



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, March 25, 2020**

Time: **Not before 9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance**

Hearing Body: **Zoning Administrator**

PROJECT INFORMATION		APPLICANT INFORMATION	
Project Address:	101 Landers Street	Applicant:	David Cumby
Cross Street(s):	Alert Alley	Company:	Cumby Architecture
Block /Lot No.:	3557/ 056B	Applicant Address:	2325 Third St., Ste 401
Zoning District(s):	RTO Fringe Financial RUD / 40-X	City, State:	San Francisco, CA
Area Plan:	Market and Octavia	Telephone:	(415) 505-1536
Record Number:	2019-003647VAR	E-Mail:	david@cumbyarchitecture.com
PROJECT DESCRIPTION			
<p>The proposal is to reconstruct a detached, non-complying garage located within the rear yard that was demolished without a permit (NoV No. 201932221). A new roof deck on top of the garage is also proposed, as it was previously approved per Building Permit No. 201411202125.</p> <p>PLANNING CODE SECTION 134 requires the subject property to maintain a rear yard of 35 feet 9 inches. The demolished non-complying garage was located on the rear property line. The replacement structure is proposed in the same location within the rear yard. Therefore, a variance is required.</p>			
ADDITIONAL INFORMATION			
<p>ARCHITECTURAL PLANS: To view the plans and related documents for the proposed project, visit sf-planning.org/notices and search the Project Address listed above. The plans will also be available one week prior to the hearing through the hearing agenda at: sf-planning.org/hearings or by request at the Planning Department office located at 1650 Mission Street, 4th Floor.</p>			
<p>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF: Planner: Linda Ajello Hoagland Telephone: (415) 575-6823 E-Mail: linda.ajellohoagland@sfgov.org</p>			

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident near the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to comment on the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice to the Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department or Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

A.C. TILE ACCESS.	ACROUSTIC TILE ACCESSIBLE	FIN. FIXT.	FINISH FIXTURE	P. PRECAST	PAINT PRECAST CONCRETE
ACQUST.	ACQUSTICAL	F.L.	FLOW LINE	PF	PREFINISHED
A.D.	AREA DRAIN	FLASH.	FLASHING	P	PROPERTY LINE
ADJ.	ADJACENT	FLUOR.	FLUORESCENT	PL	PLATE
ADJUST.	ADJUSTABLE	F.O.	FACE OF	PLAM.	PLASTIC LAMINATE
A.E.S.	ABOVE EXISTING SLAB	F.O.C.	FACE OF CONCRETE	PLAS.	PLASTER
A.E.S.S.	ARCHITECTURAL EXPOSED STRUCTURAL STEEL	F.O.F.	FACE OF FINISH	PLYWD.	PLYWOOD
A.F.F.	ABOVE FINISHED FLOOR	F.O.S.	FACE OF STUDS	POL.	POLISHED
AGGR.	AGGREGATE	F.P.	FIRE PROOF	PR.	PAIR
ALUM.	ALUMINUM	FFRFG	FIRE PROOFING	PRCST.	PRECAST
APPROX.	APPROXIMATELY	F.R.	FIRE RETARDANT	PT.	POINT
ARCH.	ARCHITECTURAL	F.T.	FIRE TREATED	PTD.	PAINTED
ASB.	ASBESTOS	FT.	FOOT/FEET	PTN.	PARTITION
ASPH.	ASPHALT	FG.	FOOTING	PU.	POLYURETHANE
@	AT	F.S.	FULL SIZE	PY.	POLYCARBONATE
		FUT.	FUTURE		
BD.	BOARD			Q.T.	QUARRY TILE
BITUM.	BITUMINOUS	GA.	GAUGE		
BLOC.	BLOCK	GALV.	GALVANIZED	R.	RISER
BLK.	BLOCK	G.C.	GRAB BAR	RAD.	RADIUS
BLK'G	BLOCKING	G.B.	GENERAL CONTRACTOR	RCP	REFLECTED CEILING PLAN
BLW	BELOW	G.D.	GLASS	R.D.	ROOF DRAIN
BM.	BEAM	GLN.	GROUND	RWDW.	REDWOOD
B.O.	BOTTOM OF	GND.	GRADE	REF.	REFERENCE
BTWN.	BETWEEN	GR.	GRADE	REFR.	REFRIGERATOR
		GSM	GALVANIZED SHEET METAL	REINF.	REINFORCED
		G.W.B.	GYPNUM WALLBOARD	REG.	REGISTER
		GYP.	GYPNUM BOARD	REQ.	REQUIRED
		GYP. BD.	GYPNUM BOARD	RESIL.	RESILIENT
CAB.	CABINET	H.B.	HOSE BIBB	RET.	RETARDANT
C.B.	CATCH BASIN	H.C.	HOLLOW CORE	RGTR.	REGISTER (CASH)
CEM.	CEMENT	HD.	HARD	RM.	ROOM
CER.	CERAMIC	HDWD.	HARDWOOD	R.O.	ROUGH OPENING
C.I.	CAST IRON	H.M.	HOLLOW METAL	R.W.L.	RAIN WATER LEADER
C.L.G.	CENTER LINE	HORIZ.	HORIZONTAL		
CLK.	CAULKING	HR.	HOUR	S.B.O.	SUPPLIED BY OWNER
CLR.	CLEAR	HT.	HEIGHT	S.C.	SOLID CORE
C.M.U.	CONCRETE MASONRY UNIT	I.D.	INSIDE DIAMETER	S.C.D.	SEAT COVER DISPENSER
C.N.T.	COUNTER	INSUL.	INSULATION	SCH.	SCHEDULE
COL.	COLUMN	INT.	INTERIOR	S.D.	SOAP DISPENSER
COM.	COMPACT			SECT.	SECTION
CONC.	CONCRETE			S.E.D.	SEE ELECTRICAL DRAWINGS
CONN.	CONNECTION	JT.	JOINT	SH.	SHelf
CONSTR.	CONSTRUCTION			SHR.	SHOWER
CONT.	CONTINUOUS	KIT.	KITCHEN	SHT.	SHEET
CORR.	CORRIDOR			SIM.	SIMILAR
C.S.C.I.	CONTRACTOR SUPPLIED CONTRACTOR INSTALLED			S.M.D.	SEE MECHANICAL DRAWINGS
C.T.	CERAMIC TILE	LAM.	LAMINATE		SEE PLUMBING DRAWINGS
CTR.	CENTER	LAV.	LAVATORY	S.P.D.	SPECIFICATION
CTSK.	COUNTERSUNK	LKR.	LOCKER	SPEC. SQ.	SQUARE
		LT.	LIGHT	SPEC'D	SPECIFIED
DBL.	DOUBLE			S.S.D.	SEE STRUCTURAL DRAWINGS
DEPT.	DEPARTMENT	MANUF.	MANUFACTURER	S.S.K.	SERVICE SINK
DET.	DETAIL	MAX.	MAXIMUM	ST.	STAINLESS STEEL
D.F.	DRINKING FOUNTAIN	M.C.	MEDICINE CABINET	STN.	STONE
DIA.	DIAMETER	MD	MEDIUM DENSITY FIBERBOARD	STA.	STATION
DIM.	DIMENSION	MECH.	MECHANICAL	STD.	STANDARD
D.N.	DOWN	MEMB.	MEMBRANE	STL.	STEEL
D.O.	DOOR OPENING	MFR.	MANUFACTURER	STOR.	STORAGE
DS.	DOWNSPOUT	MILL WK.	MILLWORK	STRUCT.	STRUCTURAL
D.S.P.	DRY STANDPIPE	M.H.	MANHOLE	SUSP.	SUSPENDED
DTL.	DETAIL	MIN.	MINIMUM	SYM.	SYMMETRICAL
DWG.	DRAWING	MIR.	MIRROR		
		MISC.	MISCELLANEOUS	T.	TEMPERED
(E)	EXISTING	M.O.	MASONRY OPENING	T.B.	TOWEL BAR
EA.	EACH	MTL.	METAL	TC	TOP OF CURB
E.J.	EXPANSION JOINT	MTD.	MOUNTED	T.C.	TERRA COTTA
ELEV.	ELEVATION	MUL.	MULLION	TEMP.	TEMPERED
ELEC.	ELECTRICAL	MWC	MILLWORK CONTRACTOR	TER.	TERRAZZO
ELEV.	ELEVATOR			THK.	THICK
EMER.	EMERGENCY			T.O.	TOP OF
ENCL.	ENCLOSURE	(N)	NEW	T.O.C.	TOP OF CONCRETE
E.P.	ELECTRICAL PANEL	N.I.C.	NOT IN CONFORMANCE	T.O.P.	TOP OF PAVED
	BOARD	N.O.	NOMINAL	T.O.S.	TOP OF SUBSTRATE
EQ.	EQUIPMENT	NOM.	NOMINAL	T.P.	TUBE STEEL
EQPT.	EQUIPMENT	N.T.S.	NOT TO SCALE	UNEQ.	UNEQUAL
EXP.	EXISTING	#	NUMBER	U.O.N.	WITHOUT
EXP.	EXPANSION	O.A.	OVERALL	UR.	UNDER
EXT.	EXTERIOR	OBS.	OBSCURE	V.I.F.	VERIFY IN FIELD
F.A.	FIRE ALARM				

2016 CALIFORNIA BUILDING CODE
2016 SAN FRANCISCO BUILDING CODE
2016 CALIFORNIA MECHANICAL CODE WITH SAN FRANCISCO AMENDMENTS
2016 CALIFORNIA PLUMBING CODE WITH SAN FRANCISCO AMENDMENTS
2016 CALIFORNIA ELECTRICAL CODE WITH SAN FRANCISCO AMENDMENTS
2016 CALIFORNIA FIRE CODE WITH SAN FRANCISCO AMENDMENTS
ENERGY CODE – TITLE 24 – CALIFORNIA CODE OF REGULATIONS

DEMO NOTES:

1. OWNER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING FURNISHINGS.

1. OWNER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING FURNISHINGS.
2. ALL ITEMS TO BE RE-USED SHALL BE CAREFULLY REMOVED FREE OF DAMAGE AND STORED IN ONE AREA.
3. ANY (E) ELECTRICAL TO BE REMOVED SHALL BE TERMINATED PER 2016 CALIFORNIA ELECTRICAL CODE AND ANY DESIGN / BUILD DRAWINGS.
4. ANY (E) PLUMBING TO BE REMOVED SHALL BE TERMINATED PER 2016 CALIFORNIA PLUMBING CODE AND ANY DESIGN / BUILD DRAWINGS.
5. ANY (E) MECHANICAL TO BE REMOVED SHALL BE TERMINATED PER 2016 CALIFORNIA MECHANICAL CODE AND ANY DESIGN / BUILD DRAWINGS.
6. DEMOLITION IN ENTIRE AREA TO BE COORDINATED WITH FUTURE CONSTRUCTION PHASE
7. CUTTING WORK SHALL BE DONE WITH MINIMUM DAMAGE TO SURROUNDING SURFACES TO BE RETAINED.
8. EXPOSE FRAMING PRIOR TO ANY DEMOLITION. DO NOT ENDANGER (E) STRUCTURAL SYSTEMS. NOTIFY ARCHITECT AND STRUCTURAL ENGINEER OF ANY FRAMING CONFLICTS.
9. MOISTURE RESISTANT GYPSUM BOARD SHALL BE INSTALLED AT WET AREAS.

2. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS
3. AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OWNER
4. DUCT OPENINGS AND OTHER AIR DISTRIBUTION RELATED COMPONENTS SHALL BE COVERED AND PROTECTED DURING CONSTRUCTION TO PREVENT THE INFILTRATION OF DUST AND DEBRIS
5. ADHESIVES, SEALANTS, AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER APPLICABLE TOXIC COMPOUND LIMITS
6. PAINTS, STAINS, AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS
7. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS
8. DOCUMENTATION SHALL BE PROVIDED TO VERIFY COMPLIANT VOC LIMIT FINISH MATERIALS
9. ALL CARPET MUST MEET THE PROJECT AND TESTING REQUIREMENTS OF CALGreen SECTION 4.504.3
ALL CARPET CUSHION INSTALLED IN THE INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE'S GREEN LABEL PROGRAM. ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF CALGreen TABLE 4.504.1
10. AT LEAST 60% OF AREAS RECEIVING RESILIENT FLOORING SHALL MEET THE REQUIREMENTS OF CALGreen TABLE 4.504.4
11. HARDWOOD PLYWOOD, PARTICLEBOARD, AND MEDIUM DENSITY FIBERBOARD (MDF) USED ON THE INTERIOR AND EXTERIOR SHALL COMPLY WITH FORMALDEHYDE EMISSION LIMITS PER CALGreen TABLE 4.504.5
12. AT CONCRETE SLAB FOUNDATIONS, A VAPOR RETARDER AND CAPILLARY BREAK SHALL BE INSTALLED
13. THE MOISTURE CONTENT OF BUILDING MATERIALS TO BE ENCLOSED WITHIN WALL AND FLOOR FRAMING SHALL NOT EXCEED 19% AT THE TIME OF ENCLOSURE. INSULATION OR OTHER MATERIALS THAT ARE VISIBLY WET SHALL BE EXPOSED OR PERMITTED TO DRY PRIOR TO ENCLOSURE.
14. BATHROOM EXHAUST SHALL BE ENERGY STAR DUCTED TO THE EXTERIOR. BATHROOM EXHAUST FANS SHALL BE CONTROLLED BY A HUMIDISTAT BETWEEN A RELATIVE HUMIDITY OF 50% AND 80% (UNLESS THE EXHAUST IS PART OF A WHOLE HOUSE VENTILATION SYSTEM)

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS AND DIMENSIONS ON THE JOB SITE AND REPORT ANY AND ALL DISCREPANCIES AND/OR UNUSUAL CIRCUMSTANCES TO THE ARCHITECT PRIOR TO FINALIZING BIDS AND COMMENCEMENT OF CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN ARCHITECTURAL, STRUCTURAL, FIRE PROTECTION, MECHANICAL, PLUMBING, AND ELECTRICAL. THIS INCLUDES REVIEWING REQUIREMENTS OF INDIVIDUAL SYSTEMS BEFORE ORDERING AND INSTALLATION OF ANY WORK. VERIFY ALL ARCHITECTURAL DETAILS AND ALL FINISH CONDITIONS (WHETHER DEPICTED IN DRAWINGS OR NOT) WITH THE SAME DISCIPLINES.
3. ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER BEFORE PROCEEDING WITH THE WORK.
4. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
5. ALL CLEAR DIMENSIONS ARE NOT TO BE ADJUSTED WITHOUT APPROVAL OF THE ARCHITECT.
6. DETAILS SHOWN ARE TYPICAL, SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
7. PROVIDE FIRE-BLOCKING AND DRAFT STOPPING AT ALL CONCEALED DRAFT OPENINGS (VERTICAL AND HORIZONTAL) AS PER 2013 CBC 302.11. FIRE BLOCKING AND DRAFT STOPS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:
 - A) IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10-FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL.
 - B) IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF THE STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.
 - C) IN OPENINGS AROUND VENTS, PIPES, DUCTS, AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS.
8. THERMAL AND SOUND INSULATING INSULATION SHALL COMPLY WITH 2010 CBC SECTION 719.
9. INSTALL ALL FIXTURES, EQUIPMENT, AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS AND CODE REQUIREMENTS. ALL APPLIANCES, FIXTURES, AND EQUIPMENT ASSOCIATED WITH PLUMBING, ELECTRICAL, MECHANICAL SYSTEMS SHALL BE LISTED BY A NATIONALLY RECOGNIZED AND APPROVED AGENCY.
10. VERIFY CLEARANCES FOR VENTS, CHASES, SOFFITS, FIXTURES BEFORE ANY CONSTRUCTION, ORDERING OF, OR INSTALLATION OF ANY ITEM OF WORK.
11. PROVIDE ALL LIGHTS, GUARDRAILS, BARRICADES, SIGNS AND PROTECTIVE MEASURES AS MAY BE REQUIRED BY THE OWNER, LOCAL AUTHORITIES, OR OTHERS HAVING JURISDICTION.
12. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH CBC CHAPTER 8.
13. ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHER WISE NOTED.

	ELEVATION REFERENCE		ROOM NAME
	SECTION REFERENCE	 TYPE RATING	PARTITION TYPE
	DETAIL REFERENCE		WINDOW TYPE
	NORTH ARROW		GRID BUBBLE AND GRID LINE
			CENTERLINE
			REVISION TAG AND CLOUD

A1.0	PROJECT INFORMATION, GENERAL NOTES
A1.0B	EXISTING AND PROPOSED PLOT PLANS
A1.1	EXISTING AND PROPOSED FLOOR PLANS AND ROOF PLAN
A3.1	PROPOSED EXTERIOR ELEVATIONS

TO COMPLY WITH NOTICE OF VIOLATION 201932221 & 201932223
REFER TO PERMIT 2014-1120-2125
CONSTRUCT ONE STORY TALL TWO CAR DETACHED GARAGE WITH ROOF DECK

BLOCK/LOT:	3557/056B
OCCUPANCY:	R3
ZONING:	RT0 40-X
LOT AREA:	1,940 SF

[illegible]

2325 Third Street, Suite 401
San Francisco, CA 94107

Tel 415.505.1536

Email david@cumbyarchitecture.com

Web www.cumbyarchitecture.com

PROJECT/CLIENT:

Detached Garage/
Roof Deck
101 Landers Street
San Francisco CA 94114

Lennart Lovstrand
101 Landers Street
San Francisco, CA 94114

415.

CONSULTANTS:

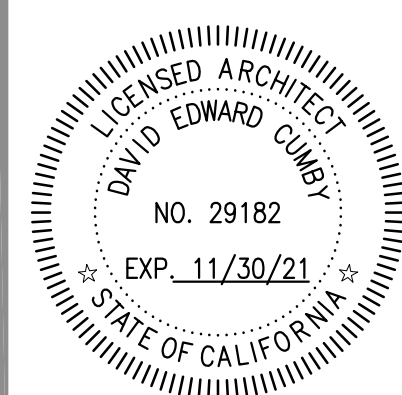
—

ISSUE/DATE:

Variance 11-21-2019

Variance

APPROVAL:



SCALE:

TITLE:

PROJECT INFORMATION

SHEET:

AS NOTED

PROJECT/CLIENT:

Detached Garage/
Roof Deck
101 Landers Street
San Francisco CA 94114

Lennart Lovstrand
101 Landers Street
San Francisco, CA 94114

415.

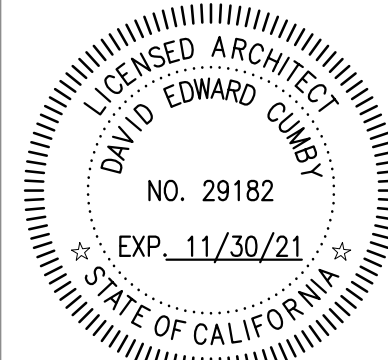
CONSULTANTS:

ISSUE/DATE:

Variance 11-21-2019

Variance

APPROVAL:



SCALE:

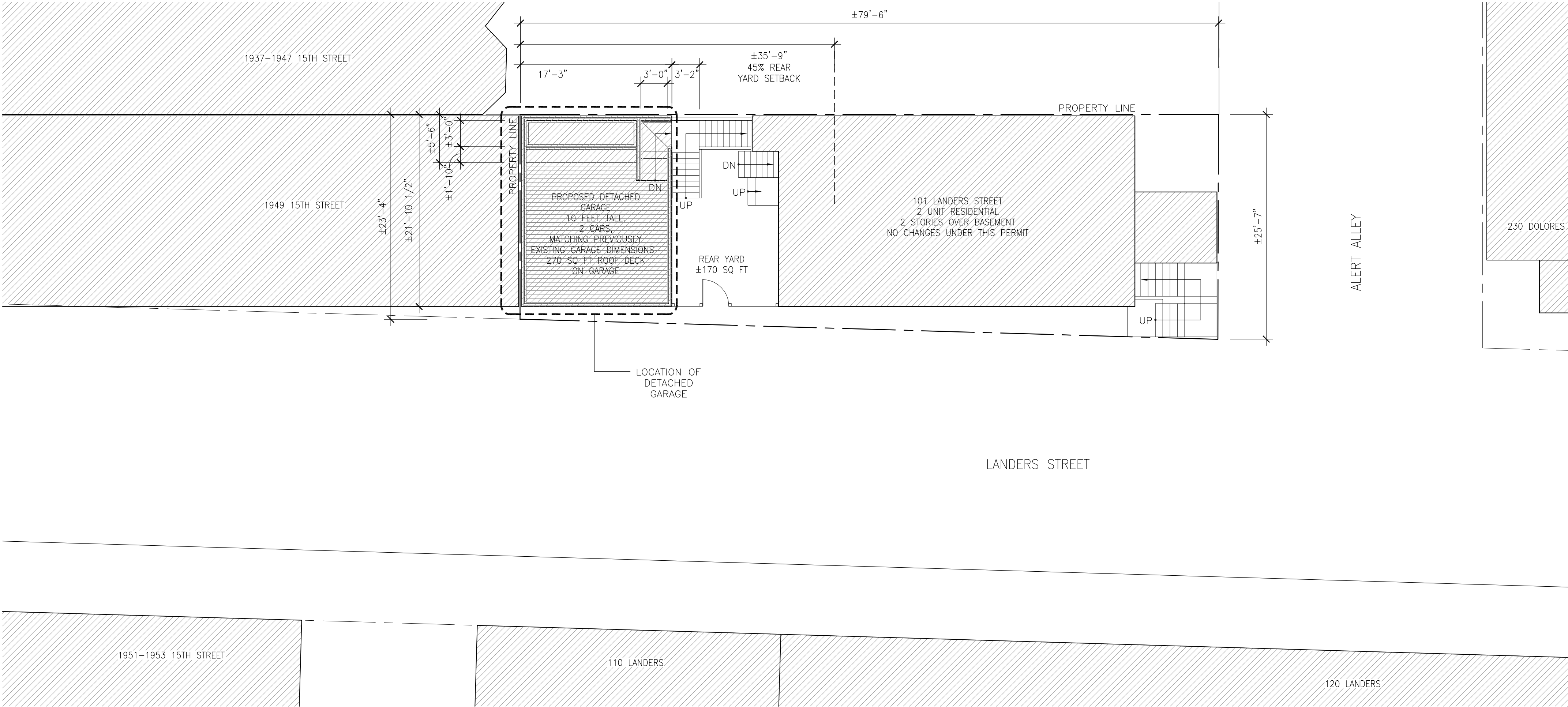
AS NOTED

TITLE:

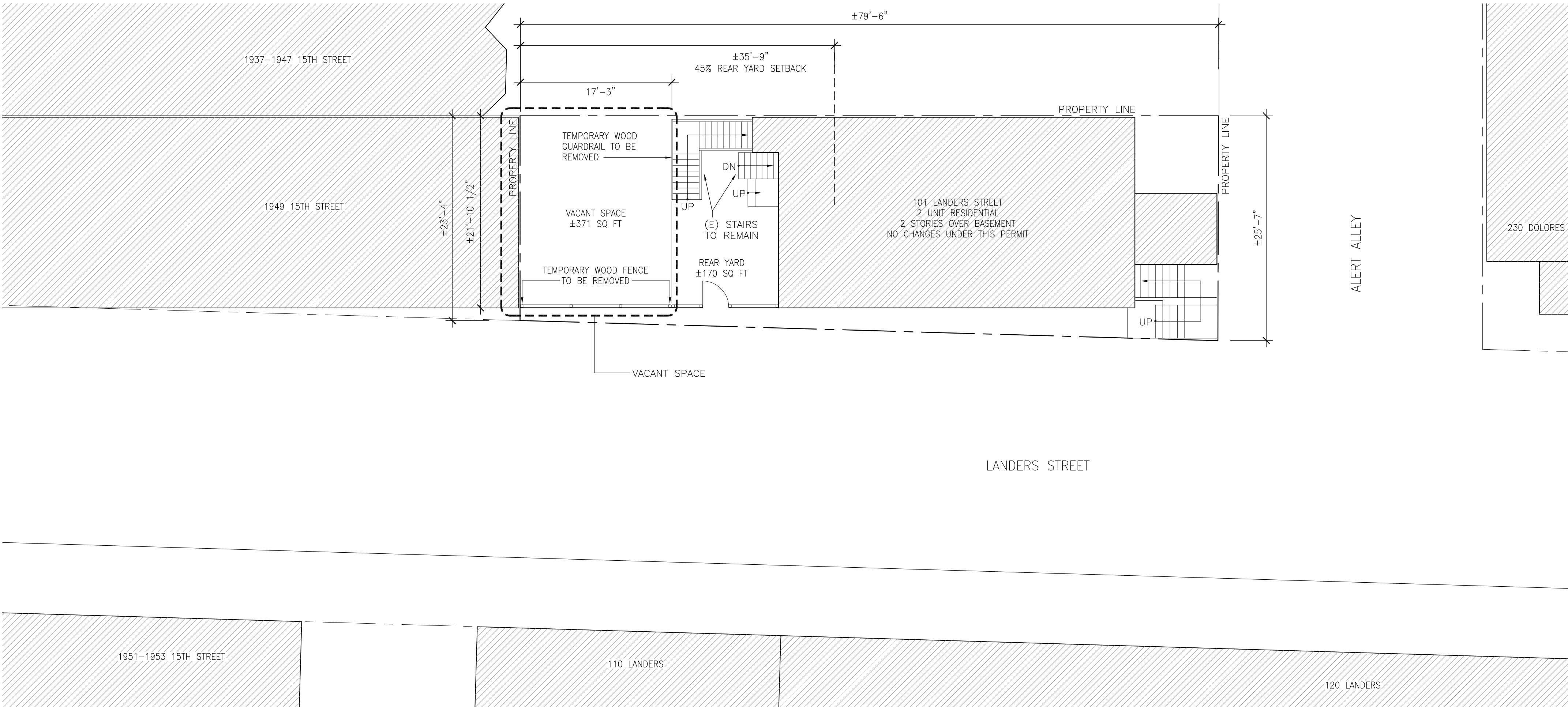
EXISTING &
PROPOSED
PLOT PLANS

SHEET:

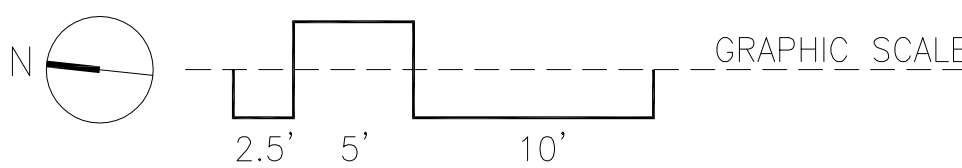
A1.0B



2 PROPOSED PLOT PLAN / 1/4"-1'-0"



1 EXISTING PLOT PLAN / 1/4"-1'-0"



GENERAL NOTES:

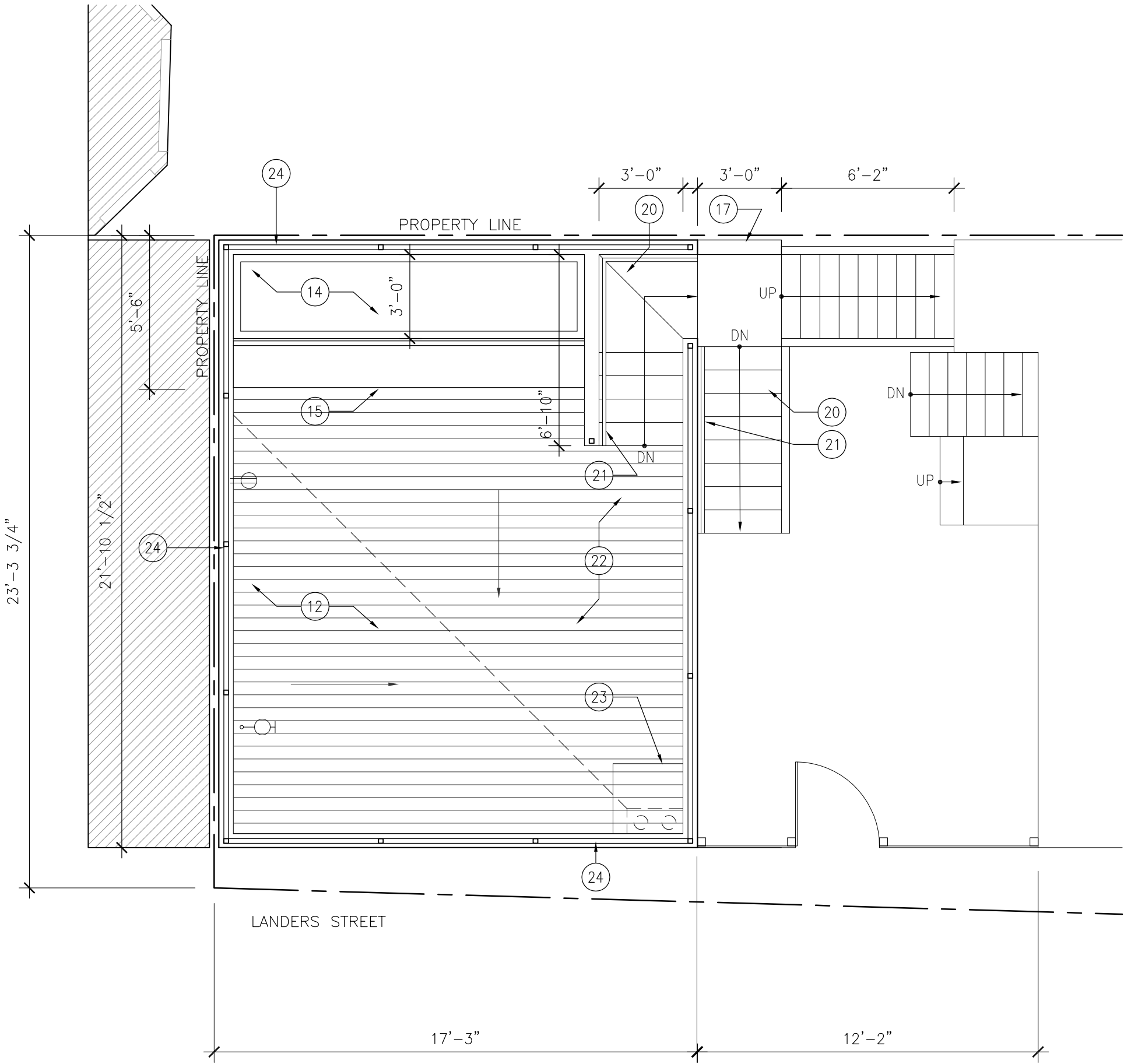
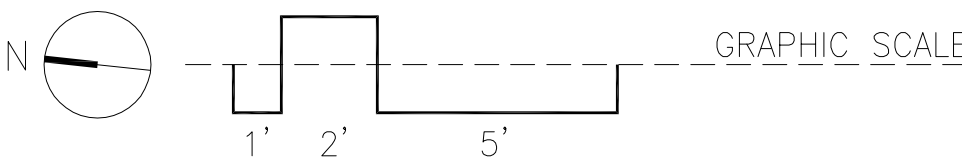
1. NO CHANGES TO THE EXISTING RESIDENTIAL UNITS UNDER THIS APPLICATION

KEYNOTES:

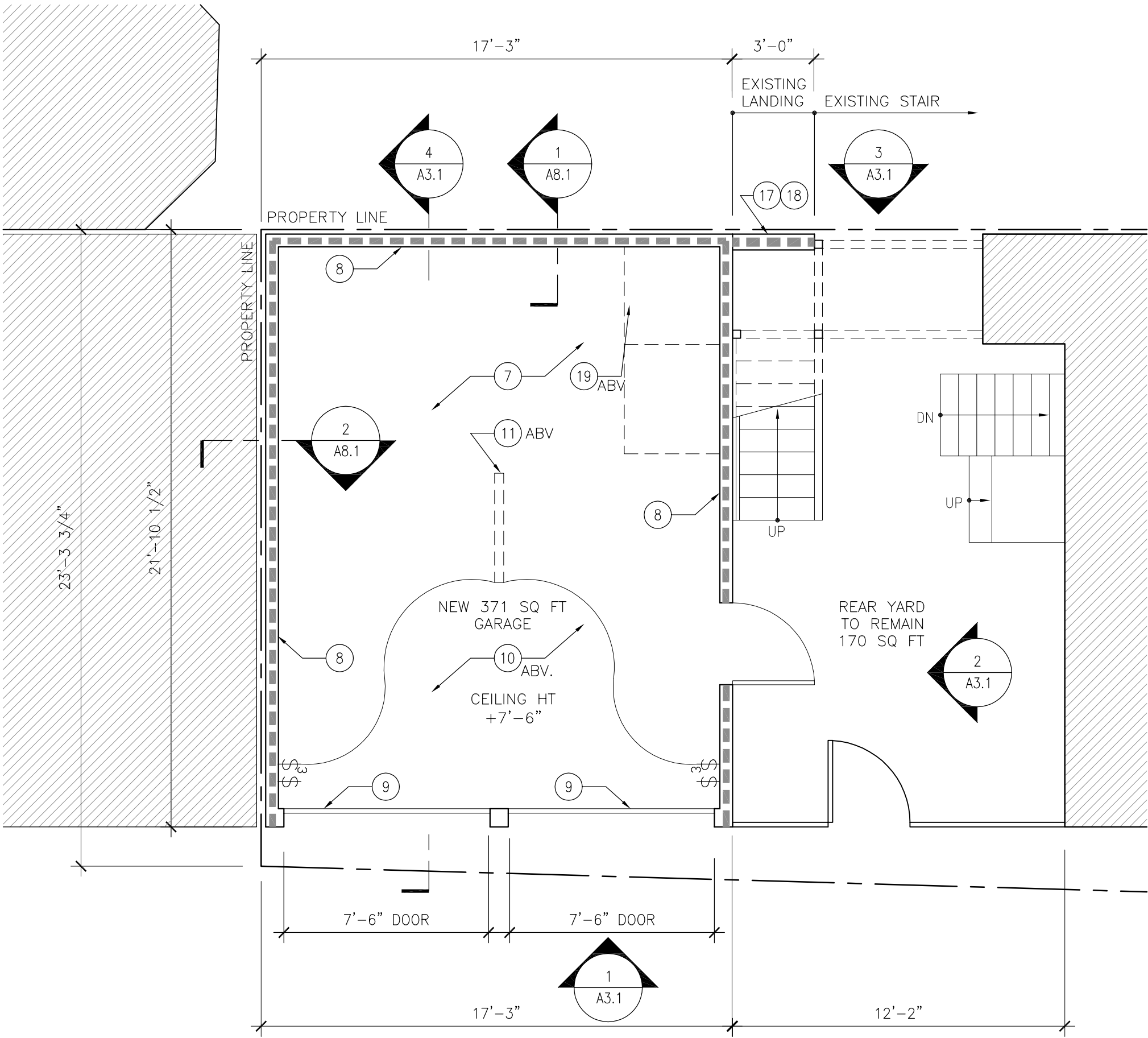
- 1 REMOVE SEGMENT OF (E) WOOD FENCE
- 2 (E) SIDEWALK TO REMAIN
- 3 (E) WOOD FENCE AND GATE TO REMAIN
- 4 (E) HOUSE ON SUBJECT PROPERTY TO REMAIN
- 5 (E) STAIR/GUARDRAIL TO BE RECONSTRUCTED
- 6 (E) BUILDING ON NEIGHBORING PROPERTY
- 7 (N) CONCRETE SLAB ON GRADE AND CONCRETE FOOTINGS; S.S.D.
- 8 (N) 1-HOUR RATED EXTERIOR WALL; SEE PLAN FOR WALL TYPE DETAIL REFERENCES
- 9 (N) SECTIONAL PANEL GARAGE DOOR W/ AUTO. OPENER AND LOW-OVERHEAD CEILING TRACK; MIN. 200 SQ. IN NET FREE VENT AREA IN EACH GARAGE DOOR. MATERIAL: WOOD DOOR, PAINTED
- 10 (N) TWO LAYERS 5/8" TYPE X GYPSUM BOARD AT UNDERSIDE OF FRAMING
- 11 (N) SURFACE MOUNTED LED LIGHT
- 12 (N) MULTIPLE PLY BUILT UP ROOFING O/ TAPERED INSULATION O/PLYWOOD ROOF DECK W/ (N) ROOF DRAIN AND OVERFLOW; BLW. FINISH ROOF DECK
- 13 (N) ROOF DRAIN AND OVERFLOW; BLW. FINISH ROOF DECK
- 14 (N) PLANTER; TOP OF PLANTER ±30" ABV DECK FIN FLR
- 15 (N) WOOD BENCH
- 16 NOT USED
- 17 (N) 1-HOUR RATED EXTERIOR WALL; SEE PLAN FOR WALL TYPE DETAIL REFERENCES; TOP OF WALL 42" ABV STAIR LANDING FIN FLR
- 18 (N) CONCRETE FOOTING AT NEW WALL; 15" WIDE X 18" DEEP W/ TWO #4 REBAR CONT TOP AND BOTTOM & #3 TIES AT 18" O.C., MIN. 2" EMBED
- 19 (N) TWO LAYERS 5/8" TYPE X GYPSUM BOARD AT UNDERSIDE OF (N) STAIR ABV
- 20 (N) WOOD STAIR, 10" TREADS, MAX 7.75" RISER, CLOSED RISER, THREE 3x12 STRINGERS, P.T. WOOD W/ 42" HIGH WOOD GUARDRAIL, LESS THAN 4" CLR BTWN GUARDRAIL MEMBERS
- 21 (N) 1-1/2" O.D. WOOD HANDRAIL, 1-1/2" CLR BETWEEN RAIL AND ADJACENT WALL
- 22 (N) WOOD DECK; 2x6 P.T. WOOD ON P.T. SLEEPERS
- 23 (N) ACCESS PANEL IN WOOD DECK ABV DRAIN LOCATION
- 24 (N) GALV STL GUARDRAIL, TOP OF RAIL 42" ABV DECK FIN FLR, LESS THAN 4" CLR BTWN GUARDRAIL MEMBERS, TYP.

LEGEND:

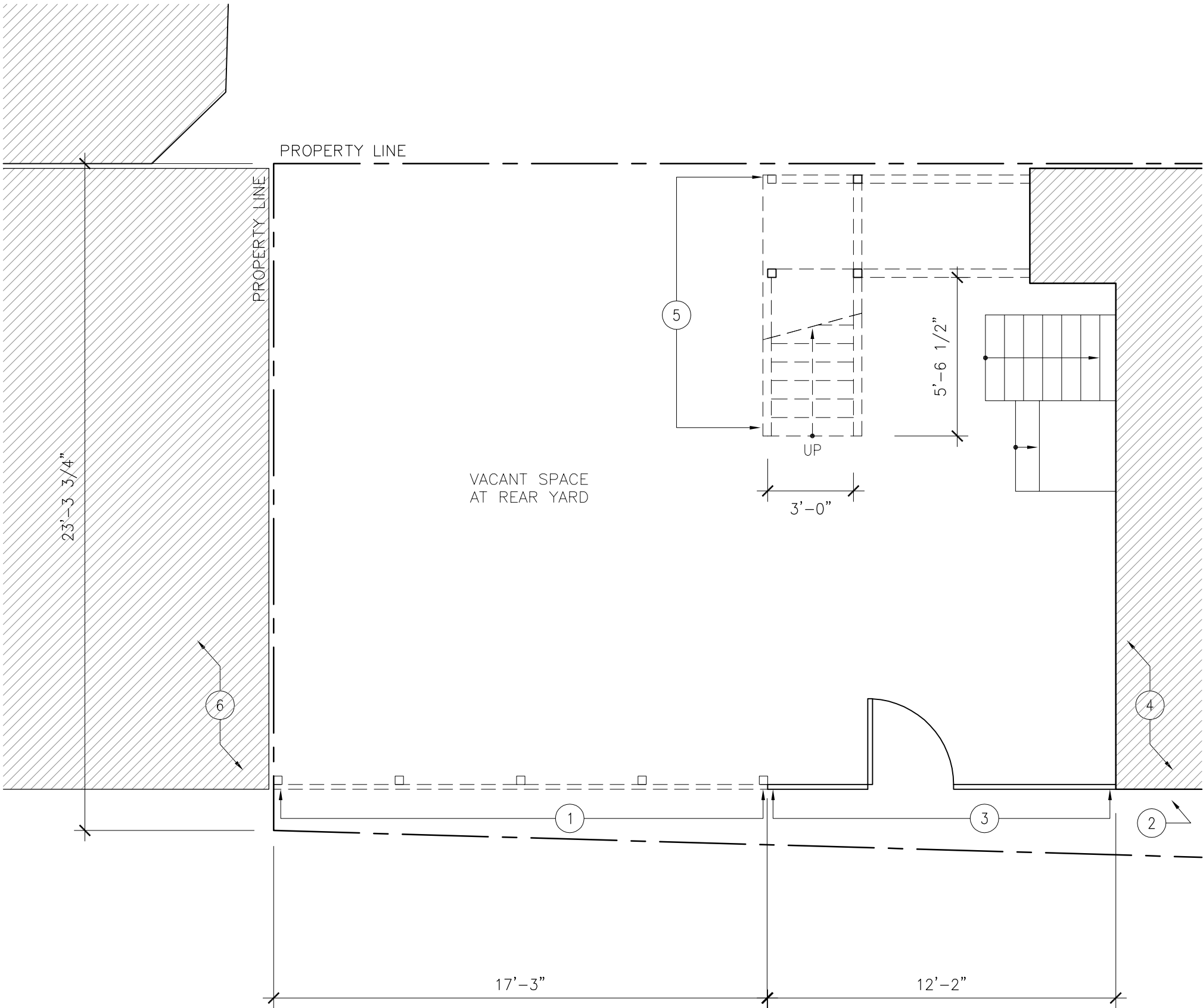
- EXISTING WALL TO REMAIN
- EXISTING WALL/ELEMENT TO BE REMOVED
- NEW 1 HOUR RATED WALL PER UL 305
AT EXTERIOR: EXTERIOR SHEATHING O/ CONT. WATER RESISTANT BUILDING PAPERS O/ 5/8" TYPE X GYP SHEATHING ON 2x4 WOOD STUD FRAMING AT 16" O.C. W/ PLYWOOD SHEATHING AT INTERIOR FACE OF STUD AND 1 LAYER 5/8" TYPE X GYPSUM BOARD O/ PLYWOOD



3 PROPOSED ROOF PLAN / 1/4"=1'-0"



2 PROPOSED GROUND FLOOR PLAN / 1/4"=1'-0"



1 DEMO GROUND FLOOR PLAN / 1/4"=1'-0"

GENERAL NOTES:

1. -

KEYNOTES:

- 1 (N) DETACHED GARAGE
- 2 (N) WOOD GARAGE DOOR W/ MIN 200 SQ IN VENT AREA
- 3 (N) PLANTER; T.O. PLANTER ±30" ABV DECK FIN FLR
- 4 (N) WOOD BENCH
- 5 NOT USED
- 6 (N) CHANNEL RUSTIC WOOD SIDING, PAINTED
- 7 (N) WOOD DOOR; 36" X 80", TEMPERED GLAZING IN DOOR
- 8 (E) HOUSE TO REMAIN
- 9 (E) FENCE TO REMAIN, REPAIR/REPLACE AS REQUIRED
- 10 (E) STAIR TO REMAIN
- 11 (E) BUILDING ON NEIGHBORING PROPERTY
- 12 (N) WOOD STAIR, 10" TREADS, MAX 7.75" RISER, CLOSED RISER, THREE 3x12 STRINGERS, P.T. WOOD W/ 42" HIGH WOOD GUARDRAIL, LESS THAN 4" CLR BTWN GUARDRAIL MEMBERS
- 13 (N) 1-1/2" O.D. WOOD HANDRAIL, 1-1/2" CLR BETWEEN RAIL AND ADJACENT WALL
- 14 (N) WOOD DECK; 2x6 P.T. WOOD ON P.T. SLEEPERS
- 15 (N) GALV STL GUARDRAIL, TOP OF RAIL 42" ABV DECK FIN FLR, LESS THAN 4" CLR BTWN GUARDRAIL MEMBERS, TYP.

Cumby
Architecture

2325 Third Street, Suite 401
San Francisco, CA 94107

Tel 415.506.1536

Email david@cumbyarchitecture.com

Web www.cumbyarchitecture.com

PROJECT/CLIENT:

Detached Garage/
Roof Deck
101 Landers Street
San Francisco CA 94114
Lennart Lovstrand
101 Landers Street
San Francisco, CA 94114

415.

CONSULTANTS:

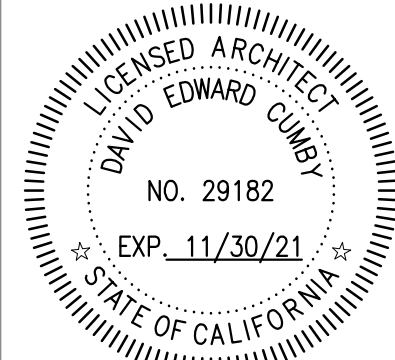
-

ISSUE/DATE:

Variance 11-21-2019

Variance

APPROVAL:



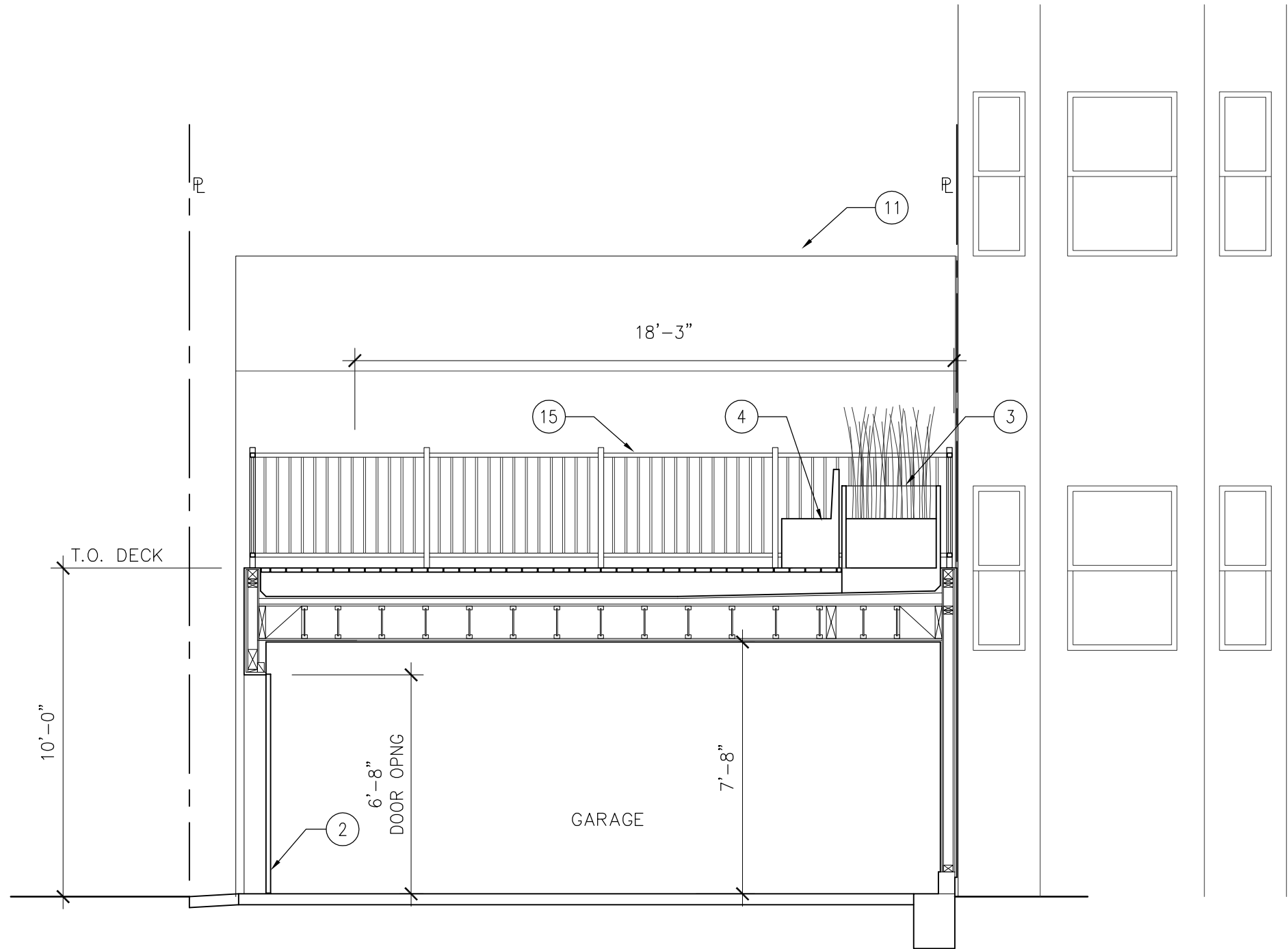
SCALE:

1/4"=1'-0"

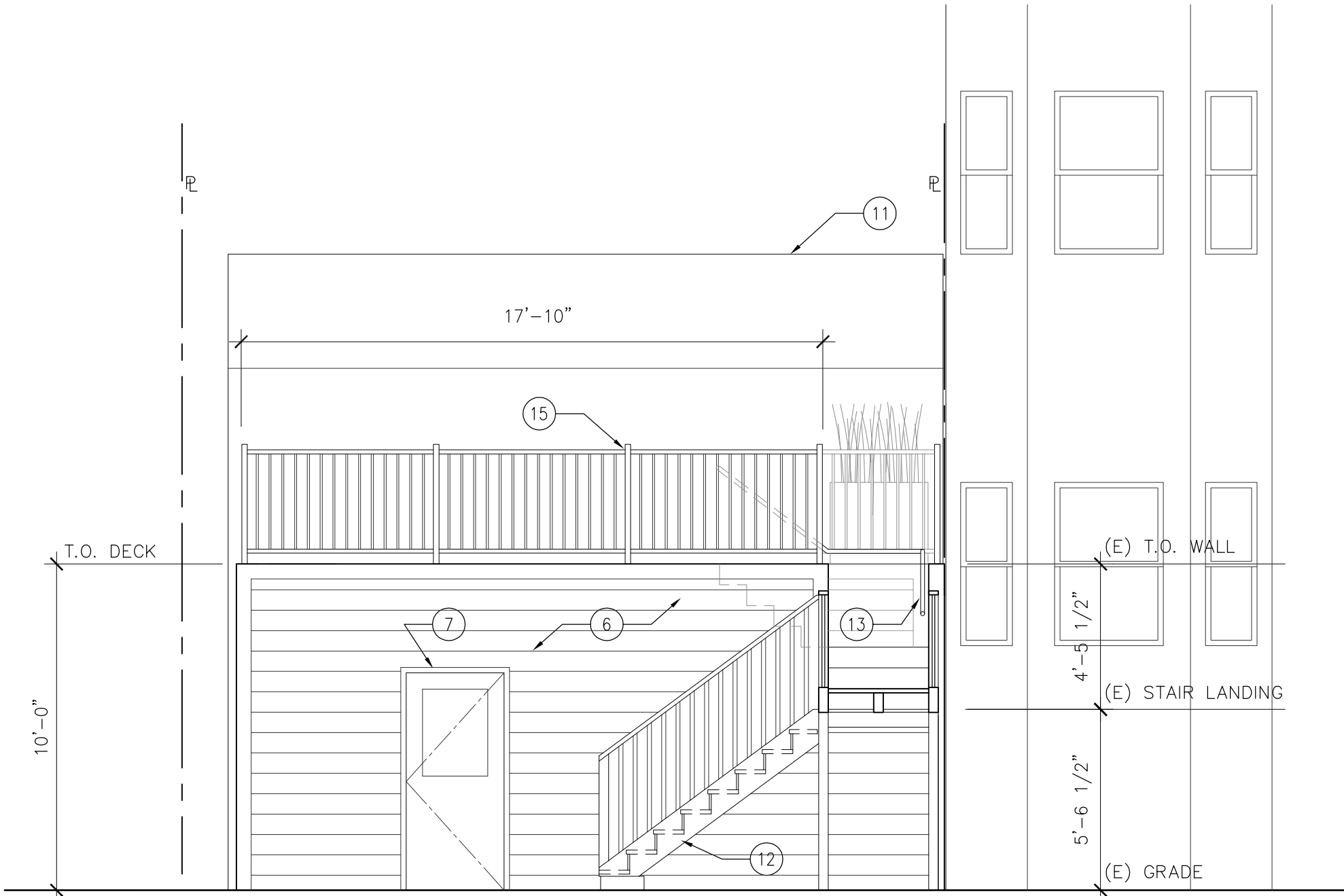
TITLE:
PROPOSED EXTERIOR
ELEV AND SECTION

SHEET:

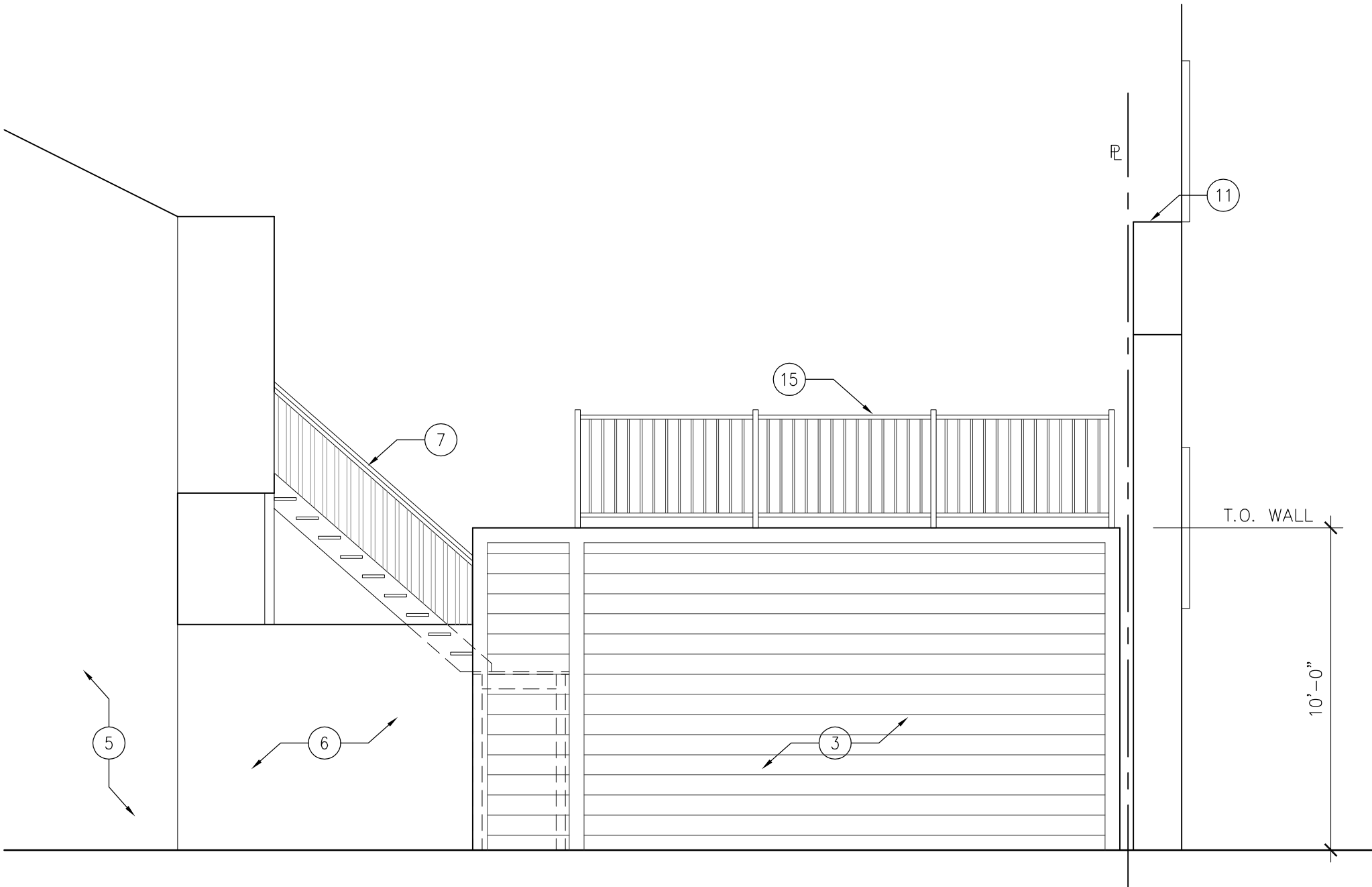
A3.1



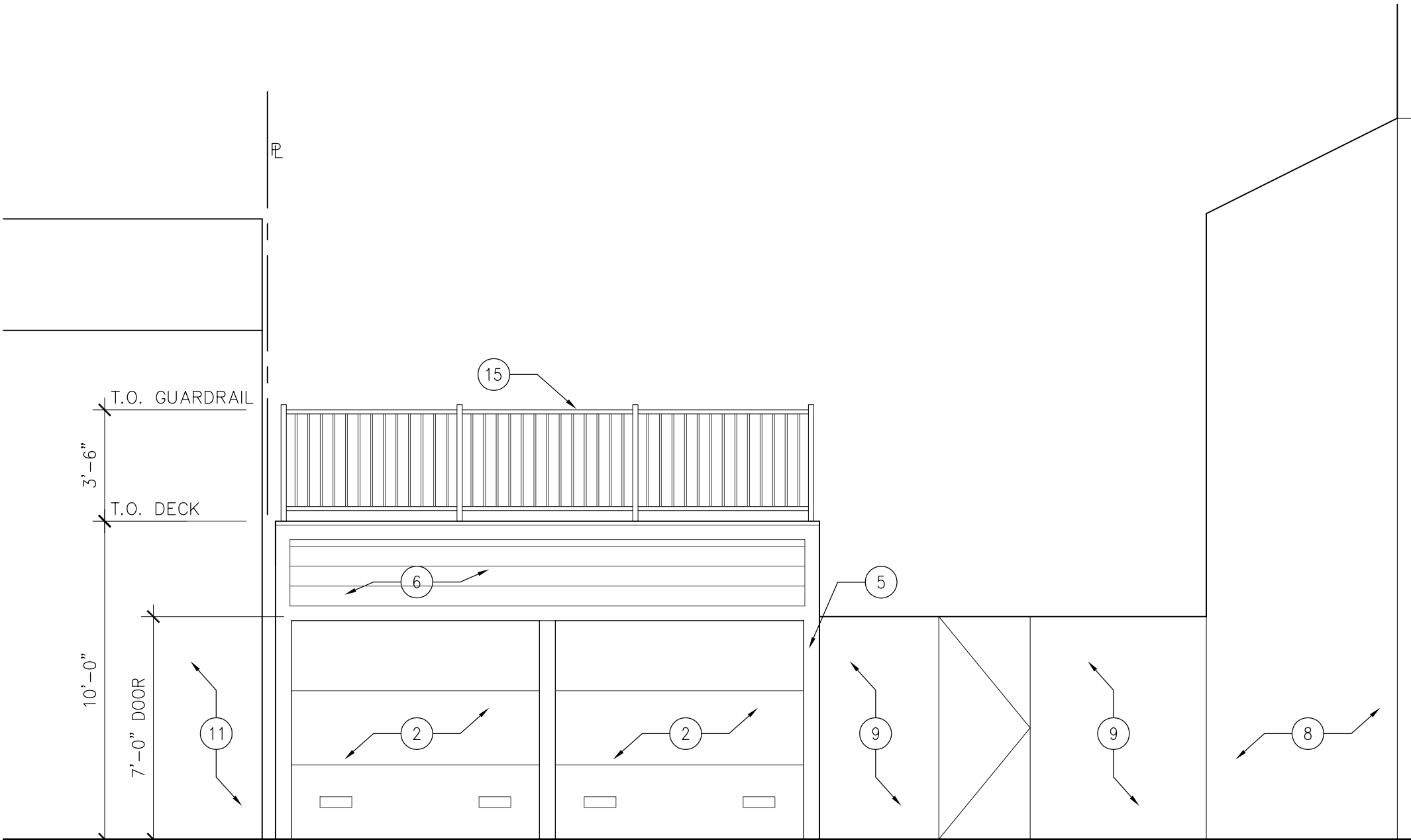
4 PROPOSED SECTION / 1/4"=1'-0"



2 PROPOSED SOUTH ELEVATION / 1/4"=1'-0"



3 PROPOSED EAST ELEVATION / 1/4"=1'-0"



1 PROPOSED WEST (STREET) ELEVATION / 1/4"=1'-0"

