



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
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CA 94103-2479

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, March 25, 2020**

Time: **Not before 9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance**

Hearing Body: **Zoning Administrator**

PROJECT INFORMATION		APPLICANT INFORMATION	
Project Address:	2280 15th Street	Applicant:	Tim Raduenz
Cross Street(s):	Castro and Noe Streets	Company:	Form+One Design
Block /Lot No.:	3540 / 030	Address:	4843 Silver Springs Drive
Zoning District(s):	RH-3 / 40-X	City, State:	Park City, Utah 84098
Record Number:	2019-000648VAR	Telephone:	(415) 819-0304
		E-Mail:	tim@Formonedesign.com
PROJECT DESCRIPTION			
<p>The proposal is to construct a three-story horizontal addition at the rear of an existing three-story, three-unit residential building. At the first and second floors, the addition will in-fill the northeast corner of the building and be approximately 21 feet 10 inches in length and 15 feet 2 inches in width. At the third floor, the addition will also in-fill the northeast corner of the building and be approximately 14 feet 10 inches in length and 5 feet 4 inches in width.</p> <p>PLANNING CODE SECTION 134 requires the subject lot to maintain a minimum rear yard equal to 45 percent of the total lot depth. However, the rear yard setback may be reduced to a line representing the average between the buildings' depths on adjacent lots, but in no case shall the required rear yard be less than 25 percent of the subject lot's depth or 15 feet, whichever is greater. The required rear yard for the subject property is 47 feet 3 inches. The proposed horizontal addition will encroach at maximum 19 feet 3 inches into the required rear yard. Therefore, a rear yard Variance is required.</p>			
ADDITIONAL INFORMATION			
<p>ARCHITECTURAL PLANS: To view the plans and related documents for the proposed project, visit sf-planning.org/notices and search the Project Address listed above. The plans will also be available one week prior to the hearing through the hearing agenda at: sf-planning.org/hearings or by request at the Planning Department office located at 1650 Mission Street, 4th Floor.</p>			
<p>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF: Planner: Gabriela Pantoja Telephone: (415) 575-8741 E-Mail: Gabriela.Pantoja@sfgov.org</p>			

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident near the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to comment on the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice to the Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. The mailing of such notification will be performed separately.

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department or Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

THORNFELDT RESIDENCE
2280 15TH STREET
SAN FRANCISCO, CA 94114

ABBREVIATIONS

& d	And Penny Angle	EXH	Exhaust Expansion	PBD	Particle Bd. Prefabricate(d) Plate (line)
@	Center line	EXP	Exposed	PL	Plaster
C	Dia. or round	EXT	Exterior	PLYWD	Plywood
O	Perpendicular	FBO	Furnished by Owner	PNL	Panel(ing)
#	Pound or No.	FDN	Foundation	PNT	Paint(ed)
		FIN	Finish	PR	Pair
		FL	Floor (line)	PRCST	Pre Cast
		FLASH	Flashing	PT	Pressure Treated
AB	Anchor Bolt	FLASH	Flashing		
ABV	Above	FLOUR	Fluorescent		
AC	Asphalt Conc.	FLX	Flexible	QT	Quarry Tile
ACOUS	Acoustical	FOC	Face of Conc.		
ADH	Adhesive	FOF	Face of Fin.	R	Riser
ADJ	Adjustable	FOX	Face of Stud	RAD	Radius
AGG	Aggregate	FO	Finished Opening	REINF	Reinforce
AL	Aluminum	FPL	Fireplace	RELO	Relocate
AP	Access Panel	FTG	Footing	REMO	Remove
APX	Approximate	FURR	Furring	REQD	Required
		FUT	Future	RESIL	Resilient
BD	Board			RO	Rough Opeing
BEL	Below	GA	Gauge	RWD	Redwood
BLK	Block(ing)	GALV	Galvanized		
BM	Beam	GB	Grab Bar	SSD	See Struct. Dwg.
BOT	Bottom	GI	Grab Iron	SH	Shelf
BRK	Brick	GL	Glass/Glazing	SHR	Sheathing
BS	Both Sides	GR	Grade (Ground)	SIM	Similar
BTWN	Between	GYP	Gypsum	SLR	Sealer
				SPEC	Specification
CAB	Cabinet	HBD	Hard Board	SQ	Square
CEM	Cement	HD	Heavy Duty	SLD	Standard
CER	Ceramic	HDR	Header	S. STL	Stainless Steel
CI	Cast Iron	HWD	Hardware		
CLG	Ceiling	HOR	Horizontal	SUSP	Suspended
CLKG	Caulking			SYM	Symmetrical
CLR	Clear	INT	Interior		
CMU	Conc. Mas. Unit	INSUL	Insulation	T	Tread
CNTR	Counter			TB	Towel Bar
COL	Column	JST	Joist	TEMP	Tempered
COMPO	Composition	JT	Joint	T&G	Tougue & Groove
CONC	Concrete			THRU	Through
CONN	Connect(ion)	LAM	Laminate	TOS	Top of Surface
CONST	Construction	LT	Light	TPD	Toilet Paper
CONT	Continuous	LVR	Louver	TPD	Toilet Paper
CPT	Carpet			TYP	Typical
		MAS	Masonry	UON	Unless Otherwise
DBL	Double	MC	Medicine Cabinet	MECH	Noted
DEMO	Demolish	MECH	Mechanical	UNF	Unfinished
DF	Douglas Fir	MEMB	Membrane		
DIA	Diameter	MFR	Manufacturer		
DIAG	Diagonal	MIR	Mirror	VERT	Vertical
DN	Down	MNT	Mount(ed)	VG	Vert. Grain
DR	Door	MTL	Metal		
DS	Down Spout			WB	White Brothers
DRA	Drawer	NIC	Not in Contract	WD	Wood
		NTS	Not to Scale	WDW	Window
EA	Each			WI	Wrought Iron
EL	Elevation			W/O	With (out)
ELEC	Electrical	O/	Over	WP	Waterproof
ENCL	Enclosure	OC	On Center	WR	Water Resistant
EQ	Equal	OPNG	Opening	WSCT	Wainscot
EQPT	Equipment	OPP	Opposite		
EW	Each Way				
(EX)	Existing	P	Plastic		
		PAR	Parallel		

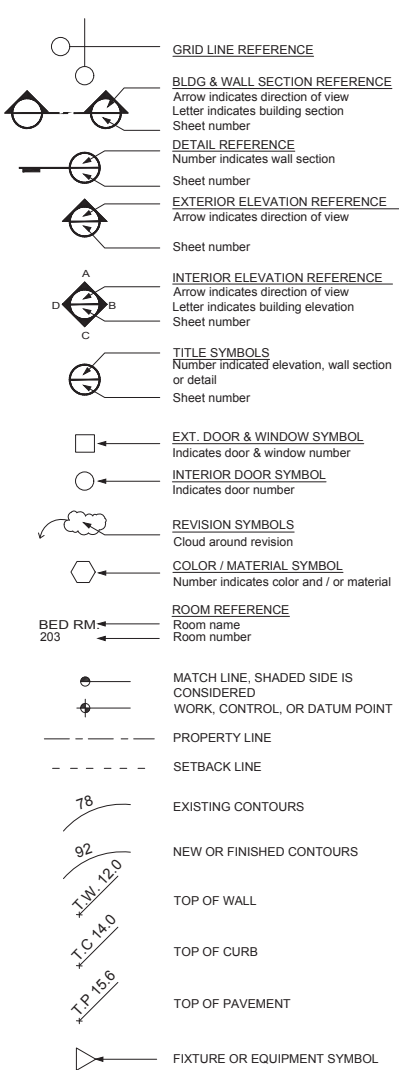
MATERIAL SYMBOLS

	Bituminous paving		Sand/ Mortar/ Plaster
	Batt insulation		Metal
	Brick Veneer		Metal Lath
	Stone Veneer		Wood frame construction
	Concrete		Existing construction
	Concrete Block		Existing construction removed
	Gravel / Rock fill		Marble / tile
	Gypsum board		Earth
	Plywood		Wood
	Precast concrete		Steel
	Rigid insulation		

GREEN BUILDING MEASURE

1. AN AUTOMATIC IRRIGATION SYSTEM CONTROLLER FOR LANDSCAPING WILL BE PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION. 2016 CGC §4.304.1
2. A MINIMUM OF 65% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTER GENERATED AT THE SITE WILL BE DIVERTED TO AN OFFSITE RECYCLE, DIVERSION, OR SALVAGE FACILITY PER CITY OF SAN FRANCISCO ORDINANCE AND 2016 CGC §4.408
3. AN OPERATION AND MAINTENANCE MANUAL WILL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER. 2016 CGC §4.410.1
4. UPON REQUEST, VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE BUILDING DIVISION THAT WILL SHOW SUBSTANTIAL CONFORMANCE WITH THE 2016 CODE REQUIREMENT. 2016 CGC §703.1

REFERENCE SYMBOLS



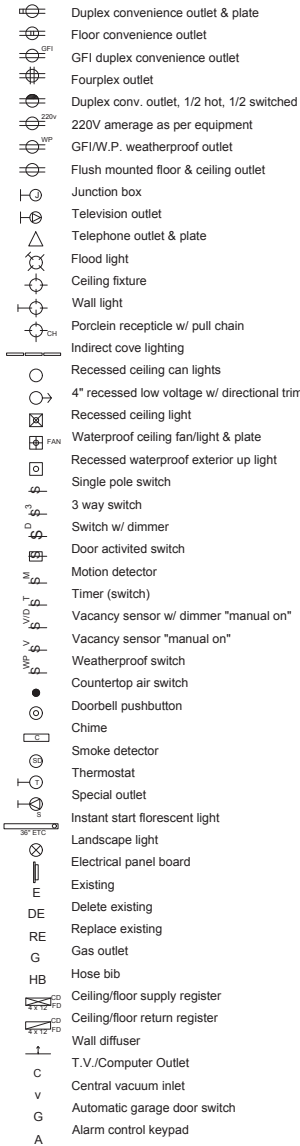
APPLICABLE CODES

2016 California Building Code
2016 California Historic Building Code
2016 Existing Residential Code
2016 California Residential Code
2016 California Plumbing Code
2016 California Mechanical Code
2016 California Electric Code
2016 California Energy Code
2016 California Fire Code
CITY OF SAN FRANCISCO MUNICIPAL CODE
2016 California Green Building Standards Code
GreenPoint Rated (REMODEL) CHECKLIST: Single Family to be attached to jobsite building set

CONSTRUCTION HOURS

1. Building construction can occur during the hours of 7:00 AM to 8:00 PM, seven days a week, including holidays. Any work done before or after these hours must not exceed the noise level of five decibels at the nearest lot line unless a special permit has been granted to allow this. Five decibels is similar to the sound of a screw gun installing screws in drywall. This is detailed in Police Code Article 29, Sections 2907 and 2908.

ELECT/MECH SYMBOLS



BUILDING DATA

BLOCK/LOT #: : 3540/030
LOT AREA: : 2,760
BUILDING AREA : -
FAR: : -
UNITS: : (EXISTING 3)
STORIES: : 4 (EXISTING)
HEIGHT & BULK DISTRICTS: : -

CONST. TYPE : V-B
USE : MULTI FAMILY
OCCUPANCY : R-2
ZONING : RH-3

CONSULTANTS

DESIGNER
FORM + ONE DESIGN
CONTACT: TIM RADUENZ
4843 SILVER SPRINGS DRIVE
PARK CITY, UTAH 84098

OWNER
THORNFELDT RESIDENCE
2280 15TH STREET
SAN FRANCISCO, CA 94114
STRUCTURAL ENGINEER
SANTOS & URRUTIA
STRUCTURAL ENGINEERS
CONTACT: ALEX SANTOS
2451 HARRISON STREET
SAN FRANCISCO, CA 94110
415-642-7722
RSANTOS@SANTOSURRUTIA.COM

TITLE 24 CONSULTANTS
NRG COMPLIANCE, INC.
SANTA ROSA, CA 95402
PHONE: (707) 237-6957

ELEVATION DRAFTING CONSULTANTS
PRECISION PROPERTY MEASUREMENTS
3626 E. PACIFIC COAST HWY
2ND FLOOR
LONG BEACH, CA 90804
PHONE: (562) 621-9100

EXTERIOR FINISHES

REAR WALL FINISH: (E) WOOD SIDING
ROOF: (PROTECT) (E) ASPHALT SHINGLE ROOF CLASS A
WINDOWS: SIERRA PACIFIC WOOD CLAD (LIKE IN KIND) WINDOWS AND DOORS. VERIFY W/ WINDOW + DOOR SCHEDULE

SHEET INDEX
(*) BUILDING SUBMITTAL

T1.0	TITLE PAGE	(*) ME2.0	MECHANICAL AND ELECTRIC DRAWINGS
GN	GENERAL NOTES	(*) ME2.1	BASEMENT + FIRST FLOOR MECH. + ELECT PLANS
FAR	FLOOR AREA CALC	(*) ME3.0	SECOND + THIRD FLOOR MECH. + ELECT PLANS
C-7	SAN FRANCISCO GREEN BUILDING SUBMITTAL	(*) ME4.0	CUTSHEETS
A1.0	PROPOSED/ EXISTING SITE PLAN	(*) RP	TITLE 24
			TITLE 24 (CONT.)
			RESIDENTIAL PLUMBING INSPECTION FORMS
AB2.0	ARCHITECTURAL DRAWINGS		STRUCTURAL DRAWINGS
B2.0	AS BUILT/DEMO FLOOR PLANS	(*) -	-
A2.0	AS-BUILT + PROPOSED BASEMENT PLAN		
A2.1	AS-BUILT/ DEMO + PROPOSED FIRST FLOOR PLAN		
A2.2	AS-BUILT/ DEMO + PROPOSED SECOND FLOOR PLAN		
A2.3	AS-BUILT/ DEMO + PROPOSED THIRD FLOOR PLAN		
A2.3	AS BUILT + (PROPOSED) ROOF PLAN		
A3.0	AS BUILT + (PROPOSED) FRONT ELEVATION (MINOR WORK)		
A3.1	AS BUILT + (PROPOSED) REAR ELEVATIONS		
A3.2	AS BUILT + (PROPOSED) RIGHT SIDE PARTIAL ELEVATIONS		
A4.0	AS BUILT BUILDING SECTIONS		
A4.1	PROPOSED BUILDING SECTIONS		
A5.0	BUILDING DETAILS		
A5.1	CONSTRUCTION DETAILS		
A9.0	FINISH SCHEDULE		

SCOPE OF WORK

1. REMODEL OF EXISTING MULTI-FAMILY RESIDENCE (EXISTING 3 UNITS).
2. NEW FOUNDATION TO REPLACE (E) BRICK FOUNDATION.
3. FRONT ELEVATION TO REMAIN INTACT. REFURBISHING AND PAINTING ONLY.
4. (N) STORAGE FOR THE INDIVIDUAL UNITS IN BASEMENT WITH (N) FOUNDATION.
5. EXCAVATION + SOIL DISTURBANCE OF: **47.75** CUBIC YARDS.

ENVIRONMENTAL EVALUATION NOTES

1. -

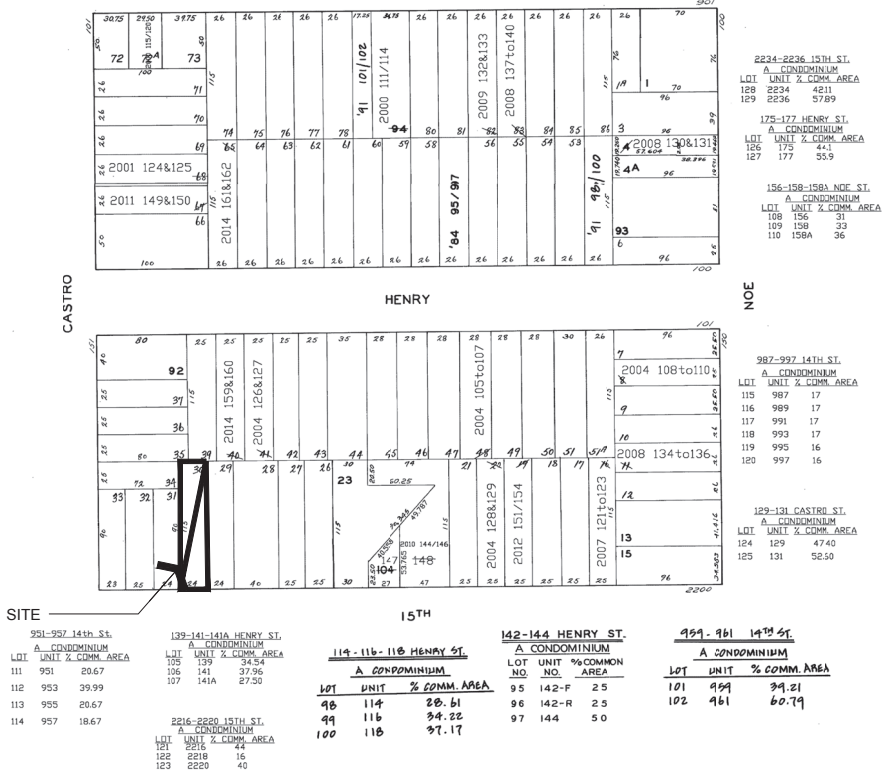
IMPACT FEE

1. N.A.

HERS VERIFICATION

1. A CERTIFIED HERS INSPECTOR WILL BE BROUGHT OUT TO THE JOB SITE TO MAKE SURE THE PROJECT IS COMPLIANT. A UPDATED TITLE 24 REPORT WILL BE SUPPLIED AFTER INSPECTION AND BEFORE PERMIT ISSUANCE.

VICINITY MAP



Revisions

Rev.:	Description :	Date :
001	PLANNING REQUIREMENTS #2	06/04/19
002		
003		
004		
005		
006		

Owner :
Mr. + Mrs. Bo Thorenfeldt
2280 15th Street
San Francisco, CA 94114

4843 Silver Springs Drive
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDSIGN.COM



Title : TITLE PAGE
Project : Mr. + Mrs. Bo Thorenfeldt
2280 15th Street
San Francisco, CA 94114
Job No. : 18_018
Date : 03-17-2018
Drawn : T. Raduenz

Sheet
Scale: See Details

T1.0

BUILDING SET

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BLOCK/LOT NUMBER:	03540/030
ZONING:	RH-1
PRIVATE EASEMENTS:	-
PUBLIC EASEMENTS:	-
COVERED PARKING SPACES:	-
UNCOVERED PARKING SPACES:	-

1. PROTECT ALL EXISTING LANDSCAPING AND TREES DURING CONSTRUCTION, CONSULT ARBORIST AS REQUIRED.
2. (E) YARD SPRINKLER SYSTEM TO REMAIN
3. NA
4. NO EXISTING TREES OVER 48" IN CIRCUMFERENCE AT 54" FROM BASE OF TREE MAY BE REMOVED WITHOUT A PROTECTED TREE PERMIT FROM THE PARKS DIVISION. TO TREE ARE TO BE REMOVED FOR THIS PROJECT
5. WATER CONSERVATION IN LANDSCAPE ORDINANCE NOT REQUIRED SINCE LANDSCAPE WILL NOT BE REHABILITATED AS NOTED ON PLANS.
6. A PLAN HAS BEEN DEVELOPED, AND WILL BE IMPLEMENTED, TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION. CGC 4.106.2 & CGC 4.106.3

1. PROTECT ALL STREET TREES DURING CONSTRUCTION (IF ANY)

A street scene in San Francisco. On the left is a multi-story building with a sign that says "RENT". In the center is a red Victorian house with a green door and a red staircase, which is enclosed in a dashed black bounding box. To the right is a modern, multi-story building with a balcony decorated with colorful balloons. A green car is parked in the foreground, and blue and green trash bins are visible on the sidewalk.



Revisions		
Rev. :	Description :	Date :
001	PLANNING REQUIREMENTS #2	06.04.19
002		
003		
004		
005		
006		

Owner :
Mr. & Mrs. Bo Thorenfeldt
2260 15th Street
San Francisco, CA 94114

Zoning: RH-1
Square Footage Lot: -

BLOCK/LOT#:

4843 Silver Springs Drive
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDSIGN.COM



form+ one
DESIGN ■ PLANNING

Title : Existing & Proposed Site Plan

Project : Mr. + Mrs. Bo Thorenfeldt
2280 15th Street
San Francisco, CA 94114

Job No. : 18_018	Drawn T. Radzisz	Date : 03-17-18
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A1.0

Sheet

Scale: See Details

BUILDING SET

BLOCK/LOT#: 3540/030

Job No. : 18_018	Drawn : T. Raduenz	Date : 03-17-2018
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RELATED CODE REQUIREMENTS: (EGRESS)

- EGRESS WINDOWS SHALL HAVE A MIN. NET CLEAR OPERABLE AREA OF 5.7 SQUARE FEET.
- THE MINIMUM NET CLEAR WIDTH DIMENSION SHALL BE 20"
- THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24"
- MIN. 44" FROM FINISH FLOOR
- PER CODE 2016 CRC SECTION R310

2016 CODE REQUIREMENTS: (PLUMBING)

- REQUIRES NON-COMPLIANT PLUMBING FIXTURES TO BE REPLACED BY WATER-CONSERVING PLUMBING FIXTURES WHEN A PROPERTY IS UNDERGOING ALTERATIONS OR IMPROVEMENTS. THIS LAW APPLIES TO ALL RESIDENTIAL AND COMMERCIAL PROPERTY BUILT PRIOR TO JANUARY 1, 1994. DETAILS CAN BE FOUND AT [HTTP://LEGINFO.CA.GOV/PUB/09-10/BILL/SEN/SB0401-0450/SB407 BILL 20091011 CHAPTERED.HTML](http://leginfo.ca.gov/pub/09-10/bill/sen/sb_0401-0450/sb_0407_bill_20091011_chaptered.html)
- PER CALIFORNIA CIVIL CODE ARTICLE 1101.4 AND CAL GREEN SECTION 301.1 FOR ALL BUILDING ALTERATIONS OR IMPROVEMENTS TO A SINGLE FAMILY RESIDENTIAL PROPERTY, EXISTING PLUMBING FIXTURES IN THE ENTIRE HOUSE THAT DO NOT MEET COMPLIANT FLOW RATES WILL NEED TO BE UPGRADED. WATER CLOSETS WITH A FLOW RATE EXCESS OF 1.6 GPF WILL NEED TO BE REPLACED WITH W.C. W/ A MAX. FLOW RATE OF 1.28 GPF. SHOWER HEADS W/ A FLOW RATE GREATER THAN 2.5 GPM WILL NEED TO BE REPLACED W/ A MAX. 2.0 GPM SHOWER HEAD. LAVATORY & KITCHEN FAUCETS W/ A FLOW RATE GREATER THAN 2.2 GPM WILL NEED TO BE REPLACED W/ A FAUCET W/ MAX. FLOW RATE OF 1.5 GPM (OR 1.8 GPM FOR KITCHEN FAUCETS)

RELATED CODE REQUIREMENTS: (BATHS) (CONT.):

PLUMBING:

- SHOWER MUST BE PROVIDED W/ TEMPERATURE CONTROL (ANIT-SCALD) TYPE VALVE. TOILETS MUST HAVE A MIN. CLEAR SPACE OF 30" WIDE, & 24" CLEAR SPACE IN FRONT. IF NEW, TOILETS MUST BE WATER CONSERVING 1.28 GALLON. SHOWER DOORS SHALL OPEN OUTWARD AND SHALL BE A MIN. 22" WIDE, THE SHOWERHEAD CANNOT DISCHARGE DIRECTLY AT ENTRANCE. ALL SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, MUST BE CAPABLE OF ENCOMPASSING A 30" CIRCLE. JOB-FORMED SHOWER PAN LINER MUST SLOPE 1/4" PER FOOT TO WEEP HOLES IN DRAIN, AND BE INSPECTED UNDER TEST PRIOR TO COVERING.

RELATED CODE REQUIREMENTS: (BATHS) (CONT.):

BUILDING:

- SHOWER WALL SHALL BE FINISHED TO A HEIGHT 72" ABOVE THE DRAIN INLET WITH MATERIAL THAT IS NOT AFFECTED BY MOISTURE. GREEN BD. CANNOT BE USED AS A BACKER FOR MASTIC TILE WHERE IT WILL BE EXPOSED TO SPLASHING WATER AND IS NOT ALLOWED ON CEILINGS. CEMENT BOARD WITH A MOISTURE BARRIER AND CORROSION-RESISTANT FASTENERS IS AN APPROPRIATE BACKING MATERIAL IN WET LOCATIONS. MIN. CEILING HEIGHT FOR ALL BATHROOMS IS 7'-0". SAFETY GLAZING IS REQUIRED FOR WINDOWS IN TUB OR SHOWER LOCATIONS WHERE THE BOTTOM EDGE OF GLASS IS LESS THAN 5'-0" ABOVE THE DRAIN. AS PART OF REMODEL SMOKE DETECTORS WILL BE REQUIRED IN ALL BEDROOMS, ADJOINING HALL, AND AT EACH LEVEL PER THE BUILDING CODE.

RELATED CODE REQUIREMENTS: (BATHS)(CONT.):

ELECTRICAL:

- IT IS REQUIRED TO HAVE AT LEAST ONE RECEPTACLE WITHIN 3-FEET OF THE OUTSIDE EDGE OF EACH BASIN. THIS RECEPTACLE AND ANY OTHERS LOCATED WITHIN THE BATHROOM MUST BE GFCI PROTECTED.
- A SEPARATE 20-AMP CIRCUIT IS REQUIRED TO SUPPLY BATHROOM OUTLETS ONLY, OR A SINGLE BATHROOM.
- LIGHTING WILL BE REQUIRED TO BE HIGH EFFICACY OR CONTROLLED BY A MANUAL ON OCCUPANT SENSOR SWITCH. (TYPICALLY HIGH EFFICACY LIGHT FIXTURES ARE PIN BASE FLUORESCENT WITH ELECTRONIC BALLAST.

MECHANICAL:

- A FAN CONNECTED TO THE OUTSIDE CAN BE PROVIDED, FAN EXHAUST SHOULD BE 3-FEET FROM BUILDING OPENINGS AND PROPERTY LINES. BE INSPECTED UNDER TEST PRIOR TO COVERING.

GENERAL NOTES:

- PROVIDE 30" MIN. CLEAR WIDTH, 16" ON BOTH SIDES FROM CENTERLINE OF W.C.) AND 24" CLEARANCE IN FRONT OF THE W.C. PER CPC 402.5
- PROVIDE MIN. SHOWER AREA - 1024 SQ. INCHES, CAPABLE OF ENCOMPASSING A 30" CIRCLE. SEE PLANS PER CPC 408.6
- TEMPERED GLAZING, TYP. AT ALL DOORS AND REQUIRED BY CODE
- PROVIDE DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM THE WASHER & DISHWASHER, ETC., PER CPC
- WATER CLOSETS SHALL BE AN ULTRA LOW FLUSH TYPE W/ 1.28 GALLONS MAX. PER FLUSH, PER CPC & CGC 4.303.1.1
- EXHAUST VENT FOR DRYER SHALL TERMINATE TO THE OUTSIDE OF THE BUILDING AND SHALL BE EQUIPPED WITH A DRAFT DAMPER AND SHALL BE RIGID METAL DUCT WITH SMOOTH INTERIOR SURFACES PER CMC SECT. 504.
- VERIFY ALL FINISH FLOOR CALL-OUTS W/ OWNERS, TYP.
- SUB-PANEL ELECT., VERIFY LOCATION W/ OWNER.
- ALL SHOWER HEADS TO HAVE 2.0 GPM FLOW MAX. PER CPC SECT. 408.2 & (CGC 4.303.6.1)
- ALL SHOWER WALLS TO BE WATERPROOF TO 72" ABOVE DRAIN INLET, WALL FINISHES TO BE OF SMOOTH HARD NONABSORBENT SURFACE, PER CRC R307.2 (CEMENT BASED)
- (N) HIGH EFFICIENCY GAS WATER HEATER LOCATED IN BASEMENT, INCLUDE PAN AND DRAIN
- ALL LAVATORY FAUCETS TO HAVE 1.5 GPM, AND KITCHEN FAUCETS TO HAVE 1.8 GPM FLOW MAX. PER CPC SECT. 403.7, & 403.6 (CGC 4.303.1.3)
- WATER HAMMER ARRESTORS AT ALL APPLIANCES THAT HAVE QUICK-ACTING VALVES (I.E.) DISHWASHERS HOT WATER LINE AND THE HOT/COLD LINES OF THE CLOTHES WASHER) 2013 CPC 609.10.
- CONTROL VALVE FOR SHOWER OR TUB/SHOWER SHALL BE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE, PER CPC 420.0.
- THRESHOLD FOR IN-SWING DOORS SHALL BE 7.75" MAX. AND 7" MAX. FOR OUTSWING DOORS.
- (N) GAS METER LOCATION, PG&E, TYPICAL 36" FROM OPERABLE WINDOWS.
- (E) ELECTRICAL METER LOCATION
- MAX. DROP FROM TOP OF THRESHOLD TO THE EXT. LANDING AT ALL SLIDING AND IN-SWINGING DOORS SHALL BE LIMITED TO 7.75", AND NOT MORE THAN 1.5" LOWER THAN THRESHOLD FOR OUTSWING DRS. PER 2013 CRC R311.3
- (N) STAIRS TO HAVE MAX. RISER HEIGHT OF 7.75" AND A MIN. TREAD DEPTH OF 10" PER CRC R311.7.4.
- A CAPILLARY BREAK WILL BE INSTALLED IF A SLAB ON GRADE FOUNDATION SYSTEM IS USED. THE USE OF A 4" THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE UNDER A 6 MIL VAPOR RETARDER WITH JOINT LAPPED NOT LESS THAN 6" WILL BE PROVIDED UNLESS AND ENGINEERED DESIGN HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING DIVISION. 2013 CGC §4.505.2 AND CALIFORNIA RESIDENTIAL CODE (CRC) §R506.2.3
- BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE WILL NOT BE INSTALLED. WALL AND FLOOR FRAMING WILL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. MOISTURE CONTENT WILL BE VERIFIED PRIOR TO FINISH MATERIAL BEING APPLIED. 2013 CGC §4.505.3
- FITTINGS (FAUCETS AND SHOWER HEADS) HAVE ALL REQUIRED STANDARDS LISTED ON PLANS AND ARE IN ACCORDANCE TO CGC 4.303.1.3 AND CGC 403.1.4
- ANY GAS FIREPLACE SHALL BE DIRECT-VENT SEALED-COMBUSTIBLE TYPE.
- PROVIDE 36 INCH MIN. DEEP LANDING OUTSIDE ALL EXTERIOR DOORS (NOT MORE THAN 7.75 INCHES LOWER THAN THRESHOLD FOR IN-SWINGING DOORS AND SLIDING DOORS, AND NOT MORE THAN 1.5 INCHES LOWER THAN THE THRESHOLD FOR OUT-SWINGING DOORS) 2013 CRC R311.3
- WALLS WITH 2 X 6 AND LARGER FRAMING REQUIRE R-19 INSULATION 150.0(C)2

INSULATION: (See Title-24 For Min.)

- ALL EXTERIOR 2X6 WALLS: R-21 BATT INSULATION
- ALL EXTERIOR 2X4 WALLS: R-15 BATT INSULATION
- ALL CEILINGS TO RECEIVE R-32 MIN. INSULATION, BLOWN IN PREFERRED.
- ALL UNDER FLOOR TO RECEIVE R-19 BATT INSULATION
- ALL BATHROOMS, LAUNDRY ROOMS, TO RECEIVE SOUND BATT, INSULATION, TYPICAL.

Y W/

EXISTING BASEMENT

Scale: 1/4" = 1'-0"

1
B2.0

PROPOSED BASEMENT

Scale: 1/4" = 1'-0"

2
B2.0

Title : Existing & Proposed Floor Plans

Project : Mr. + Mrs. Bo Thorenfeldt
2280 15th Street
San Francisco, CA 94114

Job No. : 18_018 Drawn : T. Raduuz Date : 03-17-2018

Owner :
Mr. + Mrs. Bo Thorenfeldt
2280 15th Street
San Francisco, CA 94114

Zoning: RH-1
Square Footage Lot: -

4843 Silver Springs Drive
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONDESIGN.COM

Tim Raduuz
form+ one
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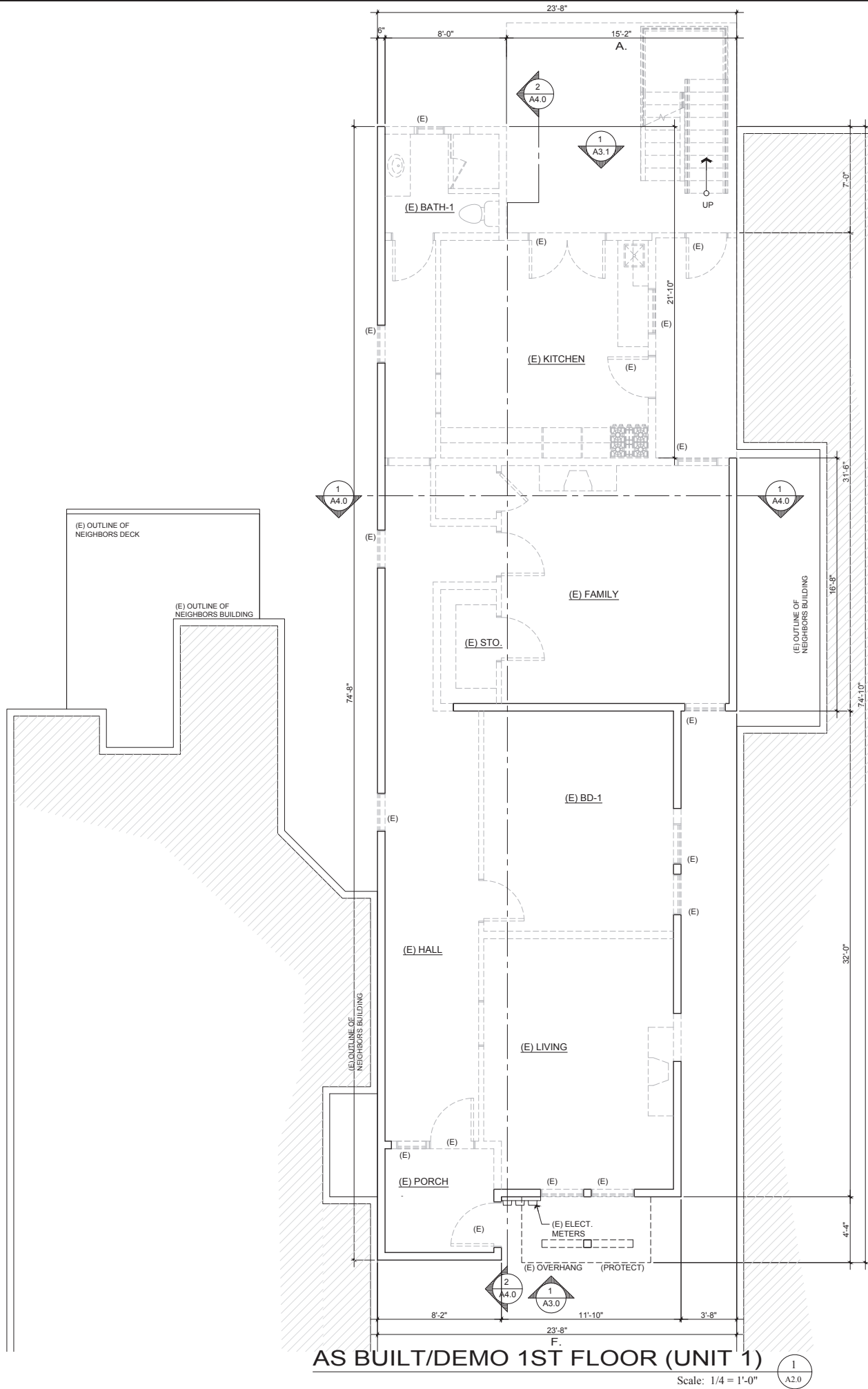
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B2.0

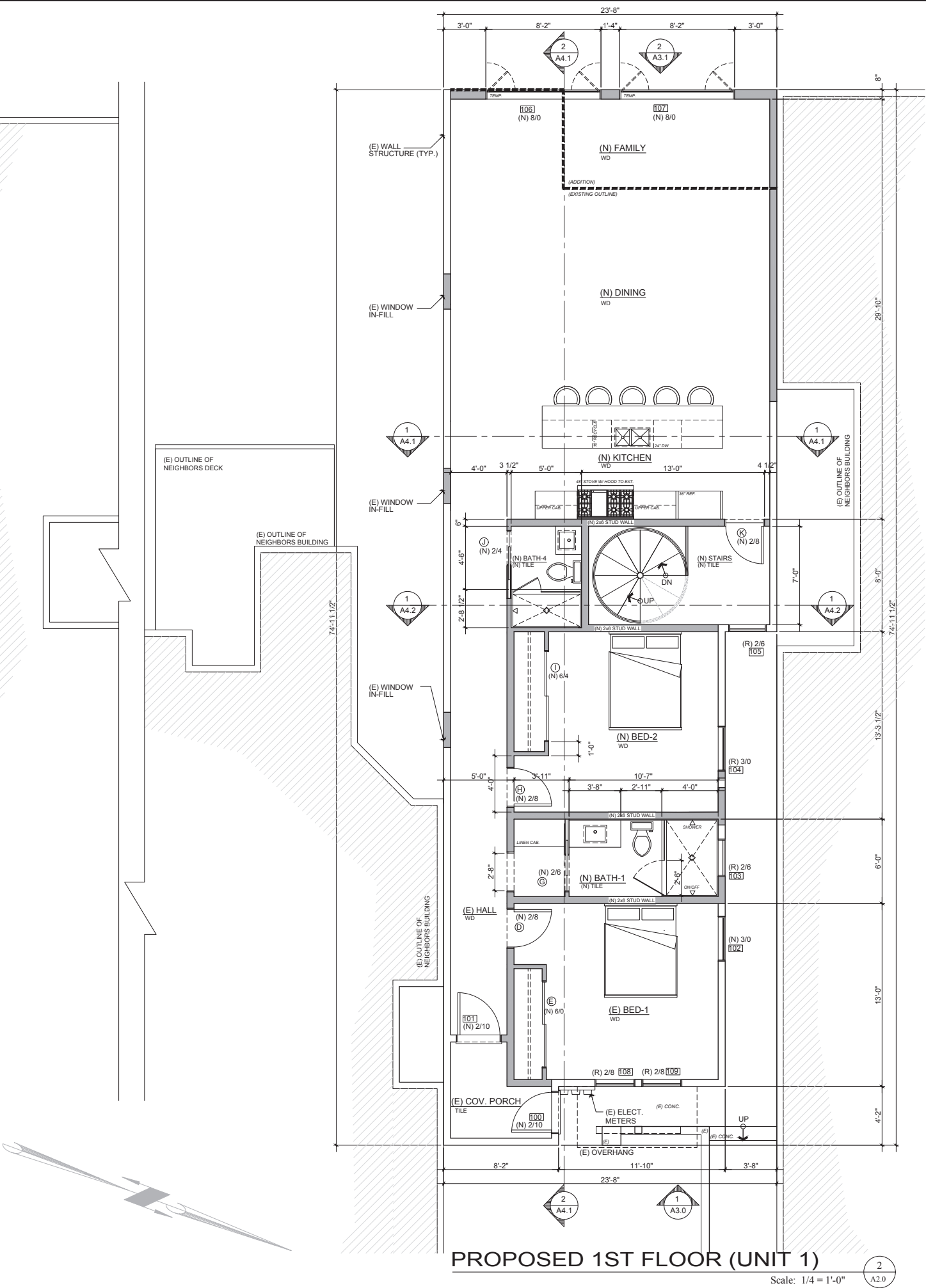
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AS BUILT/DEMO 1ST FLOOR (UNIT 1)

Scale: 1/4" = 1'-0"

1
A2.0



PROPOSED 1ST FLOOR (UNIT 1)

Scale: 1/4" = 1'-0"

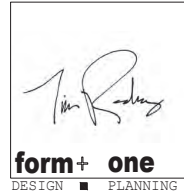
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A2.0

Title : As Built + Proposed Floor Plans

Project : Mr. + Mrs. Bo Thorenfeldt
2280 15th Street
San Francisco, CA 94114

Job No. : 18_018 Drawn : T. Rademtz Date : 03-17-2018

Owner : Mr. + Mrs. Bo Thorenfeldt
2280 15th Street
San Francisco, CA 94114
4843 Silver Springs Drive
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIMEFORMEDSIGN.COM

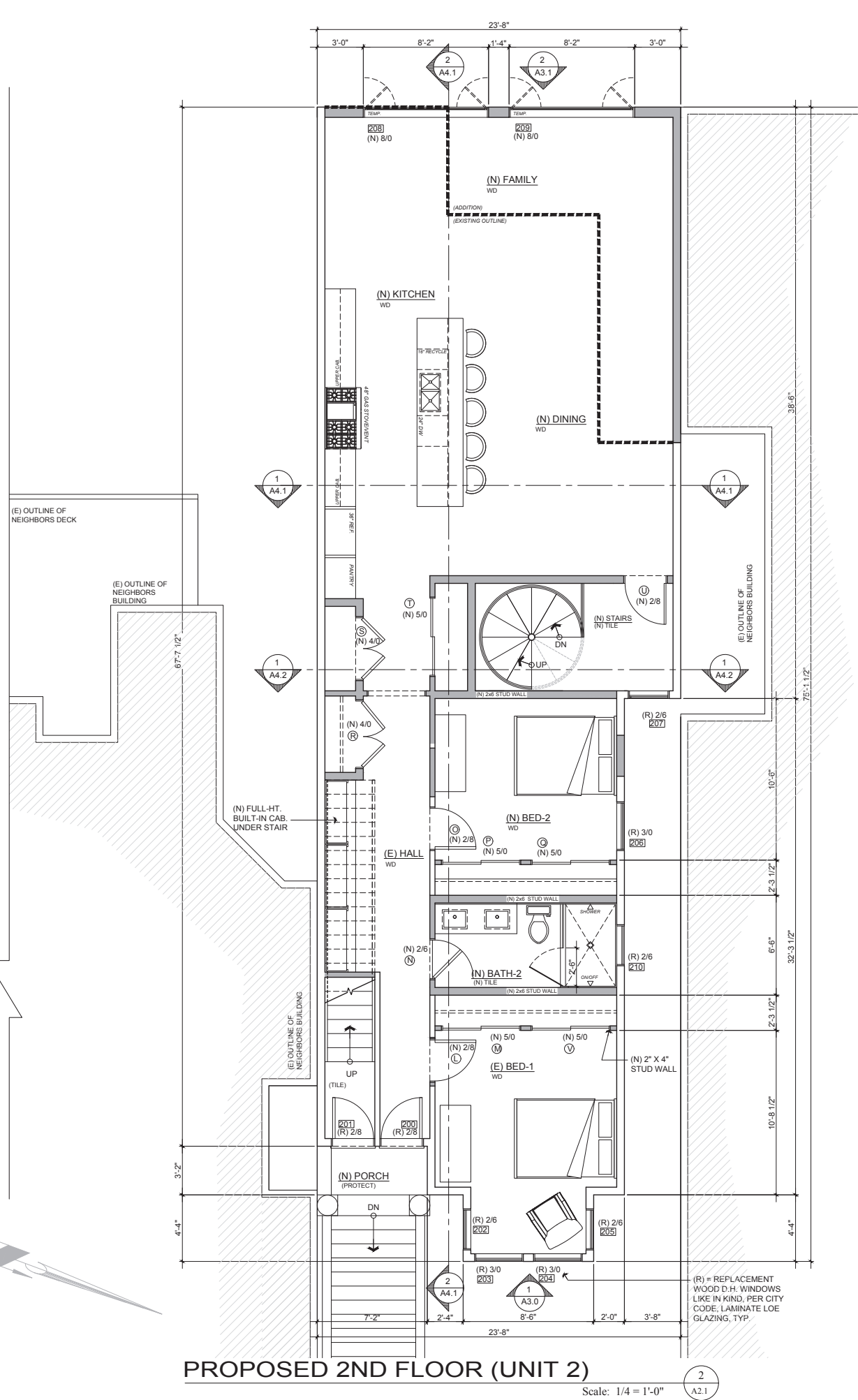
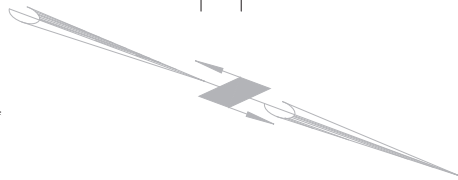
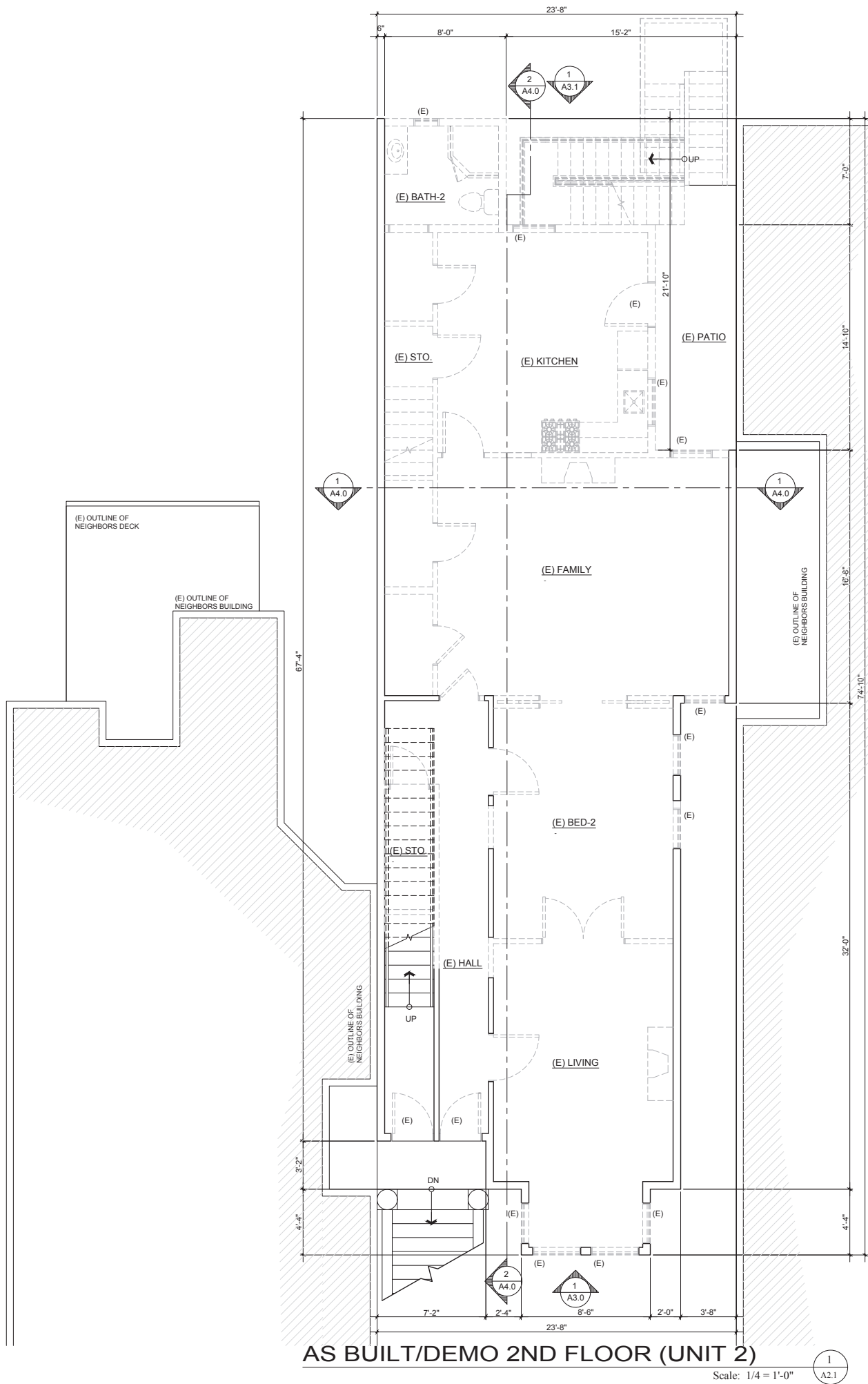


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Title : As Built + Proposed Floor Plans
Project : Mr. + Mrs. Bo Thorenfeldt
2280 15th Street
San Francisco, CA 94114

Owner :
Mr. + Mrs. Bo Thorenfeldt
2280 15th Street
San Francisco, CA 94114
Selling Rm:
Square Footage Lot: -

4843 Silver Springs Drive
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIMEFORMONEDSIGN.COM



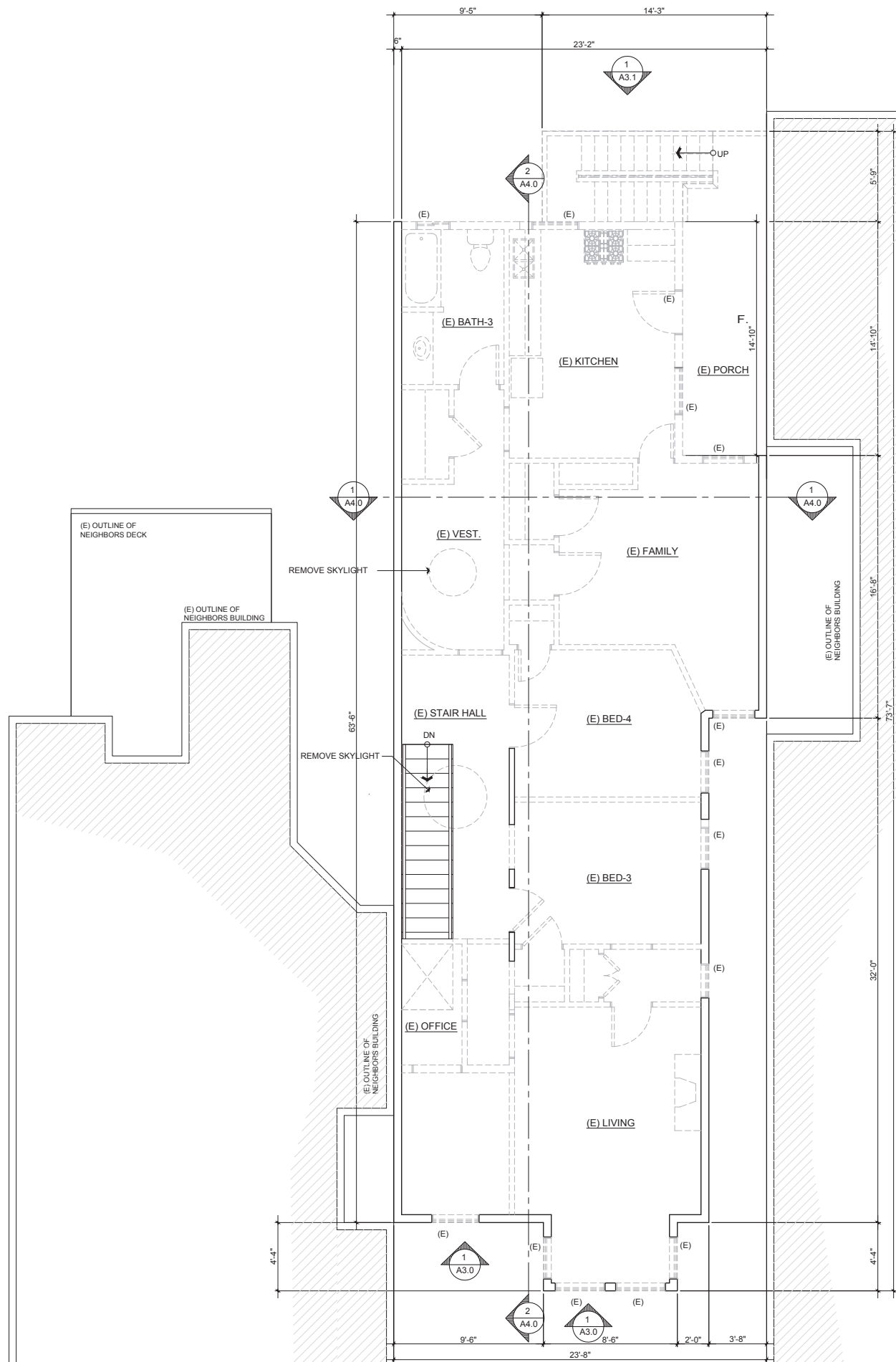
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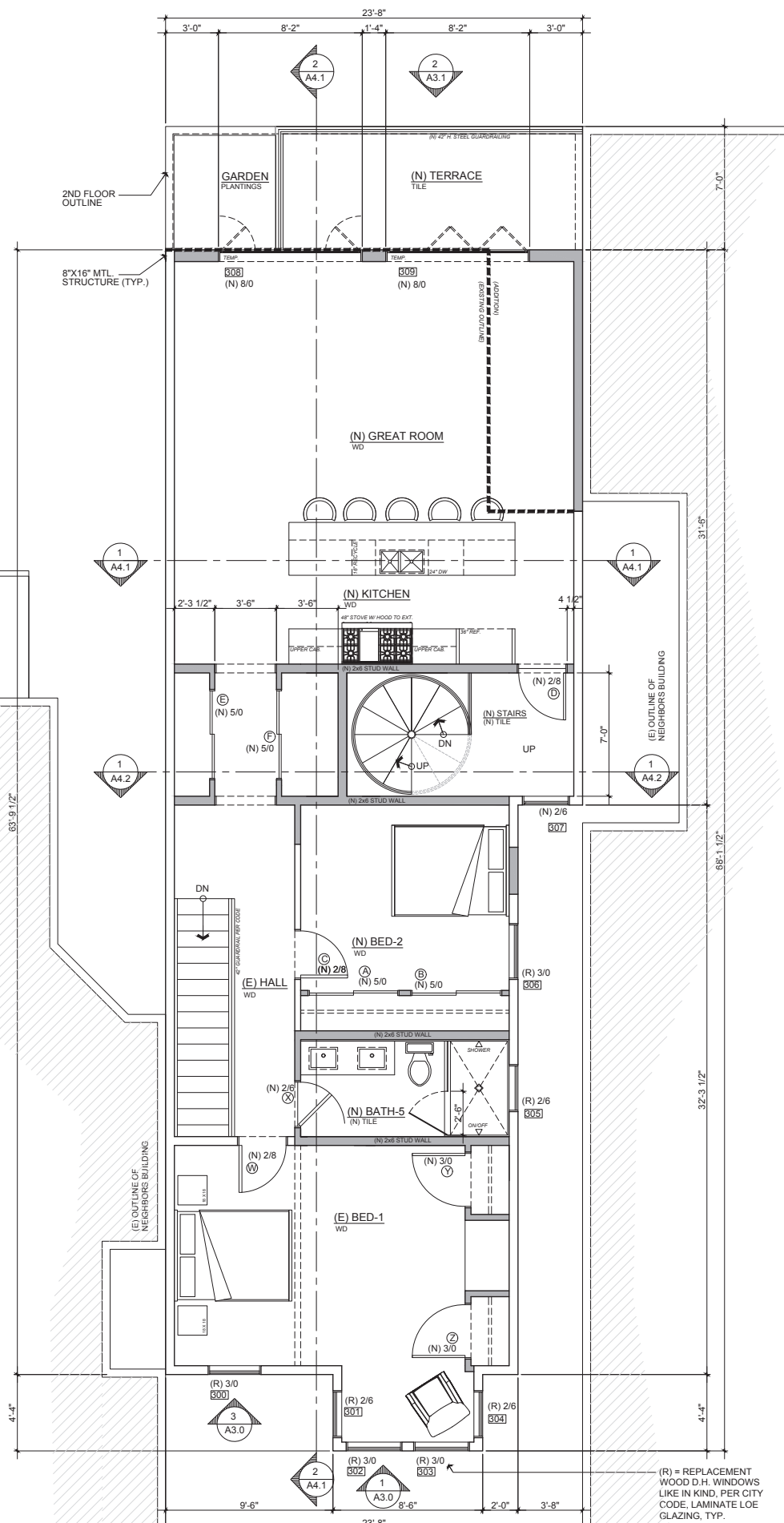
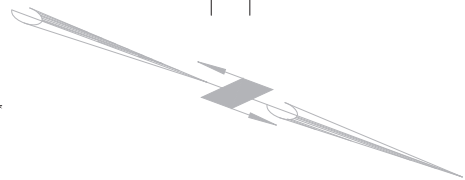
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AS BUILT/ DEMO 3RD FLOOR (UNIT 3)

Scale: 1/4" = 1'-0"

1
A2.2



PROPOSED 3RD FLOOR (UNIT 3)

Scale: 1/4" = 1'-0"

2
A2.2

(R) = REPLACEMENT
WOOD D.H. WINDOWS
LIKE IN KIND, PER CITY
CODE. LAMINATE LOE
GLAZING, TYP.

Title : As Built + Proposed Floor Plans

Project : Mr. + Mrs. Bo Thorenfeldt
2280 15th Street
San Francisco, CA 94114

Job No. : 18_018 Drawn : T. Radtke Date : 03-17-2018

Owner : Mr. + Mrs. Bo Thorenfeldt
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A2.2

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Scale: See Details

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AS BUILT FRONT ELEVATION

NOTES: (RE-PAINTING AND NEW WINDOWS LIKE IN KIND W/ EXISTING (WOOD UNITS)

Scale: 1/4" = 1'-0"

1
A3.0

Title : As Built Front Elevation

Project : Mr. + Mrs. Bo Thorenfeldt
2280 15th Street
San Francisco, CA 94114

Job No. : 18_018
Drawn : T. Radtzen
Date : 03-17-2018

4843 Silver Springs Drive
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMNEDSIGN.COM

Owner :
Mr. + Mrs. Bo Thorenfeldt
2280 15th Street
San Francisco, CA 94114

Zoning: RFL-1
Square Footage Lot: -

BLOCK/LOT#: 3540/030

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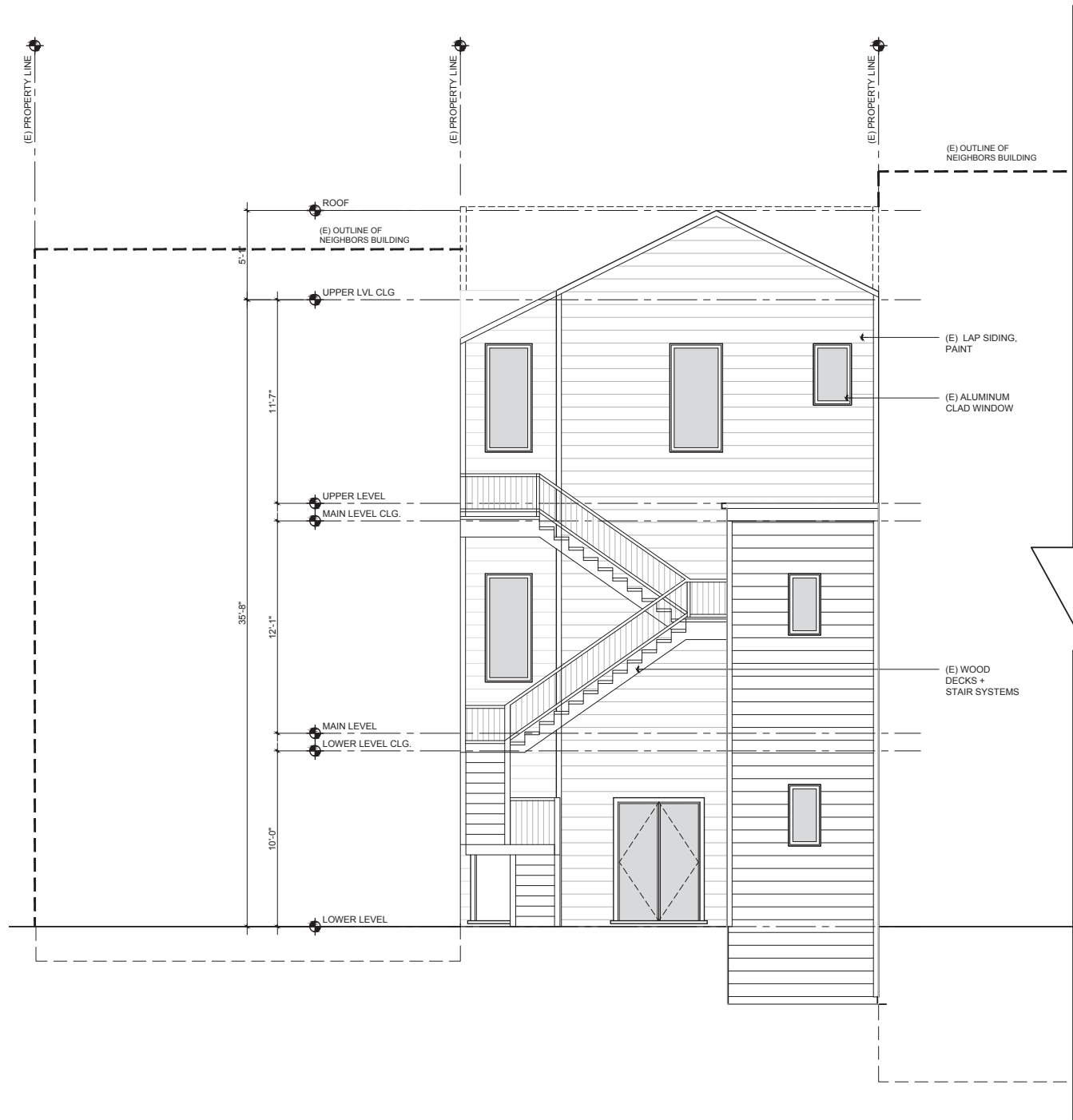


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A3.0

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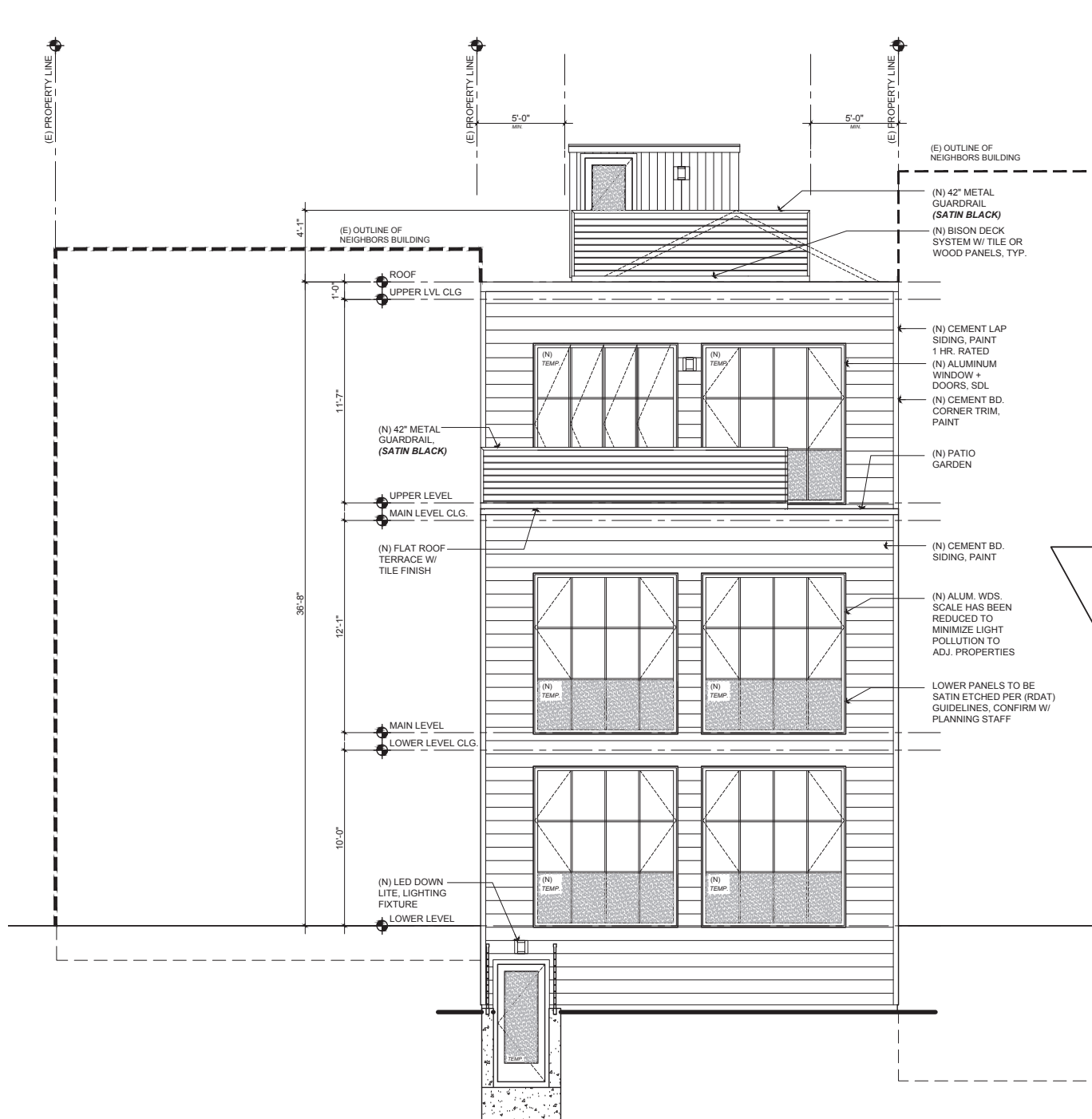
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AS BUILT REAR ELEVATION

Scale: 1/4" = 1'-0"

1
A3.1



PROPOSED REAR ELEVATION

Scale: 1/4" = 1'-0"

2
A3.1

Title : As Built + Proposed Elevations

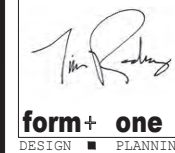
Project : Mr. + Mrs. Bo Thorenfeldt
2280 15th Street
San Francisco, CA 94114

Job No. : 18_018 Drawn : T. Raduani Date : 03-17-2018

Owner :
Mr. + Mrs. Bo Thorenfeldt
2280 15th Street
San Francisco, CA 94114

Zoning: RH-1
Square Footage Lot: -

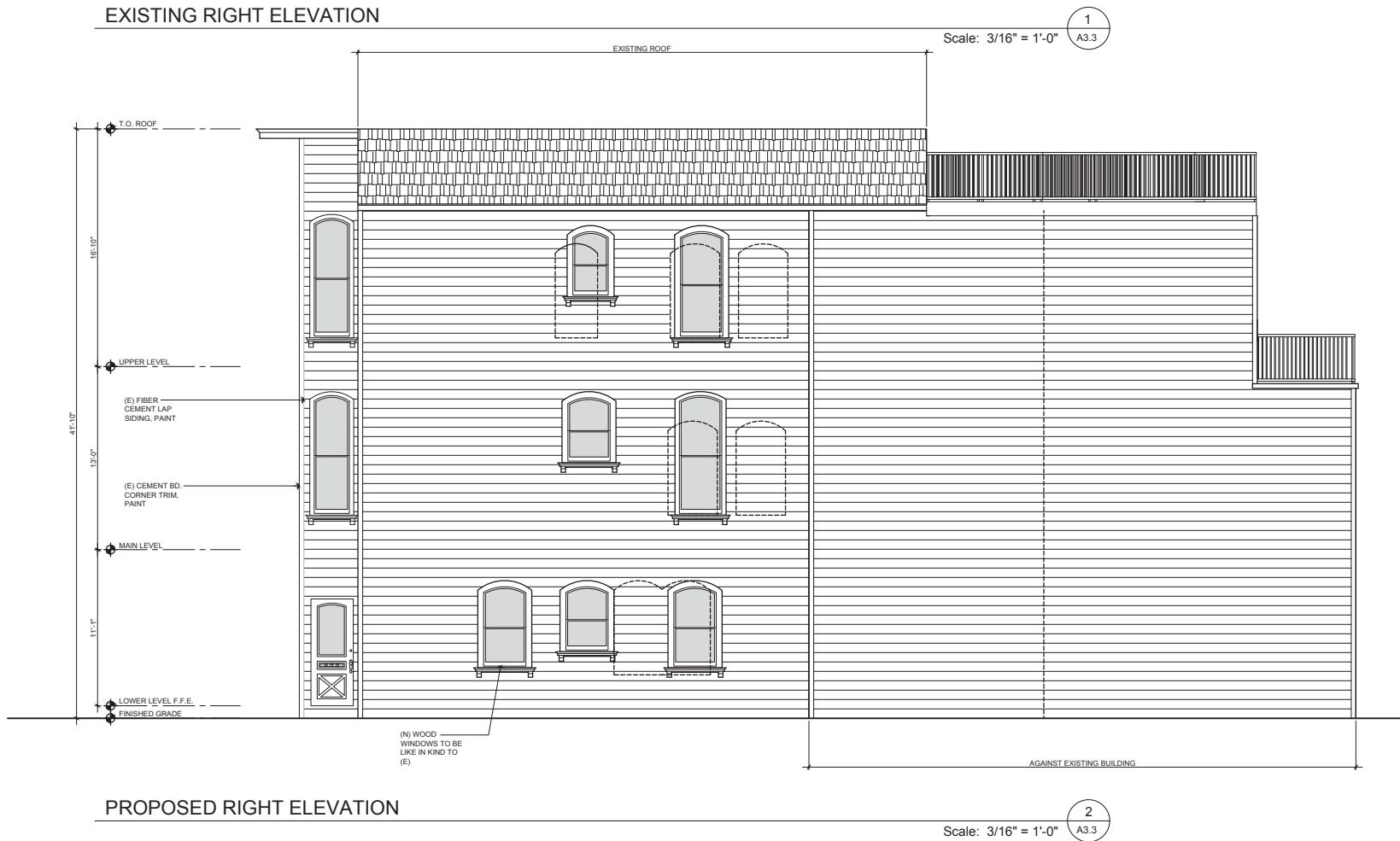
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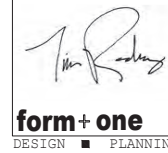
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Title : Proposed Right Side Elev.

Project : Mr. + Mrs. Bo Thorenfeldt
2280 15th Street
San Francisco, CA 94114

Job No. : 18_018 | Drawn : T. Radtke | Date : 03-17-2018



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Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

Owner :
Mr. + Mrs. Bo Thorenfeldt
2280 15th Street
San Francisco, CA 94114
Zoning: RH-1
Square Footage Lot: -

BLOCK/LOT#: 3540/030

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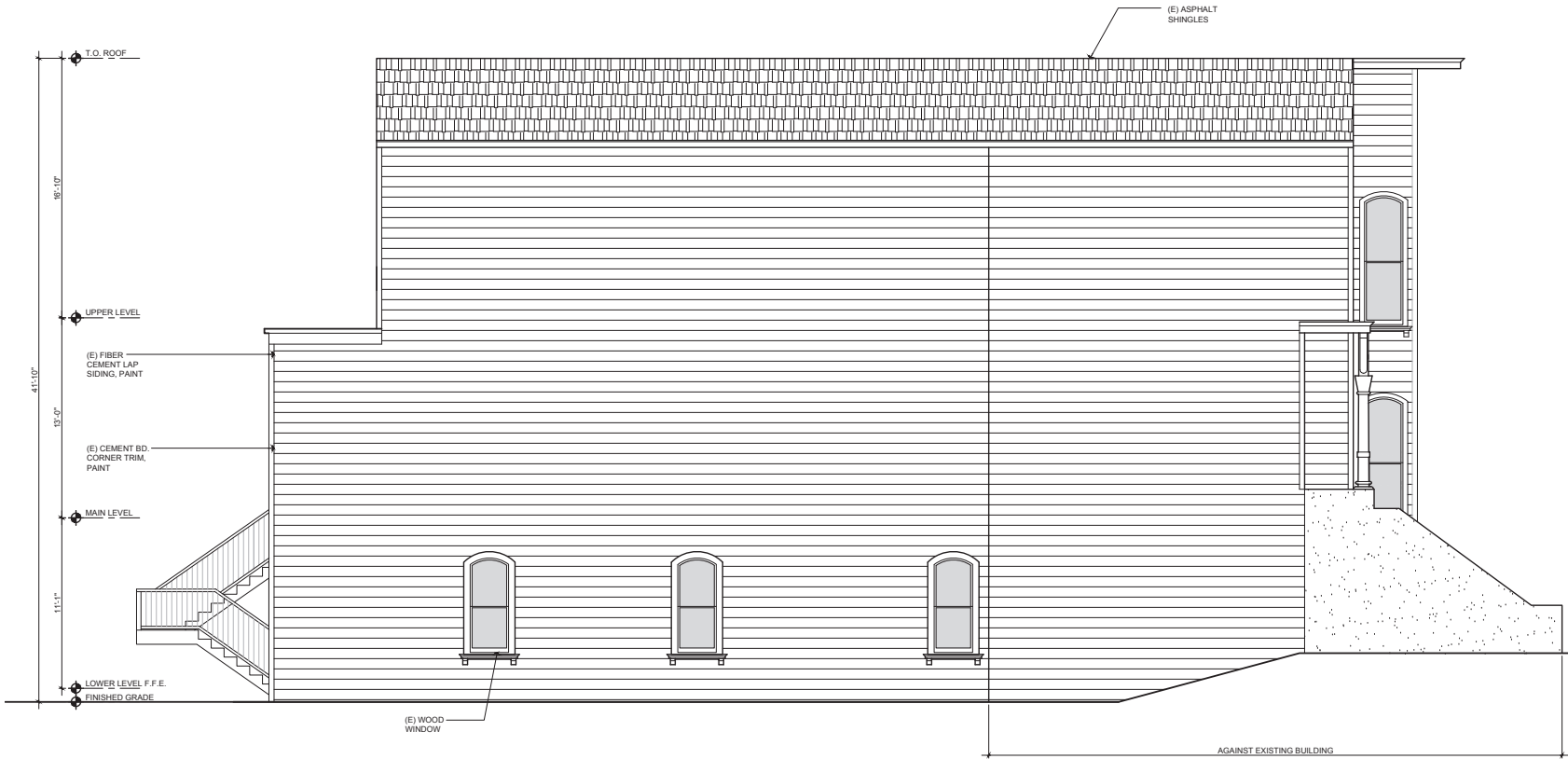
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Scale: See Details

A3.3

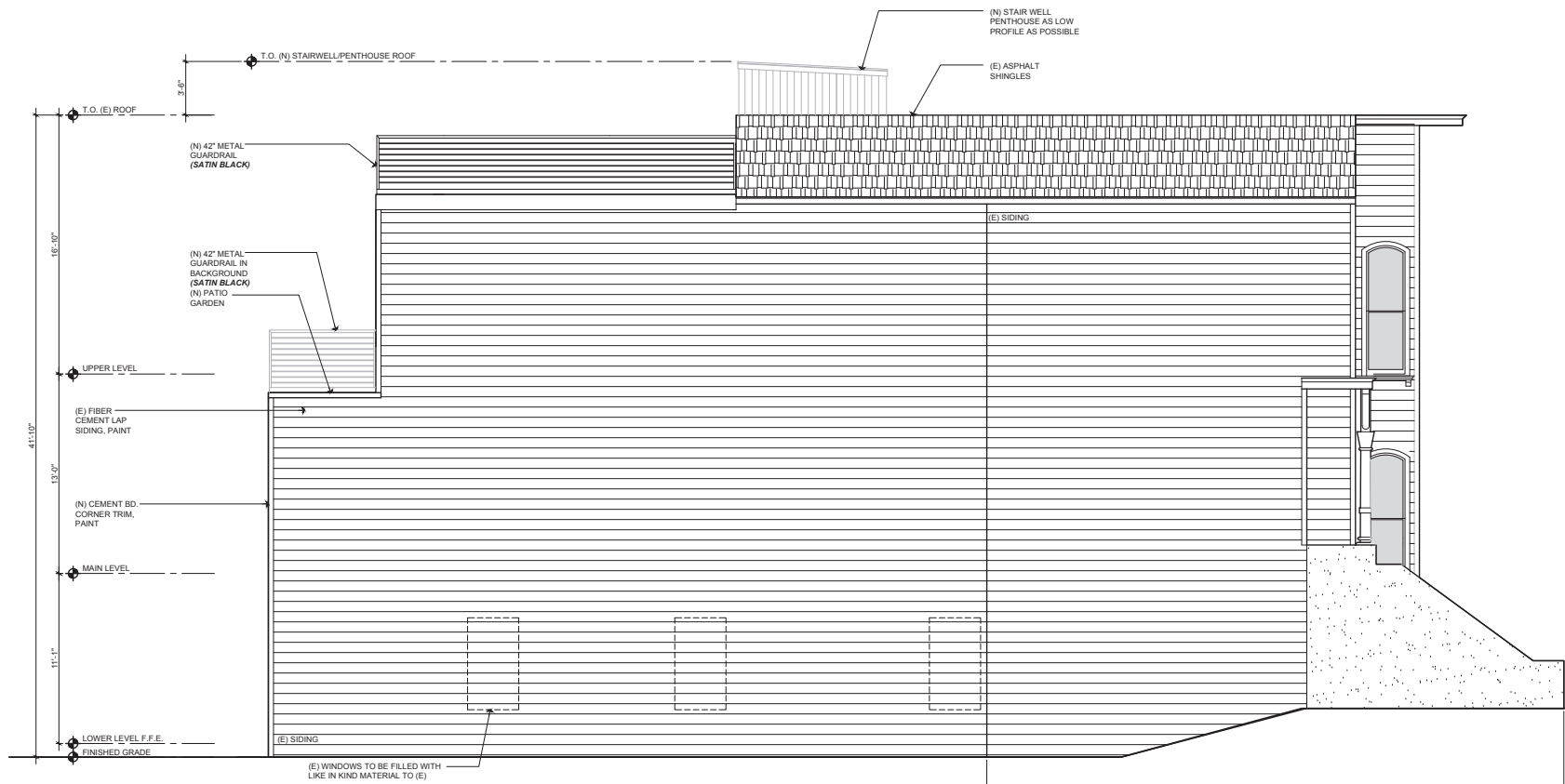
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EXISTING LEFT ELEVATION

Scale: 3/16" = 1'-0"

1
A3.4



PROPOSED LEFT ELEVATION

Scale: 3/16" = 1'-0"

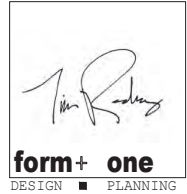
2
A3.4

Title : Proposed Left Side Elev.

Project : Mr. + Mrs. Bo Thorenfeldt
2280 15th Street
San Francisco, CA 94114

Job No. : 18_018 | Drawn : T. Radtke | Date : 03-17-2018

Owner :
Mr. + Mrs. Bo Thorenfeldt
2280 15th Street
San Francisco, CA 94114
To: 415.819.1004
E-mail: TIM@FORMONEDESIGN.COM
4843 Silver Springs Drive
Park City, UT 84098
Zoning: RH-1
Square Footage Lot: -



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A3.4

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