### MEMO

# **Disclaimer for Review of Plans**

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St. Suite 400 San Francisco, CA 94103-2479

Reception: 415.558.6378

Fax: 415.558.6409

Planning Information: 415.558.6377 NOTICE OF PUBLIC HEARING

Hearing Date: Wednesday, March 25, 2020

Time: Not before 9:30 AM

Location: City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408

Case Type: Variance

Hearing Body: Zoning Administrator

| PROJECT INF   | ORMATION   | APPLICANT INFORMATION  |   |  |
|---|--|--|---|--|
| Project Address:<br>Cross Street(s):<br>Block /Lot No.:<br>Zoning District(s):<br>Area Plan:<br>Record No.: | 145 MISSOURI ST<br>17 <sup>th</sup> St and Mariposa St<br>3985 / 022<br>RH-2 /40-X<br>Showplace Square/Potrero Hill<br>(Eastern Neighborhoods)<br>2019-007159VAR | Applicant: Company: Applicant Address: City, State: Telephone: E-Mail: | Thomas Tunny Reuben, Junius & Rose, LLP One Bush St., Suite 600 San Francisco, CA (415) 567-9000 ttunny@reubenlaw.com |  |

## PROJECT DESCRIPTION

This project proposes to legalize a first story garage horizontal addition and second story rear porch that are 4 feet 7 inches by 17 feet 10 inches. The porch was built as a replacement of the previous porch.

**PLANNING CODE SECTION 134** requires the subject property to maintain a rear yard of approximately 22 feet. The rear porch completely encroaches into the required rear yard. Therefore, the project requires a rear yard variance.

### ADDITIONAL INFORMATION

**ARCHITECTURAL PLANS:** To view the plans and related documents for the proposed project, visit <a href="http://www.sf-planning.org/notices">http://www.sf-planning.org/notices</a> and search the Project Address listed above. The plans will also be available one week prior to the hearing through the hearing agenda at: <a href="mailto:sf-planning.org/hearings">sf-planning.org/hearings</a> or by request at the Planning Department office located at 1650 Mission Street, 4th Floor.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: Alex Westhoff Telephone: (415) 575-9120 E-Mail: alex.westhoff@sfgov.org

### GENERAL INFORMATION ABOUT PROCEDURES

### HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible. Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

### **BUILDING PERMIT APPLICATION INFORMATION**

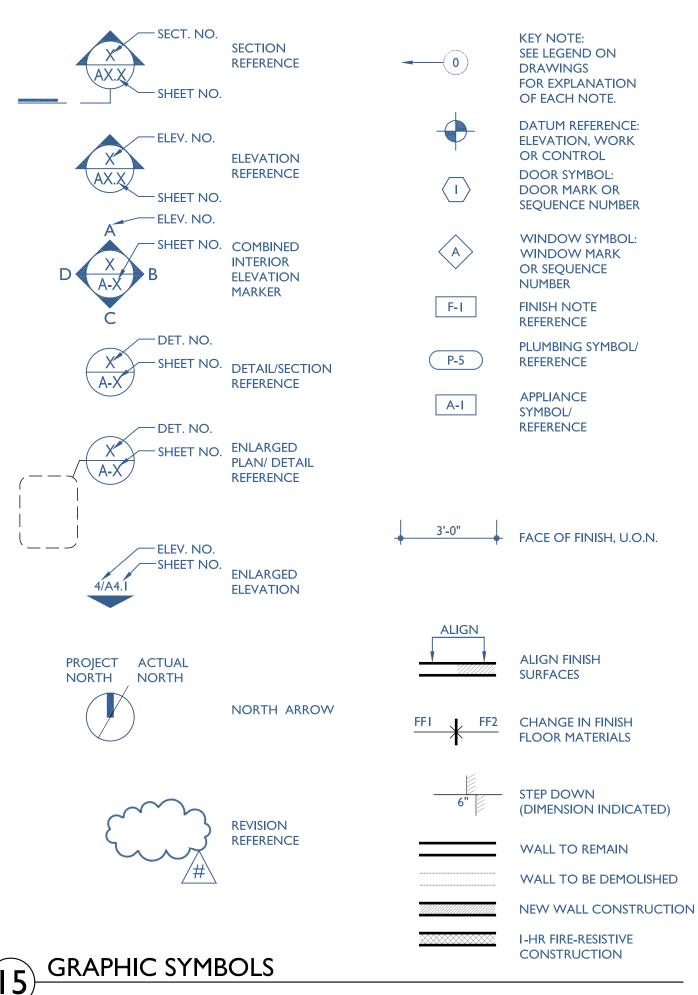
Pursuant to Planning Code Section 311, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. The mailing of such notification will be performed separately.

### APPEAL INFORMATION

An appeal of the Zoning Administrator's action on a **Variance** may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.



3985

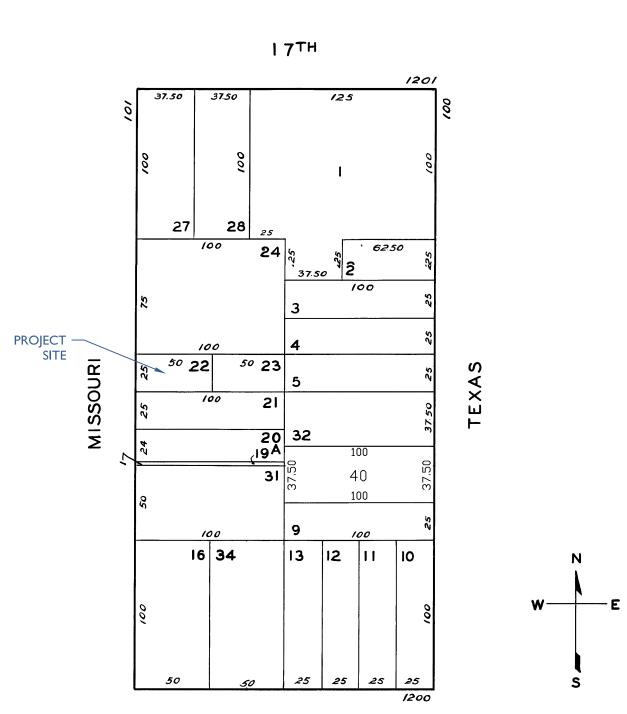
SEE GRAPHIC SCALE

LOTS MERGED LOTS 29-30 INTO LOT 1 - 1947 " 25-26 " " 24-1949 LOT 17 " " 16-1955 lots8&33 into lot40 for 2010 roll

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CITY & COUNTY ASSESSOR 1995

NEW POTRERO BLK. 270 REVISED 1957 *REVISED '777* Revised 2010



PARCEL MAP

1/64" = 1'-0" MARIPOSA FRONT OF HOUSE, LOOKING EAST (PHOTO TAKEN ON 1-18-2019)

RENOVATION OF THE

# REAR DECK

145 MISSOURI ST SAN FRANCISCO, CA 94107

- BUILDING PERMIT SET -

CITY AND COUNTY OF SAN FRANCISCO DEPARTMENT OF BUILDING INSPECTION 1660 MISSION STREET SAN FRANCISCO, CA 94103 TEL (415) 558-6088 FAX (415) 558-6401 MONDAY-FRIDAY 7:30 AM - 5:00 PM, (4:00 PM CUTOFF TIME)

CITY AND COUNTY OF SAN FRANCISCO

PLANNING DEPARTMENT

TEL (415) 558-6378

FAX (415) 558-6409

INFO (415) 558-6377

1660 MISSION STREET, SUITE 400

SAN FRANCISCO, CA 94103-2479

21 DE SABLA RD SAN MATEO, CA 94402 AMBER CHRISTINA JOHNSON

**CRAIG HARRISON JOHNSON &** 

**LAND USE ATTORNEY:** 

REUBEN, JUNIUS & ROSE LLF

ONE BUSH STREET, SUITE 600

SAN FRANCISCO, CA 94104

3985 - 022

40-X

NO

NO

600 SF 1,250 SF

V-B

40'-0"

RESIDENTIAL

2, NO CHANGE

NO CHANGE,

ATTACHED

RH-2, TWO-FAMILY

(RESIDENTIAL, HOUSE)

TEL (415) 567-9000

THOMAS P. TUNNY

**ZONING DISTRICT:** 

**HEIGHT & BUILK:** 

COASTAL ZONE:

YEAR BUILT:

PARCEL AREA:

**BUILDING USE:** 

NUMBER OF STORIES:

**EXISTING:** 

**EXISTING HEIGHT:** 

PROPOSED HEIGHT:

GARAGE:

REQUIRED:

PROVIDED:

PROPOSED:

MAX. ALLOW. HEIGHT:

**REQUIRED PARKING:** 

FLOOR AREA RATIO (F.A.R.): 1.8 TO 1.0

PRIVATE USABLE OPEN SPACE:

(PER SAN FRANCISCO PLANNING CODE,

413 SF (SEE 3/A100)

ARTICLE I.2, SEC 135, TABLE 135A)

**BUILDING AREA:** 

PORT JURISDICTION:

**BUILDING INFORMATION:** 

TYPE OF CONSTRUCTION:

ttunny@reubenlaw.com

CRAIG H & AMBER C JOHNSON

JOHNSON FAMILY TRUST

**ARCHITECT:** DIAGRAM ARCHITECTURE 2201 SHORELINE DRIVE #2351 ALAMEDA, CA 94502-5032 TEL (510) 672-0005 FAX (510) 479-7243

VIET Q. TRUONG, PRINCIPAL AIA, LEED AP (bd+c) viet@diagramarchitecture.com

STRUCTURAL ENGINEER: **VERDANT STRUCTURAL ENGINEERS** 1101 8TH STREET, #180 BERKELEY, CA 94710 TEL (510) 528-5394 FAX (510) 528-0206

KEVIN DONAHUE, SE - PRINCIPAL ANTHONY DENTE, PE - PRINCIPAL anthony@verdantstructural.com

> 2201 SHORELINE DR #2351 ALAMEDA, CA 94501-5032 (510) 672-0005

**diagram**architecture

GREGORY LOUGHRAN CONSTRUCTION 575 41ST AVE SAN FRANCISCO, CA 94121 LICENSE # 970746 (415) 724-3161

G.L. CONSTRUCTION, INC.

**CONTRACTOR:** 

GREGORY LOUGHRAN glconstruction29@gmail.com

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SAN FRANCISCO ZONING CODE

FRONT YARD:

CODE

BASED ON AVERAGE OF ADJACENT PROPERTIES OR IF SUBJECT PROPERTY HAS A LEGISLATED SETBACK. WHEN FRONT SETBACK IS BASED ON ADJACENT PROPERTIES, IN NO CASE SHALL THE REQUIRED SETBACK BE GREATER THAN 15 FEET.

**APPLICABLE CODE REQUIREMENTS:** 

2016 CALIFORNIA BUILDING CODE

2016 CALIFORNIA RESIDENTIAL CODE

2016 CALIFORNIA ELECTRICAL CODE

2016 CALIFORNIA MECHANICAL CODE

2016 CALIFORNIA GREEN BUILDING (CALGREEN)

2016 CALIFORNIA PLUMBING CODE

2016 CALIFORNIA ENERGY CODE 2016 CALIFORNIA FIRE CODE

45% OF LOT DEPTH OR AVERAGE OF ADJACENT NEIGHBORS. IF

SIDE YARD:

**REAR DECK** 

AVERAGED, NO LESS THAN 25% OR 15 FEET, WHICHEVER IS GREATER. (SEE VARIANCE APPLICATION)

NOT REQUIRED

145 MISSOURI ST.

SAN FRANCISCO, CA 94107

16th St Tea Collection Farmgirl Flowers PCH International Jackson Playground Letterform Archive Live Oak School

NOTICE OF VIOLATION (N.O.V.) #201808381, DATED NOVEMBER 29, 2018.

TWO VENTS HAVE BEEN INSTALLED ON THE REAR PROPERTY LINE AT LOWER LEVEL. THERE OPENINGS ARE NOT PERMITTED ON THE PROPERTY LINE. (RESPONSE: WATER HEATER VENT WILL BE RELOCATED, SEE 3A/A050, FOUNDATION VENTS SEE 13/A701)

2.  $\,$  A survey has been received by DBI that shows encroachment over the property line of this BUILDING AT REAR WALL AND FRONT FENCE. (RESPONSE: SEE VARIANCE APPLICATION BY TOM TUNY/REUBEN, JUNIUS & ROSE LLP)

ROOF DRAINAGE FROM REAR DECK AND ROOF IS CONNECTED TO A PIPE. THE DOWNSPOUT PIPE IS NOT CONNECTED TO CITY SEWER. (RESPONSE: ALL DOWNSPOUTS & DECK DRAIN ARE CONNECTED TO CITY SEWER, SEE 5, 6, 7/A050 & 13/A701)

4. CONSTRUCTION AT PROPERTY LINES THAT WAS DONE ON PA201805179450 IS NOT 1 HOUR FIRE RATED. (RESPONSE: SEE DETAIL 9/A701)

ASSOCIATED PERMIT/ N.O.V.



PROJECT INFORMATION

THE SCOPE OF THIS PROJECT IS TO ADDRESS A NOTICE OF VIOLATION (N.O.V.) #201808381, DATED NOVEMBER 29, 2018 - FOR A REAR PORCH THAT WAS A REPLACEMENT IN-KIND. SEE 7/G000.

THESE DRAWINGS DOCUMENT WORK PREVIOUSLY COMPLETED AT THE REAR DECK, BY G.L. CONSTRUCTION, INC., AS WELL AS, MINOR ADDITIONAL WORK TO ADDRESS N.O.V. CORRECTIONS ABOVE.

SCOPE OF WORK

|              | HITECTURAL W/ STRUCTURAL INFORMATION  | BUILDING PERMIT SET,<br>4-19-2019 | BUILDING PERMIT SET,<br>REVISIONS I-15-2020 |  |  |
|--------------|---|-----------------------------------|---|--|--|
| G000         | COVER SHEET   |                                   | $\Lambda$                                   |  |  |
| G010         | GENERAL NOTES & BUILDING CODE REGULATIONS                                   |                                   |   |  |  |
| -            | STAKING PLAT BY FREDERICK T. SEHER & ASSOCATIES, INC. (FOR REFERENCE ONLY!) |                                   |   |  |  |
| A050         | SITE PHOTOS   | •                                 |   |  |  |
| A051         | SITE PLAN & ADJACENT BUILDING PROFILES/ ROOFLINES                           | 0                                 |   |  |  |
| Al00         | GROUND & SECOND FLOOR PLANS, OPEN SPACE CALC                                | 0                                 | $\wedge$                                    |  |  |
| AlOI         | FRAMING PLAN  | 0                                 |   |  |  |
| A701         | REAR ELEVATION, DETAILS, & MATERIAL SCHEDULE                                | •                                 | $\wedge$                                    |  |  |
| A702         | ELEVATIONS & SECTION  | •                                 |   |  |  |
|              |   |                                   |   |  |  |
| STRU         | JCTURAL   |                                   |   |  |  |
| <b>S</b> 0.0 | GENERAL NOTES & DETAILS   | •                                 | •   |  |  |
|              |   |                                   |   |  |  |
|              |   |                                   |   |  |  |

**COVER SHEET** 

JOB NO: **ACJ01** 

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| &<br>@<br>Ø       | AND<br>AT<br>DIAMETER OR ROUND              | FDN<br>FDR<br>FE | FOUNDATION<br>FIRE DOOR<br>FIRE EXTINGUISHER | PL<br>P-LAM<br>PLAS             | PLATE or PROPERTY LINE<br>PLASTIC LAMINATE<br>PLASTER |
|-------------------|---|------------------|--|---------------------------------|---|
| ABV               | ABOVE                                       | FEC<br>FF        | FIRE EXTINGUISHER CABINET FACTORY FINISH     | PLYWD<br>PNL                    | PLYWOOD<br>PANEL                                      |
| A/C               | AIR CONDITIONING                            |                  | FACE, FINISHED FLOOR                         | POL                             | POLISHED  |
| AC<br>ACC         | ASPHALTIC CONCRETE ACCESSIBLE               | FG<br>FHC        | FINISHED GRADE<br>FIRE HOSE CABINET          | PR<br>PRC                       | PAIR POLYMER REINFORCED CONCRETE                      |
| ACOUS             | ACOUSTICAL                                  | FIN              | FINISH (ED)                                  | PREFAB                          | PREFABRICATED   |
| ACT<br>AD         | ACOUSTICAL CEILING TILE<br>AREA DRAIN       | FL<br>FLEX       | FLOOR<br>FLEXIBLE                            | P-T<br>PRKG                     | PRESSURE TREATED PARKING                              |
| ADA               | AMERICAN W/ DISABILITIES                    | FLUOR<br>FO      | FLUORESCENT                                  | PSD<br>PSF                      | PARKING STRUCTURE DRAWINGS                            |
| ADDM              | ACT<br>ADDENDUM                             | FOC              | FACE OF<br>FACE OF CONCRETE                  | PSI                             | POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH         |
| ADJ<br>AFF        | ADJACENT OR ADJUSTABLE ABOVE FINISHED FLOOR | FOF<br>FOM       | FACE OF FINISH FACE OF MASONRY               | PTD<br>PT                       | PAINTED<br>POINT                                      |
| AGG               | AGGREGATE                                   | FOS              | FACE OF STUD                                 | PTN                             | PARTITION   |
| AL or ALUM<br>ALT | ALUMINUM<br>ALTERNATE                       | FR<br>FRPF       | FIRE RATED<br>FIREPROOF                      | PVMT                            | PAVEMENT  |
| L or ∠            | ANGLE                                       | FRP              | FIBERGLASS REINFORCED                        | R                               | RADIUS or RISER                                       |
| A.P.<br>APPROX    | ACCESS PANEL APPROXIMATE                    | FRT              | PANEL<br>FIRE-RESISTANT TREATED              | (R)<br>RA                       | REMOVE<br>RETURN AIR                                  |
| ARCH<br>ASPH      | ARCHITECT(URAL) ASPHALT                     | FSEC             | FOOD SERVICE EQUIP. CONTRACTOR               | RC<br>RD                        | REINFORCED CONCRETE<br>ROOF DRAIN                     |
| ASTM              | AMERICAN SOCIETY FOR                        | FSR              | FIRE SPRINKLER RISER                         | REC                             | RECESSED  |
|                   | TESTING AND MATERIALS                       | FT or '<br>FTG   | FOOT OR FEET<br>FOOTING                      | REF<br>REF                      | REFERENCE<br>REFRIGERATOR                             |
| BB                | BULLETIN BOARD                              | FURN             | FURNITURE                                    | REFL                            | REFLECTED or REFLECTIVE                               |
| BD<br>BF          | BOARD<br>BRACE FRAME                        | FUT              | FUTURE                                       | REG<br>REINF                    | REGISTER<br>REINFORCED                                |
| BITUM<br>BLDG     | BITUMINOUS<br>BUILDING                      | GA<br>GALV       | GAUGE<br>GALVANIZED                          | REQD<br>RESIL                   | REQUIRED<br>RESILIENT                                 |
| BLK               | BLOCK                                       | GC               | GENERAL CONTRACTOR                           | REV                             | REVISION  |
| BLKG<br>BLKHD     | BLOCKING<br>BULKHEAD                        | GEN<br>GFRC      | GENERAL<br>FIBER REINFORCED                  | RH<br>RM                        | RIGHT HAND or ROOF HATCH<br>ROOM                      |
| ВМ                | BEAM  |                  | CONCRETE                                     | RO                              | ROUGH OPENING   |
| BN<br>BO          | BULLNOSE<br>BOTTOM OF                       | GFRG<br>GL       | FIBER REINFORCED GYPSUM<br>GLAZING           | RTU<br>RWL                      | ROOF TOP UNIT<br>RAIN WATER LEADER                    |
| 30D<br>30T        | BASIS OF DESIGN<br>BOTTOM                   | GR<br>GSB        | GUARDRAIL<br>GYPSUM SHEATHING BOARD          | RV                              | ROOF VENT   |
| BS                | BOTTOM OF STAIR                             | GSM              | GALVANIZED SHEET METAL                       | S                               | SOUTH   |
| BUR<br>BW         | BUILT-UP ROOF<br>BOTTOM OF WALL             | GYP<br>GWB       | GYPSUM<br>GYPSUM WALLBOARD                   | SA<br>SAB                       | SUPPLY AIR<br>SOUND ATTENUATION BLANKET               |
| BDRY              | BOUNDARY                                    |                  |  | SAF                             | SELF-ADHERED FLASHING                                 |
| CAB               | CABINET                                     | H or HT<br>HC    | HEIGHT<br>HOLLOW CORE                        | SC<br>SCHED                     | SOLID CORE<br>SCHEDULE                                |
| CAP<br>CB         | CAPACITY<br>CATCH BASIN                     | HCP<br>HDR       | HANDICAP<br>HEADER                           | SCP<br>SD                       | SCUPPER<br>STORM DRAIN                                |
| CBU               | CEMENTITIOUS BACKER UNIT                    | HDWD             | HARDWOOD                                     | SECT                            | SECTION   |
| CEM<br>CER        | CEMENT<br>CERAMIC                           | HDW<br>HM        | HARDWARE<br>HOLLOW METAL                     | SEP JT<br>SF or FT <sup>2</sup> | SEPARATION JOINT SQUARE FEET or STOREFRONT            |
| CG                | CORNER GUARD                                | HMD              | HOLLOW METAL DOOR                            | SHT                             | SHEET   |
| CIP<br>CJ         | CAST-IN-PLACE<br>CONTROL JOINT              | HORIZ<br>HR      | HORIZONTAL<br>HOUR or HANDRAIL               | SHTG<br>SHM                     | SHEATHING<br>SELF HEALING MEMBRANE                    |
| Ł<br>CLG          | CENTER LINE<br>CEILING                      | HSS              | HOLLOW STRUCTURAL SECTION                    | SHV<br>SI or IN <sup>2</sup>    | SHELVING<br>SQUARE INCHES                             |
| CLO               | CLOSET                                      | HVAC             | <b>HEATING, VENTILATING &amp; AIR</b>        | SIM                             | SIMILAR   |
| CLR<br>CMP        | CLEAR CORRUGATED METAL PANEL                | HW               | CONDTIONING<br>HOT WATER                     | SL or SKYLT<br>SLNT             | SKYLIGHT<br>SEALANT                                   |
| CMU               | CONCRETE MASONRY UNIT                       |                  |  | SP                              | STANDPIPE   |
| COL               | CLEANOUT OR CASED OPENING COLUMN            | ID               | INSIDE DIAMETER or DIMENSION                 | SPEC<br>SQ                      | SPECIFICATION<br>SQUARE                               |
| CONC<br>CONST     | CONCRETE<br>CONSTRUCTION                    | IN or "<br>INCL  | INCH or INCHES INCLUDING                     | SS<br>SCD #                     | STAINLESS STEEL<br>SEE CIVIL DRAWING                  |
| CONT              | CONTINUOUS                                  | INFO             | INFORMATION                                  | SED #                           | SEE ELECTRICAL DRAWING                                |
| CORR<br>CPT       | CORRIDOR<br>CARPET                          | INSUL<br>INT     | INSULATION<br>INTERIOR                       | SLD #<br>SMD #                  | SEE LANDSCAPE DRAWING SEE MECHANICAL DRAWING          |
| СТ                | CERAMIC TILE                                | INV              | INVERT                                       | SSD #                           | SEE STRUCTURAL DRAWING                                |
| C.T.<br>CTRL      | COLLAR TIE<br>CONTROL                       | J-BOX            | JUNCTION BOX                                 | STD<br>STL                      | STANDARD<br>STEEL                                     |
| CU FT<br>CU YD    | CUBIC FOOT (FEET) CUBIC YARD(S)             | JS<br>JST        | JANITOR'S SINK<br>JOIST                      | STN<br>STRUC                    | STAIN<br>STRUCTURAL                                   |
| CW                | COLD WATER                                  |                  |  | SUSP                            | SUSPENDED   |
| 0                 | DRYER                                       | KEC              | KITCHEN EQUIPMENT<br>CONTRACTOR              | SYMM                            | SYMMETRICAL   |
| or d              | DEGREE                                      |                  |  | Ţ                               | TEMPERED  |
| DEMO<br>DEPT      | DEMOLITION<br>DEPARTMENT                    | L<br>LAM         | LENGTH, LONG, ANGLE<br>LAMINATE              | T<br>TA                         | TREAD TOILET ACCESSORY                                |
| DET<br>DF         | DETAIL<br>DRINKING FOUNTAIN                 | LH<br>LP         | LEFT HAND<br>LOW POINT                       | TBD<br>TD                       | TO BE DETERMINED TRENCH DRAIN                         |
| O.F.              | DOUGLAS FIR                                 | LT               | LIGHT  | TEL                             | TELEPHONE   |
| Ø or DIA<br>DIAG  | DIAMETER<br>DIAGONAL                        | LTG<br>LVL       | LIGHTING<br>LEVEL                            | TEMP<br>T&G                     | TEMPERED TONGUE AND GROOVE                            |
| OIM               | DIMENSION                                   | LVR              | LOUVER                                       | THK                             | THICK   |
| DISP<br>DIV       | DISPENSER<br>DIVISION                       | LYR              | LAYER  | THRU<br>TC                      | THROUGH<br>TOP OF CURB                                |
| OR<br>OS          | DOOR<br>DOWNSPOUT                           | MAS<br>MAT       | MASONRY<br>MATERIAL                          | TO<br>TOC                       | TOP OF TOP OF CONCRETE                                |
| OSP               | DRY STANDPIPE                               | MAX              | MAXIMUM                                      | TOP                             | TOP OF PARAPET  |
| OWG               | DRAWING                                     | MBSM             | MODIFIED BITUMINOUS<br>SHEET MEMBRANE        | TOPO<br>TOS                     | TOPOGRAPHIC<br>TOP OF STEEL                           |
| Ε.                | EAST  | MC<br>MDE        | MINERAL CORE                                 | TP                              | TOP OF PAVEMENT                                       |
| (E)<br>EA         | EXISTING<br>EACH                            | MDF              | MEDIUM DENSITY<br>FIBERBOARD                 | TS<br>TV                        | TOP OF STAIR TELEVISION                               |
| EIFS              | EXTERIOR INSULATIONA AND                    | MECH<br>MEMB     | MECHANICAL<br>MEMBRANE                       | TW<br>TYP                       | TOP OF WALL   |
| EGSB              | FINISH SYSTEM EXTERIOR GYPSUM SHEATHING     | MTL              | METAL  |                                 | TYPICAL   |
| <b>.</b> .        | BOARD<br>EXPANSION JOINT                    | MFR<br>MIN       | MANUFACTURER<br>MINIMUM                      | UBC<br>UC                       | UNIFORM BUILDING CODE UNDER CUT                       |
| EL or 🕀           | ELEVATION                                   | MISC             | MISCELLANEOUS                                | UFC                             | UNIFORM FIRE CODE                                     |
| ELEC '<br>ELEV    | ELECTRICAL ELEVATION                        | MUL<br>MTD       | MULLION<br>MOUNTED                           | UL<br>UNF                       | UNDERWRITER'S LABORATOR<br>UNFINISHED                 |
| ELEVS             | ELEVATIONS                                  | MWP              | MEMBRANE                                     |                                 | UNLESS NOTED OTHERWISE                                |
| EMER<br>ENCL      | EMERGENCY<br>ENCLOSURE                      | (N)              | WATERPROOFING<br>NEW                         | VERT                            | VERTICAL  |
| EOS<br>EP         | EDGE OF SLAB<br>ELECTRICAL PANELBOARD       | Ň                | NORTH  | VG<br>VIF                       | VERTICAL GRAIN<br>VERIFY IN FIELD                     |
| ΕQ                | EQUAL                                       | NIC<br>NO or #   | NOT IN CONTRACT<br>NUMBER                    | VWC                             | VINYL WALL COVERING                                   |
| EQUIP<br>EST      | EQUIPMENT<br>ESTIMATE                       | NOM              | NOMINAL                                      | W                               | WEST or WIDTH or WASHER                               |
| EXCAV             | EXCAVATE                                    | NTS<br>NR        | NOT TO SCALE<br>NON-RATED                    | W/<br>WC                        | WITH<br>WATER CLOSET                                  |
| EXF<br>EXH        | EXTERIOR FINISH SYSTEM EXHAUST              | 0/               | OVER   | WD                              | WOOD  |
| EXP               | EXPANSION                                   | OCC              | ON CENTER OCCUPANCY, OCCUPANT(S)             | WDW<br>WH                       | WINDOW WEEP HOLE or WATER HEATER                      |
| EXT               | EXTERIOR                                    | OD               | OUTSIDE DIAMETER or                          | W/I<br>W/O                      | WITHIN<br>WITHOUT                                     |
| FA<br>FBO         | FIRE ALARM<br>FURNISHED BY OTHERS           | OFD              | DIMENSION<br>OVERFLOW DRAIN                  | WP                              | WATERPROOF or WATERPROOFING                           |
| FD                | FLOOR DRAIN                                 | ОН               | OPPOSITE HAND                                | WR<br>WSCT                      | WATER-RESISTANT<br>WAINSCOT                           |
| FDC               | FIRE DEPARTMENT CONNECTION                  | OPNG<br>OPP      | OPENING<br>OPPOSITE                          | WT                              | WEIGHT  |
| DMPR              | FIRE DAMPER                                 | OPT<br>ORD       | OPTIONAL or OPTIMUM                          | WWF<br>X                        | WELDED WIRE FABRIC TIMES or BY                        |
|                   |   | OSCI             | OVERFLOW ROOF DRAIN OWNER SUPPLIED,          | YD                              | YARD  |
|                   |   | OTS              | CONTRACTOR INSTALLED OPEN TO STRUCTURE       |                                 |   |
|                   |   | 013<br>0Z        | OUNCE  |                                 |   |

PARTICLE BOARD

PERFORATED

PROVIDED BY OWNER

PORTLAND CEMENT PLASTER

PRECAST CONCRETE

### I. REGULATORY AGENCIES

- ALL WORK SHALL MEET OR EXCEED ALL CURRENT APPLICABLE BUILDING, ELECTRICAL, PLUMBING, MECHANICAL, SAFETY, ZONING CODES, AND ORDINANCES., INCLUDING BUT NOT LIMITED TO: CALIFORNIA RESIDENTIAL CODE (CRC), CALIFORNIA BUILDING CODE (CBC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA ELECTRIC CODE (CEC), CALIFORNIA ENERGY CODE (TITLE 24, PART 6) AND CALIFORNIA GREEN **BUILDING STANDARDS CODE (CGBC).**
- THE CONTRACTOR AND SUBCONTRACTORS MUST PERFORM ALL WORK TO MEET CURRENT CODES AND REQUIREMENTS OF PREVAILING JURISDICTIONS, EVEN WHEN SUCH CONFORMANCE IS INCONSISTENT WITH THESE DRAWINGS. NOTIFY ARCHITECT IF SUCH CHANGES ARE REQUIRED.
- 3. THE CONTRACTOR SHALL VERIFY THAT ALL PERMITS AND APPROVALS HAVE BEEN CLEARED WITH APPROPRIATE AGENCIES PRIOR TO THE START OF CONSTRUCTION. NO CONSTRUCTION OR FABRICATION OF ANY ITEMS SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL PERMITTING AND OTHER REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THESE PROCEDURES SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY REGULATORY AUTHORITIES.
- 4. THE CONTRACTOR SHALL NOTIFY THE BUILDING OFFICIAL WHEN WORK IS READY FOR INSPECTION. THE REQUEST SHALL BE IN ACCORDANCE WITH REGULATORY AGENCIES' REQUIREMENTS. INSPECTORS SHALL HAVE COMPLETE ACCESS TO ALL WORK.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES REQUIRED FOR INSPECTIONS. THE CONTRACTOR SHALL PAY FOR RE-INSPECTION SERVICES OR FEES, IF REQUIRED, DUE TO WORK NOT READY FOR INSPECTION, INCOMPLETE WORK, OR IMPROPER PLACEMENT BY CONTRACTOR. 6. A RECORD OF INSPECTIONS SHALL BE MAINTAINED ON THE JOB SITE IN ACCORDANCE WITH REGULATORY
- AGENCY REQUIREMENTS 7. IF REQUIRED, THE CONTRACTOR SHALL PROVIDE COMPLETE FIRE PROTECTION SHOP DRAWINGS, CATALOG CUT
- SHEETS, AND CALCULATIONS TO THE ARCHITECT PRIOR TO SUBMITTALS TO GOVERNING JURISDICTIONS.
- 8. IF REQUIRED, THE CONTRACTOR SHALL PROVIDE SEPARATE DRAWINGS, CALCULATIONS, AND SUBMISSION FOR SEPARATE PERMIT FOR ALL SIGNAGE.
- 9. COMPLY WITH THE CALIFORNIA ENERGY COMMISSION'S CERTIFICATION REQUIREMENTS FOR PLUMBING, TRIM, WATER HEATERS, FURNACES, AND APPLIANCES. 10. ALL ELECTRICAL FIXTURES SHALL BE INSTALLED TO MEET U.L. AND C.E.C. REQUIREMENTS, AS WELL AS LOCAL
- 11. STORAGE, DISPENSING AND/ OR USE OF ANY FLAMMABLE OR COMBUSTIBLE LIQUIDS, FLAMMABLE GASES, AND
- HAZARDOUS CHEMICALS SHALL COMPLY WITH THE CALIFORNIA FIRE CODE REGULATIONS. 12. PROVIDE ALL ACCESS PANELS AS REQUIRED BY GOVERNING CODE OR AUTHORITIES TO ALL CONCEALED SPACES,
- VOIDS, ATTICS, ETC. VERIFY THE TYPE REQUIRED WITH THE ARCHITECT PRIOR TO INSTALLATION.
- 13. ALL INSULATION MATERIALS MUST BE INSTALLED IN COMPLIANCE WITH THE FLAME SPREAD AND SMOKE DENSITY REQUIREMENTS OF SECTION R302.10 OF THE CALIFORNIA RESIDENTIAL CODE. 14. BUILDING INSULATION SHALL BE CERTIFIED BY THE MANUFACTURER TO MEET THE CALIFORNIA ENERGY CODE
- STANDARDS FOR INSULATING MATERIALS. 15. ALL EXTERIOR DOORS AND WINDOWS SHALL BE DESIGNED TO LIMIT AIR LEAKAGE PER THE ENERGY
- CONSERVATION STANDARDS. 16. ALL HEADS, JAMBS, AND SILLS OF ALL WINDOWS AND DOORS ARE TO BE CAULKED.

# II. PREPARATION FOR CONSTRUCTION

- 1. THE SCOPE OF WORK INCLUDES, BUT IS NOT NECESSARILY LIMITED TO, THE FOLLOWING: ALL LABOR, MATERIALS, FABRICATION, EQUIPMENT, APPLIANCES, APPURTENANCES, TRANSPORTATION, AND SERVICES REQUIRED FOR CONSTRUCTION, ERECTION, AND INSTALLATION OF ALL OF THE VARIOUS WORK INDICATED ON THE DRAWINGS AND/OR SPECIFIED UNDER EACH OF THE SPECIFICATION SECTIONS; ANY SITE DEMOLITION AND REMOVAL OF ANY MATERIAL, RUBBISH, OR DEBRIS ABOVE OR BELOW GRADE; AND ALL EARTHWORK AND FOUNDATION WORK.
- 2. THE CONTRACTOR SHALL COMPLETELY FAMILIARIZE HIMSELF/ HERSELF WITH THESE DRAWINGS AND SHALL VERIFY ALL DETAILS WITH THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION. 3. BY SUBMITTING A BID, THE BIDDER AGREES AND WARRANTS THAT HE/SHE HAS EXAMINED THE DRAWINGS/
- SPECIFICATIONS AND FOUND THAT THEY ARE ADEQUATE FOR PROPER COMPLETION OF THE PROJECT. 4. THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE, AND DO NOT ILLUSTRATE EVERY CONDITION. UNLESS OTHERWISE SHOWN, THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE DRAWINGS INDICATE LOCATIONS, DIMENSIONS, AND TYPICAL DETAILS OF CONSTRUCTION.
- IN THE EVENT THAT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT SHOWN OR NOTED, THEN THEIR CONSTRUCTION SHALL BE OF THE SAME GENERAL CHARACTER AS SIMILAR CONDITIONS SHOWN OR NOTED. 5. ANY DISCREPANCY OR ERROR IN DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER PRIOR TO THE COMMENCEMENT OF WORK. THE ARCHITECT AND OWNER WILL NOT BE RESPONSIBLE FOR
- AMBIGUITIES AND OMISSIONS NOT BROUGHT TO THEIR ATTENTION. THE CONTRACTOR AND HIS/ HER SUBCONTRACTORS SHALL VISIT THE SITE AND SATISFY THEMSELVES AS TO EXISTING CONDITIONS, THE CONDITIONS UNDER WHICH THEY WILL BE REQUIRED TO OPERATE, AND CONDITIONS THAT WILL AFFECT THEIR WORK UNDER THE CONTRACT. NO CLAIMS FOR EXTRAS DUE TO INABILITY TO ANTICIPATE EXISTING CONDITIONS WILL BE ALLOWED.
- 8. DIMENSIONS ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED. WHERE REQUIRED, 'MINIMUM CLEAR'
- DIMENSIONS HAVE BEEN NOTED; SEE COVER SHEET FOR GRAPHIC EXPLANATION. 9. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE CONTRACTOR SHALL HAVE EVIDENCE OF CURRENT WORKER'S COMPENSATION INSURANCE COVERAGE ON FILE WITH THE DEPARTMENT IN COMPLIANCE WITH
- SECTION 3800 OF THE CALIFORNIA LABOR CODE. 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING FIELD MEASUREMENTS BEFORE ORDERING
- MATERIALS AND PREFABRICATED ITEMS. ANY NECESSARY ADJUSTMENTS BETWEEN FIELD MEASUREMENTS AND DRAWINGS SHALL BE MADE IN ACCORDANCE WITH THE DECISION OF THE ARCHITECT AND/OR OWNER. 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXISTING FACILITIES ON OR ADJACENT TO THE PREMISES. WHETHER SHOWN ON DRAWINGS OR NOT. IN THE EVENT OF DAMAGE, SUCH ITEMS SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS/ HER EXPENSE, TO THE SATISFACTION OF THE ARCHITECT
- 12. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES AND REQUEST FIELD LOCATION MARKINGS OF FACILITIES PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES. WHERE POTENTIAL CONFLICT WITH UNDERGROUND UTILITIES MAY CONSTITUTE A SAFETY HAZARD OR INTERFERE WITH THE PROGRESS OF THE WORK, SUCH FACILITIES SHALL BE HAND EXCAVATED TO DETERMINE THEIR PRECISE LOCATION. SUCH FACILITIES INCLUDE, BUT
- ARE NOT LIMITED TO: PLUMBING, SEWERS, ELECTRICAL, NATURAL GAS, AND TELEPHONE LINES. 13. SITE GRADING INCLUDES DEMOLITION OF ANY EXISTING STRUCTURES ABOVE OR BELOW EXISTING GRADE, EXCAVATIONS, AND GRADING OF SITE TO ELEVATIONS SHOWN ON GRADING/DRAINAGE PLAN AND FOUNDATION PLAN. EXCESS SOIL MATERIAL INCLUDING TREES AND VEGETATION AND DEBRIS FOUND DURING EXCAVATION SHALL BE REMOVED FROM THE SITE AND HAULED TO THE NEAREST PLACE ACCEPTING FILL MATERIAL. CONSULT OWNER REGARDING STORAGE OF TOPSOIL ON SITE FOR OWNER'S USE. THE CONTRACTOR SHALL NEGOTIATE TERMS AND PAY DISPOSAL OF EXCESS SOIL AT NO ADDITIONAL COST TO OWNER.
- 14. PROJECTS WHICH DISTURB LESS THAN (1) ACRE OF SOIL SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION PER CALIFORNIA GREEN BUILDING STANDARDS CODE SECTION 4.106.
- 15. THE CONTRACTOR SHALL PROVIDE FOR: (1) TEMPORARY FENCED PROTECTION OF GROUPS OF TREES AND SHRUBS ADJACENT TO THE CONSTRUCTION AREA. (2) THE REPLACEMENT OF TREES, SHRUBS, OR GROUND-COVER BY APPROPRIATE PLANTING, UNDER THE DIRECTION OF THE LANDSCAPE CONSULTANT OR ARCHITECT. (3) UPON COMPLETION OF MAJOR CONSTRUCTION, THE RESTORATION OF THE SITE TO ITS ORIGINAL NATURAL CONDITION, INCLUDING APPROVED RE-VEGETATION AND THE REMOVAL OF THE PROTECTIVE FENCES. 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING THE WORK IN ACCORDANCE WITH THE PROPERTY
- LINES AND ELEVATIONS PER THE SURVEY DRAWING AND GRADING/ DRAINAGE PLAN. 17. THE CONTRACTOR SHALL COORDINATE ALL PLUMBING, GAS, ELECTRICAL, SPRINKLER, AND HVAC SYSTEMS FOR COMPATIBILITY WITH THE PROPOSED DESIGN PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 18. THE CONTRACTOR SHALL VERIFY ALL ELECTRICAL, PLUMBING, AND HVAC REQUIREMENTS FOR EXISTING OR SPECIFIED EQUIPMENT PRIOR TO CONSTRUCTION. ADDITIONALLY, THE CONTRACTOR SHALL CONFIRM THE EQUIPMENT LIST WITH THE ARCHITECT BEFORE COMMENCEMENT OF WORK.
- 19. THE CONTRACTOR SHALL VERIFY ANY EQUIPMENT EXISTING OR SPECIFIED FOR COMPATIBILITY WITH ELECTRICAL **VOLTAGE/ PHASE, AND OTHER UTILITIES.** 20. THE CONTRACTOR SHALL VERIFY EXACT LOCATION OF PLUMBING AND PIPING WITH PLUMBING CONTRACTOR AND
- 21. THE CONTRACTOR SHALL VERIFY EXACT LOCATION OF ALL MECHANICAL EQUIPMENT, DUCTS, GRILLES, REGISTERS, FLUES, AND VENTS WITH THE MECHANICAL CONTRACTOR AND ARCHITECT.
- 22. DIAGRAM ARCHITECTURE SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, HANDLING, PRESENCE, DISPOSAL, REMOVAL OF, OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE, INCLUDING BUT NOT LIMITED TO ASBESTOS, ASBESTOS PRODUCTS, POLYCHLORINATED BIPHENYL (PCB), OR OTHER TOXIC SUBSTANCES. SUCH WORK, IF REQUIRED, SHALL BE COMPLETED UNDER SEPARATE CONTRACT.

## III. QUALITY & JOB MANAGEMENT

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL THE TRADES. 2. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND IS NOT LIMITED TO NORMAL WORKING HOURS.
- 3. THE CONTRACTOR AGREES TO DEFEND, INDEMNIFY, AND HOLD OWNER, ARCHITECT, STRUCTURAL ENGINEER, AND SOIL ENGINEER HARMLESS FROM ANY LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
- 4. THE DRAWINGS ARE NOT, NOR ARE THEY INTENDED TO BE, A COMPLETE REPRESENTATION OF ALL PARTICULARS RELATING TO ALL CODES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR PERFORMING ALL WORK REQUIRED TO OBTAIN NECESSARY APPROVALS FROM PREVAILING JURISDICTIONS.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING ALL WORK NECESSARY TO ADHERE TO THE DESIGN INTENT OF THE DRAWINGS, WHETHER NOTED OR NOT. IF DESIRED INTENT IS UNCLEAR, THE CONTRACTOR SHALL
- NOTIFY THE ARCHITECT. 6. THE ARCHITECT AND THE ENGINEER WILL MAKE PERIODIC VISITS TO THE JOB SITE TO OBSERVE THE PROGRESS OF THE WORK. THE ARCHITECT AND ENGINEER SHALL NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES; FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK; FOR ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY PERSONS PERFORMING ANY OF THE WORK; OR FOR FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN CONFORMANCE WITH THE CONTRACT DOCUMENTS.
- ANY SUPPORT SERVICES PROVIDED BY THE ARCHITECT AND HIS CONSULTANTS DURING CONSTRUCTION, WHETHER OF MATERIAL OR WORK, AND WHETHER PERFORMED PRIOR TO, DURING, OR AFTER COMPLETION OF CONSTRUCTION, ARE PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING CONFORMANCE WITH CONTRACT DRAWINGS AND SPECIFICATIONS. THESE SUPPORT SERVICES SHALL BE DISTINGUISHED FROM CONTINUOUS AND DETAILED INSPECTION SERVICES, WHICH ARE FURNISHED BY OTHERS. THEY DO NOT GUARANTEE CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSTRUED AS SUPERVISION OF CONSTRUCTION.
- 8. OBSERVATION VISITS TO THE SITE BY FIELD REPRESENTATIVES OF THE ARCHITECT AND HIS CONSULTANTS DO NOT INCLUDE INSPECTION OF THE PROTECTIVE MEASURES OR THE PROCEDURES FOR SUCH METHODS OF CONSTRUCTION.
- 9. THE CONTRACTOR SHALL INSPECT ALL WORK PREVIOUSLY PREPARED OR INSTALLED BY OTHERS BEFORE APPLYING SUBSEQUENT MATERIALS OR FINISHES. IF AN UNSATISFACTORY CONDITION IS FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT, AND SHALL NOT PROCEED UNTIL THE DEFECTIVE WORK HAS BEEN CORRECTED. THIS QUALITY CONTROL INCLUDES ON-SITE INSPECTION DEVICES AS REQUIRED BY SPECIFICATIONS. 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A REASONABLY NEAT AND ORDERLY SITE DURING
- FENCES, PACKING MATERIALS AND DEBRIS. 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EVACUATION SAFETY IN ACCORDANCE WITH C.B.C. 12. NO MATERIALS SHALL BE STORED ON PUBLIC PROPERTY UNLESS AN ENCROACHMENT PERMIT IS FIRST OBTAINED

CONSTRUCTION, AND SHALL LEAVE THE SITE CLEAN, REMOVING ALL EQUIPMENT, TEMPORARY BUILDINGS,

- FROM THE PUBLIC WORKS DEPARTMENT.
- 13. THE CONTRACTOR SHALL PROVIDE AND LOCATE ACCESS PANELS AS REQUIRED AFTER INSTALLATION OF MECHANICAL DUCTS, PLUMBING, AND ELECTRICAL WORK.
- 14. ALL PROPRIETARY PRODUCTS NOTED ON THE DRAWINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS' RECOMMENDATIONS AND HAVE PRIOR APPROVAL FROM THE LOCAL GOVERNING AGENCIES.
- 15. THE CONTRACTOR SHALL CONSULT THE INTERIOR FINISH SCHEDULE FOR ALL INTERIOR MATERIALS, COORDINATION, ETC. 16. ALL ITEMS OF MILLWORK SHALL BE CAREFULLY ERECTED WITH TIGHT FITTING JOINTS, CAREFULLY CUT AND
- SECURED. EXPOSED NAILS SHALL BE SET IN PUTTY. BEFORE INSTALLATION, ALL MILLWORK SHALL BE BACK PRIMED AND PROTECTED AGAINST DAMPNESS. MOLDS AND FACES SHALL BE CLEAN CUT AND TRUE PATTERN. ALL WORK SHALL BE THOROUGHLY CLEANED AND SANDED TO RECEIVE THE FINISH. SHARP CORNERS OF SMALL MEMBERS OF FINISH WOODWORK SHALL BE SLIGHTLY ROUNDED.
- 17. ALL FRAMING SHALL BE INSTALLED CLOSELY FITTED, ACCURATELY SET IN PLACE TO THE REQUIRED LINES AND LEVELS, AND SHALL BE OF THE DIMENSIONS SHOWN ON DRAWINGS. DO NOT IMPAIR STRUCTURAL MEMBERS BY IMPROPER CUTTING OR DRILLING.
- 18. PROVIDE REQUIRED BLOCKING AND BACKING FOR ALL RAILINGS, PANELS, CABINETS, SHELVING, AND TOILET
- 19. ALL SURFACES TO BE PAINTED SHALL RECEIVE A MINIMUM OF 2 FINISH COATS, U.O.N.
- 20. PLUMBING DRAIN, WASTE AND VENTS SHALL BE CAST IRON. NO PLASTIC PIPING IS ALLOWED. 21. ALL HEADS, JAMBS, AND SILLS OF ALL WINDOWS AND DOORS SHALL BE CAULKED.
- 22. ALL NOISE BARRIER BATTS (SOUND INSULATION) SHALL BE NON-COMBUSTIBLE.

# IV. CHANGES TO WORK & SUBMITTALS

- 1. ONLY DRAWINGS, SPECIFICATIONS, ADDENDA, AND CHANGE ORDERS BEARING APPROVAL OF OWNER SHALL BE
- USED IN THE EXECUTION OF WORK PERMITTED ON JOB SITE, 2. ADDENDA WILL BE ISSUED AS REQUIRED DURING BIDDING TO CLARIFY DRAWINGS AND SPECIFICATIONS; THESE WILL BECOME A PART OF THE CONTRACT.
- 3. CHANGES OR MODIFICATIONS TO THE WORK DURING CONSTRUCTION SHALL BE RECORDED WITH THE APPROPRIATE REGULATORY AGENCIES, AND APPROVALS FROM SUCH AGENCIES SHALL BE OBTAINED PRIOR TO MAKING SUCH CHANGES. REGULATORY AGENCIES SHALL BE NOTIFIED BY THE CONTRACTOR OF ALL SUCH CONSTRUCTION CONTRACT CHANGES AFTER PERMITS ARE ISSUED.
- 4. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF ALL CHANGES OR SUBSTITUTIONS MADE TO THE PLANS AND SPECIFICATIONS. THE ARCHITECT SHALL HAVE NO IMPLIED OR ASSUMED RESPONSIBILITY FOR CHANGES IMPLEMENTED WITHOUT THE ARCHITECT'S PRIOR APPROVAL
- 5. WHEN A MATERIAL OR ARTICLE IS SPECIFIED OR INDICATED BY NAME OF PRODUCT OR MANUFACTURER, IT SHALL HAVE PROPRIETOR STATUS. OTHER MATERIALS OR ARTICLES MAY BE SUBSTITUTED IF IN THE OPINION OF THE ARCHITECT AND OWNER, THE MATERIAL OR ARTICLE IS EQUAL TO THAT SPECIFIED.
- 6. REQUESTS FOR SUBSTITUTIONS SHALL NOT DELAY WORK. THE CONTRACTOR SHALL COORDINATE ACCEPTED
- SUBSTITUTIONS WITHOUT ADDITIONAL COST TO OWNER. 7. WHEN A MANUFACTURED PRODUCT IS NOT SPECIFIED, THE CONTRACTOR WILL UTILIZE THE HIGHEST QUALITY PRODUCT AVAILABLE ON THE MARKET IN THE MIDDLE PRICE RANGE. THE CONTRACTOR SHALL ON NO ACCOUNT USE LOWER END PRODUCTS AT THE BOTTOM PRICE RANGE WHEN BETTER QUALITY PRODUCT IN THE MIDDLE PRICE RANGE EXISTS.
- 8. A COLOR SCHEDULE WILL BE ISSUED BY THE ARCHITECT. THE CONTRACTOR, SUBCONTRACTOR, AND MATERIAL SUPPLIERS SHALL COOPERATE IN FURNISHING REQUIRED COLOR SAMPLES TO AID IN FINAL SELECTIONS. WHERE SPECIAL COLORS ARE SELECTED BY THE ARCHITECT AND OWNER, THE CONTRACTOR SHALL FURNISH ACCURATE REPRODUCTIONS OF THESE COLORS, ON THE ACTUAL MATERIAL TO BE FURNISHED FOR THE PROJECT, FOR
- 9. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND SAMPLES WHERE CALLED FOR ON DRAWINGS. APPROVAL SHALL BE OBTAINED BEFORE COMMENCING FABRICATION. ARCHITECT'S APPROVAL OF DRAWINGS OR SHOP DRAWINGS SHALL NOT RELIEVE CONTRACTOR FROM RESPONSIBILITY FOR ERRORS OR DEVIATIONS FROM DRAWINGS OR SPECIFICATIONS, UNLESS HE HAS IN WRITING CALLED THE ARCHITECT'S ATTENTION TO **DEVIATIONS AT TIME OF SUBMISSION.**
- 10. SHOP DRAWINGS ARE AN AID FOR FIELD PLACEMENT AND ARE SUPERSEDED BY THE ARCHITECTURAL DRAWINGS. THE GENERAL CONTRACTOR SHALL MAKE CERTAIN THAT ALL CONSTRUCTION IS IN FULL AGREEMENT WITH THE LATEST ARCHITECTURAL DRAWINGS.
- 11. THE CONTRACTOR SHALL SUPPLY THE ARCHITECT/ ENGINEER WITH A MINIMUM OF TWO COPIES OF CHECKED SHOP DRAWINGS BEARING THE CONTRACTOR'S STAMP OF APPROVAL AND SIGNATURE, A MINIMUM OF THREE WEEKS PRIOR TO FABRICATION.
- 12. THE REVIEW OF SHOP DRAWINGS AND SPECIFICATIONS BY THE ARCHITECT/ ENGINEER IS ONLY FOR GENERAL COMPLIANCE WITH THE ARCHITECTURAL AND/ OR STRUCTURAL DRAWINGS AND SPECIFICATIONS. THIS REVIEW DOES NOT GUARANTEE IN ANY WAY THAT THE SHOP DRAWINGS ARE CORRECT OR COMPLETE, NOR DOES IT
- IMPLY THAT THEY SUPERSEDE THE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS. 13. NO PORTION OF THE WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION SHALL COMMENCE UNTIL THE SUBMISSION HAS BEEN REVIEWED BY THE ARCHITECT. ALL SUCH PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH APPROVED SHOP DRAWINGS AND SAMPLES.
- 14. THE ARCHITECT SHALL NOT PROCEED WITH THE REVIEW OF SHOP DRAWINGS FOR A SPECIFIC SECTION OF SPECIFICATIONS UNLESS THE SHOP DRAWINGS FOR THAT SECTION AND ALL RELATED AND CONTIGUOUS SECTIONS OF WORK ARE SUBMITTED IN THEIR ENTIRETY SIMULTANEOUSLY.
- 15. THE REVIEW AND ACCEPTANCE OF A PART OF THE SHOP DRAWINGS SHALL NOT IMPLY THE ACCEPTANCE OF THE SHOP DRAWINGS, IN WHOLE OR IN PART.
- 16. THE CONTRACTOR SHALL PROVIDE 4'x4' MIN. BRUSH-OUTS OF THE SPECIFIED PAINT COLORS ON THE BUILDING FOR THE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH PAINTING.

- 1. ALL WORK SHALL BE CLEAN AND READY FOR USE UPON COMPLETION. TEMPORARY TAPES, WRAPPING, COATING, PAPER LABELS AND OTHER ITEMS SHALL BE REMOVED. EXPOSED AND SEMI-EXPOSED SURFACES SHALL BE DUSTED, MOPPED, WASHED, WIPED, AND BUFFED AS NECESSARY TO LEAVE WORK IN A NEW, CLEAN, IMMACULATE CONDITION.
- 2. PROVIDE FINAL CLEANING AND POLISHING OF FINISH HARDWARE, BRIGHT AND ANODIZED METAL FINISHES, GLASS MIRRORS, AND PLUMBING FIXTURES, INCLUDING OTHER SWEEPING, DUSTING, ETC.; ASSEMBLE GUARANTEES, OPERATIONS AND MAINTENANCE INSTRUCTIONS, ETC., AND DELIVER TO OWNER.
- 3. CLEANING METHODS FOR PROPRIETARY MATERIALS SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. CLEANING SOLUTIONS, AGENTS, SOLVENTS, WAXES, OR OTHER MATERIALS SHALL BE ONLY AS APPROVED BY MANUFACTURER OF THE MATERIAL INSTALLED IN THE WORK.
- 4. THE CONTRACTOR SHALL PROVIDE THE OWNER(S) WITH A RECORD CONSTRUCTION/AS-BUILT SET OF DRAWINGS AFTER COMPLETION OF THE PROJECT.

# GENERAL BUILDING CODE REGULATIONS - CA RESIDENTIAL CODE (CRC)

- CALIFORNIA RESIDENTIAL CODE (CRC) REGULATES DETACHED ONE- AND TWO-FAMILY DWELLINGS, EFFICIENCY DWELLING UNITS, AND TOWNHOUSES NOT MORE THAN THREE STORIES ABOVE GRADE PLANE IN HEIGHT WITH A
- SEPARATE MEANS OF EGRESS AND ACCESSORY STRUCTURES. 2. FIREBLOCKING SHALL BE INSTALLED IN COMBUSTIBLE CONCEALED LOCATIONS IN THE FOLLOWING LOCATIONS PER CRC
- TO CUT OFF BOTH VERTICAL AND HORIZONTAL CONCEALED DRAFT OPENINGS AND SHALL FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF OR ATTIC. - IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AND PARALLEL ROWS OF
- STUDS OR STAGGERED STUDS VERTICALLY AT THE CEILING AND FLOOR LEVELS, AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET. - AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES, SUCH AS OCCUR AT WALLS AND diagramarchitecture FLOOR JOISTS OR TRUSSES, AND SOFFITS, DROP CEILINGS, COVE CEILINGS AND SIMILAR LOCATIONS.
- IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7 - AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES, AT CEILING AND FLOOR LEVEL, WITH AN

APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND COMBUSTION PRODUCTS.

- FOR CHIMNEYS AND FIREPLACES, SEE SECTION R1003.19. DRAFTSTOPPING SHALL BE INSTALLED IN COMBUSTIBLE CONSTRUCTION PER CRC SECTION 302.12: WHERE THERE IS USABLE SPACE ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR-CEILING ASSEMBLY,
- INSTALL DRAFTSTOPS SO THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQ. FEET AREA, DIVIDED INTO APPROX. EQUAL AREAS.
- 4. LIGHT, VENTILATION & HEATING PER CRC SECTION R303: - LIGHT: HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA NOT LESS THAN 8% OF THE FLOOR AREA OF
- NATURAL VENTILATION SHALL BE PROVIDED THROUGH WINDOWS, SKYLIGHTS, DOORS, LOUVERS OR OTHER APPROVED OPENINGS TO OUTDOOR AIR, CONTROLLABLE BY BUILDING OCCUPANTS. THE OPENABLE AREA TO THE OUTDOORS SHALL BE 4% MINIMUM OF THE AREA BEING VENTILATED.
- EXCEPTION 1: GLAZED AREAS NEED NOT BE OPENABLE IF NOT REQUIRED FOR EMERGENCY ESCAPE AND RESCUE PER SUCH, REMAINS THE PROPERTY OF DIAGRAM CRC SECTION R310, AND A WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM IS INSTALLED PER CMC. - EXCEPTION 2: GLAZED AREAS NEED NOT BE INSTALLED IN ROOMS WHERE EXCEPTION 1 APPLIES AND AN AVERAGE OF 6 FC ILLUMINATION IS PROVIDED AT 30 INCHES AFF.
- BATHROOMS CONTAINING A TUB OR SHOWER SHALL BE MECHANICALLY VENTILATED IN ACCORDANCE WITH THE CMC CHAPTER 4 AND THE CGBC CHAPTER 4, SECTION 4.506. - UNDER-FLOOR VENTILATION PER CRC SECTION R408: THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE UNDER-FLOOR AREA (SEE EXCEPTIONS). EXTERIOR OPENINGS SHALL BE FULLY COVERED WITH 1/4"
- MAX OPENINGS EACH WAY, OR 1/8" MAX CORROSION-RESISTANT WIRE MESH. - ROOF VENTILATION PER CRC SECTION R806: THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN  $1\!/150$  OF THE VENTED SPACE (SEE EXCEPTIONS). ENCLOSED ATTICS AND RAFTER SPACES SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE. PROTECT OPENINGS AGAINST ENTRY OF RAIN OR SNOW. PROTECT OPENINGS WITH 1/16" MIN TO 1/4" MAX CORROSION-RESISTANT SCREENING.
- LABELLED SAFETY GLAZING IS REQUIRED PER CRC SECTION 308 AS FOLLOWS: GLAZING IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOOR ASSEMBLIES.
- GLAZING WITHIN 24" OF A WALL PERPENDICULAR TO THE HINGE SIDE OF AN IN-SWINGING DOOR. - GLAZING IN WINDOWS LOCATED LESS THAN 18" ABOVE FINISHED FLOOR AND TOP EDGE IS GREATER THAN 36" ABOVE THE FINISHED FLOOR AND GLAZING IS GREATER THAN 9 SQ.FT. AND A WALKING SURFACE IS LOCATED WITHIN

- GLAZING ADJACENT TO DOORS LOCATED WITHIN A 24" ARC OF A DOOR'S VERTICAL EDGE AND LESS THAN 60" TO

- 36" HORIZONTALLY FROM THE GLAZING. - GLAZING IN GUARDS AND RAILINGS. GLAZING IN WALLS, ENCLOSURES OR FENCES AROUND HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS,
- BATHTUBS, SHOWERS AND SWIMMING POOLS WHERE BOTTOM EDGE OF GLAZING IS LESS THAN 60" ABOVE ANY STANDING OR WALKING SURFACE. GLAZING ADJACENT TO STAIRWAYS AND RAMPS WHERE BOTTOM EDGE OF GLAZING IS LESS THAN 36" ABOVE THE
- WALKING SURFACE OF STAIRWAYS, LANDINGS AND RAMPS. - GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WITHIN 60" (IN ANY DIRECTION) FROM THE
- BOTTOM TREAD NOSING AND LESS THAN 36" ABOVE THE LANDING. - SKYLIGHTS AND SLOPED GLAZING PER CRC SECTION R308.6.
- EMERGENCY ESCAPE AND RESCUE OPENINGS PER CRC SECTION R310 - BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING DIRECTLY INTO A PUBLIC WAY, YARD OR COURT THAT OPENS TO A
- SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FEET (EXCEPTION: GRADE FLOOR OR BELOW GRADE OPENINGS SHALL HAVE A NET CLEAR OPENING OF 5 SQ. FEET MINIMUM).
- THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES. THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES. THE NET CLEAR OPENING DIMENSIONS SHALL BE THE RESULT OF NORMAL
- THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES ABOVE THE FINISHED FLOOR. STAIRWAYS PER CRC SECTION R311 7
- STAIR TREADS & RISERS: RESIDENTIAL STAIRS SHALL HAVE A MAXIMUM RISE OF 7-3/4 INCHES, AND A MINIMUM TREAD DEPTH OF 10 INCHES. - MIN, NOSING PROJECTION OF 3/4 INCH AND MAX. OF 1-1/4 INCH, WITH 9/16 INCH MAX. RADIUS. EXCEPTION: NOSING
- PROJECTION NOT REQUIRED IF TREAD DEPTH IS NOT LESS THAN 11 INCHES. DIMENSIONAL UNIFORMITY: STAIR TREADS AND RISERS SHALL BE OF UNIFORM SIZE AND SHAPE. - THE TOLERANCE BETWEEN THE LARGEST AND SMALLEST RISER HEIGHT, TREAD DEPTH, OR NOSING PROJECTION
- STAIR HANDRAILS: HANDRAILS TO BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS TREAD RUN OR FLIGHT WITH MORE THAN 4 RISERS. - THE TOP OF HANDRAILS SHALL NOT BE PLACED LESS THAN 34 INCHES NOR MORE THAN 38 INCHES ABOVE LANDINGS
- AND THE NOSING OF TREADS. - HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF FLIGHT FROM TOP RISER TO BOTTOM RISER. ENDS
- SHALL BE RETURNED OR TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. - HANDRAILS SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCHES BETWEEN AN ADJACENT WALL AND THE - THE HAND GRIP PORTION OF CIRCULAR HANDRAILS SHALL NOT BE LESS THAN 1-1/4 INCHES NOR MORE THAN 2
- INCHES IN CROSS-SECTIONAL DIMENSION. - THE HANDGRIP PORTION OF NON-CIRCULAR HANDRAILS SHALL HAVE A PERIMETER DIMENSION OF NOT LESS THAN 4 INCHES AND NOT GREATER THAN 6-1/4 INCHES WITH A MAXIMUM CROSS-SECTIONAL DIMENSION OF 2-1/4 INCHES.
- THE HAND GRIP PORTION OF HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS; EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01 INCH. **RAMPS PER CRC SECTION R311.8:** - RAMP MAXIMUM SLOPE: RAMPS SERVING AN EGRESS DOOR SHALL HAVE A MAXIMUM SLOPE OF 1:12.
  - ALL OTHER RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1:8. - RAMP LANDINGS: PROVIDE RAMP LANDINGS AT THE TOP AND BOTTOM OF EACH RAMP, WHERE DOORS OPEN ONTO RAMPS, AND WHERE RAMPS CHANGE DIRECTION. - THE WIDTH OF THE LANDING PERPENDICULAR TO THE RAMP SHALL BE 36 INCHES MINIMUM.
  - RAMP HANDRAILS: HANDRAILS TO BE PROVIDED ON AT LEAST ONE SIDE OF RAMPS EXCEEDING A SLOPE OF 1:12. THE TOP OF HANDRAILS SHALL NOT BE PLACED LESS THAN 34 INCHES NOR MORE THAN 38 INCHES ABOVE RAMP. - HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF RAMP. ENDS SHALL BE RETURNED OR TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2 INCHES BETWEEN
- AN ADJACENT WALL AND THE HANDRAIL. - REFER TO STAIR HANDRAIL SECTION R311.7.8.3 FOR THE GRIP SIZE.

SHALL NOT EXCEED 3/8 INCH IN ANY FLIGHT OF STAIRS.

- **GUARDS PER SECTION CRC R312:** - PROVIDE GUARDS ALONG OPEN-SIDED WALKING SURFACES, INCLUDING STAIRS, RAMPS AND LANDINGS MORE THAN 30 INCHES VERTICALLY ABOVE THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO
- THE TOP OF GUARDS SHALL BE 42 INCHES IN HEIGHT. - EXCEPTION 1: GUARDS ON THE OPEN SIDES OF STAIRS SHALL HAVE A HEIGHT NOT LESS THAN 34 INCHES ABOVE THE
- LEADING EDGES OF TREADS. - EXCEPTION 2: GUARDS ON THE OPEN SIDES OF STAIRS WHOSE TOP RAIL ALSO SERVES AS A HANDRAIL SHALL HAVE A TOP RAIL NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES ABOVE THE LEADING EDGES OF TREADS. - GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE THAT ALLOW PASSAGE OF A 4 INCH DIAMETER
- EXCEPTION 1: THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM ELEMENT OF A GUARD SHALL NOT ALLOW PASSAGE OF A 6 INCH DIAMETER SPHERE.
- EXCEPTION 2: GUARDS ON THE OPEN SIDE OF STAIRS SHALL NOT HAVE OPENINGS THAT ALLOW PASSAGE OF A 4-3/4 INCH DIAMETER SPHERE.
- WINDOW SILLS: IN DWELLING UNITS WHERE THE TOP OF AN OPERABLE WINDOW OPENING IS LESS THAN 24 INCHES ABOVE FINISH FLOOR AND GREATER THEN 72 INCHES ABOVE THE EXTERIOR SURFACE BELOW, PROVIDE WINDOW FALL PROTECTION PER CRC SECTION R312.2.
- SITE GRADING PER CALIFORNIA GREEN BUILDING STANDARDS CODE SECTION 4.106 AND AS FOLLOWS: - SITE GRADING AND DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS INCLUDING BUT NOT LIMITED TO SWALES, WATER COLLECTION AND DISPOSAL SYSTEMS, FRENCH DRAINS, JOB NO: ACJ01 WATER RETENTION GARDENS, AND OTHER MEASURES TO KEEP WATER AWAY FROM BUILDING AND AID IN
- **GROUNDWATER RECHARGE.** - GRADE ADJACENT TO FOUNDATIONS SHALL SLOPE AWAY FROM THE BUILDING AT A 5% SLOPE FOR A MINIMUM OF 10 FEET MEASURED PERPENDICULAR TO THE WALL; OR WHERE PHYSICAL OBSTRUCTIONS/ LOT LINES PROHIBIT 10-FOOT HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF WATER DIVERSION AWAY FROM FOUNDATION
- IMPERVIOUS SURFACES WITHIN f 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF f 2% AWAY FROM THE BUILDING.



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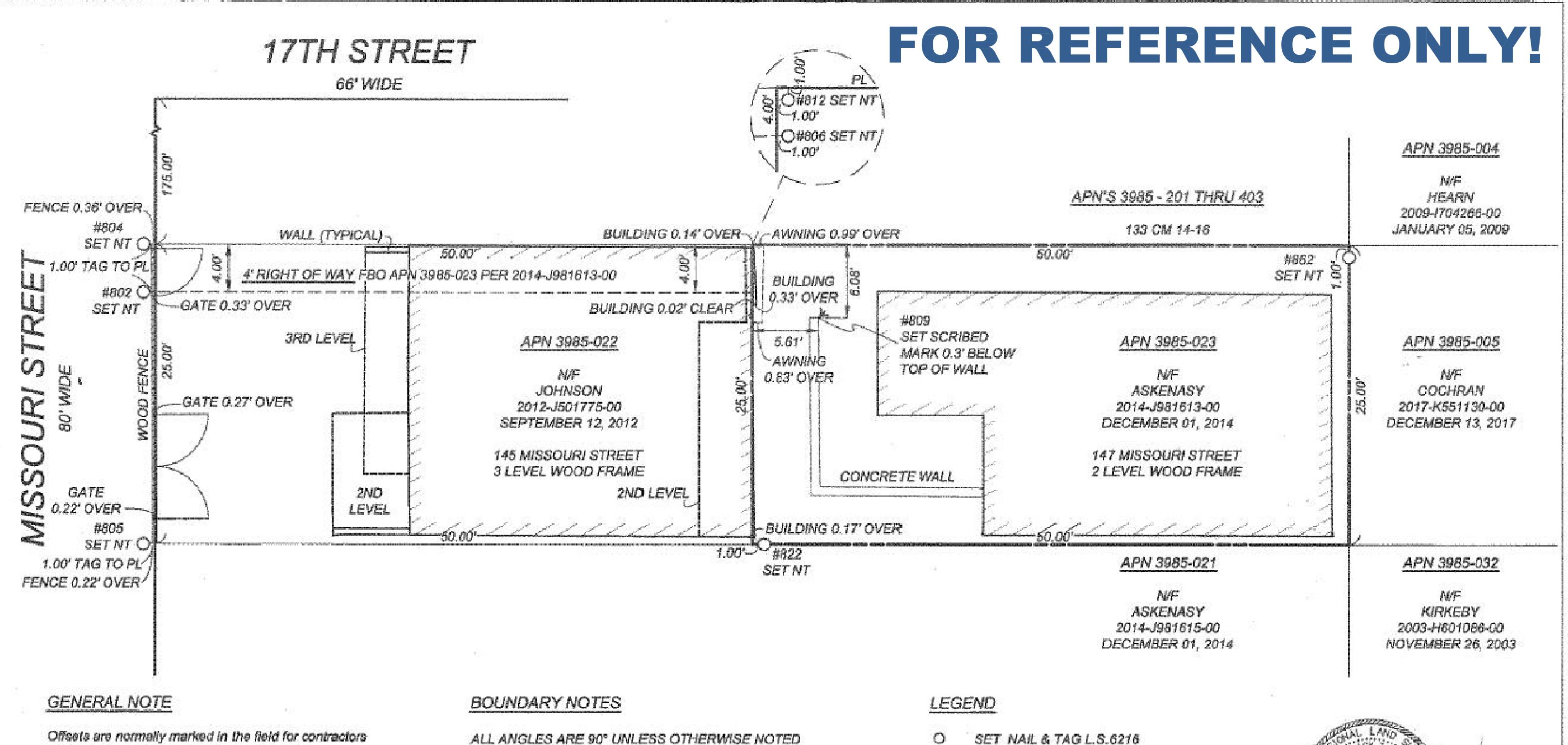
REAR DECK

145 MISSOURI ST.

GENERAL NOTES

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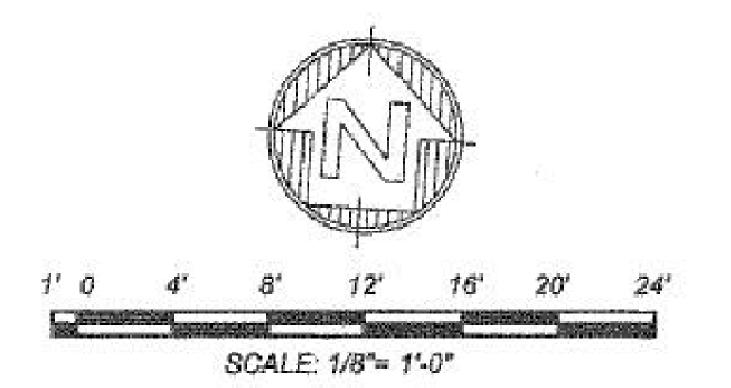




Offsets are normally marked in the field for contractors convenience only and are not to be used for construction.

When using stakes, contractor shall observe the following rules: (1) When a discrepancy is found, it must be reported to this office immediately, otherwise this office cannot be held responsible for any errors in the grade of the finished work; (2) All stakes for building layout must be used in common, minimum three (3) stakes per building.

ALL ANGLES ARE 90° UNLESS OTHERWISE NOTEL ALL DISTANCES ARE MEASURED IN FEET AND DECIMALS THEREOF



PIPE

APN ASSESSOR'S PARCEL NUMBER

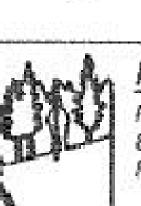
CM CONDOMINIUM MAP BOOK

FBO FOR BENEFIT OF

WF NOW OR FORMERLY

NT NAIL & TAG

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147 MISSOURI STREET, SAN FRANCISCO ASSESSOR'S PARCEL NUMBER 3985-023 STAKING PLAT

JOB#: 2141-18 DATE: 06-07-18 SCALE: 1"=8" SHEET#: 1 OF 1

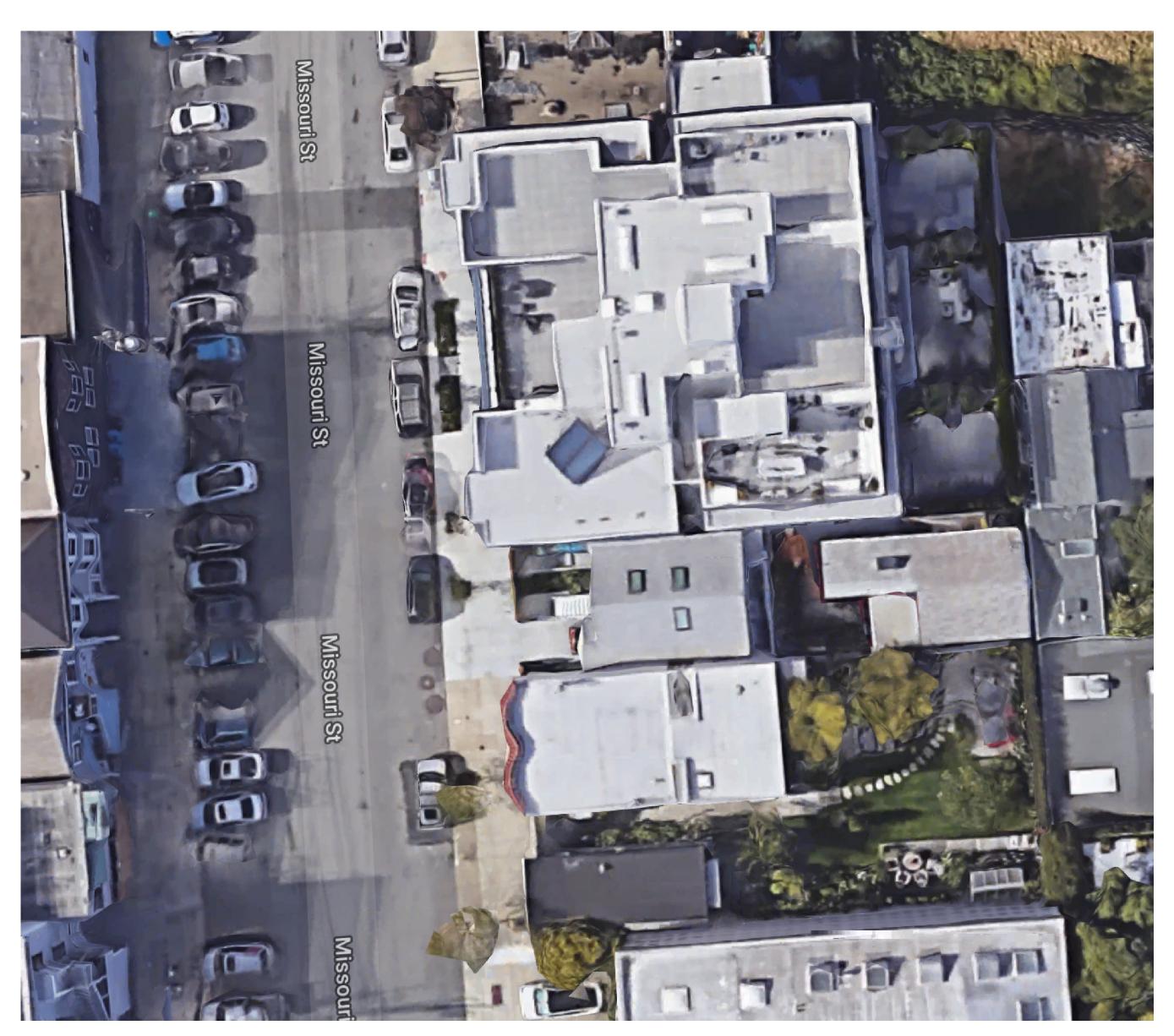


GROUND FLOOR, PHOTO LEGEND

3/16" = 1'-0"

8 SITE AERIAL
PHOTO DATE: 1-18-2019

A050
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SITE MAP

1/16" = 1'-0"



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(E) & (N) SITE PLAN (NO CHANGE)

1/8" = 1'-0"

SITE PLAN &
ADJACENT
BUILDING
PROFILES/
ROOFLINES

JOB NO: **ACJ**(

A051

ADJACENT BUILDING PROFILES/ ROOFLINES (NO CHANGE)

1/8" = 1'-0"

