



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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CA 94103-2479

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, March 25, 2020**

Time: **Not before 9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance**

Hearing Body: **Zoning Administrator**

PROJECT INFORMATION		APPLICANT INFORMATION	
Project Address:	4122 - 4124 26th St.	Applicant:	Grygoriy Ladigin
Cross Street(s):	Noe and Castro Streets	Company:	Mork Ulnes Architects
Block /Lot No.:	6554/ 046 & 047	Applicant Address:	950 Noe Street
Zoning District(s):	RH-2 / 40-X	City, State:	San Francisco, CA
Area Plan:	N/A	Telephone:	(415) 282-1437
Record Number:	2019-013042VAR	E-Mail:	greg@morkulnes.com
PROJECT DESCRIPTION			
<p>The proposal is to demolish the existing two-level rear yard deck and construct a new three-level rear yard deck.</p> <p>PLANNING CODE SECTION 134 requires the subject property to maintain a rear yard of 51 feet 4 inches. The existing deck is located within the required rear yard. The new three-level deck will have the same depth as the existing deck, but will add a new deck at the second story, thus increasing the amount of structure located within the required rear yard. Therefore, a variance is required.</p>			
ADDITIONAL INFORMATION			
<p>ARCHITECTURAL PLANS: To view the plans and related documents for the proposed project, visit sf-planning.org/notices and search the Project Address listed above. The plans will also be available one week prior to the hearing through the hearing agenda at: sf-planning.org/hearings or by request at the Planning Department office located at 1650 Mission Street, 4th Floor.</p>			
<p>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF: Planner: Linda Ajello Hoagland Telephone: 415-575-6823 E-Mail: linda.ajellohoagland@sfgov.org</p>			

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident near the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to comment on the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice to the Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department or Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

Project Address

4122 - 4124 26th STREET SAN FRANCISCO CA, 94114	
OCCUPANCY	R-3
TYPE	TYPE V - NON-RATED
APN	6554-046
ZONING	RH-2

Project Description

RECONFIGURE AND REBUILD (E) REAR DECK AND STAIRS

Vicinity Map



Project Data

OCCUPANCY	R-3
TYPE	TYPE V - NON-RATED
APN	6554-046
ZONING	RH-2

Applicable Codes

- 2016 SAN FRANCISCO BUILDING CODE AMENDMENTS
- 2016 SAN FRANCISCO ELECTRICAL CODE AMENDMENTS
- 2016 SAN FRANCISCO MECHANICAL CODE AMENDMENTS
- 2016 SAN FRANCISCO PLUMBING CODE AMENDMENTS
- 2016 SAN FRANCISCO GREEN BUILDING CODE AMENDMENTS
- 2016 SAN FRANCISCO HOUSING CODE
- 2016 CALIFORNIA BUILDING CODE
- 2016 CALIFORNIA ELECTRICAL CODE
- 2016 CALIFORNIA ENERGY CODE
- 2016 CALIFORNIA PLUMBING CODE
- 2016 CALIFORNIA MECHANICAL CODE
- 2016 CALIFORNIA GREEN BUILDING CODE

Abbreviations

+, & @ ADV ADA AFF AL ANOD APPROX	AND AT ABOVE AMERICAN WITH DISABILITIES ACT ABOVE FINISHED FLOOR ALUMINUM ANODIZED APPROXIMATELY
B.O BD BLW BS BTWN BLDG BLK BYND	BOTTOM OF BOARD BELOW BOTH SIDES BETWEEN BUILDING BLOCK, BLOCKING BEYOND
CL CLG CLMN CMU CONC CONT	CENTER LINE CEILING COLUMN CONCRETE MASONRY UNIT CONCRETE CONTINUOUS
DEMO DIA DIM DN DWG	DEMOLITION DIAMETER DIMENSION DOWN DRAWING
EA EL ELEC E.O. EQ EQUIP (E)	EACH ELEVATION ELECTRIC EDGE OF EQUAL EQUIPMENT EXISTING
FB FD FDN F.O. F.O.F. FF FL FIG FT	FABRIC FLOOR DRAIN FOUNDATION FACE OF FACE OF FINISH FINISHED FLOOR FLOOR FIGURE FEET
GA GALV G.B. GYP GL GR	GAUGE, GAGE GALVANIZED GRAB BAR GYPSUM BOARD GLASS GRADE
HDWD HM HORZ HP HR H HVAC	HARDWOOD HOLLOW METAL HORIZONTAL HIGH POINT HOUR HEIGHT HEAT / VENTILATION / AIR CONDITIONING
ID INCH INCL INFO INSUL INT	INSIDE DIMENSION INCH INCLUDING INFORMATION INSULATION INTERIOR
JT	JOINT
LIN LL LOC LP	LINEAR LOWER LEVEL LOCATION LOW POINT
MAX MECH MEP MFR MIN MISC MTL	MAXIMUM MECHANICAL MECHANICAL ELECTRICAL PLUMBING MANUFACTURER MINIMUM MISCELLANEOUS METAL
(N) NEC NTS NIC NIS NO	NEW NECESSARY NOT TO SCALE NOT IN CONTRACT NOT IN SCOPE NUMBER
OC OD OP OTB	ON CENTER OVERFLOW DRAIN OWNER PROVIDED OPEN TO BEYOND
PR (P) PLYWD PT	PAIR PROPOSED PLYWOOD PAINT
RAD RD REQ'D RM RO	RADIUS ROOF DRAIN REQUIRED ROOM ROUGH OPENING
SC SCHED SEC SHT SIM SPEC SQ SS STD STL STFRONT STRUC ST&V SUSP	SOLID CORE SCHEDULE SECTION SHEET SIMILAR SPECIFICATIONS SQUARE STAINLESS STEEL STANDARD STEEL STOREFRONT STRUCTURAL STAIN & VARNISH SUSPENDED
TBD T.O. THK TYP	TO BE DECIDED TOP OF THICK TYPICAL
UNO	UNLESS NOTED OTHERWISE
VEN VENT VERT VEST VIF VOL	VENER VENTILATION VERTICAL VESTIBULE VERIFY IN FIELD VOLUME
WA W/ WC WD W/O	WASHER WITH WATER CLOSET WOOD WITHOUT

General Notes

- 1) ALL ASPECTS OF THE WORK HAVE NOT BEEN EXPLICITLY DESCRIBED. WORK NOT INCLUDED IS EXPLICITLY CALLED OUT. THESE PLANS ARE NOT INTENDED TO BE COMPLETE, OR TO BE USED ALONE AS CONTRACT, BID OR CONSTRUCTION DOCUMENTS.
- 2) REPORT TO THE PLAN PREPARER ANY ERRORS OR INCONSISTENCIES APPARENT OR SUSPECTED AND AWAIT A RESOLUTION BEFORE PROCEEDING. THE OBLIGATIONS OF THE PLAN PREPARER WITH RESPECT TO ANY SUCH ERRORS OR INCONSISTENCIES SHALL BE STRICTLY LIMITED TO PROVISION OF ADDITIONAL INFORMATION, IN A FORM DEEMED APPROPRIATE SOLELY BY THE PLAN PREPARER ONLY TO THE GENERAL CONTRACTOR.
- 3) CORRECTIONS OF ERRORS IN THIS DOCUMENT AND ADDITIONAL INFORMATION AS NECESSARY TO COMPLETE THE WORK WILL HAVE TO BE ARRANGED AND PAID FOR AS NECESSARY BY THE OWNER.
- 4) ALL DIMENSIONS AND (E) LOCATIONS ARE ASSUMED AND TO BE VERIFIED IN FIELD BY GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION. DO NOT SCALE OFF THE DRAWINGS.
- 5) ALL DRAWINGS AND WRITTEN MATERIALS APPEARING HEREIN CONSTITUTE ORIGINAL WORK AND MAY NOT BE USED, DUPLICATED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE PLAN PREPARER. ALL RIGHTS IN THESE DOCUMENTS ARE RESERVED BY THE PLAN PREPARER.
- 6) THESE DOCUMENTS DO NOT CREATE OR EVIDENCE ANY OBLIGATIONS OR DUTIES OF ANY KIND TO THE OWNER, ANY THIRD PARTY, OR THE GENERAL CONTRACTOR OUTSIDE OF THE ASSISTANCE IN SECURING PERMITS. THEY ARE NOT REPRESENTED TO BE IN COMPLETE CONFORMANCE WITH CODES, REGULATIONS, LAWS, OR ACCEPTED INDUSTRY PRACTICE. THE OWNER IS RESPONSIBLE FOR RETAINING A LICENSED CONTRACTOR DURING CONSTRUCTION SO THAT OBSERVATION AND ADJUSTMENT TO THE STRUCTURE CAN BE MADE AS FIELD CONDITIONS INDICATE.
- 7) THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, SAFETY, COSTS, SEQUENCES, PROCEDURES, DETAILS AND ALL DAMAGES TO PERSONS OR PROPERTY NOT SPECIFICALLY INDICATED FOR DEMOLITION AS PART OF THE WORK, WHETHER OR NOT COVERED BY THE PAYMENTS MADE. ANY PARTY MAKING ANY USE WHATSOEVER OF THESE DOCUMENTS, OR DERIVING ANY BENEFIT FROM THEM, SHALL FULLY INDEMNIFY AND HOLD HARMLESS THE PLAN PREPARER AND THEIR AGENTS, EMPLOYEES AND CONSULTANTS TO THE FULLEST EXTENT POSSIBLE BY LAW AGAINST ALL OMISSION OF ANY PARTY SUBCONTRACTOR OR ANY DIRECT OR INDIRECT EMPLOYEE OR AGENT, CLAIMS, LOSSES, AND EXPENSES THAT ARE CAUSED IN WHOLE OR PART BY ANY NEGLIGENT ACT OR OMISSION OF ANY PARTY, SUBCONTRACTOR, OR ANY DIRECT OR INDIRECT EMPLOYEE OR AGENT, WHETHER OR NOT CAUSED IN PART BY A PARTY INDEMNIFIED HEREUNDER. THIS OBLIGATION SHALL NOT BE LIMITED IN ANY WAY BY ANY EMPLOYEE BENEFIT ACT OR AFFECT ANY OTHER RIGHT OR OBLIGATION.
- 8) GENERAL CONTRACTOR TO PROVIDE MOCK-UPS OF FINISH MATERIALS TO ARCHITECT PRIOR TO ORDERING AND MANUFACTURE.

Legal Notes

Indemnification
THE OWNER AGREES TO INDEMNIFY THE PLAN PREPARER, AND TO HOLD THE PLAN PREPARER HARMLESS, AGAINST ANY AND ALL LOSSES, DAMAGES, COSTS, EXPENSES (INCLUDING REASONABLE ATTORNEYS FEES), LIABILITIES AND OTHER OBLIGATIONS WHICH THE PLAN PREPARER INCURS AS A RESULT OF ANY THIRD PART CLAIM, ACTION OR PROCEEDING BASED ON ALLEGATION THAT THE PLAN PREPARER HAS BREACHED A MATERIAL TERM OF THIS AGREEMENT IN ANY MANNER OTHER THAN BY THE PLAN PREPARER'S SOLE NEGLIGENCE OR WILLFUL MISCONDUCT IN THE PERFORMANCE OF SERVICES, PROVIDED HOWEVER THAT THE PLAN PREPARER SHALL PROMPTLY NOTIFY THE OWNER IN WRITING OF ANY CLAIM OR THREATENED OR ACTUAL ACTION PROCEEDING. THE PLAN PREPARER SHALL CONTROL THE DEFENSE OF ANY SUCH CLAIM, ACTION OR PROCEEDING, INCLUDING THE SELECTION OF COUNSEL, BUT THE OWNER SHALL HAVE THE RIGHT TO PARTICIPATE IN ANY ACTION OR PROCEEDING WITH COUNSEL OF THE OWNER'S SELECTION.

Limitation of Liability
NEITHER THE PLAN PREPARER NOR THE PLAN PREPARER'S CONSULTANTS, AGENTS, REPRESENTATIVES OR EMPLOYEES SHALL BE LIABLE TO THE OWNER FOR ANY INDIRECT, SPECIAL RELIANCE, INCIDENTAL, CONSEQUENTIAL OR EXEMPLARY DAMAGES (OTHER THAN FOR PERSONAL INJURY) ARISING OUT OF, OR IN CONNECTION WITH THE PERFORMANCE OF SERVICES UNDER THIS AGREEMENT, WHETHER IN ACTION BASED ON CONTRACT INCLUDING BREACH OF REPRESENTATION OR WARRANTY, DELAY, NEGLIGENCE (ACTIVE OR PASSIVE), STRICT TORT OR OTHERWISE.

THE ENTIRE LIABILITY OF THE PLAN PREPARER'S CONSULTANTS, AGENTS AND EMPLOYEES, THAT DOES NOT INVOLVE A THIRD PARTY CLAIM, SHALL IN NO EVENT EXCEED THE TOTAL AMOUNT PAID TO THE PLAN PREPARER BY THE OWNER FOR SERVICES PERFORMED HEREUNDER.

THE SOLE REMEDY FOR ANY BREACH OR ALLEGED BREACH R.E. LIABILITY IS THE PREPARATION OF CORRECTED DESIGN DOCUMENTS AS MAY BE REQUIRED BY THE JURISDICTION WHICH ISSUES PERMIT.

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Perspective Bird's Eye View - Proposed



Mork
—Ulnes

Mork Ulnes Architects
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Client
Preeti Chadha & Jan Oeljeschlager
4122 - 4124 26th Street
San Francisco, CA 94131

Architect
Casper Mork Ulnes
Mork Ulnes Architects
950 Noe Street
San Francisco, CA 94107
T. 415 282 1437

Project Information

26th Street Garden
Connection

Address: 4122 & 4124 26th Street
San Francisco, CA 94131
APN: Project APN
Project No.: 21710

Stamp



No.	Date	Issues & Revisions
01	2019.04.30	PRE-APPLIACTION PLANS
02	2019.06.06	ISSUED FOR SITE PERMIT
03	2019.10.09	SITE PERMIT REVISION #1

Sheet Description
GENERAL INFORMATION

Plot Date	Issued For
2019.10.07	SITE PERMIT

Sheet No.	Ref. North
A-001	1

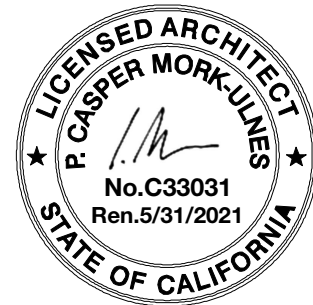
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Sheet Description

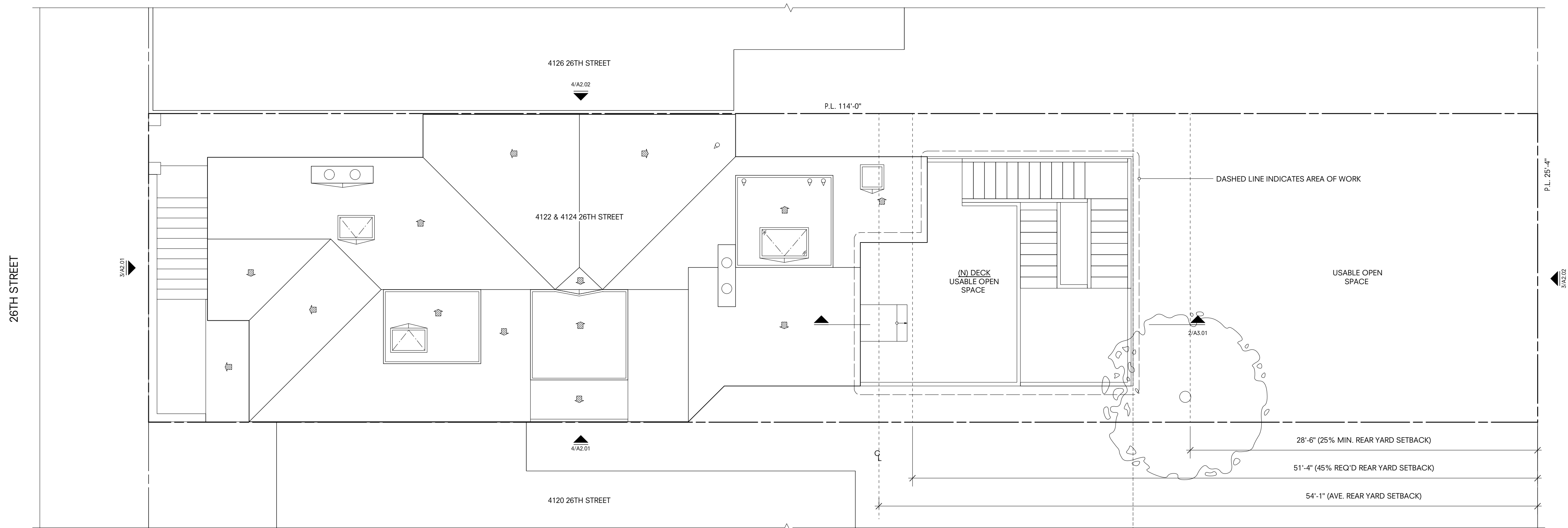
Plot Date	Issued For
2019.06.06	SITE PERMIT APPLICATION

Sheet No. **A-002** Ref. North

Scale AS SHOWN No. 02 / 10

2 SITE PLAN - PROPOSED

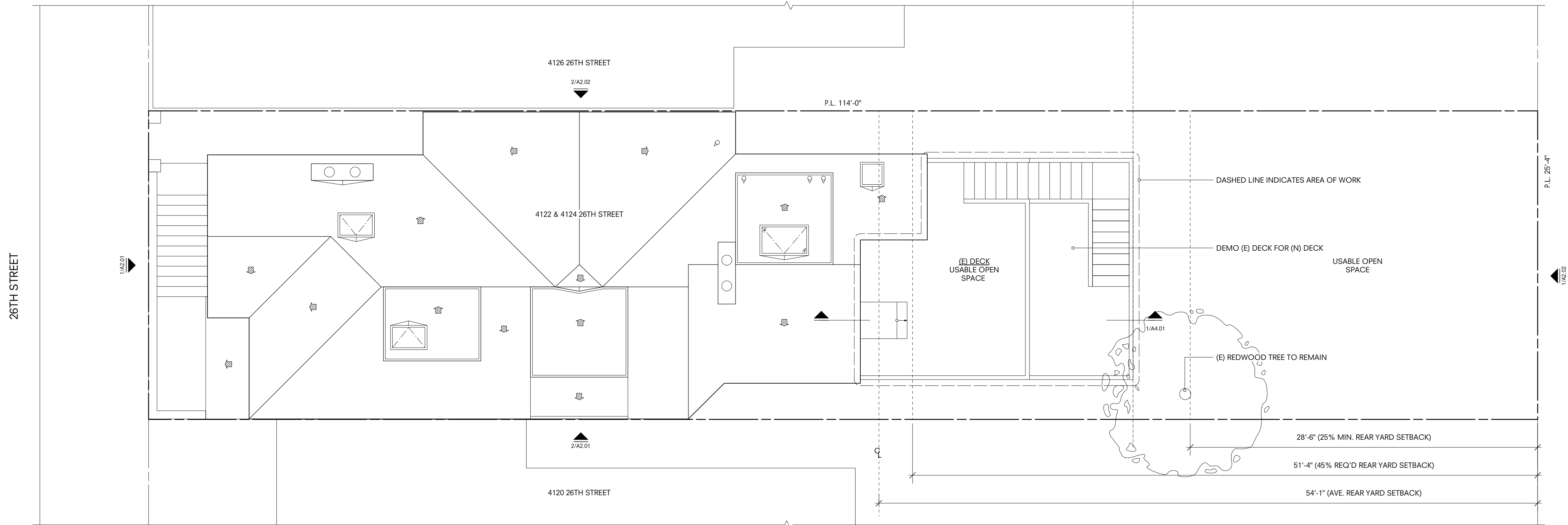
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DASHED LINE INDICATES EXTENT OF (B) DECK
STRUCTURE AS PER BPNW 020167
NO CHANGE PROPOSED

1 SITE PLAN - EXISTING

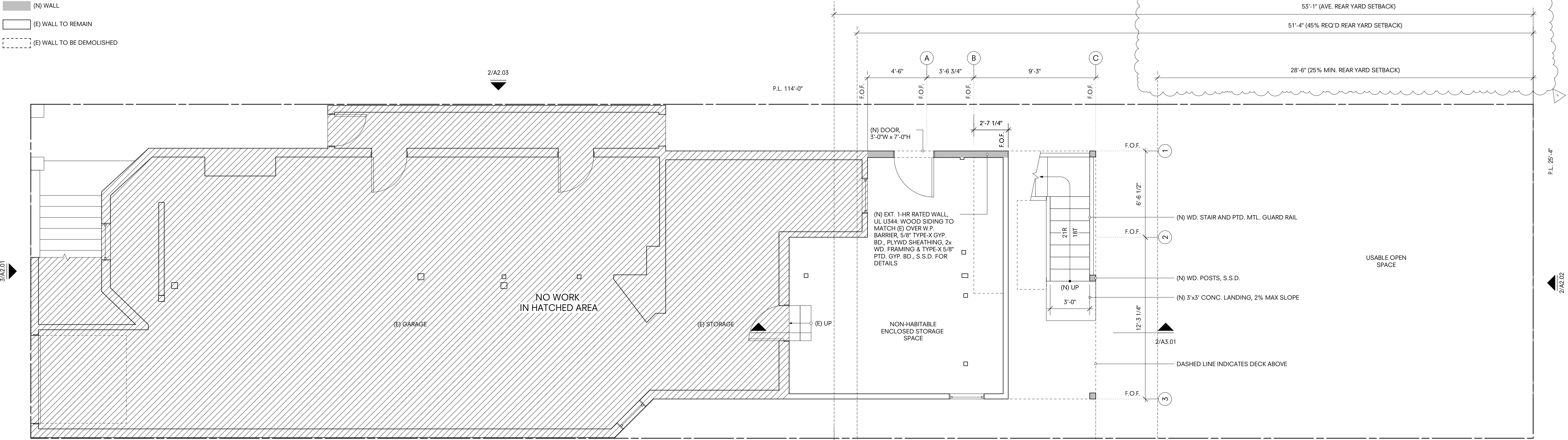
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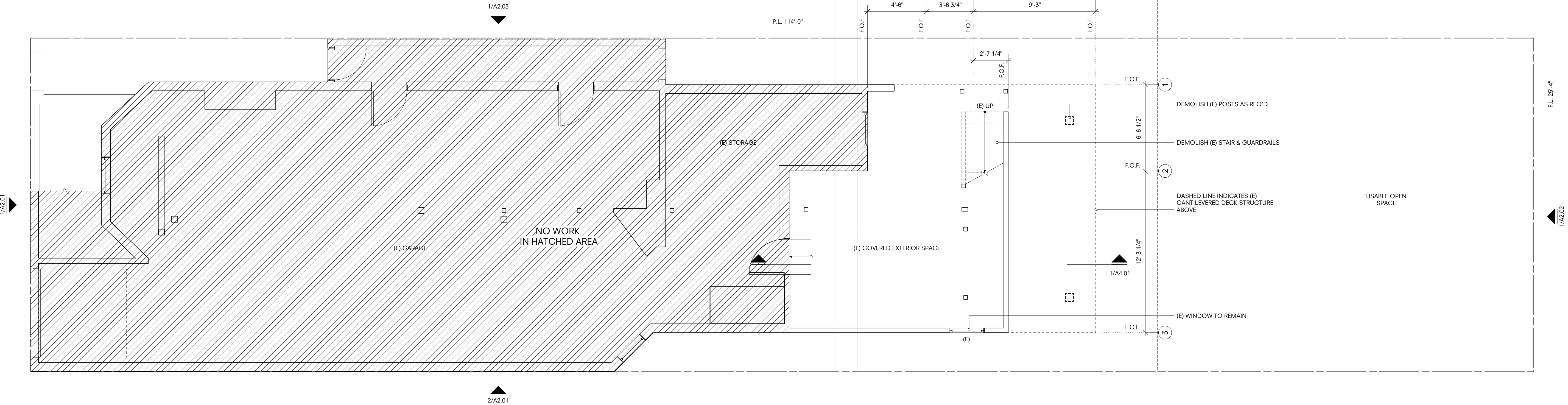
DEMO (E) DECK FOR (N) DECK

(E) REDWOOD TREE TO REMAIN

- (N) WALL
- (E) WALL TO REMAIN
- (E) WALL TO BE DEMOLISHED



2 1ST STORY FLOOR PLAN - PROPOSED
Scale: 1/4" = 1'-0"



1 1ST STORY FLOOR PLAN - EXISTING
Scale: 1/4" = 1'-0"

Mork —Ulnes

Mork Ulnes Architects
morkulnes.com

Client
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03	2019.10.09	SITE PERMIT REVISION #1

Sheet Description

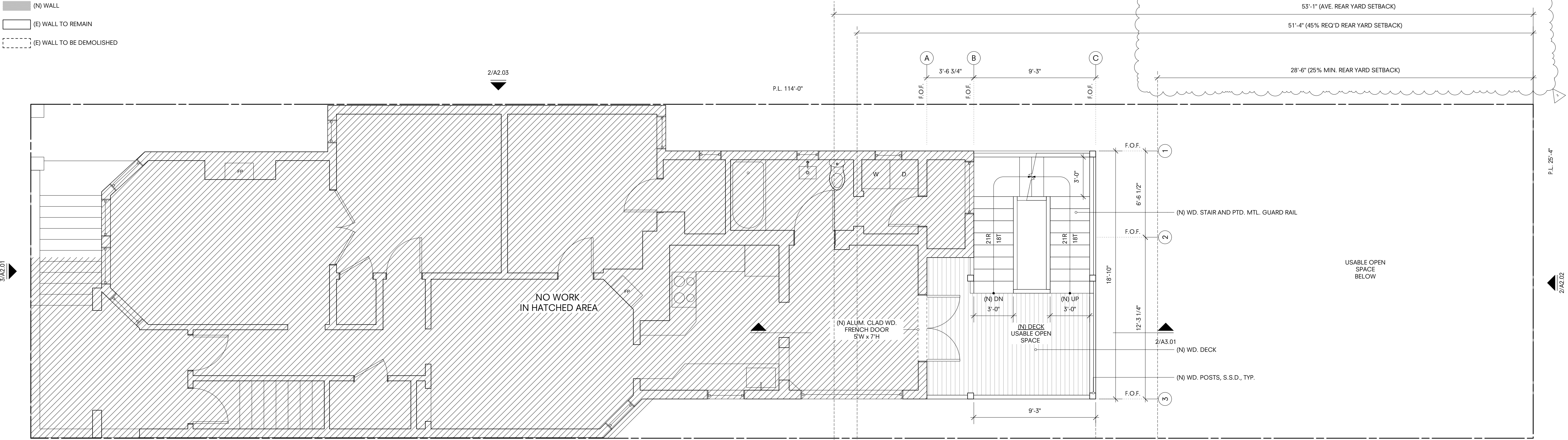
FLOOR PLANS - 1ST STORY

Plot Date	Issued For
2019.10.07	SITE PERMIT

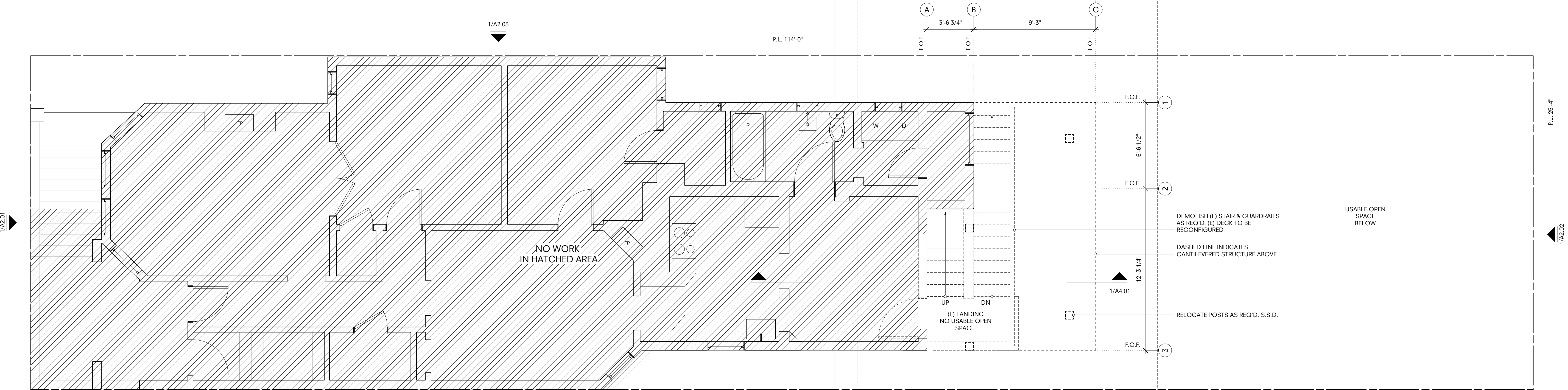
Sheet No.	Ref. North
A-101	⬆

Scale	AS SHOWN	No.	03 / 10
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(N) WALL
(E) WALL TO REMAIN
(E) WALL TO BE DEMOLISHED



2 2ND STORY FLOOR PLAN - PROPOSED
Scale: 1/4" = 1'-0"



1 2ND STORY FLOOR PLAN - EXISTING
Scale: 1/4" = 1'-0"

Mork —Ulnes

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Project Information

26th Street Garden Connection

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Sheet Description

FLOOR PLANS - 2ND STORY

Plot Date
2019.10.07

Issued For
SITE PERMIT

Sheet No.

A-102

Ref. North



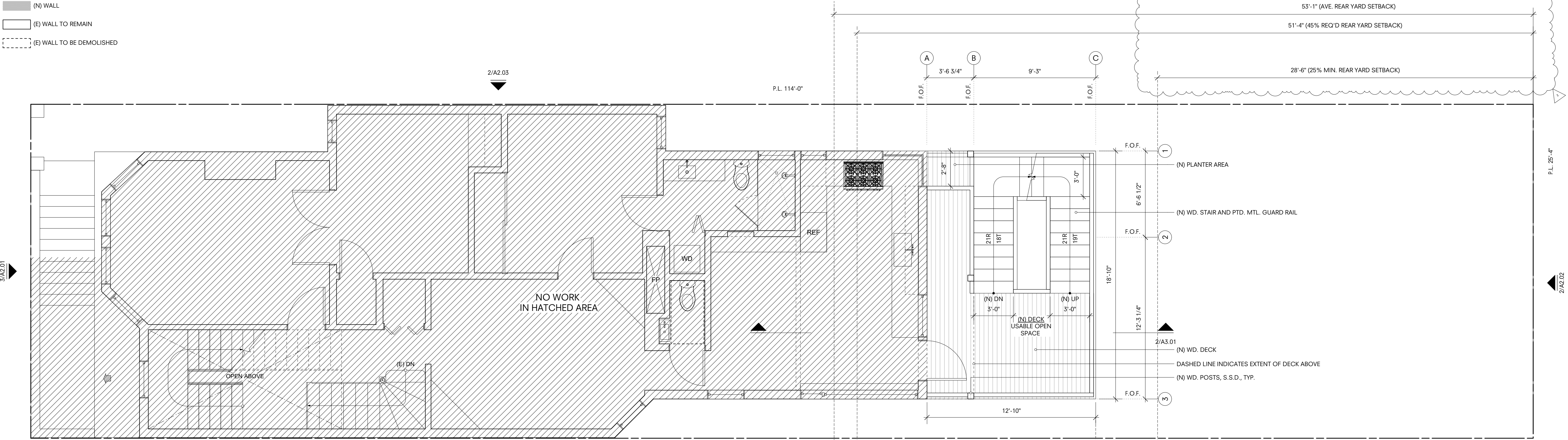
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AS SHOWN

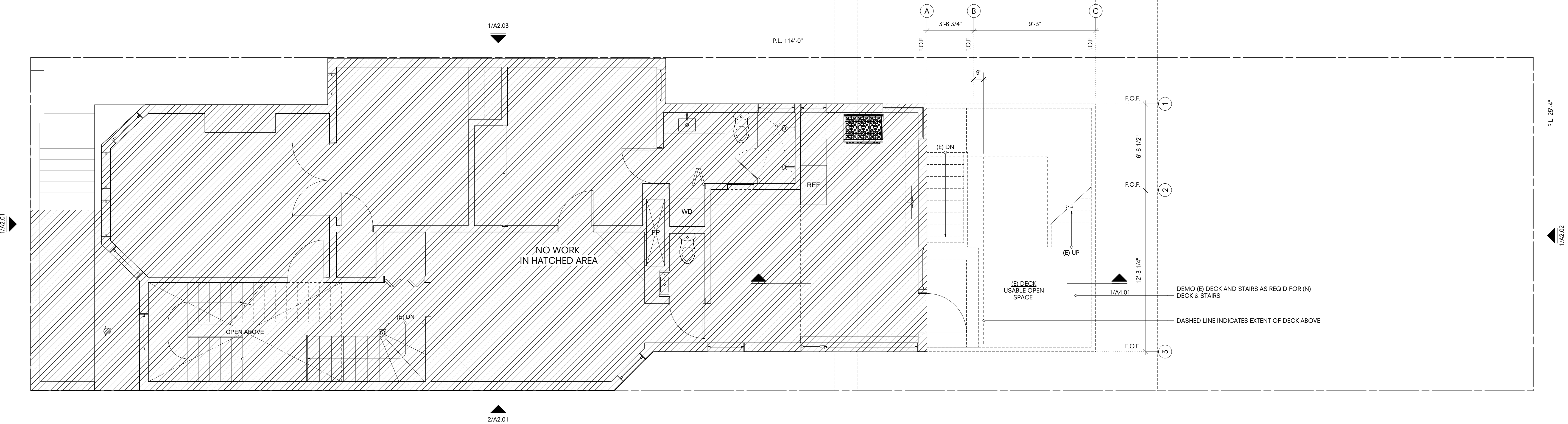
No.

04 / 10

- (N) WALL
(E) WALL TO REMAIN
(E) WALL TO BE DEMOLISHED



2 3RD STORY FLOOR PLAN - PROPOSED
Scale: 1/4" = 1'-0"



1 3RD STORY FLOOR PLAN - EXISTING
Scale: 1/4" = 1'-0"

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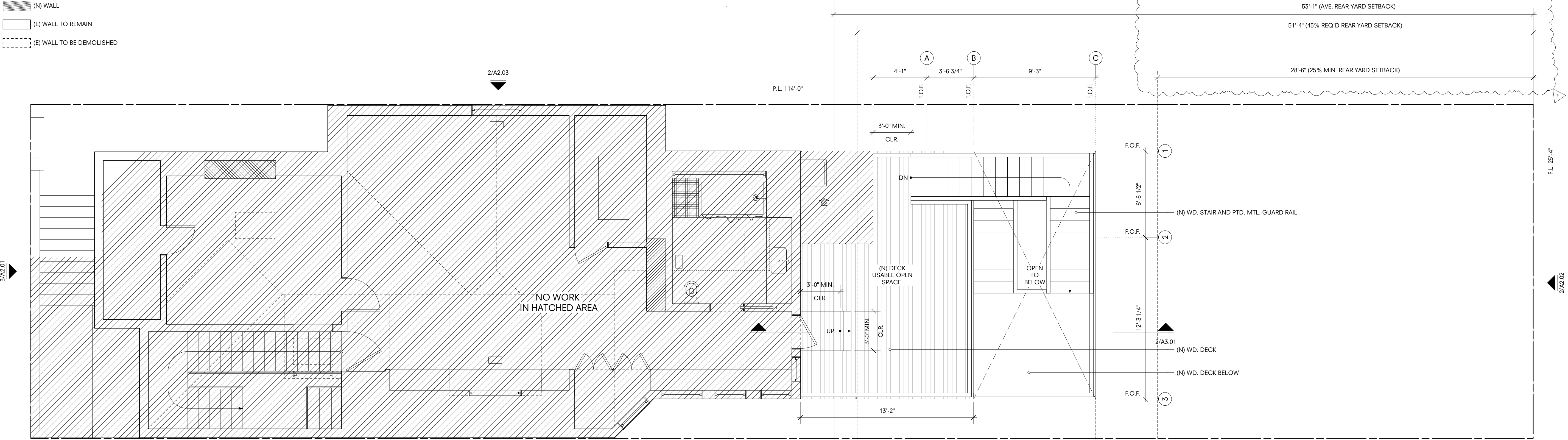
FLOOR PLANS - 3RD STORY

Plot Date	Issued For
2019.10.07	SITE PERMIT

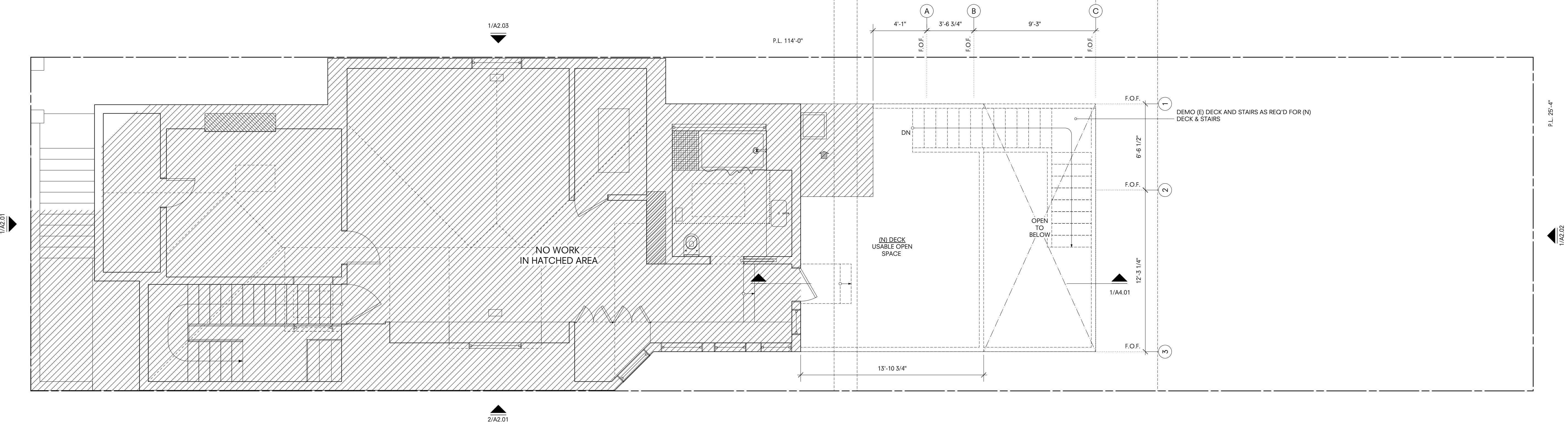
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A-103	⬆

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(N) WALL
(E) WALL TO REMAIN
(E) WALL TO BE DEMOLISHED



2 4TH STORY FLOOR PLAN - PROPOSED
Scale: 1/4" = 1'-0"



1 4TH STORY FLOOR PLAN - EXISTING
Scale: 1/4" = 1'-0"

Mork —Ulnes

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Project Information

26th Street Garden Connection

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Sheet Description

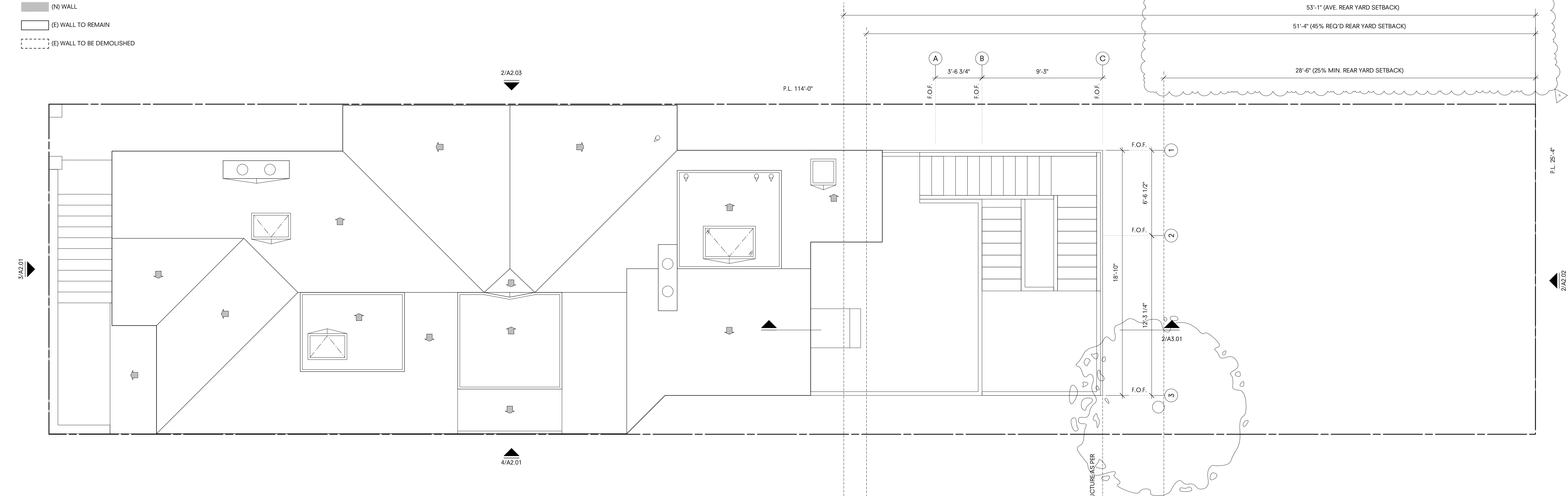
FLOOR PLANS - 4TH STORY

Plot Date	Issued For
2019.10.07	SITE PERMIT

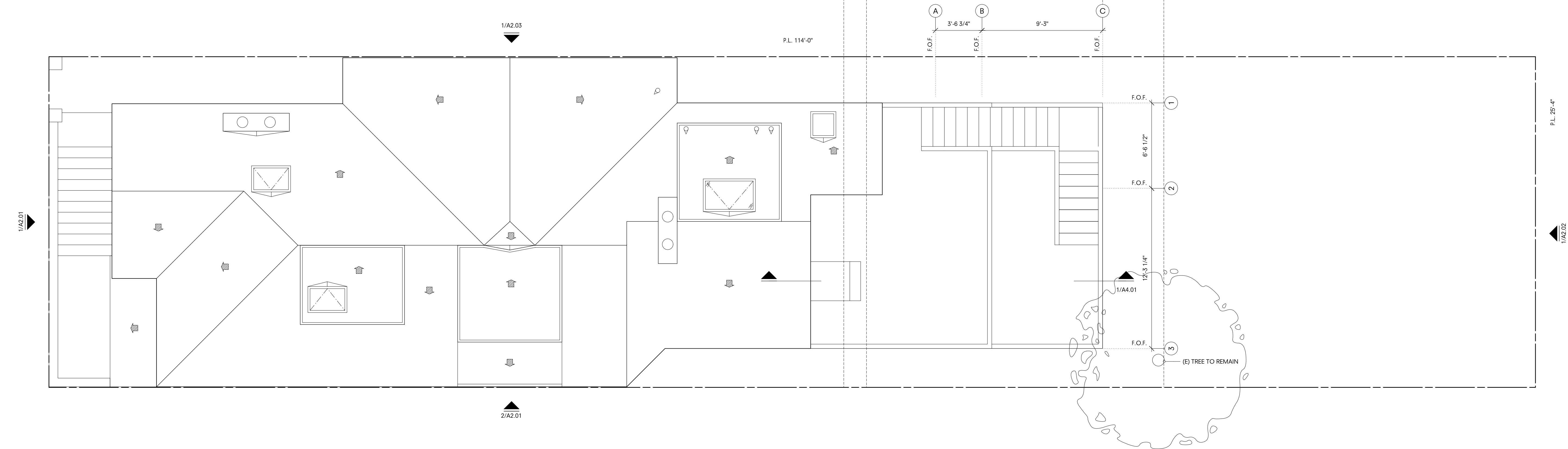
Sheet No.	Ref. North
A-104	⬆

Scale	AS SHOWN	No.	06 / 10
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(N) WALL
(E) WALL TO REMAIN
(E) WALL TO BE DEMOLISHED



2 ROOF PLAN - PROPOSED (NO PROPOSED CHANGES)
Scale: 1/4" = 1'-0"



1 ROOF PLAN - EXISTING (NO PROPOSED CHANGES)
Scale: 1/4" = 1'-0"

Mork —Ulnes

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Project Information

26th Street Garden Connection

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ROOF PLANS

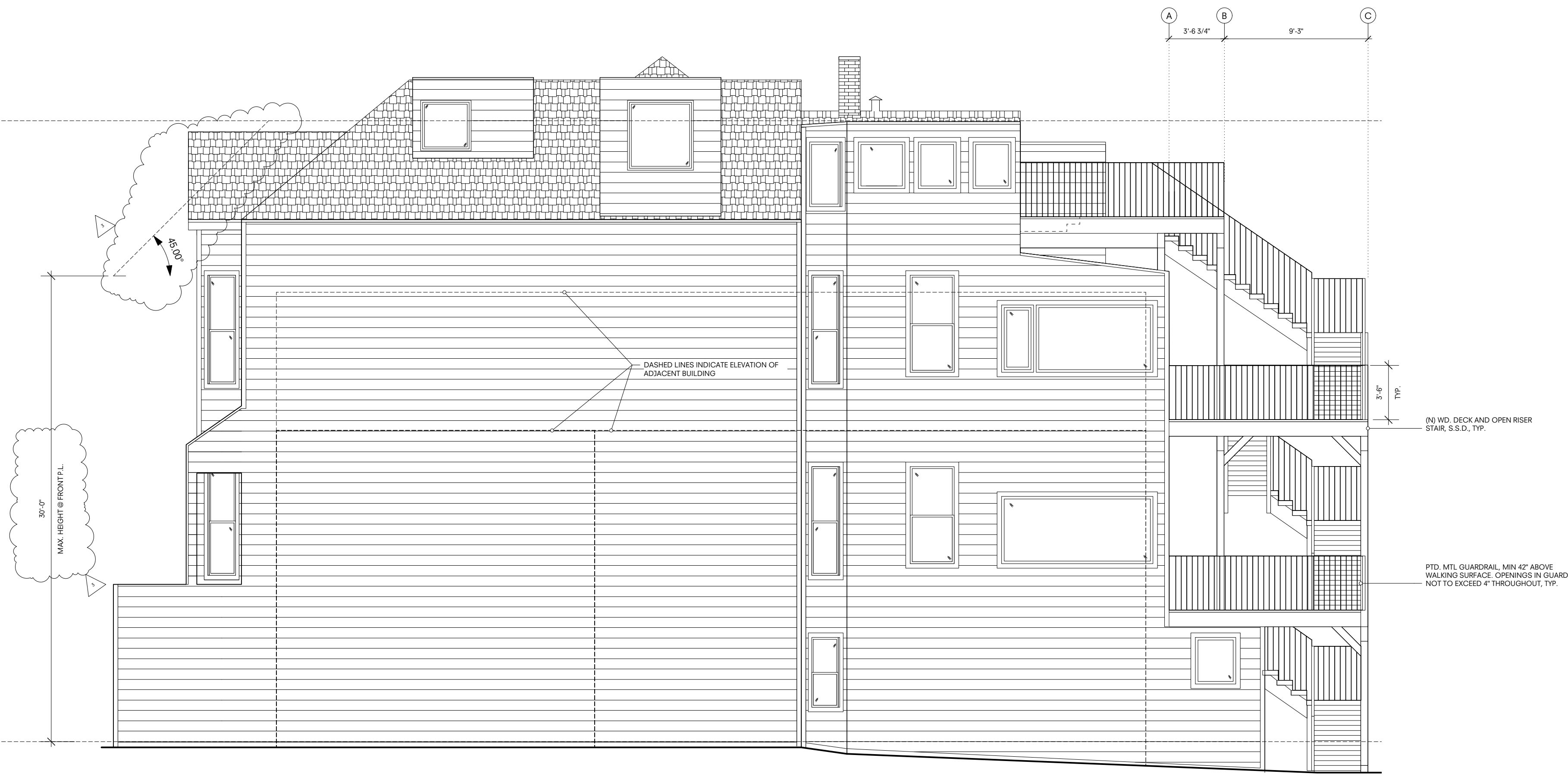
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A-105	⬆

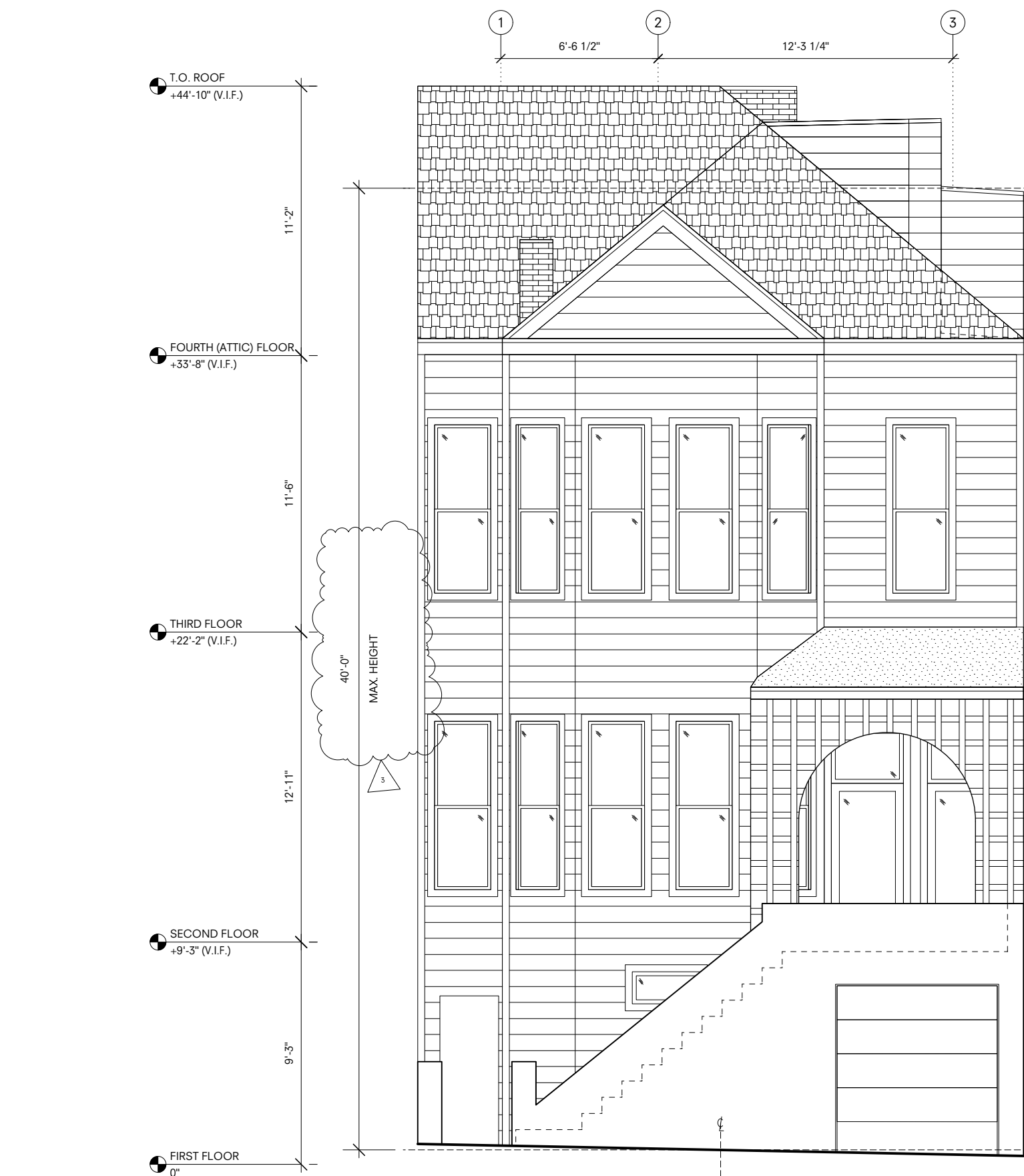
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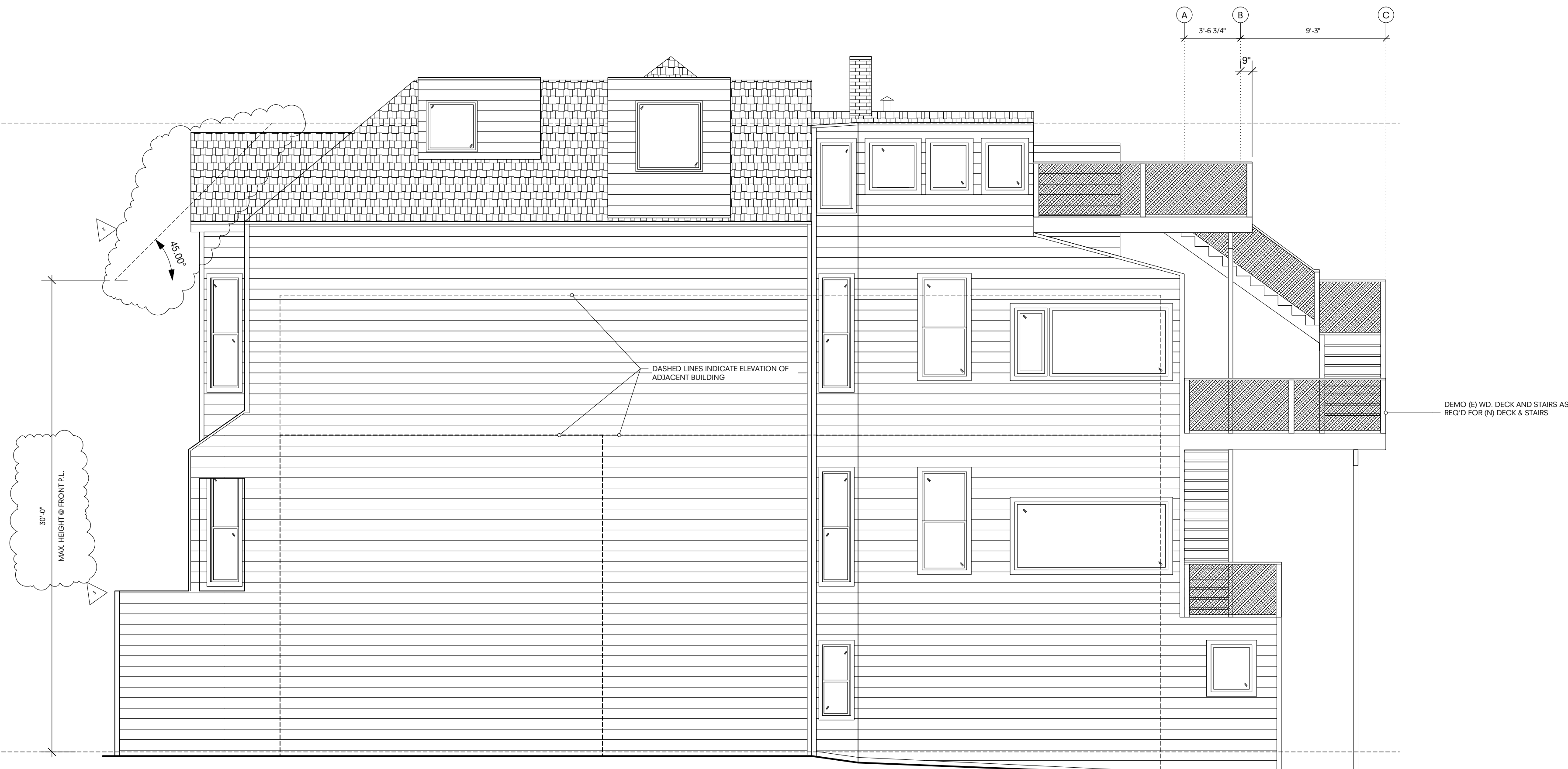
3 SOUTH ELEVATION - PROPOSED (NO CHANGE)
Scale: 3/16" = 1'-0"



4 EAST ELEVATION - PROPOSED
Scale: 3/16" = 1'-0"



1 SOUTH ELEVATION - EXISTING (NO CHANGE)
Scale: 3/16" = 1'-0"



2 EAST ELEVATION - EXISTING
Scale: 3/16" = 1'-0"

Mork —Ulnes

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03	2019.10.09	SITE PERMIT REVISION #1

Sheet Description

SOUTH & EAST ELEVATIONS

Plot Date
2019.10.07

Issued For
SITE PERMIT

Sheet No.

A-201

Ref. North

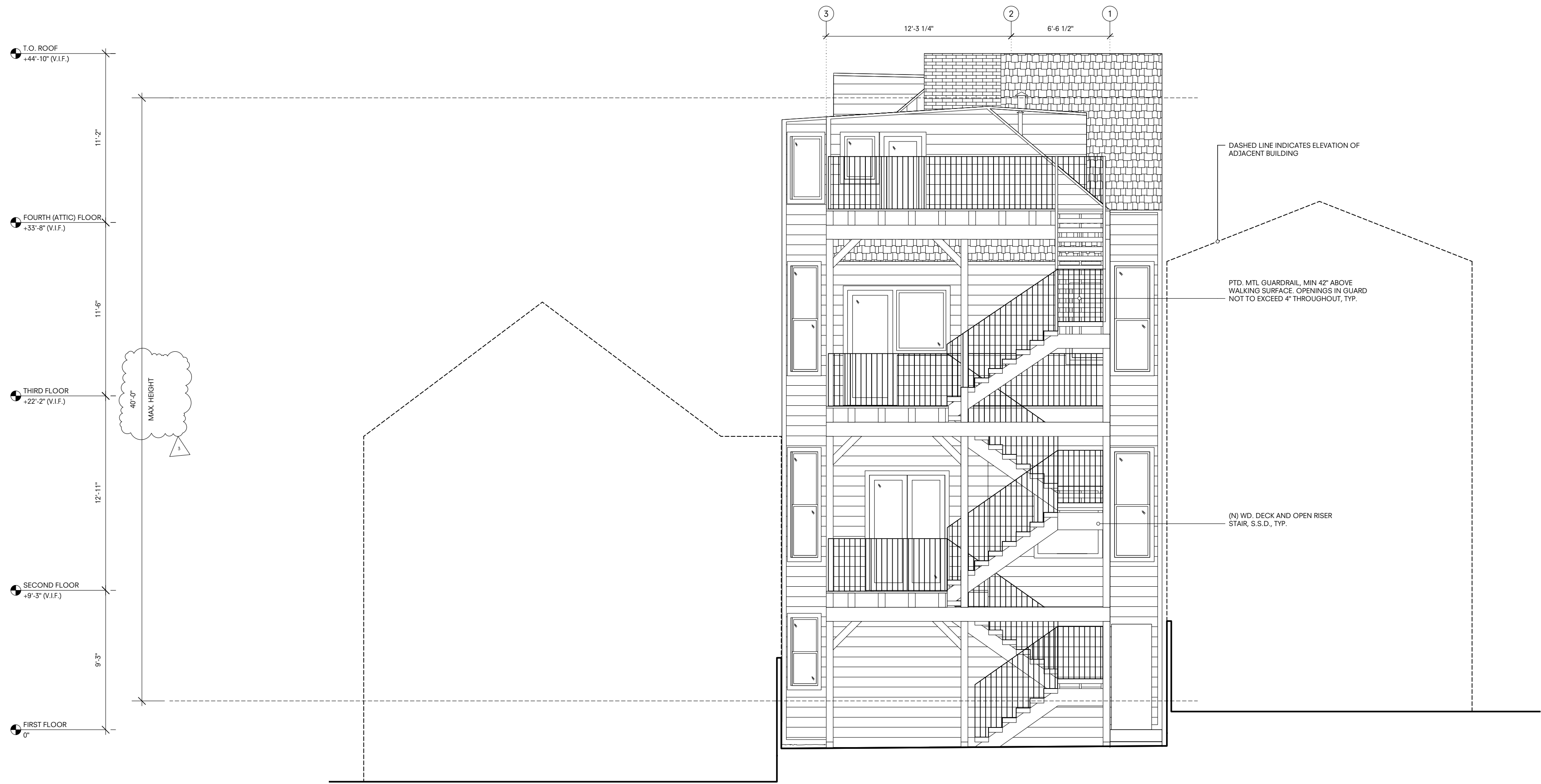


Scale AS SHOWN

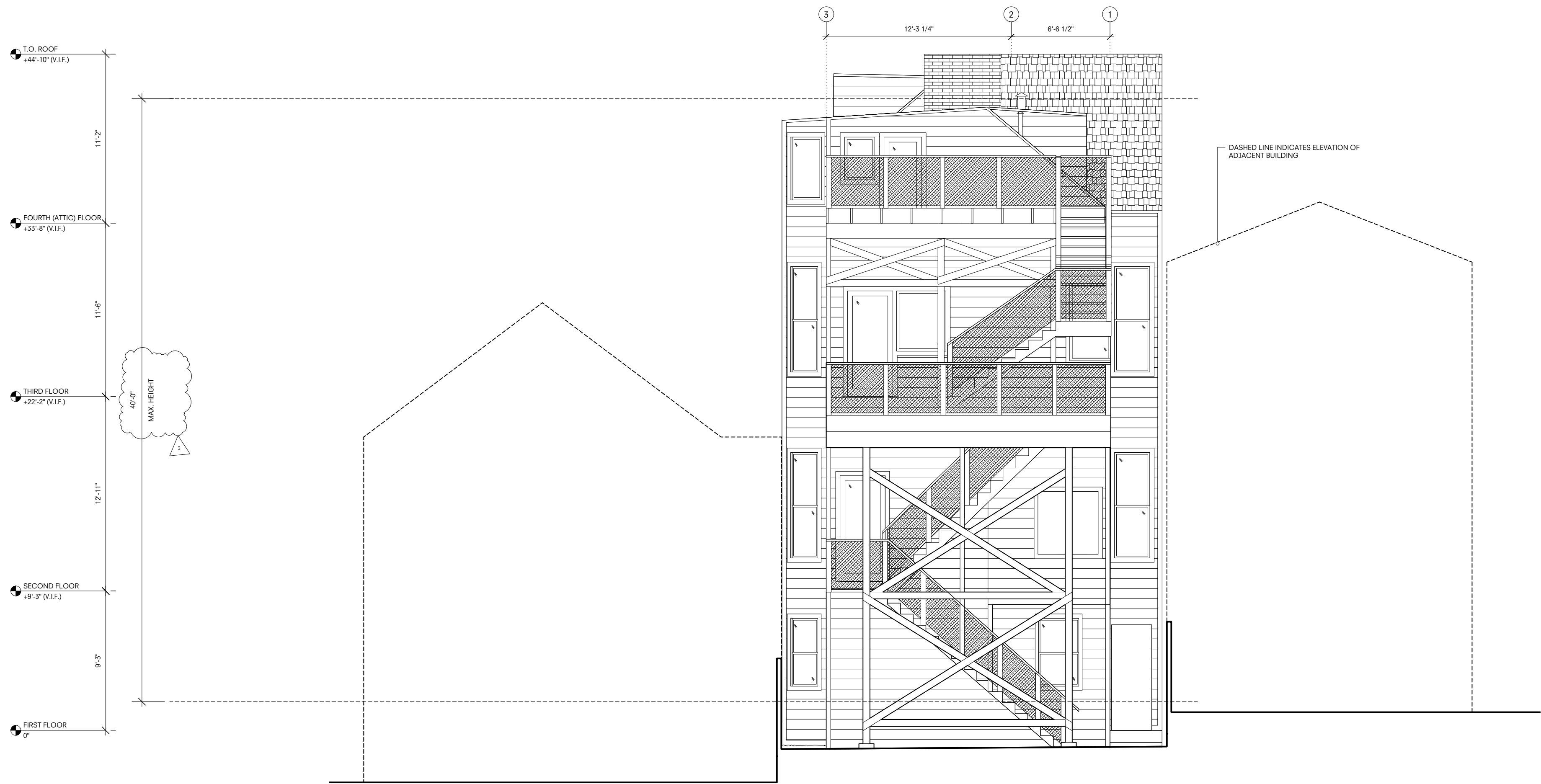
No.

08 / 10

2 NORTH ELEVATION - PROPOSED
Scale: 3/16" = 1'-0"



1 NORTH ELEVATION - EXISTING
Scale: 3/16" = 1'-0"



Mork —Ulnes

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Project Information

26th Street Garden Connection

Address: 4122 & 4124 26th Street
San Francisco, CA 94131
APN: Project APN
Project No.: 21710

Stamp



No.	Date	Issues & Revisions
01	2019.04.30	PRE-APPLICATION PLANS
02	2019.06.06	ISSUED FOR SITE PERMIT
03	2019.10.09	SITE PERMIT REVISION #1

Sheet Description

SOUTH & EAST ELEVATIONS

Plot Date

2019.10.07

Issued For

SITE PERMIT

Sheet No.

A-202

Ref. North



Scale

AS SHOWN

No.

08 / 10

Project Information

26th Street Garden
Connection

Address: 4122 & 4124 26th Street
San Francisco, CA 94131
APN: Project APN
Project No.: 21710

Stamp



No.	Date	Issues & Revisions
01	2019.04.30	PRE-APPLICATION PLANS
02	2019.06.06	ISSUED FOR SITE PERMIT
03	2019.10.09	SITE PERMIT REVISION #1

Sheet Description
NORTH & WEST ELEVATIONS

Plot Date
2019.10.07

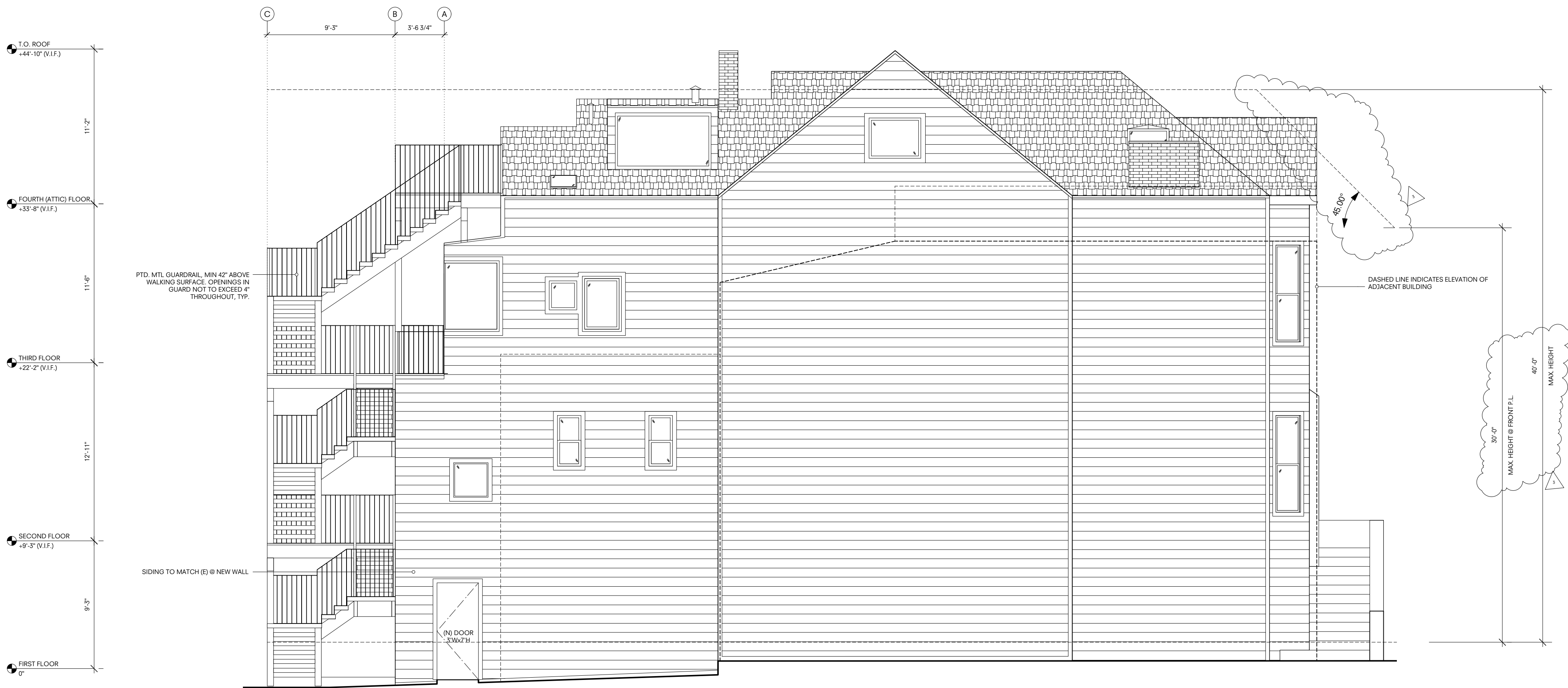
Issued For
SITE PERMIT

Sheet No.
A-203

Ref. North
○

Scale
AS SHOWN

No. 09 / 10



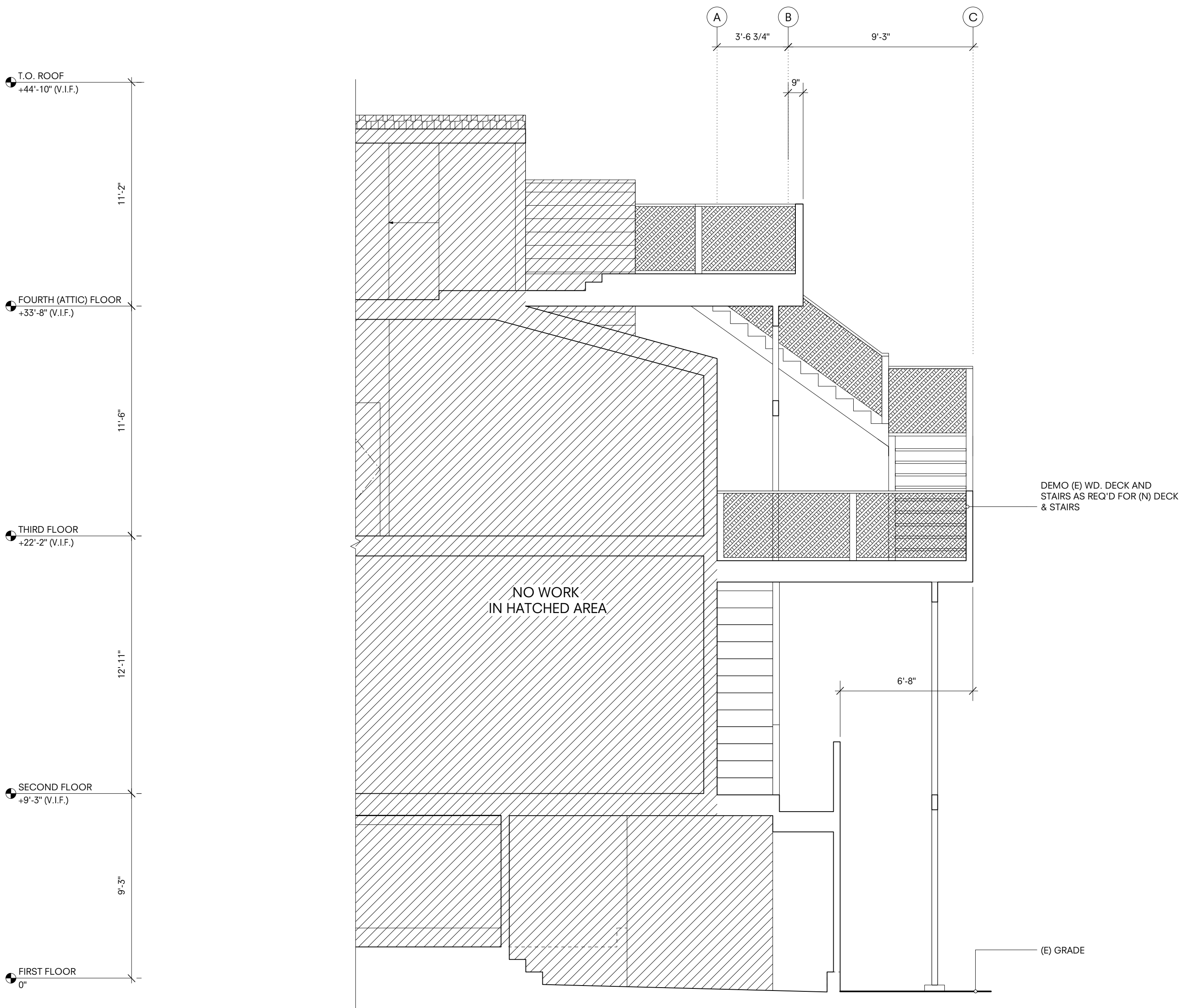
2 WEST ELEVATION - PROPOSED

Scale: 3/16" = 1'-0"

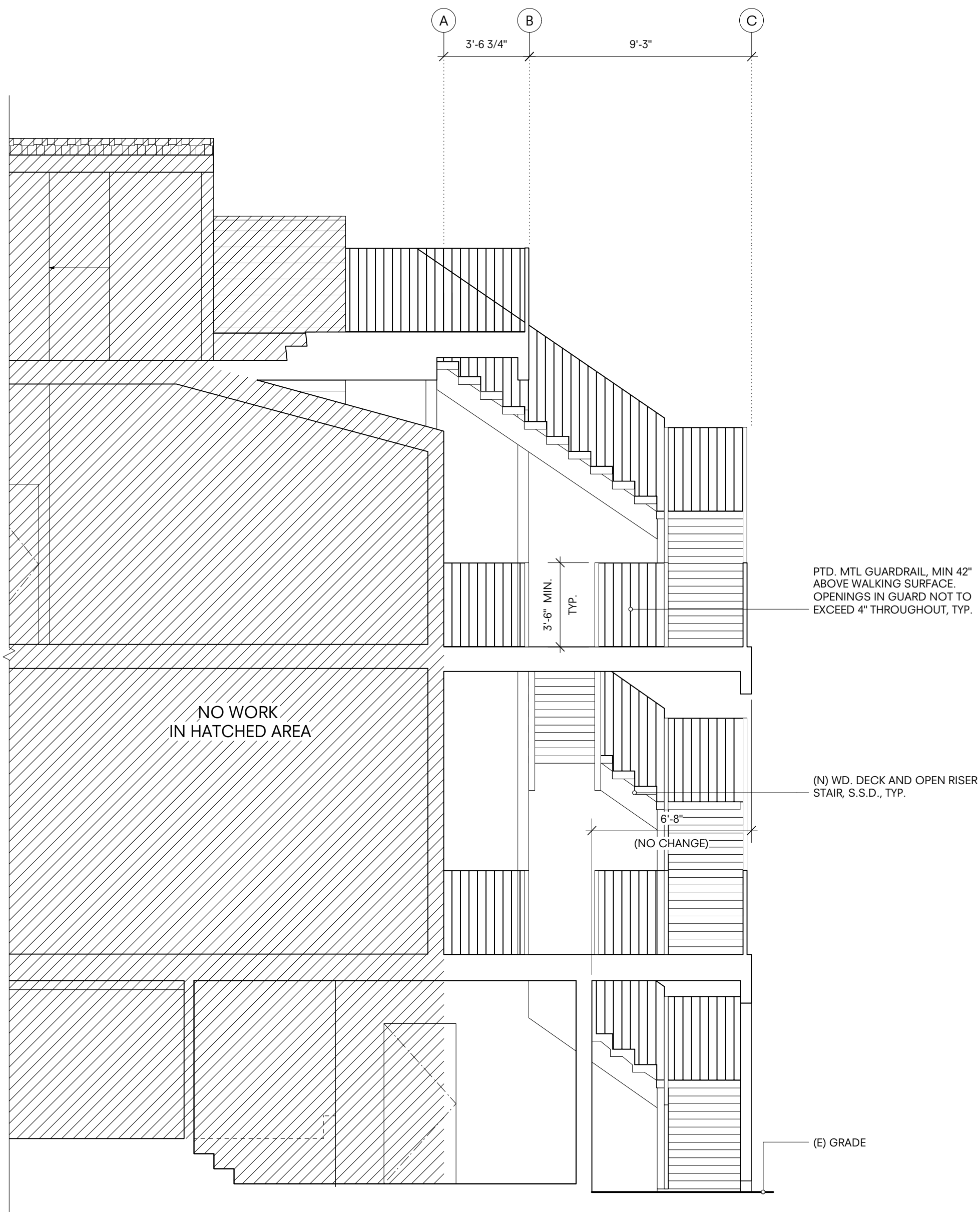


1 WEST ELEVATION - EXISTING

Scale: 3/16" = 1'-0"



1 PARTIAL SECTION - EXISTING
Scale: 1/4" = 1'-0"



2 PARTIAL SECTION - PROPOSED
Scale: 1/4" = 1'-0"

Project Information

26th Street Garden
Connection

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No.	Date	Issues & Revisions
01	2019.04.30	PRE-APPLICATION PLANS
02	2019.06.06	ISSUED FOR SITE PERMIT

Sheet Description

Plot Date	Issued For
2019.06.06	SITE PERMIT APPLICATION

Sheet No.	Ref. North
A-301	○

Scale	AS SHOWN	No.	10 / 10
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