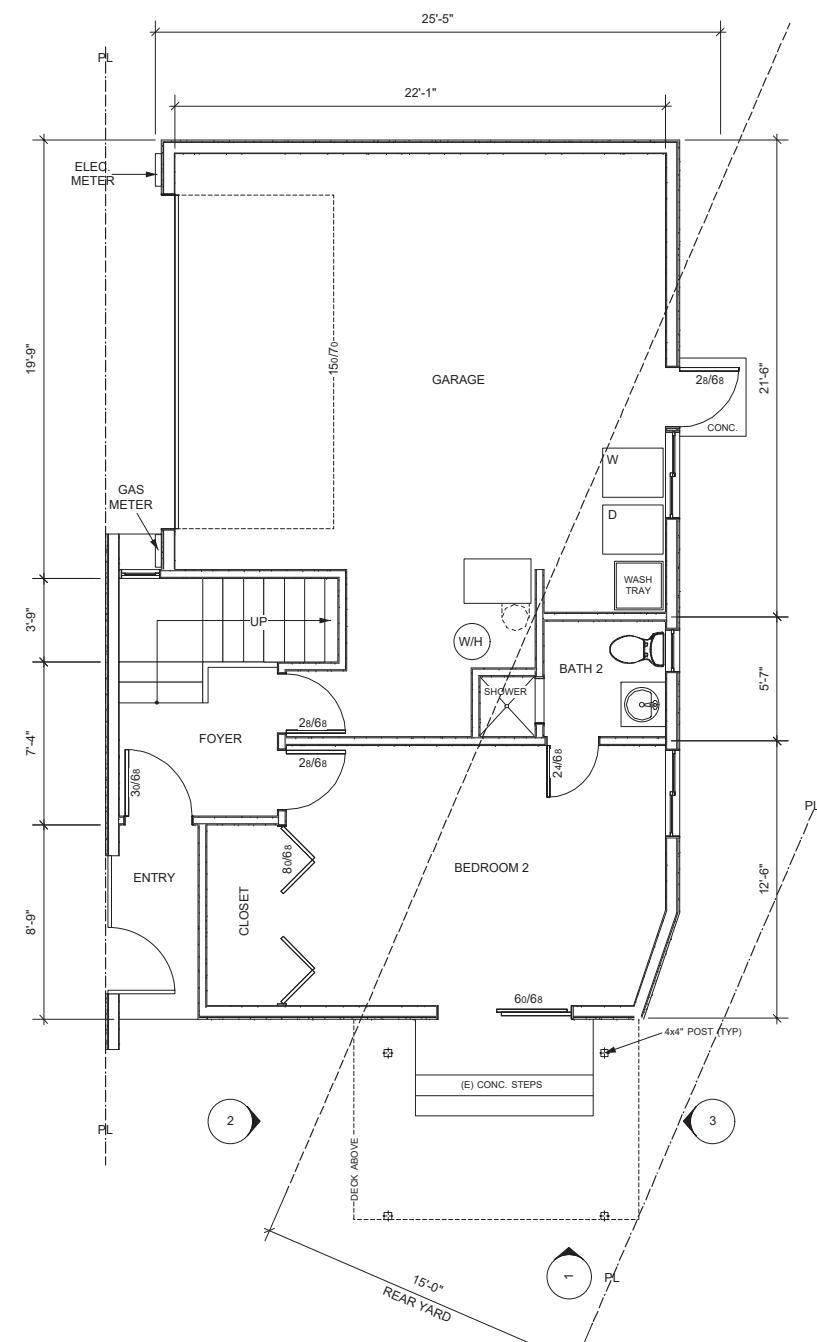
FLOOR PLANS & ELEVATIONS - LAST PERMITTED USE (BPA #291669/2)



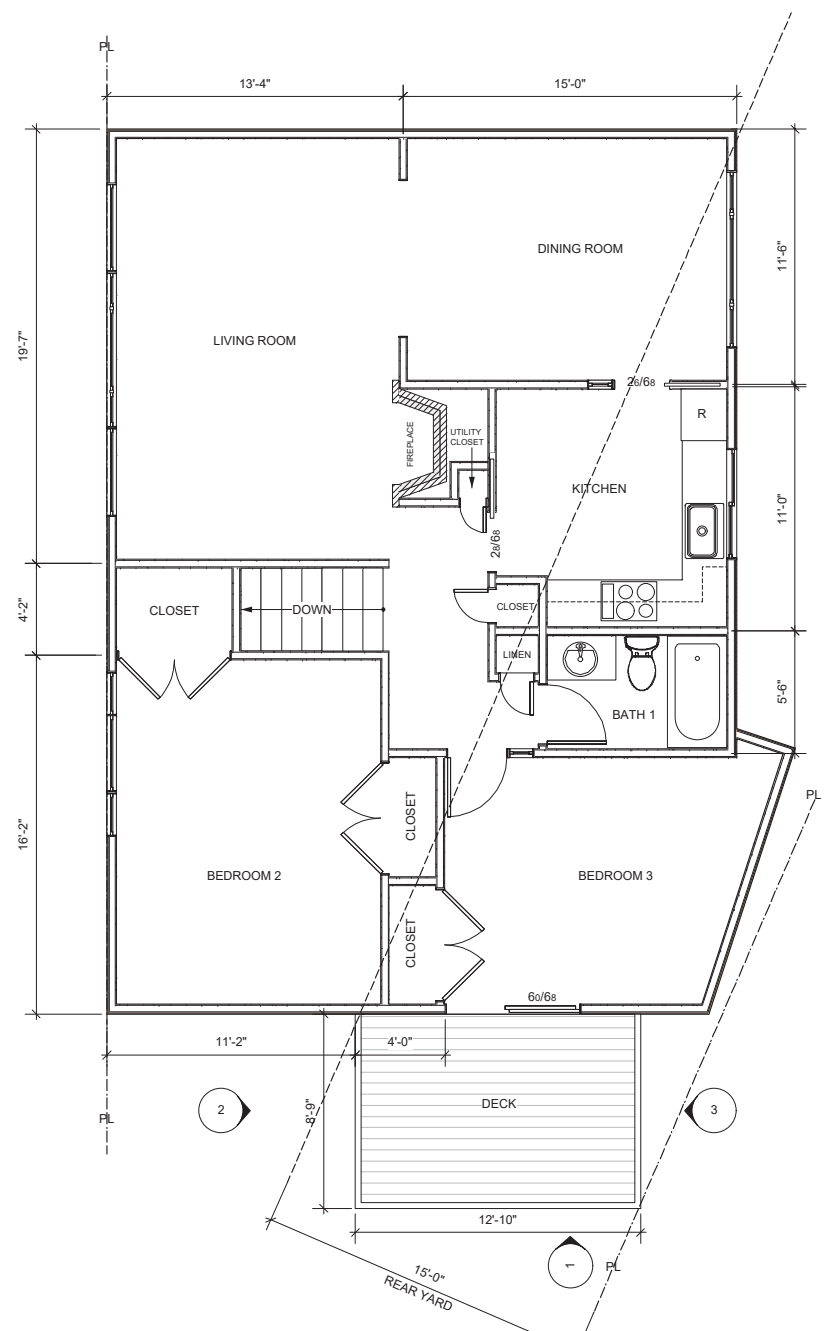
1 EAST DECK ELEVATION
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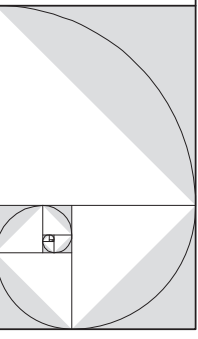
FIRST FLOOR PLAN - AS-BUILT
Scale: 1/4" = 1'-0"



SECOND FLOOR PLAN - AS-BUILT
Scale: 1/4" = 1'-0"

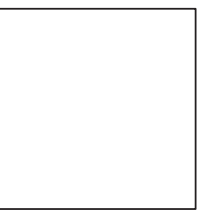
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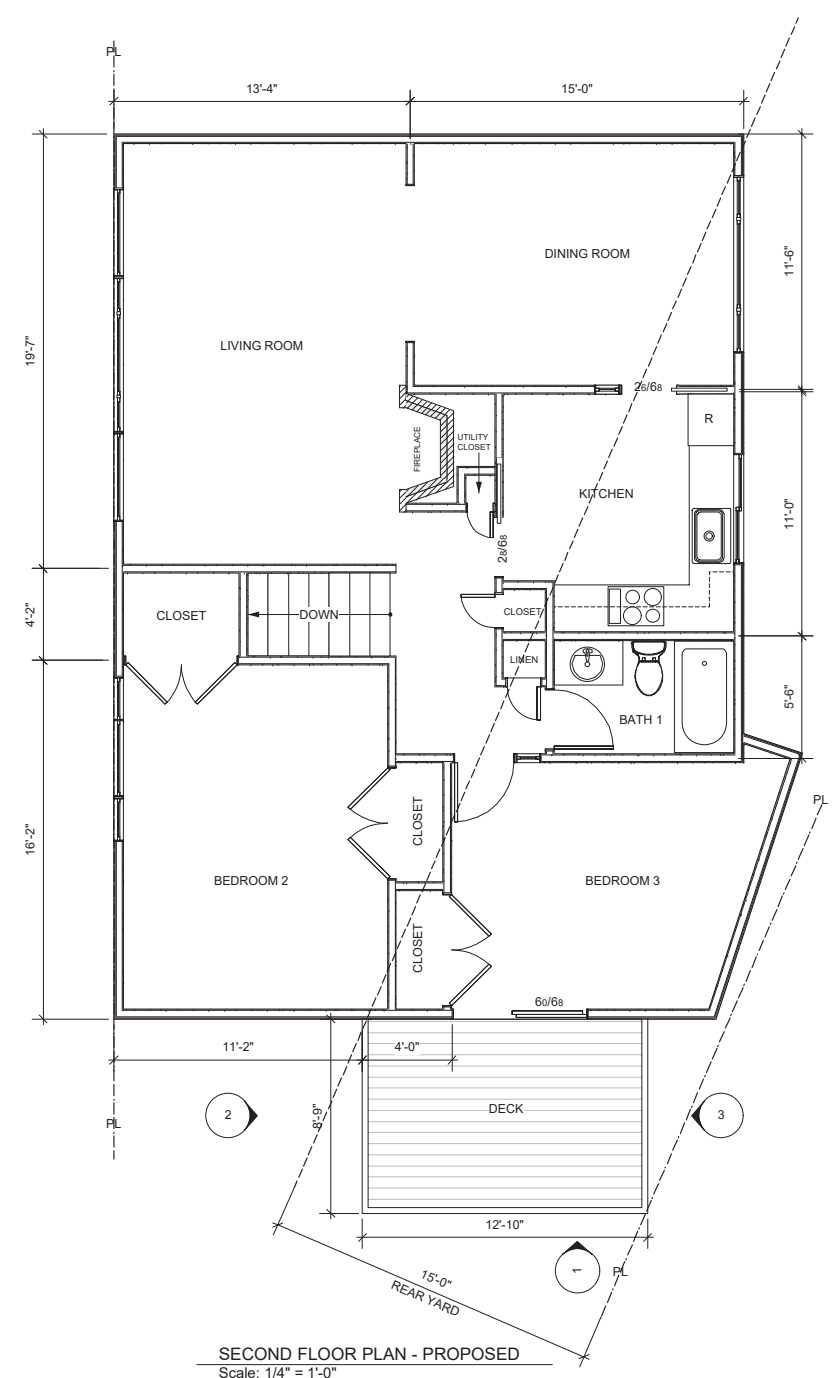
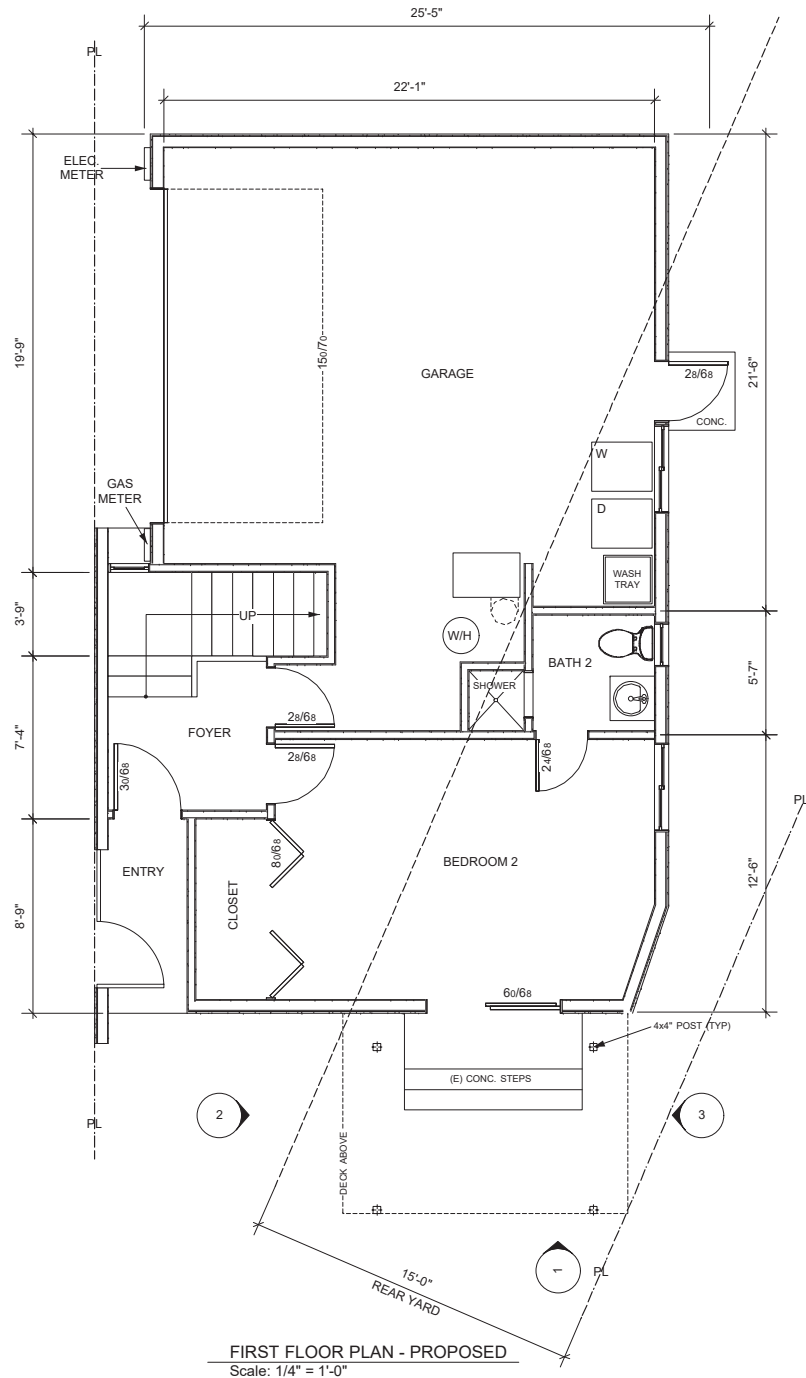
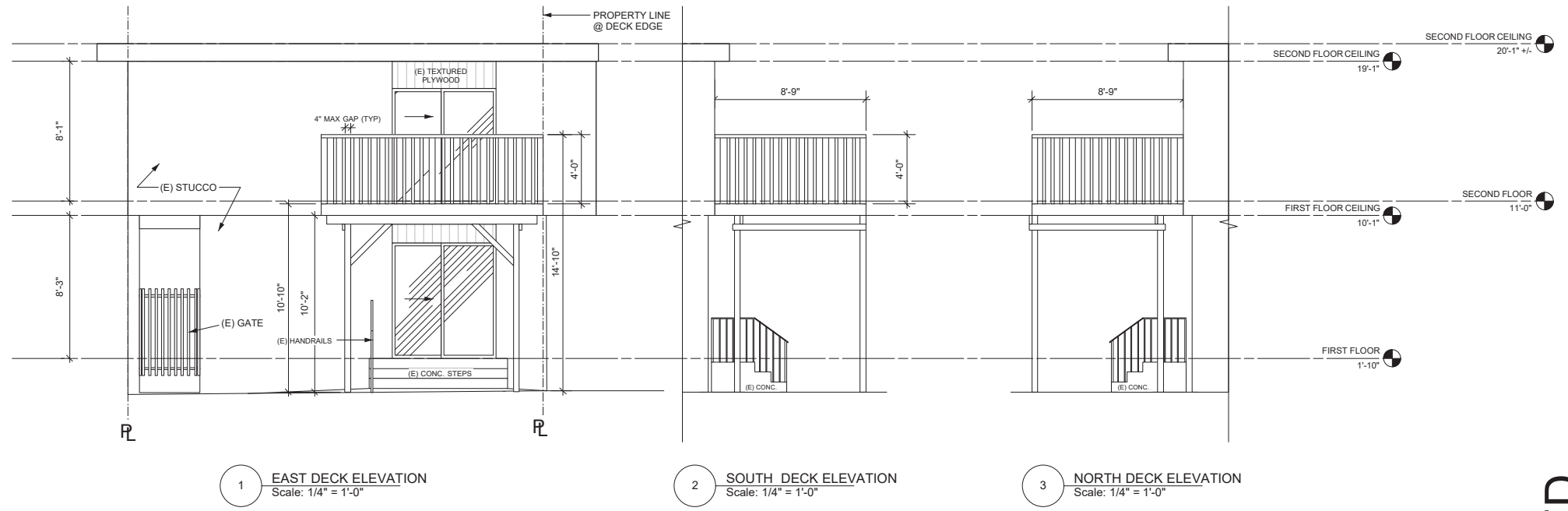


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 183 TRUMBULL STREET, SAN FRANCISCO, C.A., 94112

FLOOR PLANS & ELEVATIONS - AS-BUILT



NO CHANGE PROPOSED



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VARIANCE FOR DHILLON RESIDENCE
183 TRUMBULL STREET, SAN FRANCISCO, C.A., 94112

FLOOR PLANS & ELEVATIONS - PROPOSED

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