



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

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1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

# DADVAND/GHADAKSAZ RESIDENCE ACCESSORY STRUCTURE

591 CLIPPER STREET, SAN FRANCISCO, CA 94114 - BLOCK 6556 / LOT 019A

DRAWINGS PREPARED BY  
**JAMES BARKER**  
JAMES BARKER DESIGN  
  
+1 (415) 420 9437  
james@jamesbarkerdesign.com

## ABBREVIATIONS:

&	AND
<	ANGLE
#	AT
#	NUMBER
CL	CENTER LINE
PL	PROPERTY LINE
(E)	EXISTING
(N)	NEW
(R)	REPLACE
ABV.	ABOVE
ADJ.	ADJACENT
ALUM.	ALUMINUM
ARCH.	ARCHITECTURE
ASPH.	ASPHALT
BD	BOARD
BASE BD.	BASE BOARD
BLDG.	BUILDING
BLK.	BLOCK
BLKG.	BLOCKING
BOT.	BOTTOM
BM.	BEAM
B.U.	BUILT-UP
CLG.	CEILING
CNTL	CONTROL
CONT.	CONTINUOUS
CTR.	CENTER
CLR.	CLEAR
C.L.	CENTER LINE
DBL.	DOUBLE
D.F.	DOUGLAS FIR
DN.	DIMENSION
DN.	DOWN
D.P.	DOUBLE POLE
D.S.	DOWN SPOUT
DWG.	DRAWING
E	EAST
EA	EACH
EL OR ELEV.	ELEVATION
ELEC.	ELECTRICAL
EQ.	EQUAL
EXP.	EXPOSED
EXT.	EXTERIOR
F.A.U.	FORCED-AIR UNIT
FDN.	FOUNDATION
F.F.	FINISHED FLOOR
F.F.E.	FINISHED FLOOR ELEVATION
FIN.	FINISH
F.O.C.	FACE OF CONCRETE
F.O.S.	FACE OF STUD
F.O.P.	FACE OF PLYWOOD
F.P.	FIRE PLACE
FURN.	FURNACE
GA.	GAUGE
GALV.	GALVANIZED
GND.	GROUND
GYP.BD.	GYPSUM BOARD
H.C.	HOLLOW CORE
HDR.	HEADER
HDWD.	HARD WOOD
H.V.A.C.	HEATING VENTILATION AIR CONDITIONING
I.D.	INSIDE DIMENSION
INSUL.	INSULATION
INT.	INTERIOR
JST.	JOIST
MAX.	MAXIMUM
M.C.	MEDICINE CABINET
MECH.	MECHANICAL
MEMB.	MEMBRANE
MANUF.	MANUFACTURER
MIN.	MINIMUM
MTL.	METAL
N	NORTH
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
OJ	OVER
O.C.	ON CENTER
OPNG.	OPENING
O.D.	OUTSIDE DIMENSION
P.C.	PLUMBING CHASE
PL	PLATE
PLYWD.	PLYWOOD
P.T.	PRESSURE TREATED
PT.	POINT
R	RADIUS
RET. AIR	RETURN AIR
RM	ROOM
RDWD.	REDWOOD
R.W.L.	RAIN WATER LEADER
S	SOUTH
S.S.D.	SEE STRUCTURAL DRAWINGS
SQ. FT.	SQUARE FOOT
SHT.	SHEET
SHTG.	SHEATHING
SIM.	SIMILAR
S.P.	SINGLE POLE
SQ.	SQUARE
S.ST.	STAINLESS STEEL
ST.	STEEL
STD.	STANDARD
SUP. AIR	SUPPLY AIR
T&G	TONGUE AND GROOVE
THK.	THICK
T.O.P.	TOP OF PLATE
T.O.S.	TOP OF SLAB
T.O.F.F.	TOP OF FINISHED FLOOR
T.O.W.	TOP OF WALL
T.P.	TOILET PAPER HOLDER
T.R.	TOWEL RACK
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
VAR.	VARIES
V.D.C.	VERIFY DURING CONSTRUCTION
VERT.	VERTICAL
V.F.	VERIFY IN FIELD
W	WEST
WJ	WITH
W.C.	WATER CLOSET
WOOD	WOOD
WP	WATER PROOF
W.H.	WATER HEATER

## GENERAL NOTES:

**AIA DOCUMENT 201, "GENERAL CONDITIONS FOR THE PERFORMANCE OF A CONTRACT", ARE HEREBY INCORPORATED INTO THESE DRAWINGS AND SHALL BE CONSIDERED AS PART OF THE REQUIREMENTS FOR THE COMPLETION OF WORK. SUPPLEMENTARY CONDITIONS TO THE CONTRACT ALSO APPLY.**

- ALL CONSTRUCTION SHALL CONFORM TO CURRENT MINICIPAL & STATE CODES AND ANY OTHER GOVERNING CODES. AMENDMENTS, RULES, REGULATIONS, ORDINANCES, LAWS, ORDERS, APPROVALS, ETC. THAT ARE REQUIRED BY APPLICABLE PUBLIC AUTHORITIES IN THE EVENT OF CONFLICT THE MOST STRINGENT REQUIREMENTS SHALL APPLY.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND CONFIRMING THE WORK CAN BE BUILT OR DEMOLISHED AS SHOWN BEFORE PROCEEDING WITH THE WORK. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION OR RELATED WORK.
- ANY ERRORS, OMISSIONS OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL THOROUGHLY EXAMINE THE PREMISES AND SHALL BASE HIS BID ON THE EXISTING CONDITIONS, NOTWITHSTANDING ANY INFORMATION SHOWN OR NOT SHOWN ON THE DRAWINGS.
- CONTRACTOR TO MAINTAIN ALL PROPER WORKMAN'S COMPENSATION AND LIABILITY INSURANCE THROUGHOUT THE DURATION OF PROJECT.
- SUBSTITUTIONS REVISIONS OR CHANGES MUST HAVE PRIOR APPROVAL OF THE ARCHITECT.
- DURING THE BIDDING AND NEGOTIATION PERIOD THE GENERAL CONTRACTOR AND SUBCONTRACTOR(S) SHALL CONFIRM IN WRITING APPROX. ON-SITE DELIVERY DATES FOR ALL CONSTRUCTION MATERIALS AS REQUIRED BY THE CONSTRUCTION DOCUMENTS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY POSSIBLE CONSTRUCTION DELAYS AFFECTING OCCUPANCY THAT MAY ARISE DUE TO THE AVAILABILITY OF THE SPECIFIED PRODUCT.
- ALL WORK SHALL BE PERFORMED SUCH THAT DAMAGE TO EXISTING LANDSCAPE AND/OR PERSONAL PROPERTY IS PREVENTED OR MINIMIZED.
- CONTRACTOR SHALL TAKE MEASURES TO PROTECT ADJACENT PROPERTIES. USE VISQUEEN, PLYWOOD, ETC. TO MINIMIZE NOISE DUST, ETC.
- IN THE EVENT THAT FOUNDATION EXCAVATION MIGHT AFFECT ADJACENT PROPERTIES, CONTRACTOR SHALL TAKE ALL APPROPRIATE STEPS TO NOTIFY THE PROPERTY OWNER OF THE CONDITION, AND TO ADEQUATELY PROTECT THE ADJACENT STRUCTURE.
- WRITTEN DIMENSIONS REFER TO: FACE OF FINISH OR CENTER-LINE UNLESS OTHERWISE NOTED. EXTERIOR WALLS ARE DIMENSIONED TO FACE OF SHEATHING U.O.N.
- DIMENSIONS ARE TO TOP OF FIN FLOOR, SLAB OR DECK IN SECTION OR ELEVATION UNLESS OTHERWISE NOTED.
- "SIM" OR "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE ITEM NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLAN.
- "TYP" OR TYPICAL MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.
- DIMENSIONS NOTED "CLR" OR "CLEAR" ARE MINIMUM REQUIRED DIMENSIONS AND CLEARANCES MUST BE ACCURATELY MAINTAINED.
- CONTRACTOR TO VERIFY DIMENSIONS AND CONDITIONS IN FIELD. IF CONDITIONS ARE SIGNIFICANTLY DIFFERENT THAN REPRESENTED IN DRAWINGS, VERIFY CONDITIONS WITH ARCHITECT.
- ALL MATERIALS AND EQUIPMENT TO BE NEW UNLESS OTHERWISE NOTED.
- ALL MATERIALS AND EQUIPMENT TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
- WINDOW AND DOOR SIZES ARE NOMINAL DIMENSIONS. REFER TO MANUFACTURER'S SPECIFICATIONS FOR ACTUAL ROUGH OPENINGS.
- WHERE LOCATIONS OF WINDOWS AND DOORS ARE NOT DIMENSIONED THEY SHALL BE CENTERED IN THE WALL OR PLACED TWO STUD WIDTHS FROM ADJACENT WALL AS INDICATED ON DRAWINGS UNLESS OTHERWISE NOTED.
- ALL CHANGES IN FLOOR MATERIAL SHALL OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENING, UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- SEALANT, CAULKING, FLASHING, ETC. LOCATIONS SHOWN ON DRAWINGS ARE INTENDED TO BE INCLUSIVE. FOLLOW MANUFACTURER'S INSTALLATION RECOMMENDATIONS AND STANDARD INDUSTRY AND BUILDING PRACTICES.
- ALL ATTICS, RAFTER SPACES, SOFFITS, CRAWL SPACES, ETC. TO BE FULLY VENTILATED PER APPLICABLE CODE.
- PROVIDE WOOD BLOCKING FOR ALL TOWEL BARS, ACCESSORIES, ETC.
- MEET ALL CALIFORNIA ENERGY CONSERVATION REQUIREMENTS INCLUDING BUT NOT LIMITED TO:  
A. MINIMUM ROOF/CEILING INSULATION: R-19  
B. MINIMUM WALL INSULATION IN FRAMED EXTERIOR WALLS: R-13  
C. MINIMUM FLOOR INSULATION OVER CRAWL OR UNOCCUPIED SPACES: R-13  
D. ALL INSULATION TO MEET CEC QUALITY STANDARDS.  
E. INFILTRATION CONTROL:  
1. DOORS AND WINDOWS WEATHER-STRIPPED.  
2. EXHAUST SYSTEMS DAMPENED.  
3. DOORS AND WINDOWS CEC CERTIFIED AND LABELED.  
4. ALL JOINTS AND PENETRATIONS CAULKED AND SEALED.  
F. DUCTS CONSTRUCTED AND INSTALLED PER UMC.  
G. ELECTRICAL OUTLET PLATE GASKETS SHALL BE INSTALLED ON ALL RECEPTACLES, SWITCHES AND ELECTRICAL BASES ON EXTERIOR WALLS.
- SMOKE ALARMS ARE TO BE INSTALLED IN ALL SLEEPING ROOMS. SMOKE ALARMS SHALL BE HARDWIRED TO 110V HOUSE WIRING AND WIRED TOGETHER IN SERIES. MINIMUM ONE ALARM PER STORY. REF. PLANS FOR LOCATIONS.
- GENERAL CONTRACTOR IS TO COORDINATE INSTALLATION OF N.I.C. ITEMS WITH OTHER TRADES
- LOCATION/SPECIFICATION OF SAFETY GLAZING (TEMPERED GLASS) ARE SOLE RESPONSIBILITY OF CONTRACTOR. ALL DOORS W/ GLAZING AND ALL GLAZING OF WINDOWS WITHIN 24" OF EDGE OF ANY DOOR SHALL BE WITH TEMPERED GLASS (UBC SECTION 2406)

## SYMBOLS:

EXISTING WALL	
EXISTING WALL DEMOLISHED	
NEW WALL	
LINE OVERHEAD OR HIDDEN	
CENTER LINE	
PROPERTY LINE	
DIMENSION TO FACE OF FINISH	
DIMENSION TO C.L. OF STUD	
DATUM LINE	
DOOR REF. SYMBOL	
WINDOW REF. SYMBOL	
COLOR SYMBOL	
FLOOR SYMBOL	
SECTION MARKER	
ELEVATION MARKER	
INTERIOR ELEVATION MARKER	
PLAN DETAIL MARKER	
DETAIL MARKER	
REVISION MARKER	

## VICINITY MAP:



## PROJECT DATA:

**CODES:**  
SAN FRANCISCO PLANNING CODE  
  
2016 SAN FRANCISCO BUILDING CODE INCORPORATING 2016 CALIFORNIA BUILDING CODE - 2016 CALIFORNIA MECHANICAL CODE - 2016 CALIFORNIA PLUMBING CODE - 2016 CALIFORNIA ELECTRICAL CODE - 2016 CALIFORNIA ENERGY CODE  
  
ALL OTHER STATE & LOCAL ORDINANCE  
  
**PROJECT ADDRESS:**  
591 CLIPPER STREET  
SAN FRANCISCO, CA 94114  
  
**BLOCK / LOT:**  
6556 / 019A  
  
**PROJECT DESCRIPTION:**  
TO LEGALIZE (E) NON-CONFORMING ACCESSORY STRUCTURE IN REAR YARD OF (E) SINGLE FAMILY DWELLING  
  
**ZONING / PRESERVATION / HEIGHT / BULK / AREA:**  
ZONE: RH-2  
SPECIAL USE DISTRICT: N/A  
HEIGHT-BULK: 40-X  
PRESERVATION: B - UNKNOWN: AGE ELIGIBLE  
NO. OF STORIES: MAIN DWELLING: 1 STORY OVER BASEMENT  
ACCESSORY STRUCTURE: 1 STORY  
LOT AREA: 2,736 SQ. FT.

**OCCUPANCY GROUP:**  
OCCUPANCY: GROUP R, DIVISION 3  
CONSTRUCTION TYPE: (TABLE 5-B) TYPE V-B  
  
**FLOOR AREA CALCULATIONS:**  
**MAIN DWELLING:**  
(E) BASEMENT: 847 SQ.FT. (NON-HABITABLE)  
(E) 1ST FLOOR: 821 SQ.FT. (HABITABLE)  
(E) TOTAL: 1,668 SQ.FT.  
  
**ACCESSORY STRUCTURE:**  
(E) 1ST FLOOR: 127 SQ.FT. (NON-HABITABLE)  
(E) TOTAL: 127 SQ.FT.  
(N) 1ST FLOOR: 142 SQ.FT. (NON-HABITABLE)  
(N) TOTAL: 142 SQ.FT.  
**NET CHANGE: + 15 SQ.FT.**

**OWNER(S):**  
SAHAR DADVAND & KAMRAN GHADAKSAZ  
591 CLIPPER STREET  
SAN FRANCISCO, CA 94114  
  
**DESIGNER/AGENT:**  
JAMES BARKER - JAMES BARKER DESIGN  
397 PRENTISS STREET  
SAN FRANCISCO, CA 94110  
  
+1 (415) 420 9437  
james@jamesbarkerdesign.com  
  
**PERMIT EXPEDITOR:**  
LINDA BEATTIE - B&B CONTRACTOR'S SERVICES  
1060 MANZANITA DRIVE  
PACIFICA, CA 94044  
  
+1 (415) 816 1594  
linda@bbcontractorservices.com  
  
**GENERAL CONTRACTOR:**  
T.B.D.  
  
**STRUCTURAL ENGINEER:**  
T.B.D.

## PROJECT PARTICIPANTS:

**OWNERS:**  
SAHAR DADVAND & KAMRAN GHADAKSAZ  
591 CLIPPER STREET  
SAN FRANCISCO, CA 94114  
  
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JAMES BARKER - JAMES BARKER DESIGN  
397 PRENTISS STREET  
SAN FRANCISCO, CA 94110  
  
+1 (415) 420 9437  
james@jamesbarkerdesign.com  
  
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LINDA BEATTIE - B&B CONTRACTOR'S SERVICES  
1060 MANZANITA DRIVE  
PACIFICA, CA 94044  
  
+1 (415) 816 1594  
linda@bbcontractorservices.com  
  
**GENERAL CONTRACTOR:**  
T.B.D.  
  
**STRUCTURAL ENGINEER:**  
T.B.D.

## DRAWING INDEX:

ARCHITECTURAL:		
01	A0.00	PROJECT TITLE SHEET & DATA
02	A0.01	SITE PHOTOGRAPHS
03	A0.02	SITE PLANS - EXISTING & PROPOSED
04	A1.01	BASEMENT & 1ST FLOOR PLANS - EXISTING (NO WORK)
05	A1.02	ACCESSORY STRUCTURE FLOOR PLAN - EXISTING/DEMO & PROPOSED
06	A3.01	EXTERIOR ELEVATIONS - FRONT & REAR - EXISTING/DEMO & PROPOSED

Owner(s)  
Sahar Dadvand & Kamran Ghadaksaz  
591 Clipper Street  
San Francisco, CA 94114

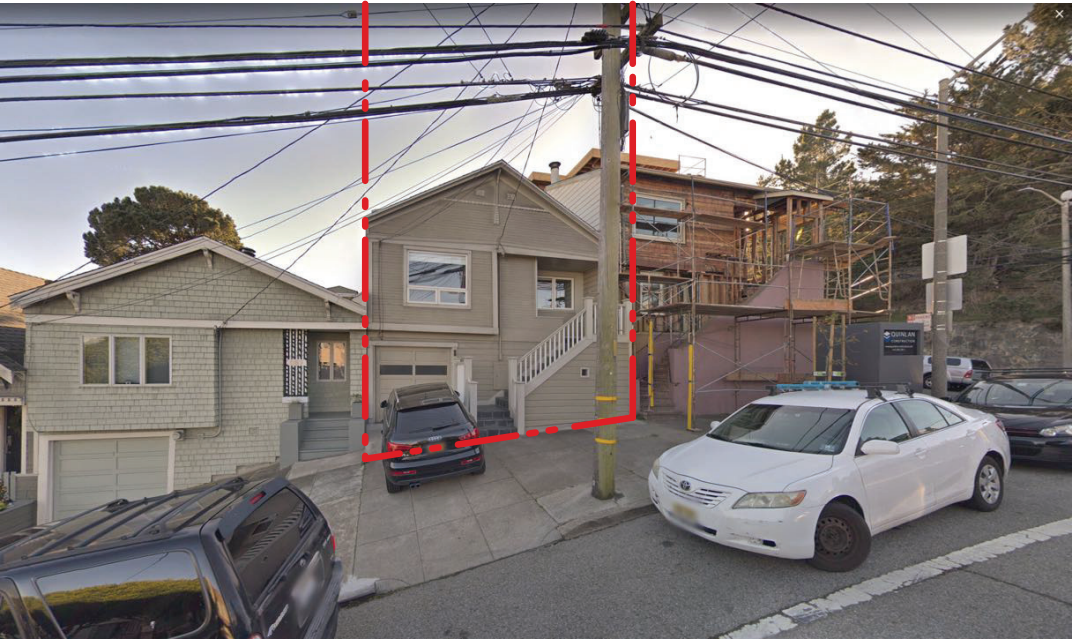
**Dadvand/Ghadaksaz Residence  
Accessory Structure**  
591 Clipper Street, San Francisco, CA 94114  
**BLOCK / LOT: 6556 / 019A**

Date	05.14.2019
Scale	nts
Drawn	jb
Issue/Revisions	By
06.19.2019 Site Permit Submittal	JB

DWG TITLE  
**Project Title  
Sheet  
& Data**

SHEET NO.  
**A0.00**

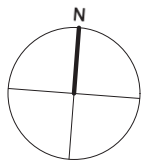
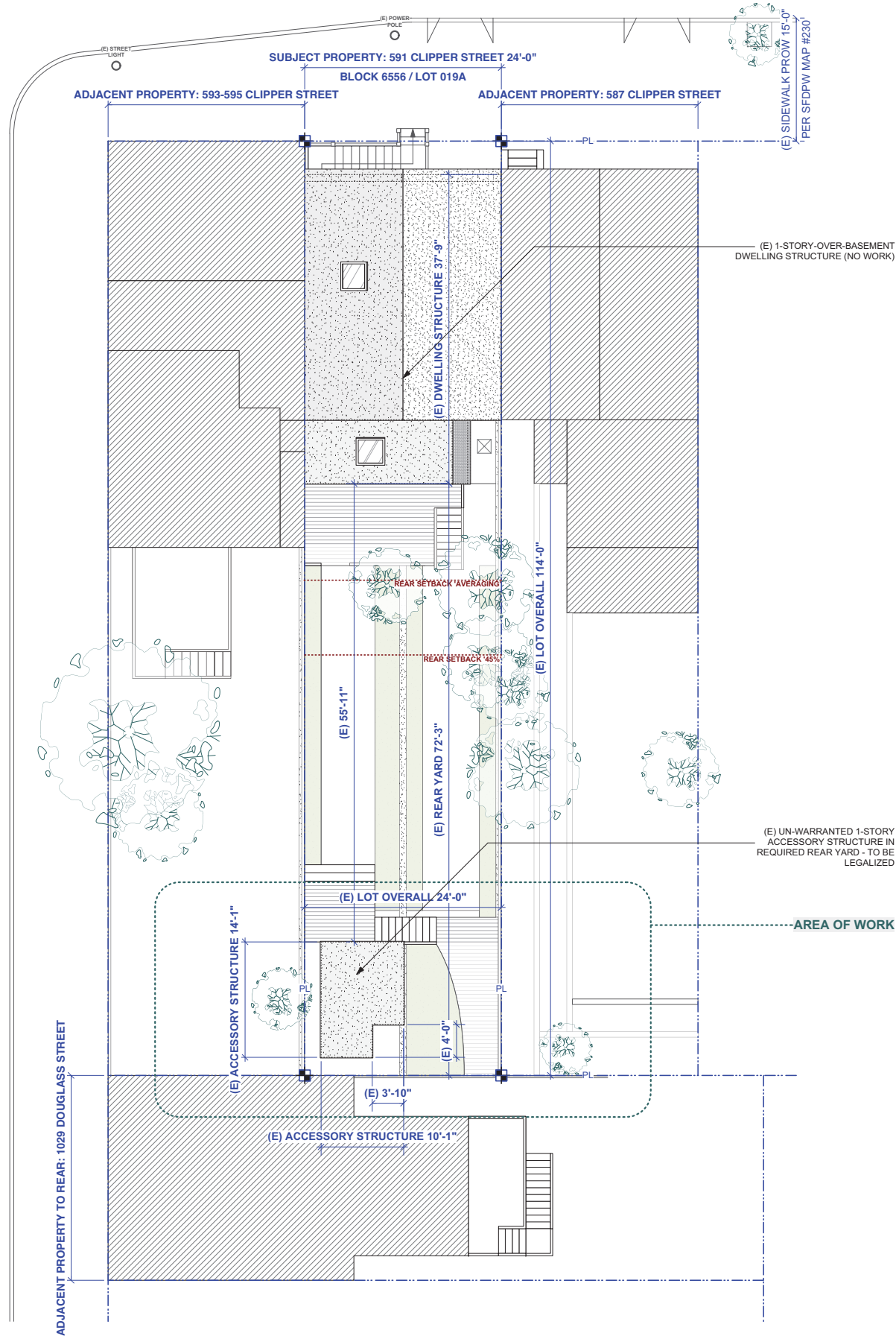






DOUGLASS STREET

CLIPPER STREET



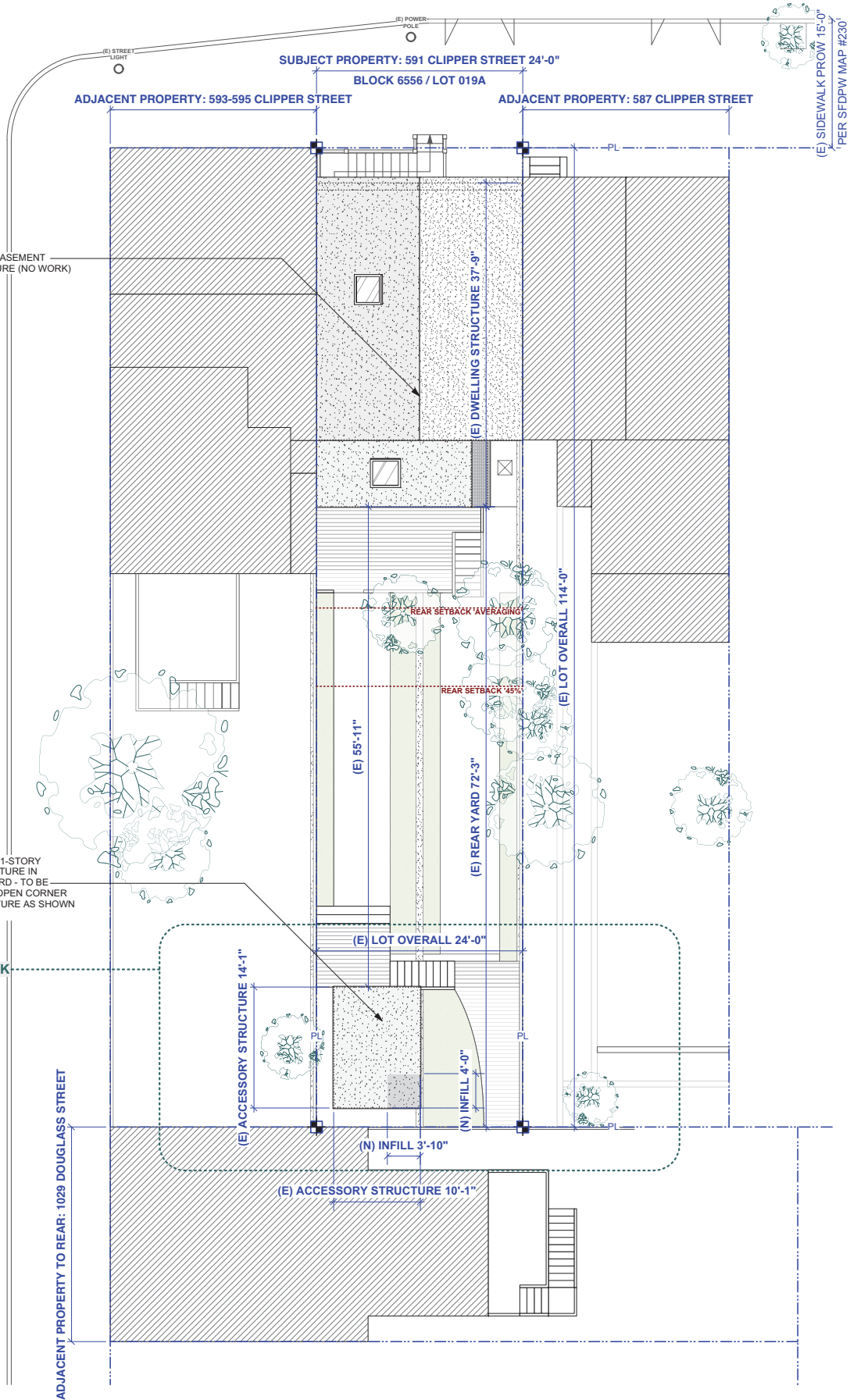
AREA OF WORK

(E) UN-WARRANTED 1-STORY  
ACCESSORY STRUCTURE IN  
REQUIRED REAR YARD - TO BE  
LEGALIZED - INFILL OPEN CORNER  
WITH INFILL STRUCTURE AS SHOWN  
- APPROX 15 SQ.FT.

(E) 1-STORY-OVER-BASEMENT  
DWELLING STRUCTURE (NO WORK)

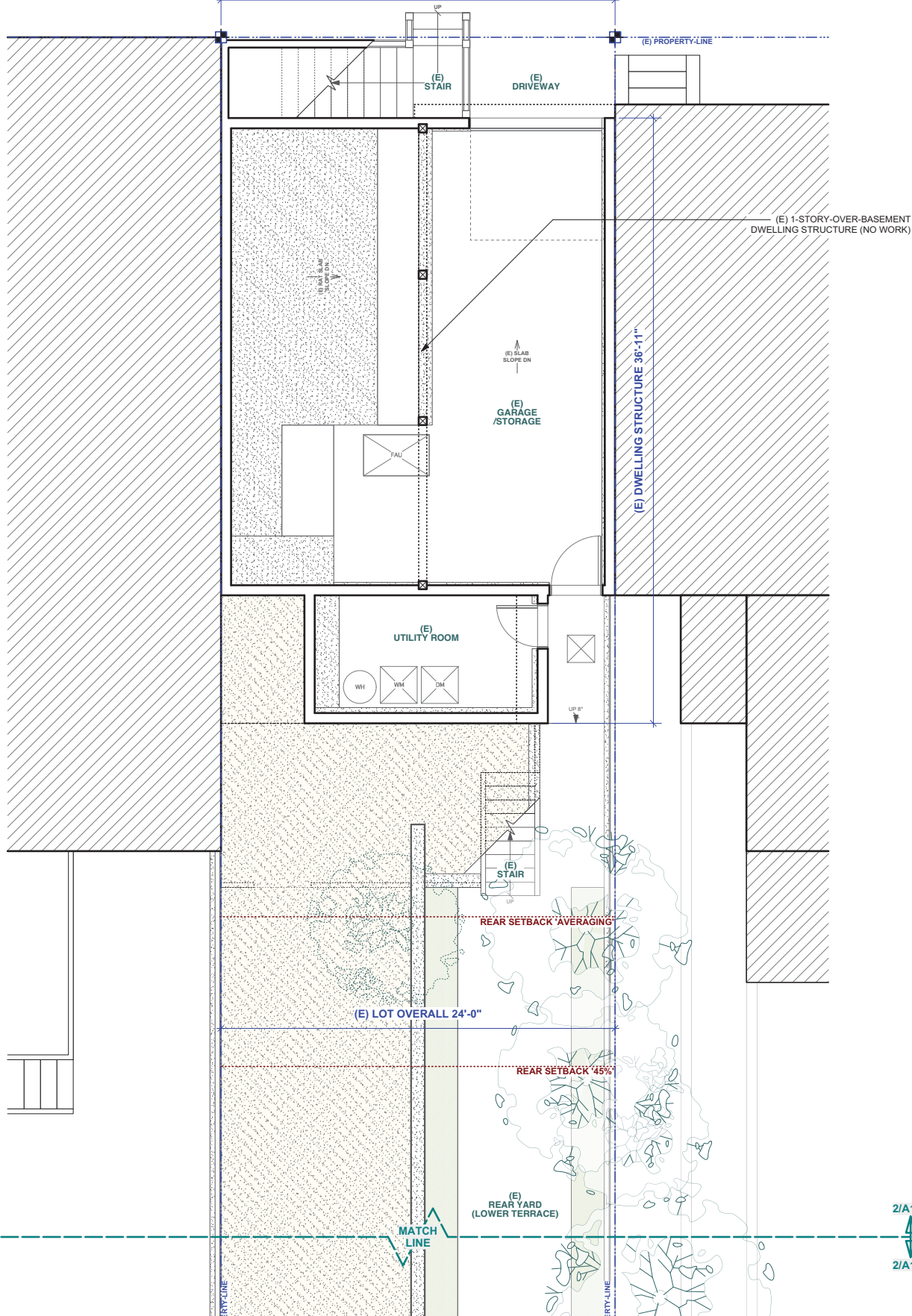
DOUGLASS STREET

CLIPPER STREET



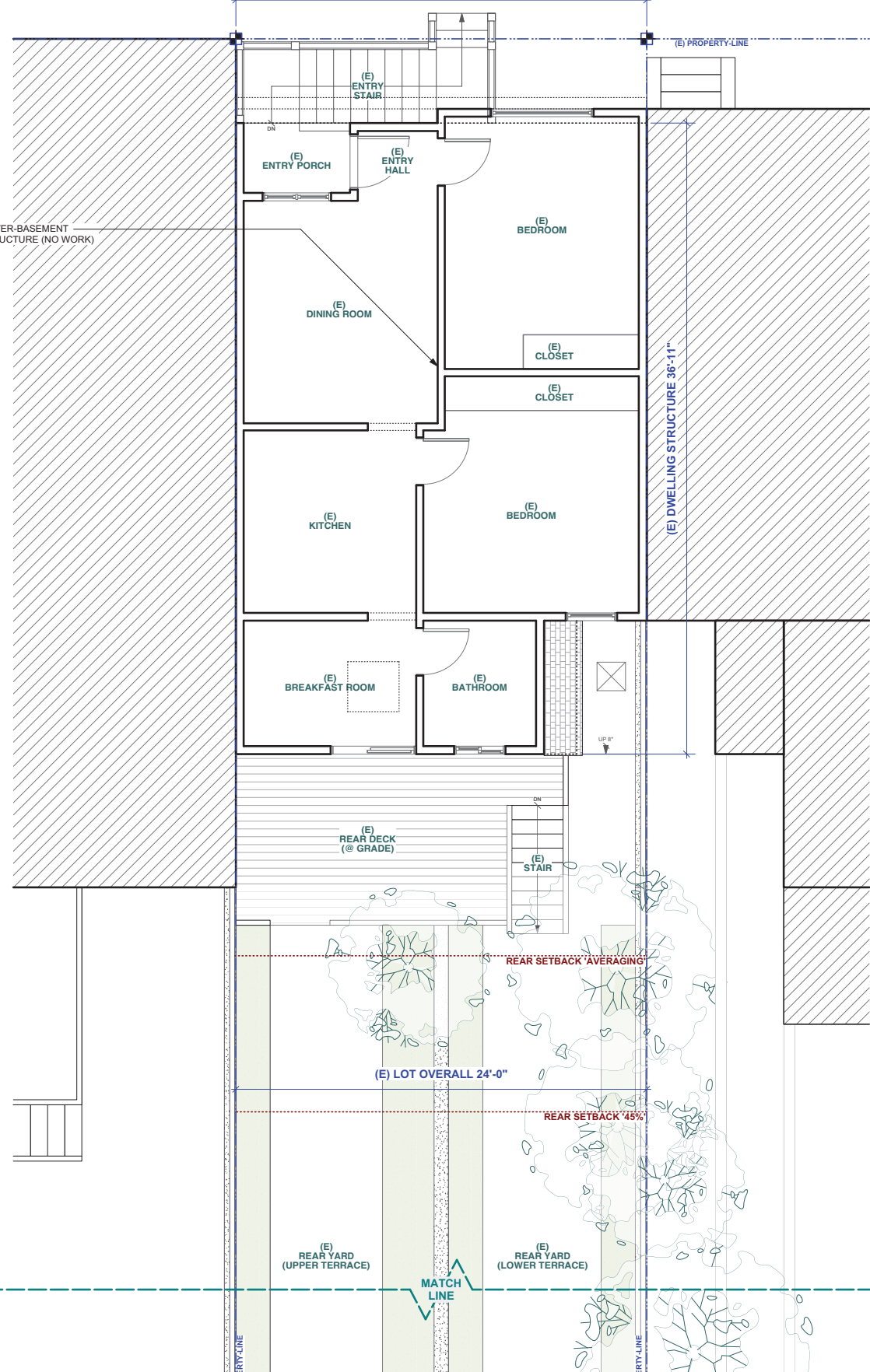
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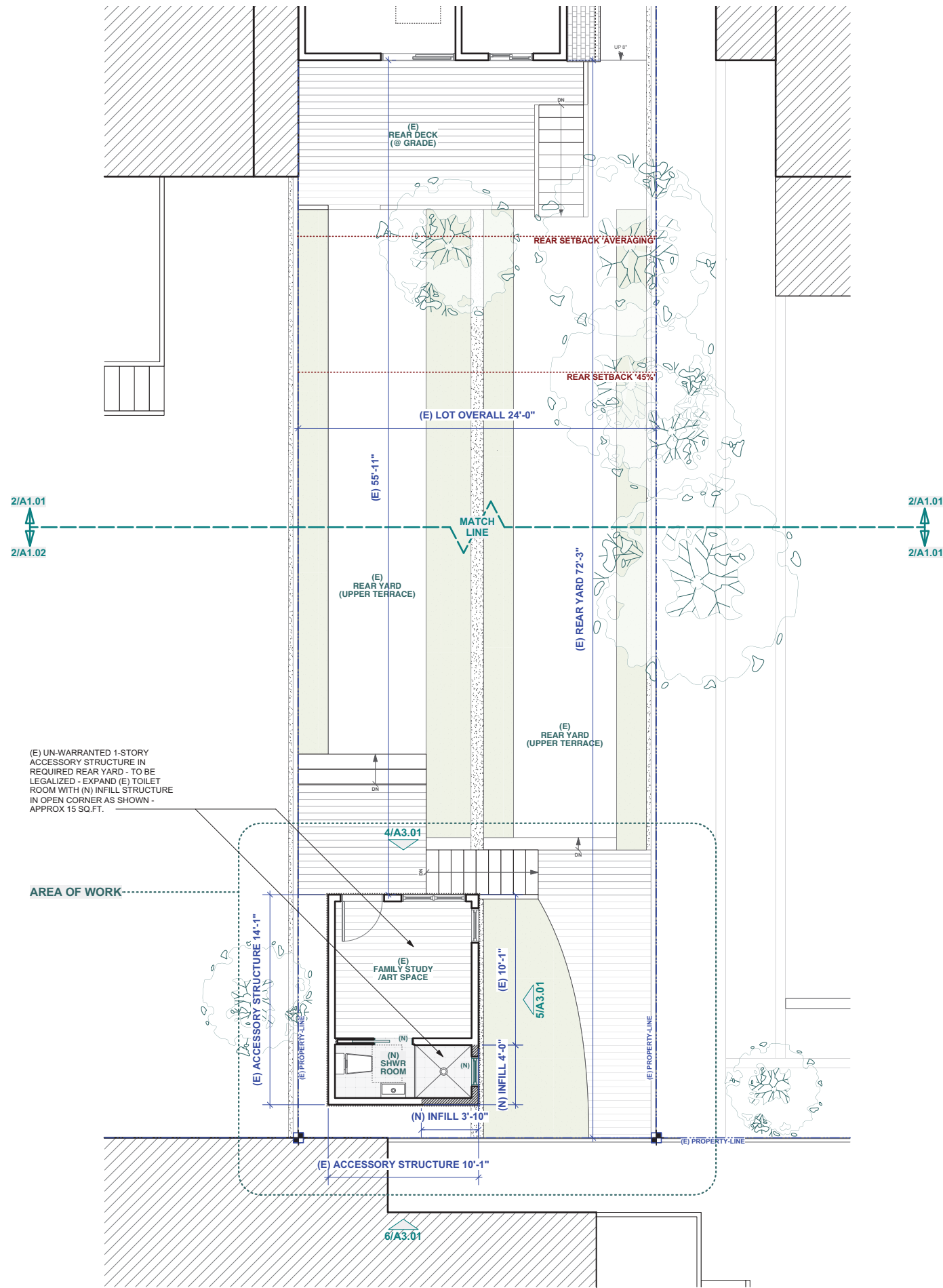
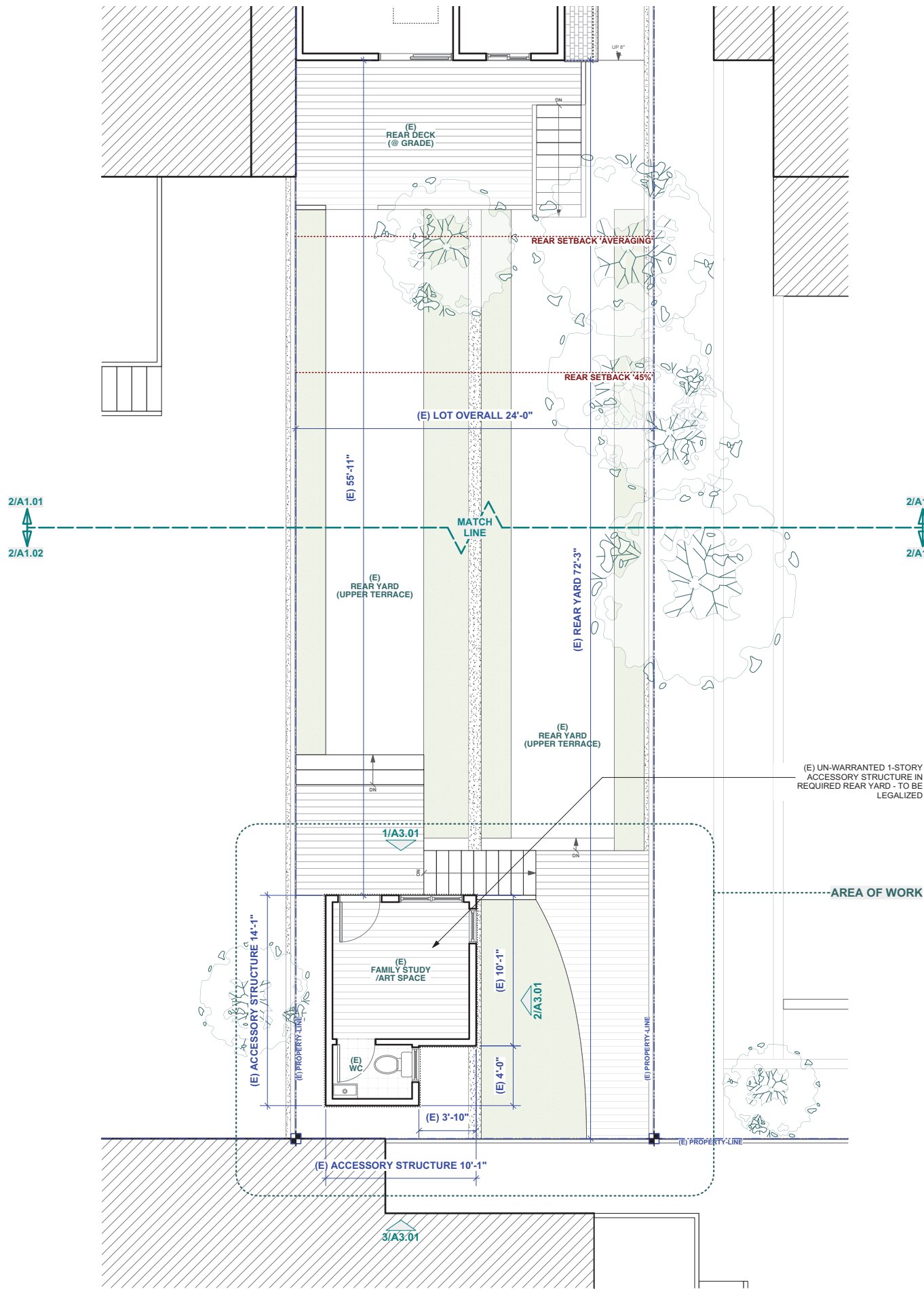
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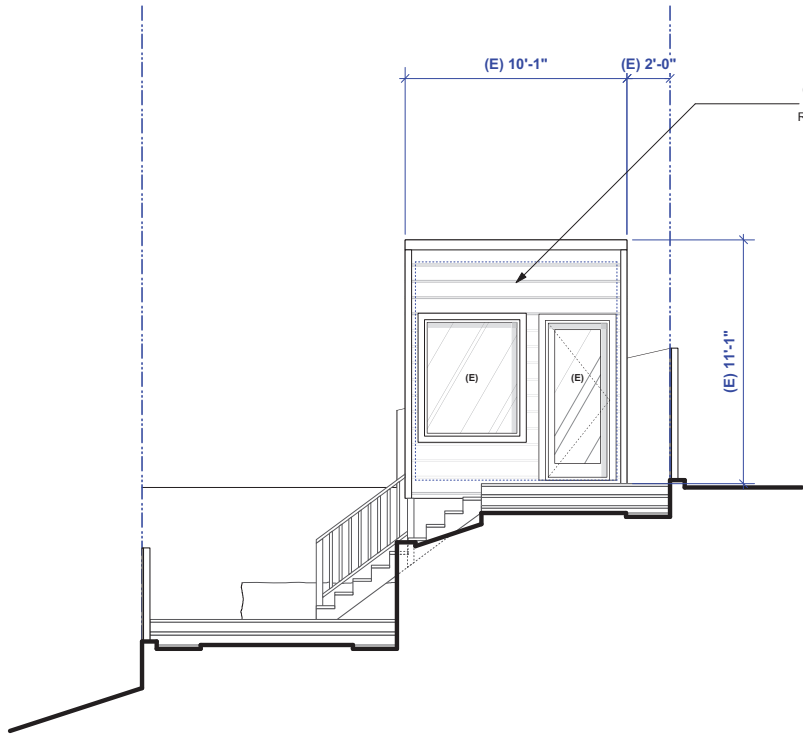


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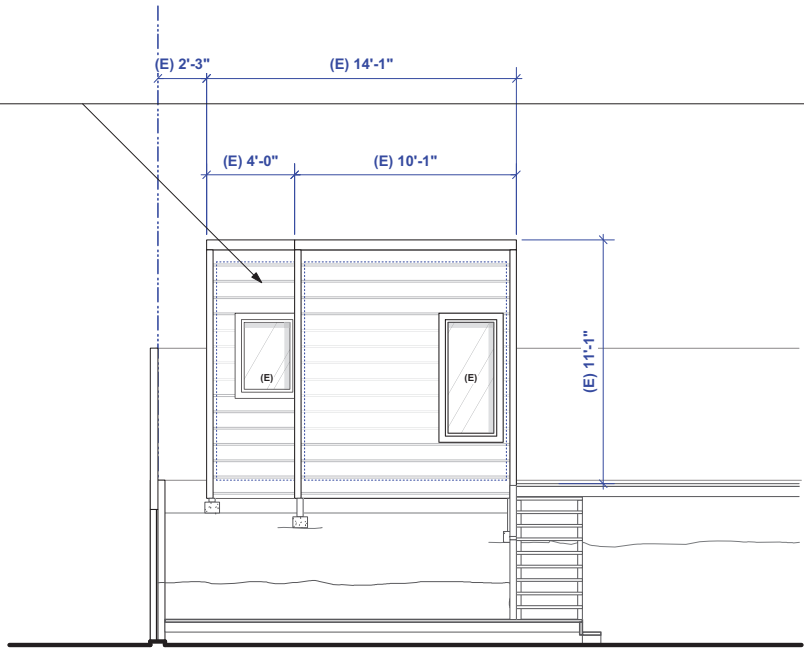
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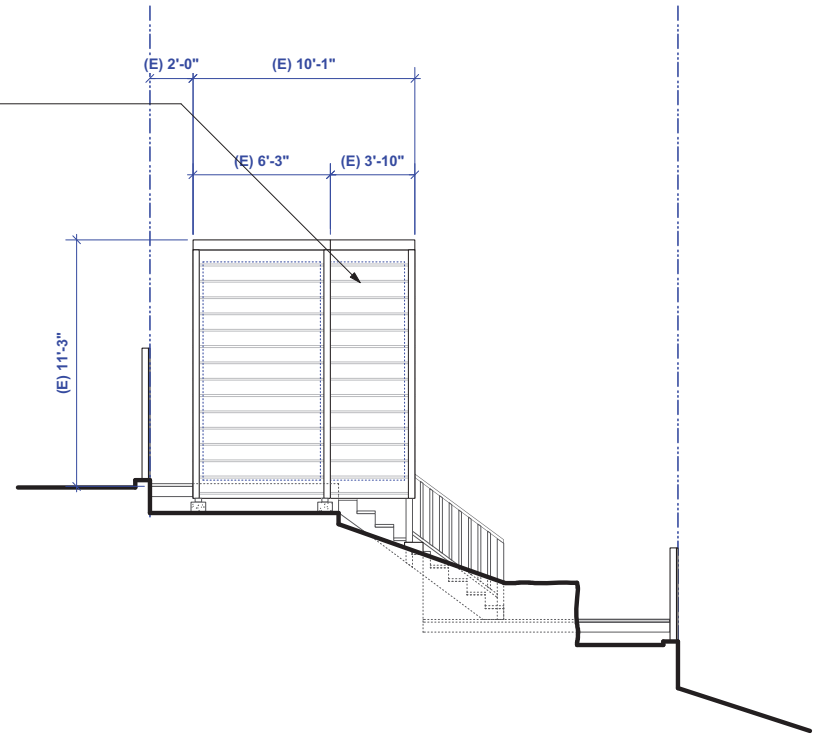




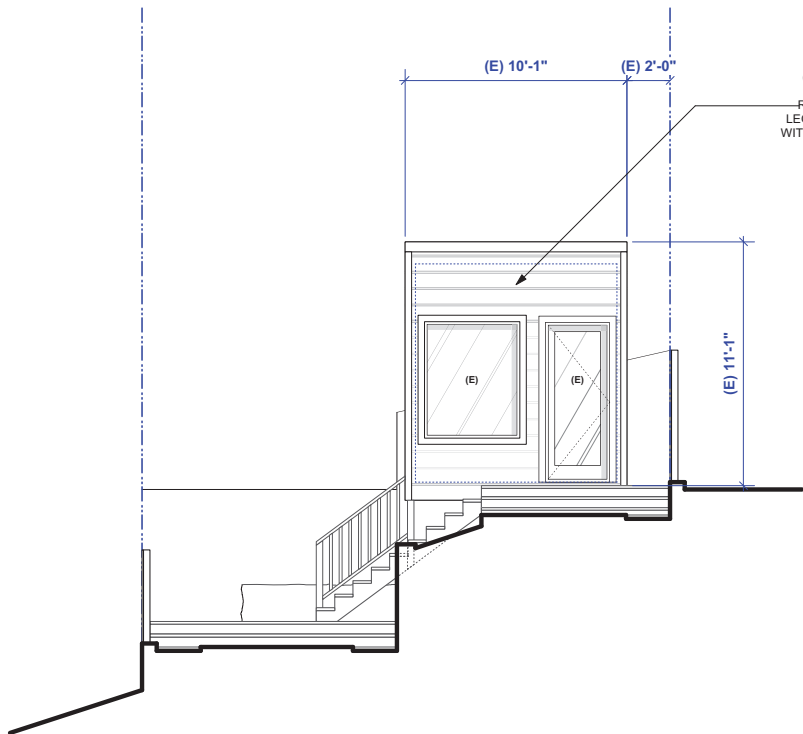
1 ACCESSORY STRUCTURE FRONT (NORTH) ELEVATION - EXISTING  
A3.01 Scale: 1/4" = 1'-0"



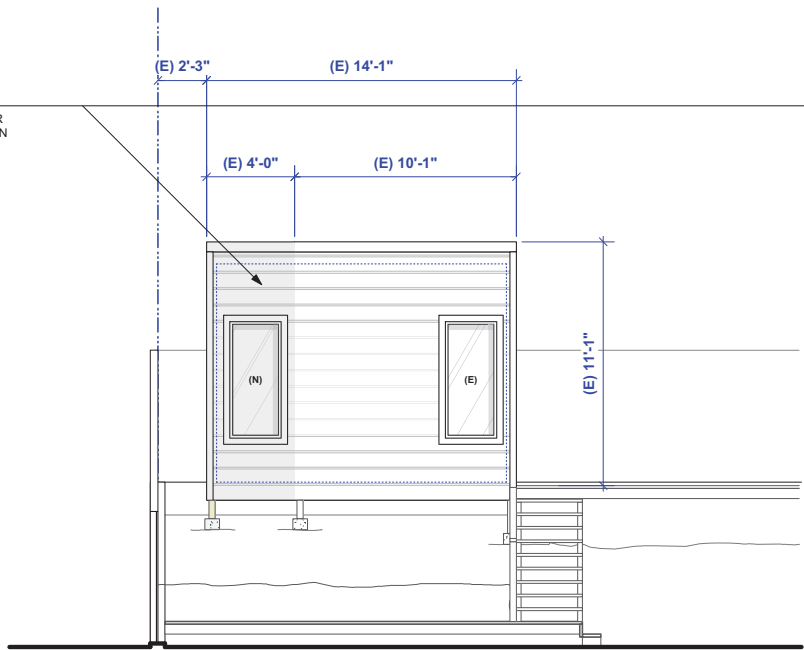
2 ACCESSORY STRUCTURE - SIDE (EAST) ELEVATION - EXISTING  
A3.01 Scale: 1/4" = 1'-0"



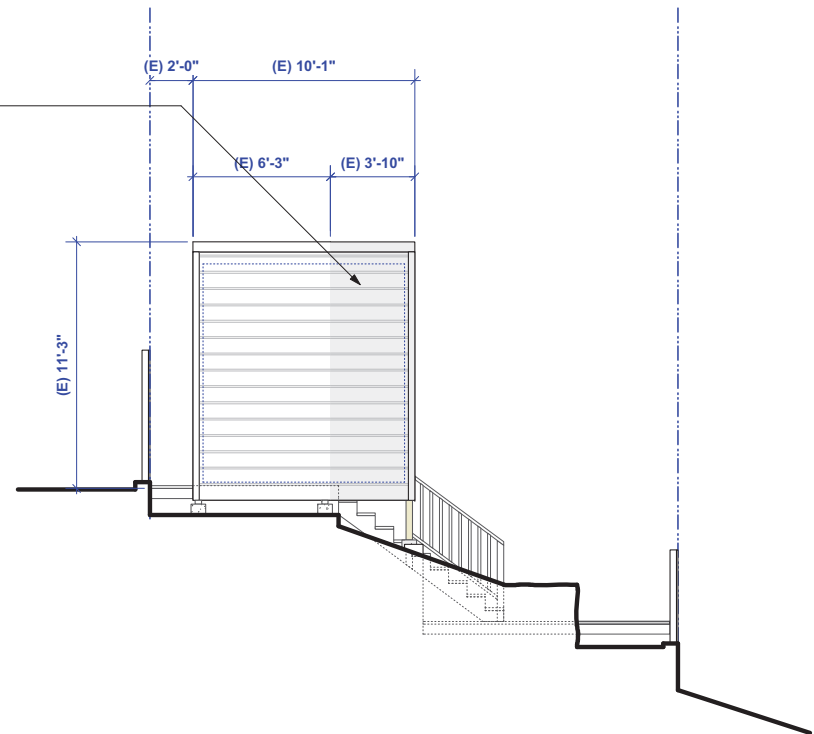
3 ACCESSORY STRUCTURE - REAR (SOUTH) ELEVATION - EXISTING  
A3.01 Scale: 1/4" = 1'-0"



4 ACCESSORY STRUCTURE FRONT (NORTH) ELEVATION - PROPOSED  
A3.01 Scale: 1/4" = 1'-0"



5 ACCESSORY STRUCTURE - SIDE (EAST) ELEVATION - PROPOSED  
A3.01 Scale: 1/4" = 1'-0"



6 ACCESSORY STRUCTURE - REAR (SOUTH) ELEVATION - PROPOSED  
A3.01 Scale: 1/4" = 1'-0"

DRAWINGS PREPARED BY  
**JAMES BARKER**  
JAMES BARKER DESIGN

+1 (415) 420 9437  
james@jamesbarkerdesign.com

Owner(s)  
Sahar Dadvand & Kamran  
Ghadaksaz  
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DWG TITLE  
**Exterior Elevations - Rear (East) - Existing & Proposed**

SHEET NO.  
**A3.01**