



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

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Planning
Information:
415.558.6377



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, March 25, 2020**

Time: **Not before 9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance**

Hearing Body: **Zoning Administrator**

| PROJECT INFORMATION | | APPLICANT INFORMATION | |
|---|--|-----------------------|--|
| Project Address: | 145 MISSOURI ST | Applicant: | Thomas Tunny |
| Cross Street(s): | 17th St and Mariposa St | Company: | Reuben, Junius & Rose, LLP |
| Block /Lot No.: | 3985 / 022 | Applicant Address: | One Bush St., Suite 600 |
| Zoning District(s): | RH-2 /40-X | City, State: | San Francisco, CA |
| Area Plan: | Showplace Square/Potrero Hill (Eastern Neighborhoods) | Telephone: | (415) 567-9000 |
| Record No.: | 2019-007159VAR | E-Mail: | ttunny@reubenlaw.com |
| PROJECT DESCRIPTION | | | |
| <p>This project proposes to legalize a first story garage horizontal addition and second story rear porch that are 4 feet 7 inches by 17 feet 10 inches. The porch was built as a replacement of the previous porch.</p> <p>PLANNING CODE SECTION 134 requires the subject property to maintain a rear yard of approximately 22 feet. The rear porch completely encroaches into the required rear yard. Therefore, the project requires a rear yard variance.</p> | | | |
| ADDITIONAL INFORMATION | | | |
| <p>ARCHITECTURAL PLANS: To view the plans and related documents for the proposed project, visit http://www.sf-planning.org/notices and search the Project Address listed above. The plans will also be available one week prior to the hearing through the hearing agenda at: sf-planning.org/hearings or by request at the Planning Department office located at 1650 Mission Street, 4th Floor.</p> <p>Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and</p> | | | |
| <p>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF: Planner: Alex Westhoff Telephone: (415) 575-9120 E-Mail: alex.westhoff@sfgov.org</p> | | | |

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

APPEAL INFORMATION

An appeal of the Zoning Administrator's action on a **Variance** may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

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13 ABBREVIATIONS

9 GENERAL NOTES & BUILDING CODE REGULATIONS

9 GENERAL NOTES & BUILDING CODE REGULATIONS

- IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING.



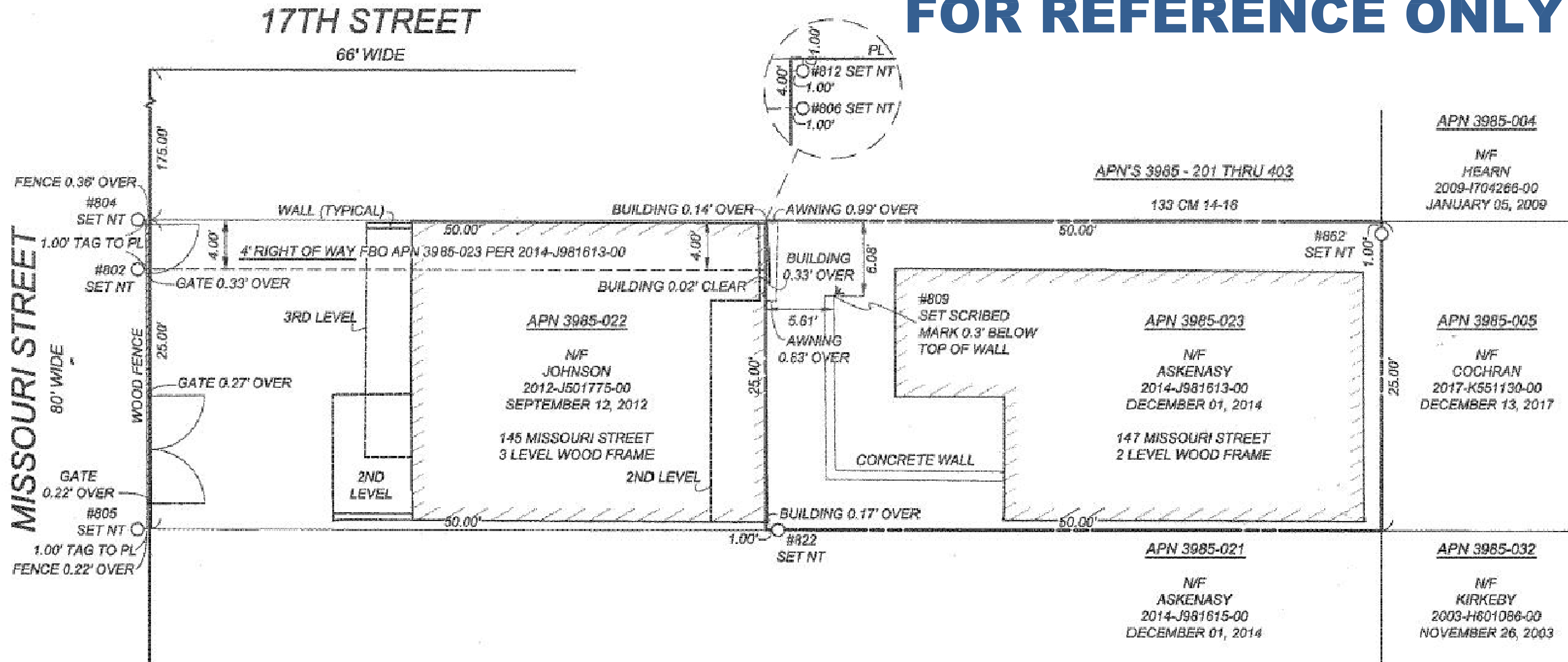
JOB NO: ACJ01

SHEET:

G010

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FOR REFERENCE ONLY!



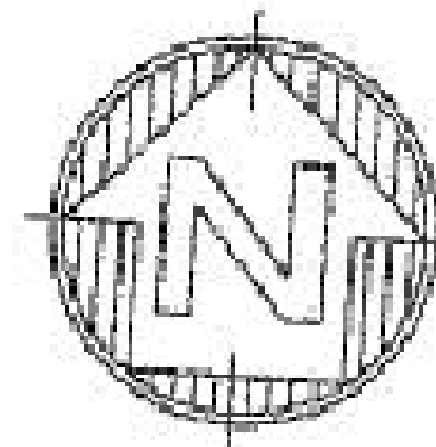
GENERAL NOTE

Offsets are normally marked in the field for contractors convenience only and are not to be used for construction.

When using stakes, contractor shall observe the following rules: (1) When a discrepancy is found, it must be reported to this office immediately, otherwise this office cannot be held responsible for any errors in the grade of the finished work; (2) All stakes for building layout must be used in common, minimum three (3) stakes per building.

BOUNDARY NOTES

ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED
ALL DISTANCES ARE MEASURED IN FEET AND
DECIMALS THEREOF

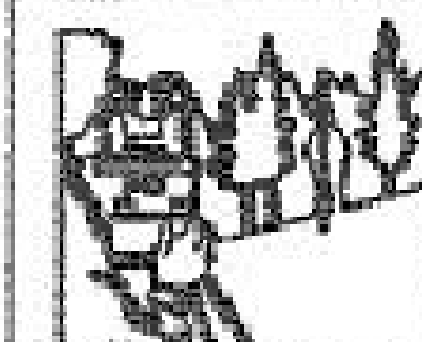


1' 0" 4' 8' 12' 16' 20' 24'

SCALE: 1/8" = 1'-0"

LEGEND

- | | |
|-----|--------------------------|
| O | SET NAIL & TAG L.S.6216 |
| o | PIPE |
| APN | ASSESSOR'S PARCEL NUMBER |
| CM | CONDOMINIUM MAP BOOK |
| FBO | FOR BENEFIT OF |
| N/F | NOW OR FORMERLY |
| NT | NAIL & TAG |
| PL | PROPERTY LINE |



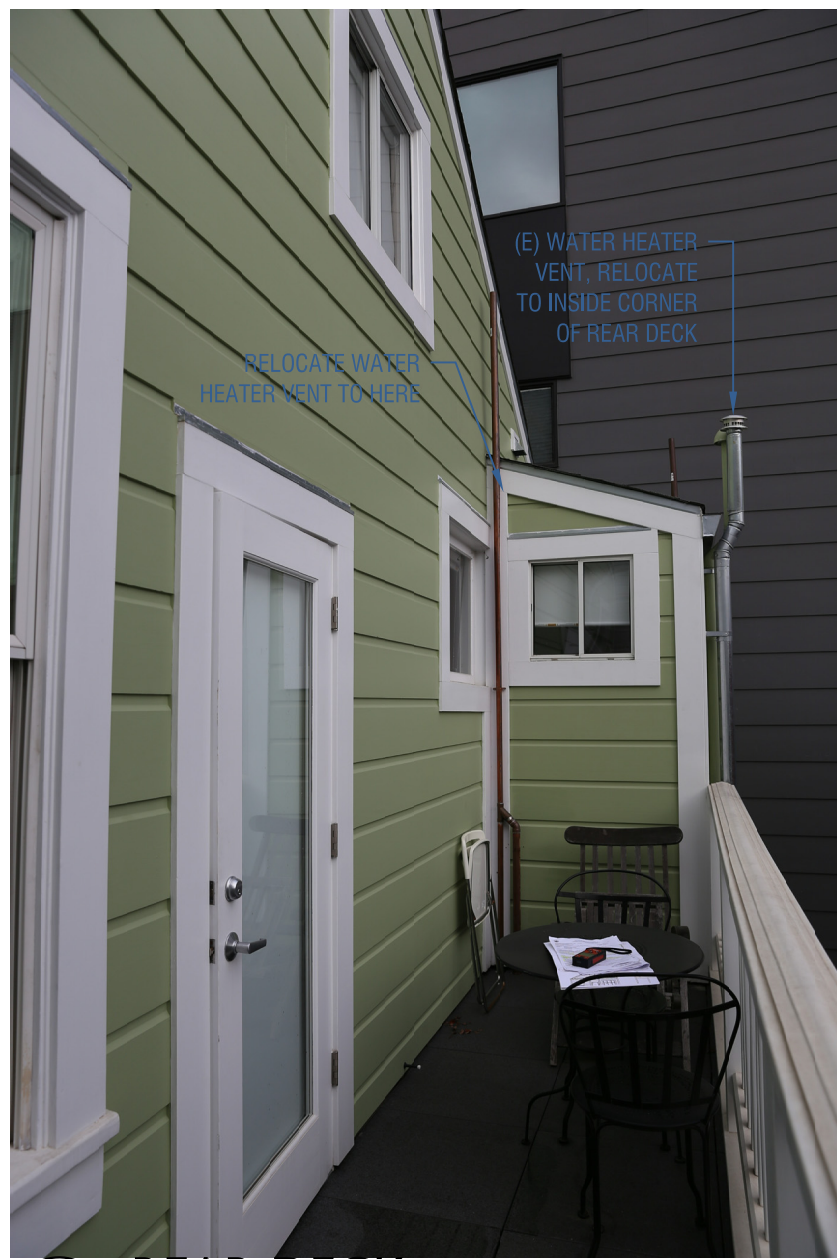
Frederick T. Seher & Associates, Inc.
PROFESSIONAL LAND SURVEYORS
841 LOMBARD STREET, SAN FRANCISCO, CA
PHONE (415) 921-7990 FAX (415) 921-7055

147 MISSOURI STREET, SAN FRANCISCO
ASSESSOR'S PARCEL NUMBER 3985-023
STAKING PLAT

| | | | |
|----------------|----------------|----------------|-----------------|
| JOB #: 2141-18 | DATE: 06-07-18 | SCALE: 1" = 8' | SHEET #: 1 OF 1 |
|----------------|----------------|----------------|-----------------|



4 DOOR TO #147
PHOTO DATE: 1-18-2019



3A REAR DECK
PHOTO DATE: 1-18-2019



3B REAR DECK
PHOTO DATE: 1-18-2019



3C REAR DECK
PHOTO DATE: 1-18-2019



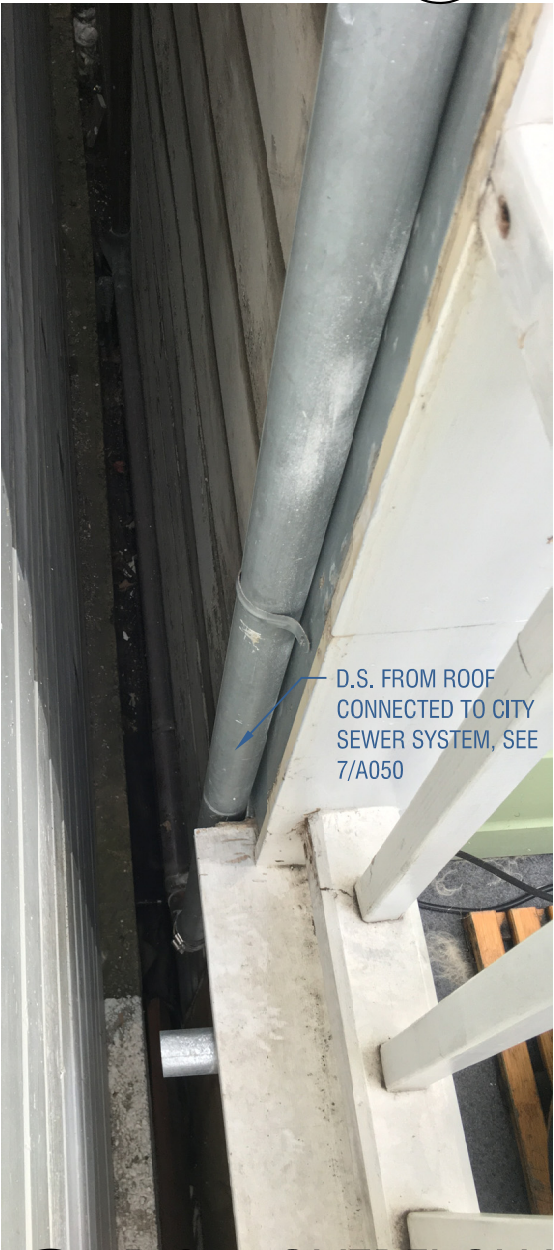
3D REAR DECK
PHOTO DATE: 1-18-2019



3E REAR DECK
PHOTO DATE: 1-18-2019



5 FOUNDATION PHOTO
PHOTO DATE: UNKNOWN



6 D.S. & OVERFLOW
PHOTO DATE: 1-18-2019



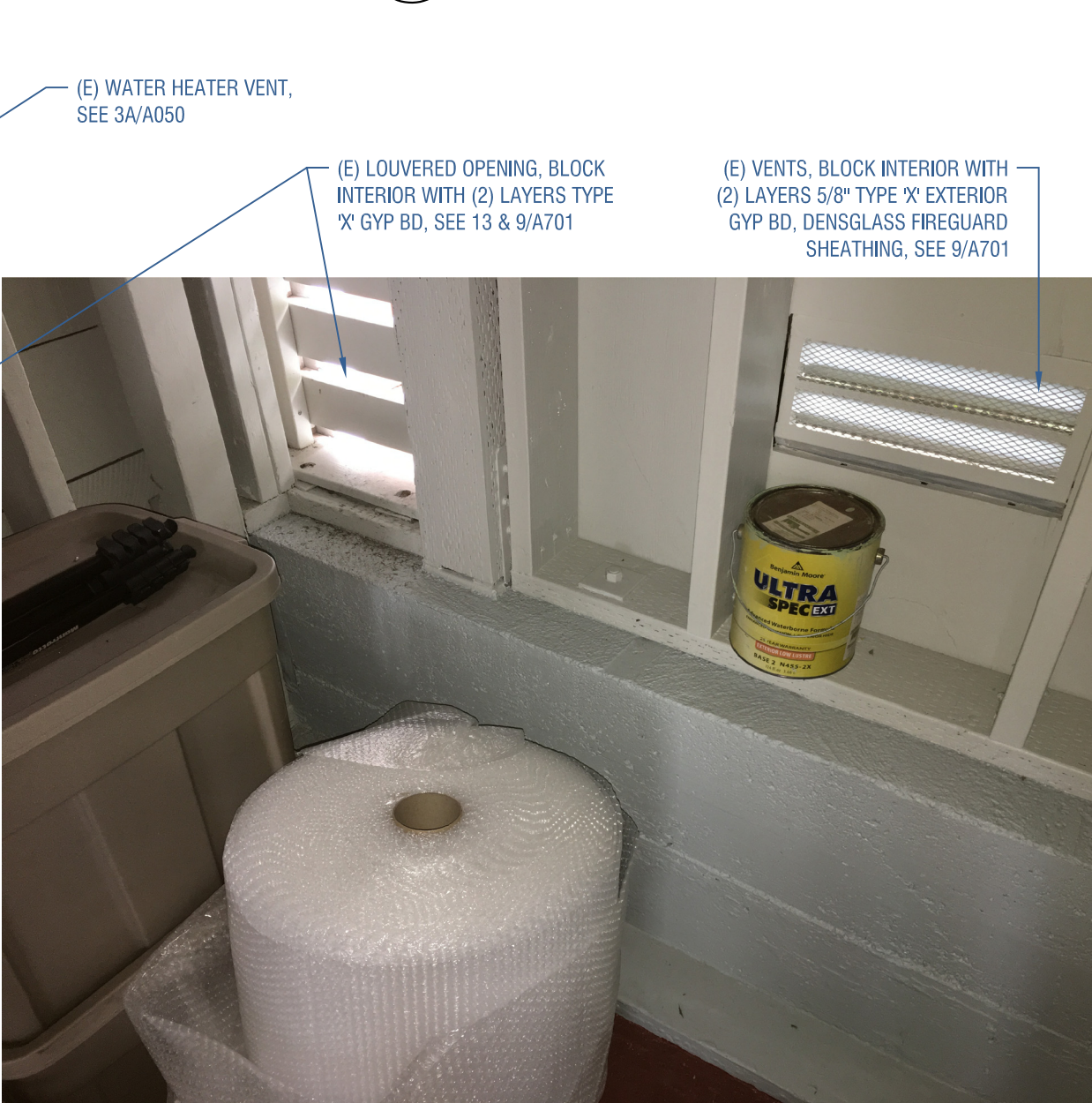
7 D.S. & OVERFLOW
PHOTO DATE: 1-18-2019



2A WATER HEATER VENT
PHOTO DATE: 1-18-2019



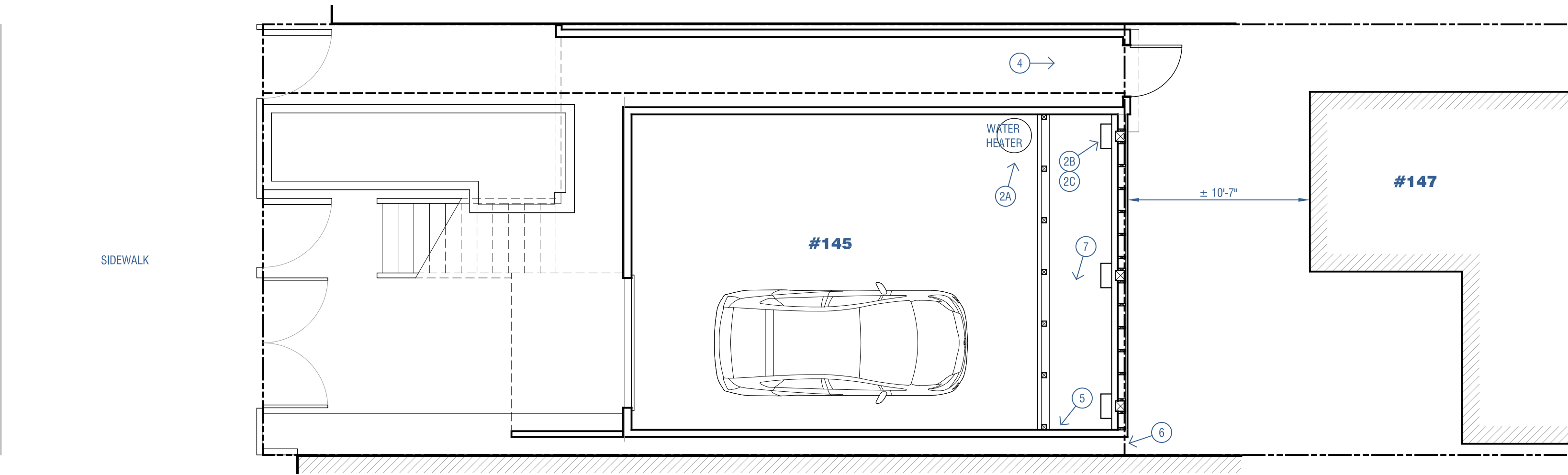
2B WATER HEATER VENT
PHOTO DATE: 1-18-2019



2C FOUNDATION VENT
PHOTO DATE: 1-18-2019



8 SITE AERIAL
PHOTO DATE: 1-18-2019



1 GROUND FLOOR, PHOTO LEGEND
3/16" = 1'-0"



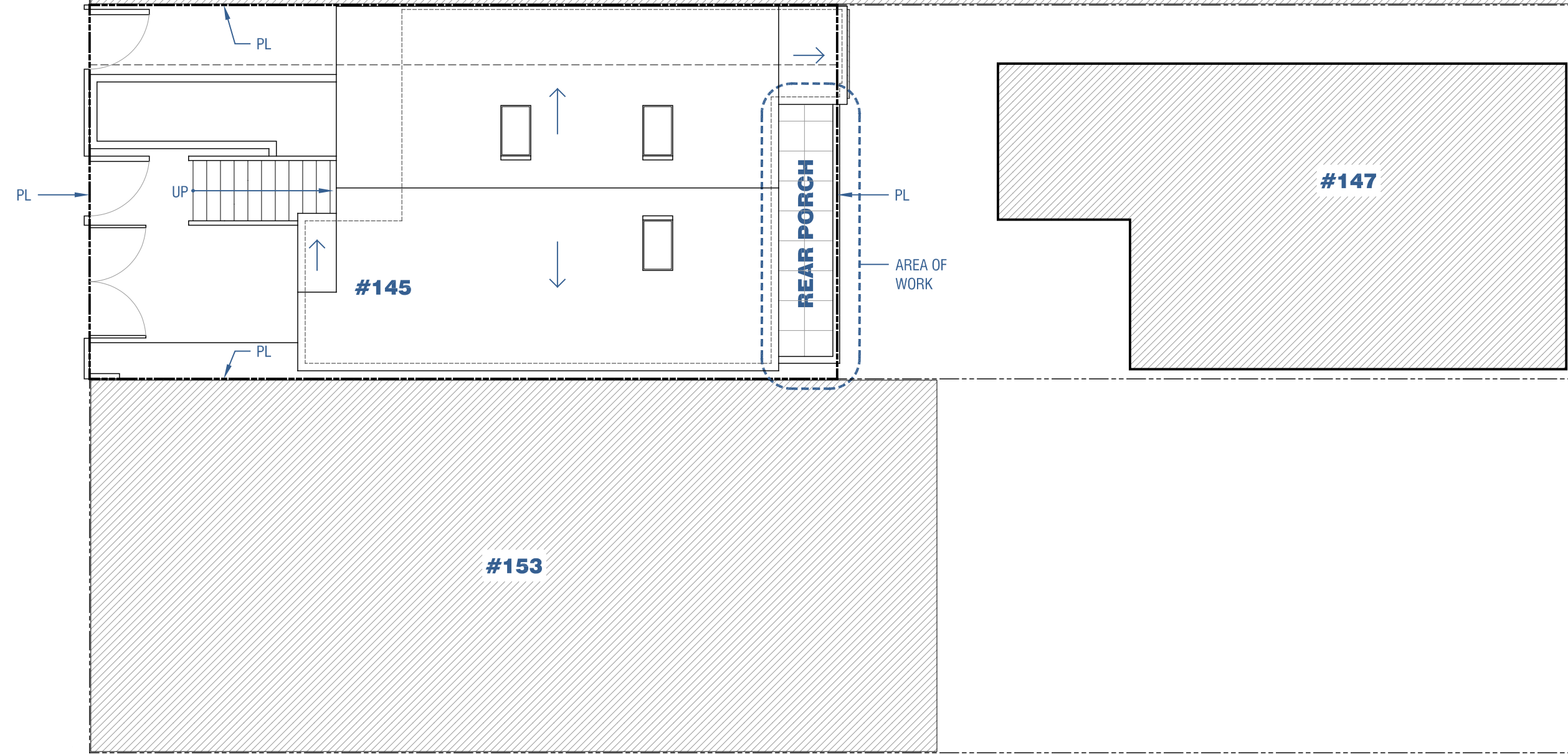
15 SITE MAP
1/16" = 1'-0"



13 ADJACENT BUILDING PROFILES/ ROOFLINES (NO CHANGE)
1/8" = 1'-0"

MISSOURI STREET

SIDEWALK



6 (E) & (N) SITE PLAN (NO CHANGE)
1/8" = 1'-0"

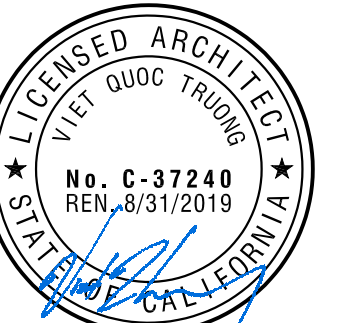


diagramarchitecture

2201 SHORELINE DR #2351
ALAMEDA, CA 94501-6200
(510) 672-0005



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REAR DECK

145 MISSOURI ST.
SAN FRANCISCO, CA 94107

PERMIT SET 4-19-2019

SITE PLAN &
ADJACENT
BUILDING
PROFILES/
ROOFLINES

JOB NO: ACJ01

SHEET:

A051

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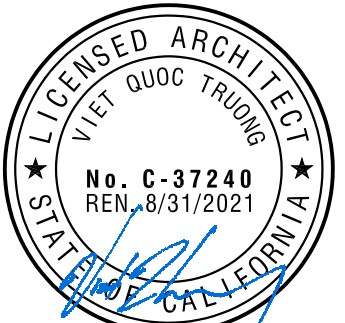


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145 MISSOURI ST.
SAN FRANCISCO, CA 94107

PERMIT SET 4-19-2019

PERMIT SET REVISIONS 1-15-2020

GROUND & SECOND FLOOR PLANS

JOB NO: ACJ01

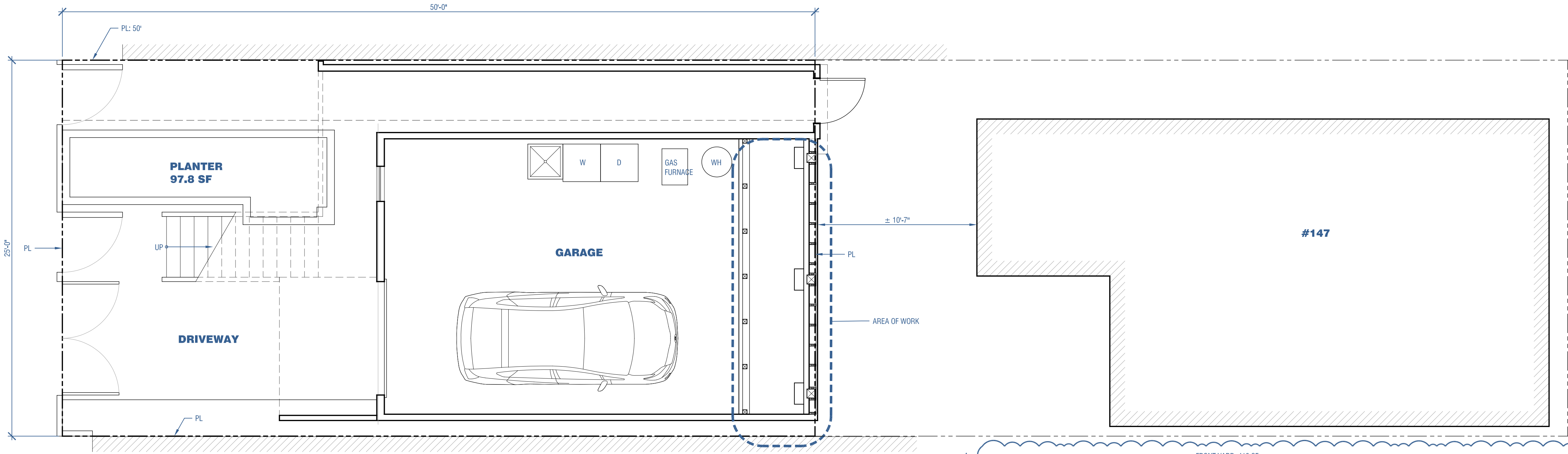
SHEET:

A100

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MISSOURI STREET

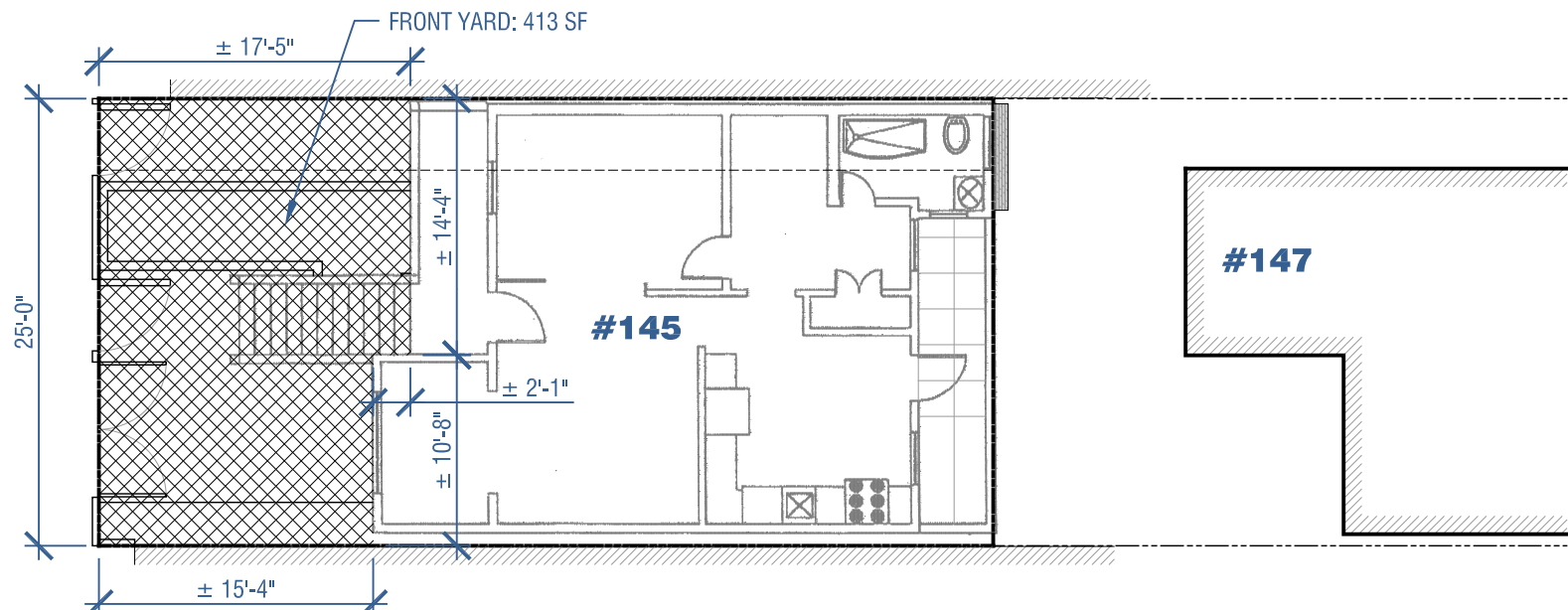
SIDEWALK



1 GROUND FLOOR PLAN (EXISTING & PROPOSED SINCE THIS IS REPLACEMENT IN-KIND)
1/4" = 1'-0"

MISSOURI STREET

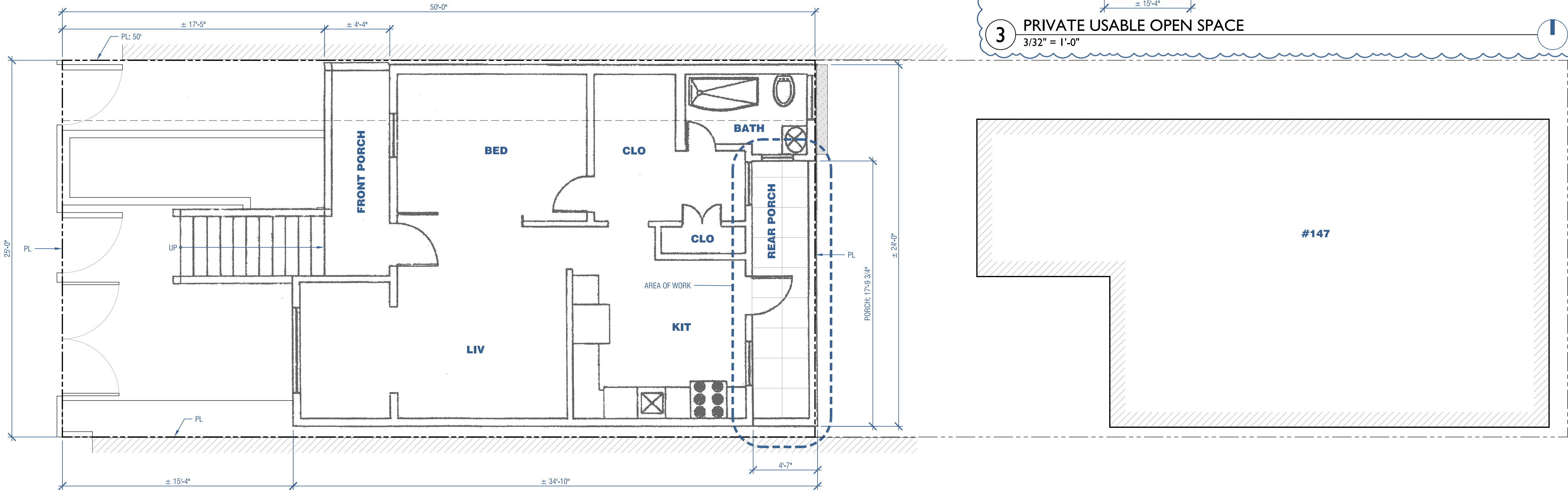
SIDEWALK



3 PRIVATE USABLE OPEN SPACE
3/32" = 1'-0"

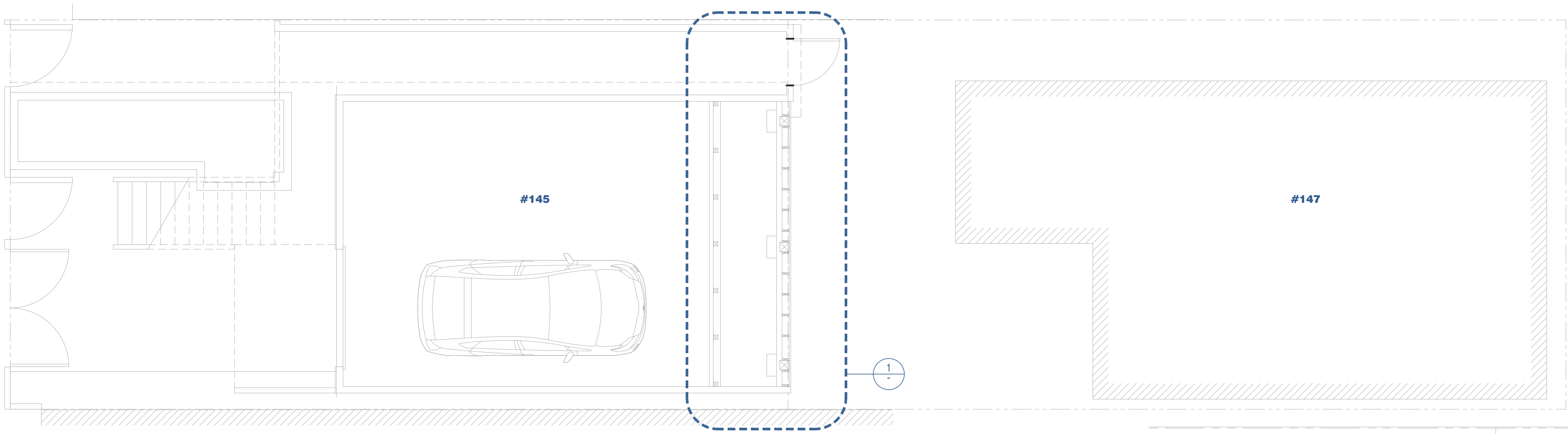
MISSOURI STREET

SIDEWALK

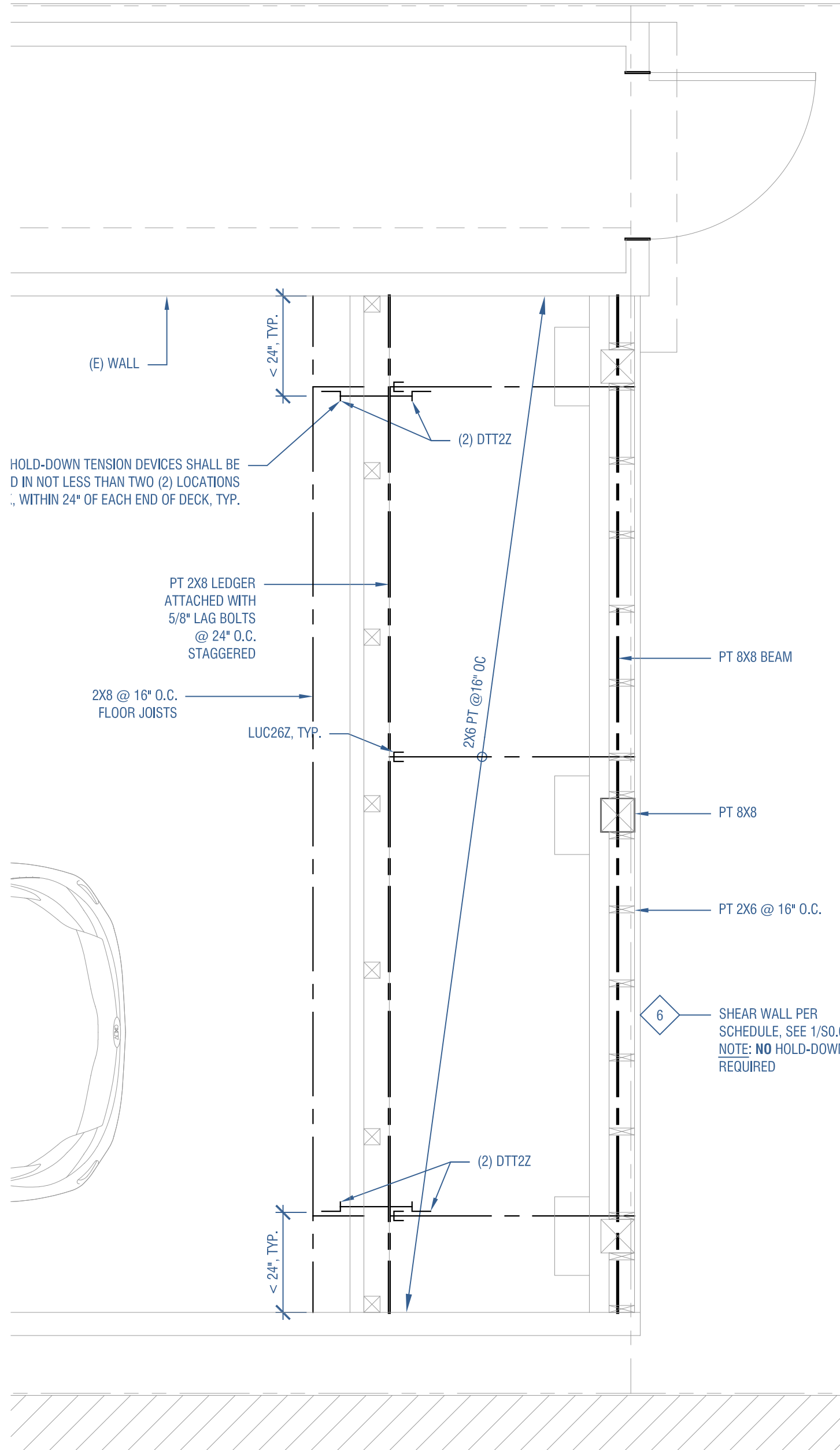


2 SECOND FLOOR PLAN (EXISTING & PROPOSED SINCE THIS IS REPLACEMENT IN-KIND)
1/4" = 1'-0"

MISSOURI STREET



I SITE PLAN
1/4" = 1'-0"



I FRAMING PLAN
1/2" = 1'-0"

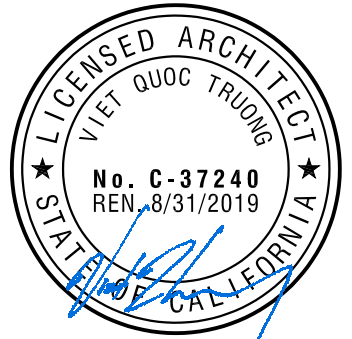


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PERMIT SET 4-19-2019

SITE & FRAMING PLANS

JOB NO: ACJ01
SHEET:

A101

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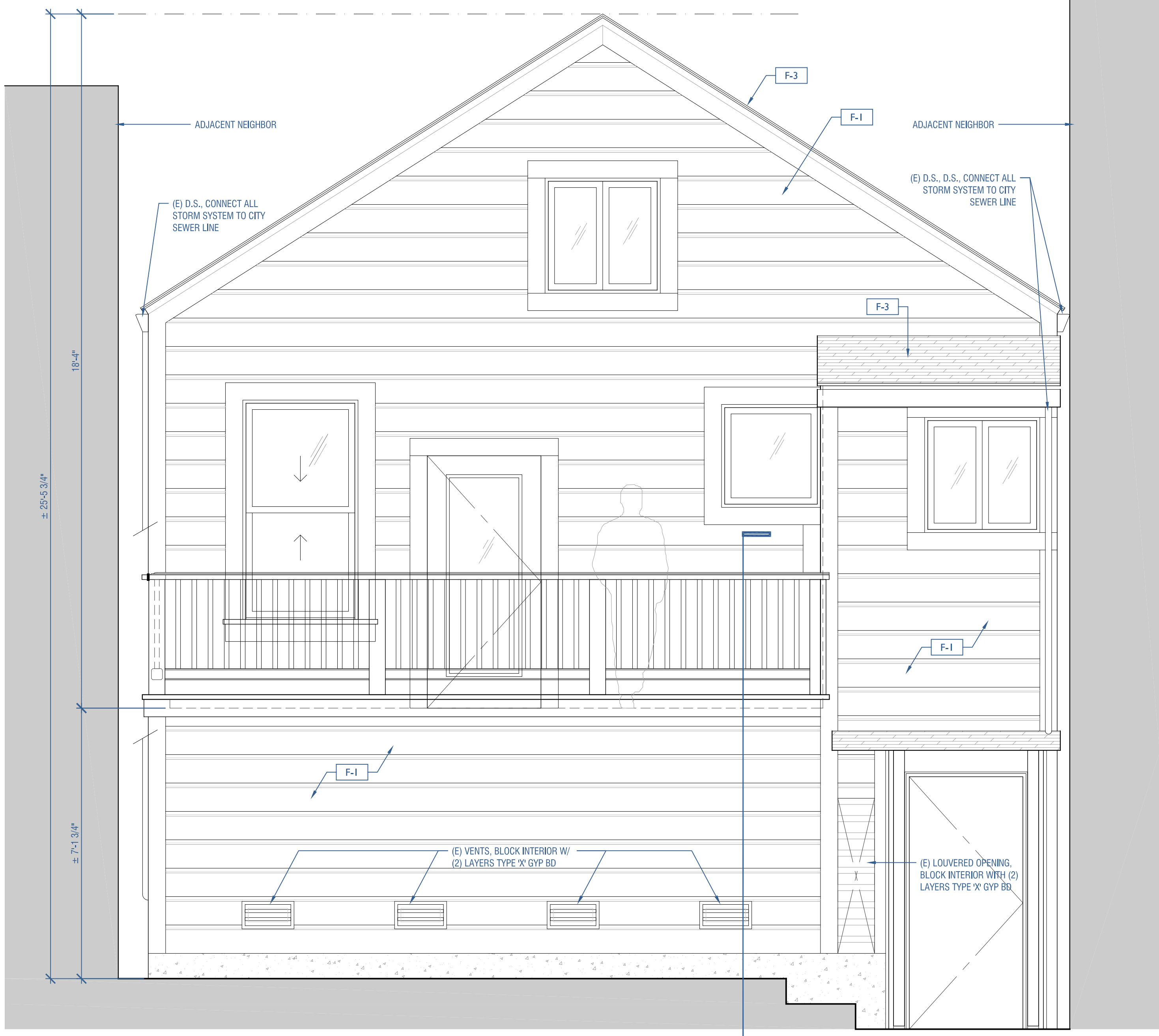
1

FINISH SCHEDULE

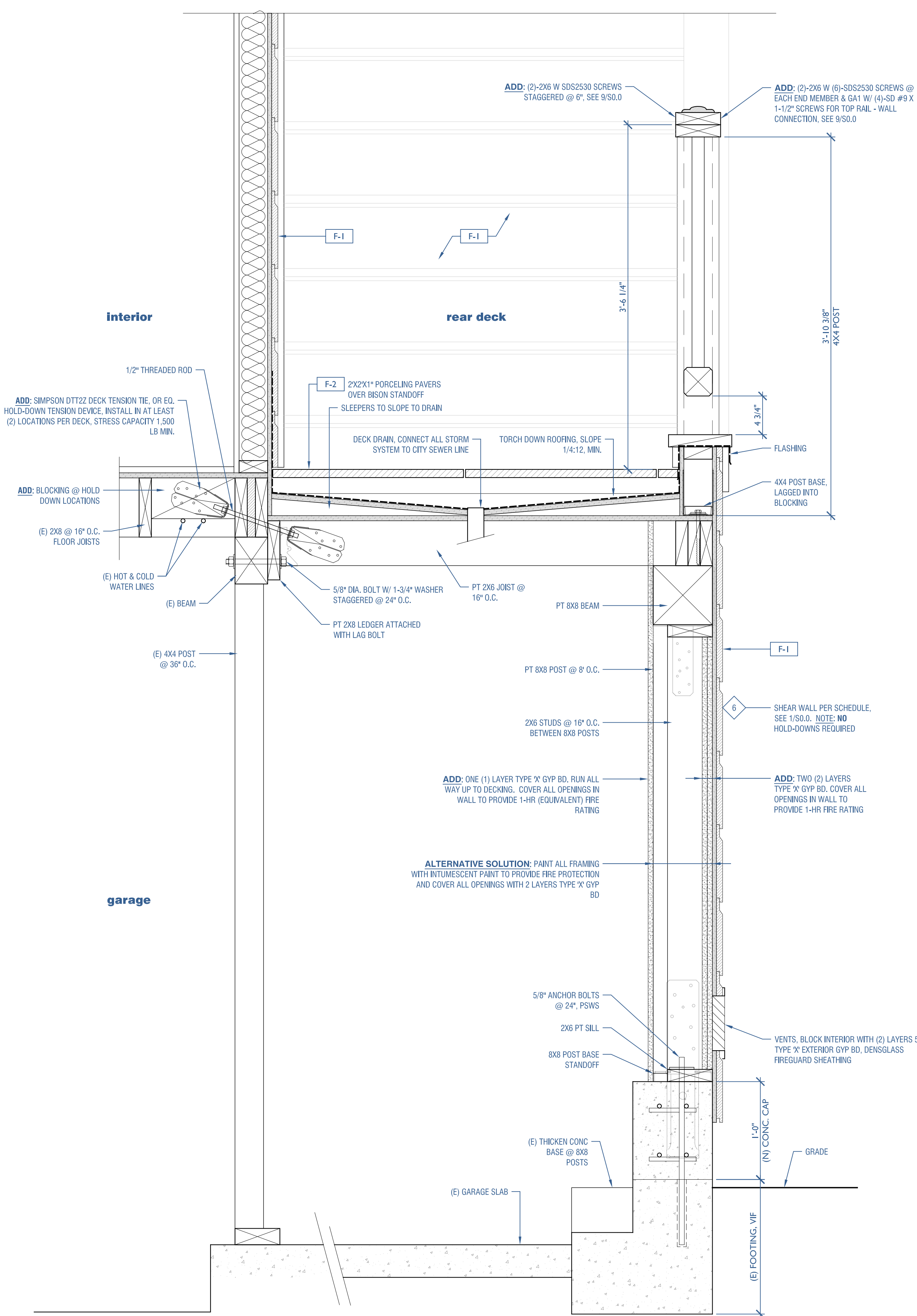
| | |
|-----|---------------------------------------|
| F-1 | EXISTING PAINTED WOOD SIDING |
| F-2 | 2X2X1" PORCELAIN PAVERS |
| F-3 | EXISTING COMPOSITION SHINGLES ROOFING |
| | |
| | |
| | |
| | |

16

FINISH SCHEDULE



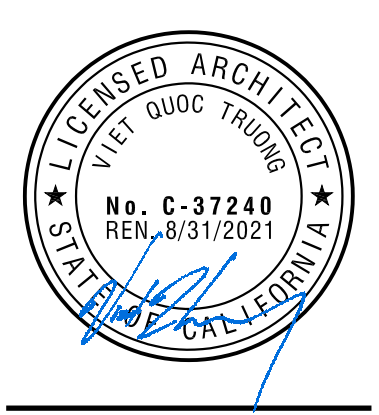
13 REAR ELEVATION
1/2" = 1'-0"



9 DETAILS
1-1/2" = 1'-0"



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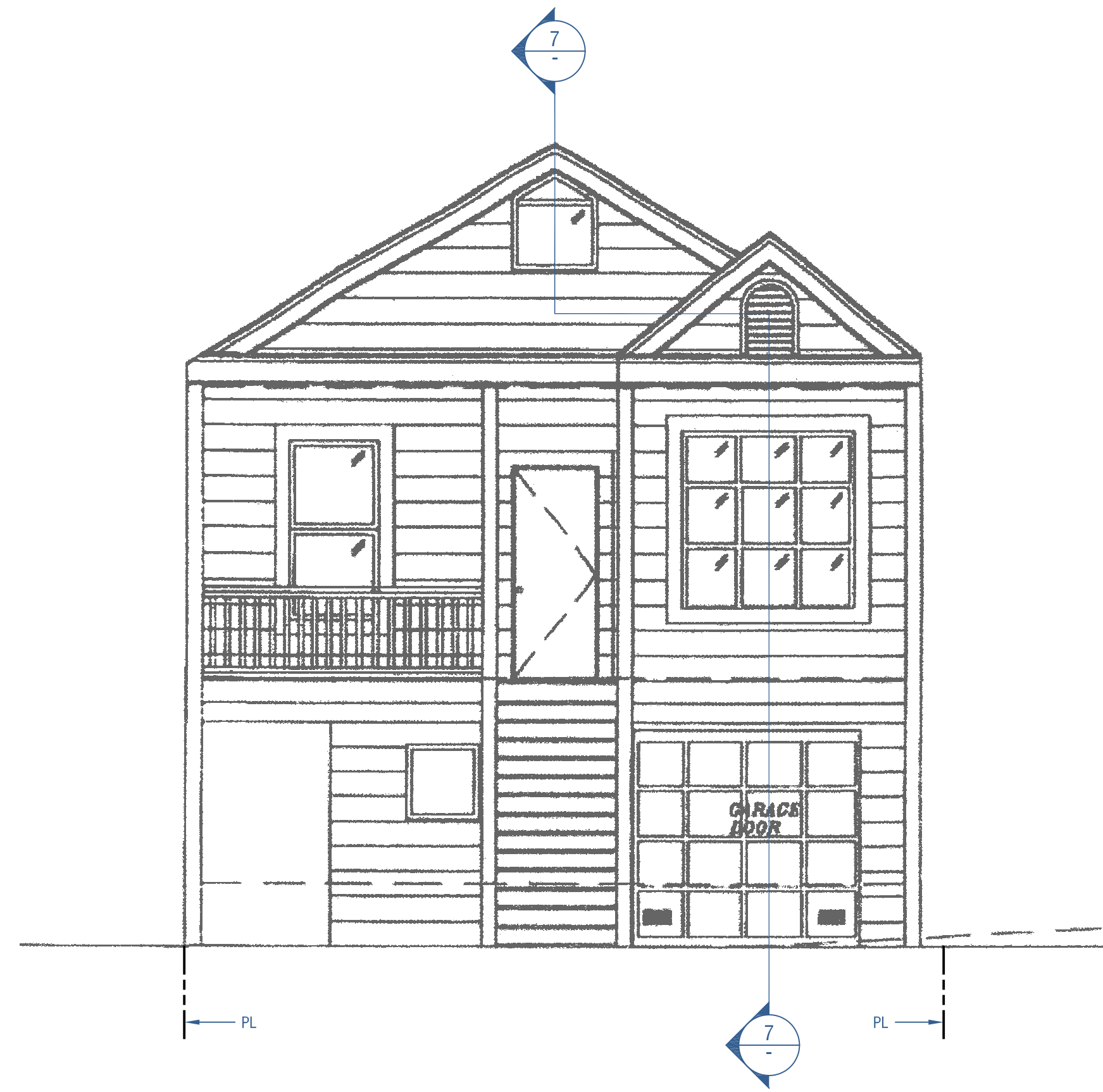
REAR DECK

145 MISSOURI ST.
SAN FRANCISCO, CA 94107

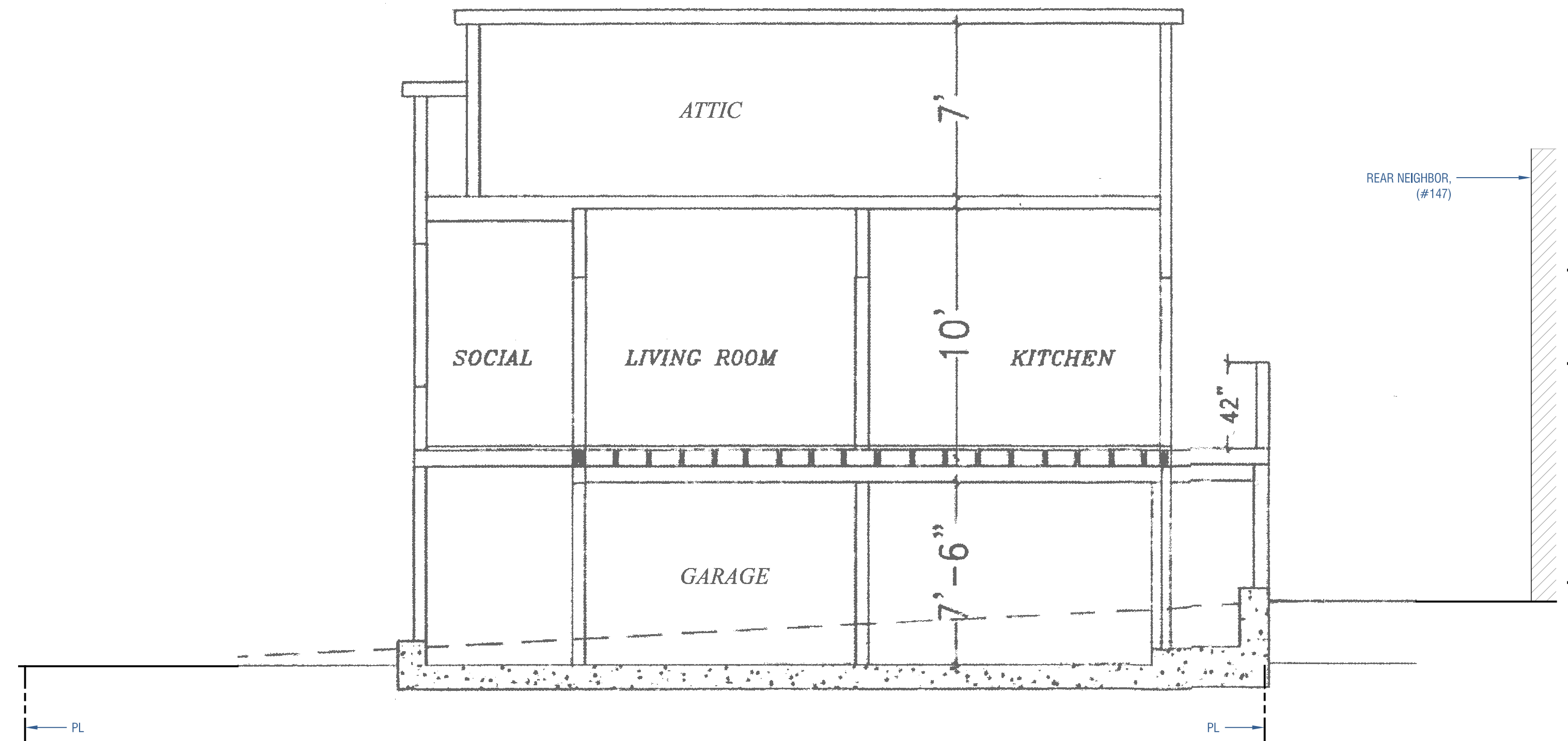
| | |
|----------------------|-----------|
| PERMIT SET | 4-19-2019 |
| PERMIT SET REVISIONS | 1-15-2020 |
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**REAR ELEVATION,
DETAILS, &
MATERIAL
SCHEDULE**

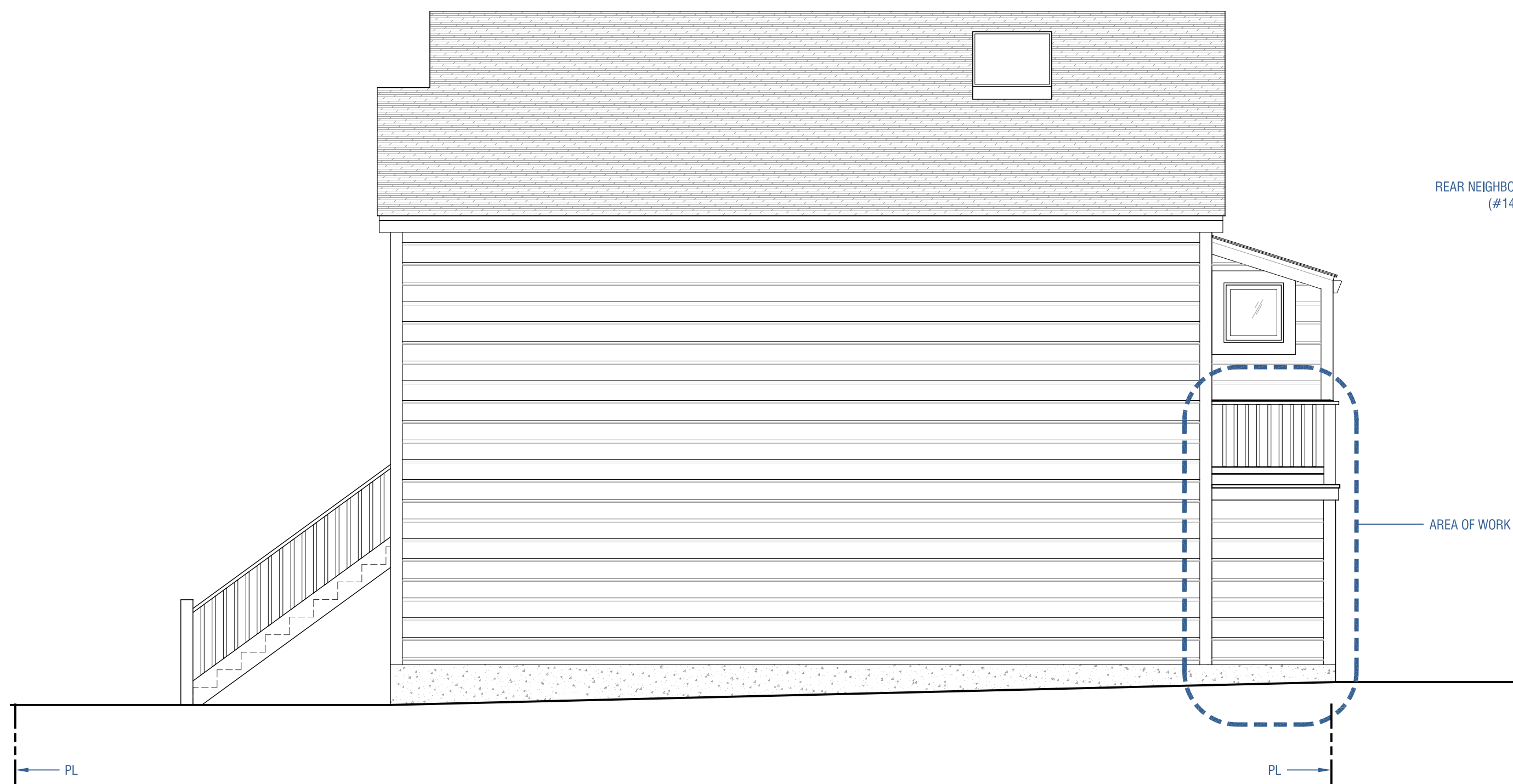
JOB NO: ACJ01
SHEET:
A701
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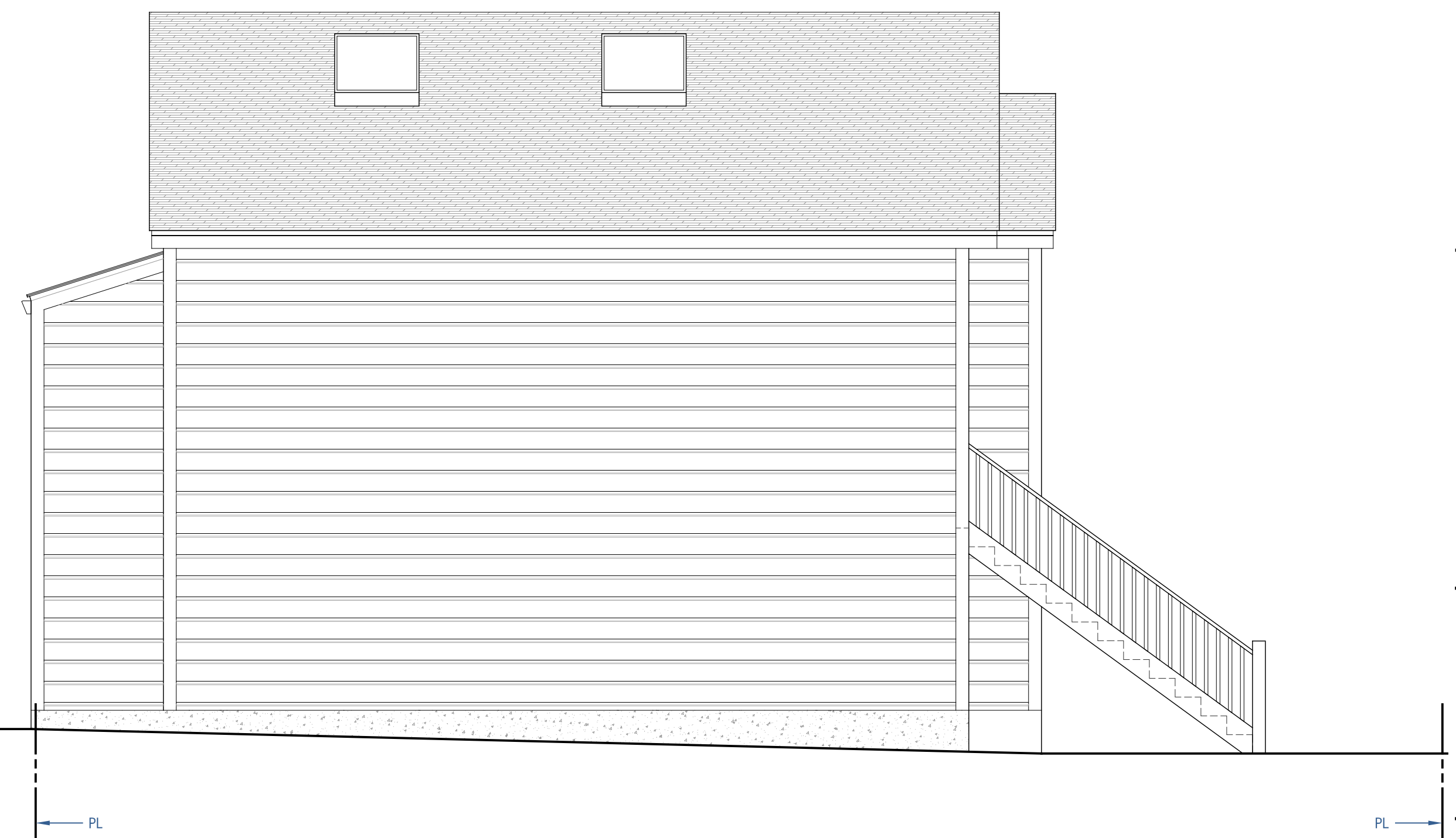
15 FRONT/ WEST ELEVATION (NO CHANGE)
1/4" = 1'-0"



7 SECTION
1/4" = 1'-0"



13 SIDE/ SOUTH ELEVATION
1/4" = 1'-0"



5 SIDE/ NORTH ELEVATION (NO CHANGE)
1/4" = 1'-0"

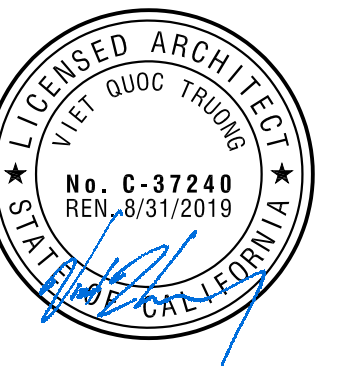


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REAR DECK

145 MISSOURI ST.
SAN FRANCISCO, CA 94107

PERMIT SET 4-19-2019

ELEVATIONS & SECTION

JOB NO: ACJ01

SHEET:

A702

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