



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

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# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, March 25, 2020**

Time: **Not before 9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance**

Hearing Body: **Zoning Administrator**

PROJECT INFORMATION		APPLICANT INFORMATION	
Project Address:	<b>780 KANSAS ST</b>	Applicant:	<b>Andy Rodgers</b>
Cross Street(s):	<b>20th Street</b>	Company:	<b>Rodgers Architecture</b>
Block /Lot No.:	<b>4074 / 013A</b>	Applicant Address:	<b>156 South Park</b>
Zoning District(s):	<b>RM-1 / 40-X</b>	City, State:	<b>San Francisco, CA</b>
Area Plan:	<b>Showplace Square/Potrero</b>	Telephone:	<b>(415) 309-9612</b>
Record No.:	<b>2018-002825VAR</b>	E-Mail:	<a href="mailto:ardesign@att.net"><b>ardesign@att.net</b></a>
PROJECT DESCRIPTION			
<p>The proposal is to construct a vertical and horizontal addition on an existing two-dwelling unit building and to add a garage at the ground floor. The subject lot is irregularly shaped and is approximately 600 square feet smaller than the required minimum lot area of 2,500 square feet. The subject lot measures 25 feet wide and has an average lot depth of approximately 78 feet. The existing building is non-conforming in that it extends into the required rear yard and exceeds the permitted 12 floor projection.</p> <p><b>PLANNING CODE SECTION 134</b> requires the subject property to maintain a rear yard of 36 feet 8 inches. The existing building is located within the required rear yard (to within 30 feet from the rear property line) and the proposed addition would result in additional encroachment (to 29 feet 11 inches to the rear property line). Therefore, a rear yard variance is required.</p>			
ADDITIONAL INFORMATION			
<p><b>ARCHITECTURAL PLANS:</b> The site plan and elevations of the proposed project are available on the Planning Department's website at: <a href="http://notice.sfplanning.org/2018-002825VAR.pdf"><b>http://notice.sfplanning.org/2018-002825VAR.pdf</b></a></p> <p>Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.</p>			
<p><b>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:</b> Planner: <b>Linda Ajello Hoagland</b> Telephone: <b>415-575-6823</b> E-Mail: <a href="mailto:Linda.AjelloHoagland@sfgov.org"><b>Linda.AjelloHoagland@sfgov.org</b></a></p>			

# GENERAL INFORMATION ABOUT PROCEDURES

## HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

## BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **On September 16, 2019, the Department issued the required Section 311 notification for this project, which expired on October 16, 2019.**

## APPEAL INFORMATION

An appeal of the Zoning Administrator's action on a **Variance** may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

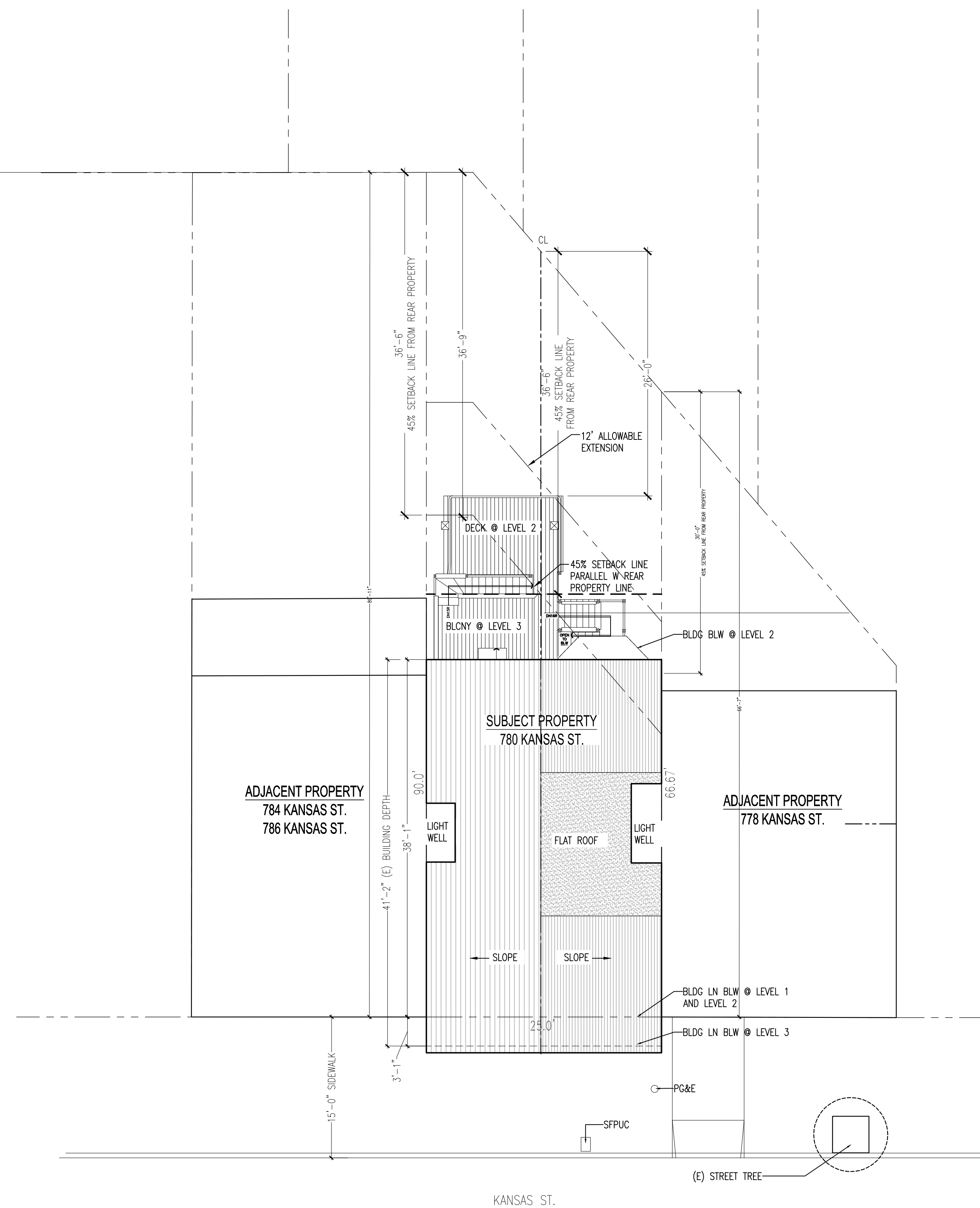
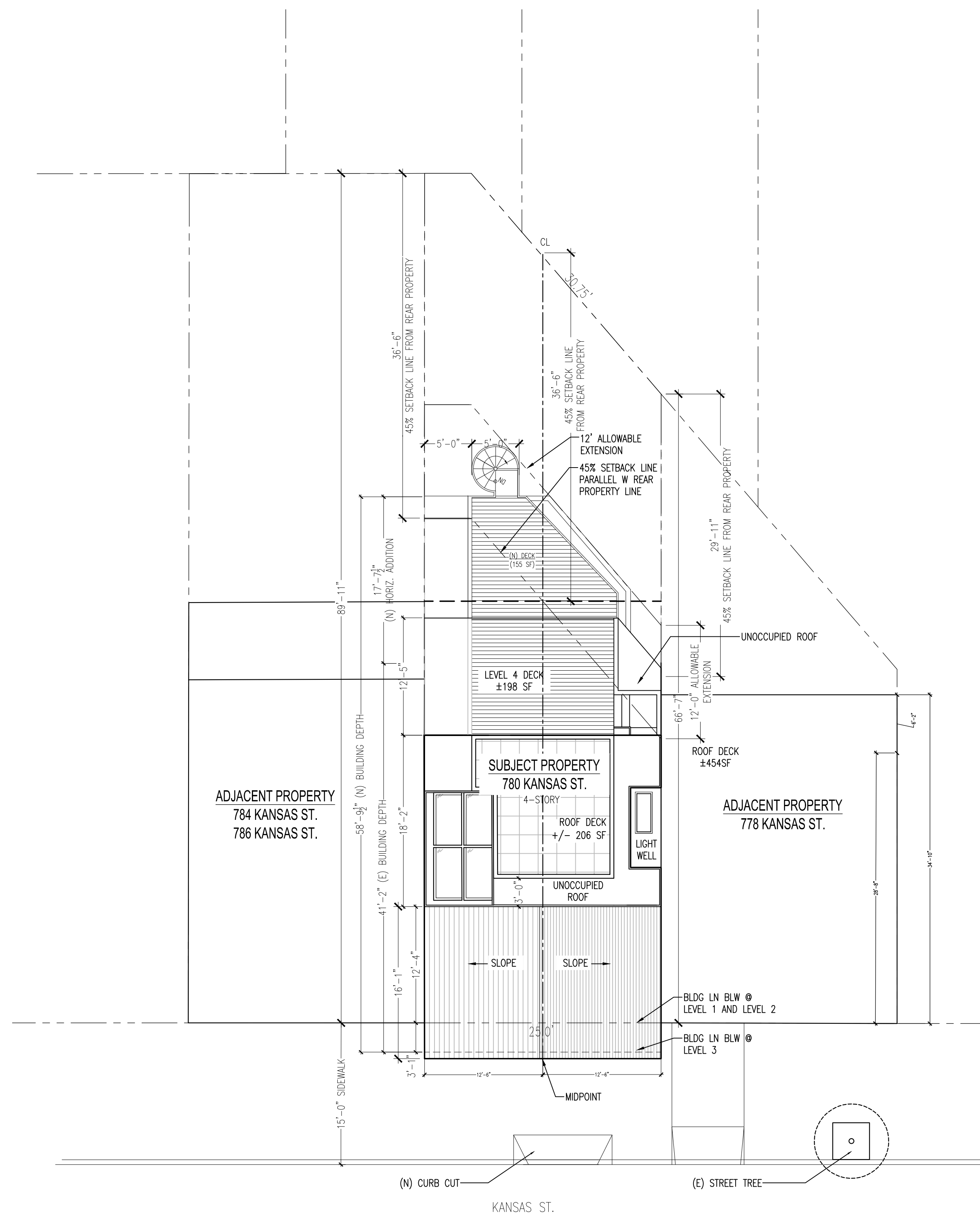
An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.



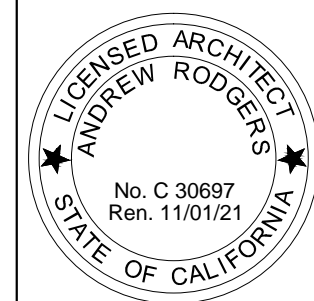
GENERAL NOTES	SITE PHOTOS	SYMBOLS LEGEND	PROJECT INFORMATION																																													
<p>ALL CONSTRUCTION AND INSTALLATION SHALL CONFIRM TO THE FOLLOWING CODES:</p> <p>2013 CALIFORNIA BUILDING CODE &amp; 2013 SAN FRANCISCO BUILDING CODE AMENDMENTS 2013 CALIFORNIA ELECTRICAL CODE &amp; 2013 SAN FRANCISCO ELECTRICAL CODE AMENDMENTS 2013 CALIFORNIA MECHANICAL CODE &amp; 2013 SAN FRANCISCO MECHANICAL CODE AMENDMENTS 2013 CALIFORNIA PLUMBING CODE &amp; 2013 SAN FRANCISCO PLUMBING CODE AMENDMENTS 2013 GREEN BUILDING CODE &amp; 2013 SAN FRANCISCO GREEN BUILDING CODE AMENDMENTS 2013 CALIFORNIA ENERGY CODE 2013 SAN FRANCISCO HOUSING CODE</p> <p>THE CONTRACTOR SHALL REVIEW AND VERIFY ALL DIMENSIONS OF BUILDING AND SITE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION.</p> <p>THE GENERAL CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL DIMENSIONS AND SITE CONDITIONS. THE GENERAL CONTRACTOR SHALL INSPECT THE EXISTING PREMISES AND TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING PRICES. NO CLAIM SHALL BE ALLOWED FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE REASONABLY BEEN INFERRED FROM SUCH AN EXAMINATION.</p> <p>CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN ARCHITECTURAL, STRUCTURAL, LANDSCAPE, CIVIL, MECHANICAL, PLUMBING, ELECTRICAL AND FIRE PROTECTION. THIS INCLUDES REVIEWING REQUIREMENTS OF INDIVIDUAL SYSTEMS BEFORE ORDERING AND INSTALLATION OF ANY WORK. VERIFY ALL ARCHITECTURAL DETAILS AND ALL FINISH CONDITIONS (WHETHER DEPICTED IN DRAWINGS OR NOT) WITH SAME DISCIPLINES.</p> <p>ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER BEFORE PROCEEDING WITH THE WORK.</p> <p>DO NOT SCALE DRAWINGS. WRITTEN DIMENSION GOVERN.</p> <p>ALL CLEAR DIMENSIONS ARE NOT TO BE ADJUSTED WITHOUT APPROVAL OF THE ARCHITECT.</p> <p>WHEN SHOWN IN PLAN, ALL DIMENSIONS ARE TO FACE OF GYPSUM BOARD, CONCRETE, CENTERLINE OF COLUMNS, OR CENTERLINE OF STUD WITHIN WALL ASSEMBLIES, UNLESS OTHERWISE NOTED.</p> <p>WHEN SHOWN IN SECTION OR ELEVATION, ALL DIMENSIONS ARE TO TOP OF PLATE OR TOP OF CONCRETE UNLESS OTHERWISE NOTED.</p> <p>DETAILS SHOWN ARE TYPICAL, SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.</p> <p>THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING AND OBTAINING ALL REQUIRED INSPECTIONS TO CONFIRM WITH LOCAL BUILDING AND FIRE CODES.</p> <p>PROVIDE AND INSTALL 2x FLAT WOOD BLOCKING FOR ALL BATH ACCESSORIES, HANDRAILS, CABINETS, TOWEL BARS, WALL MOUNTED FIXTURES AND ANY OTHER ITEMS ATTACHED TO WALLS.</p> <p>ALL CHANGES IN FLOOR MATERIALS OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENINGS UNLESS OTHERWISE INDICATED ON THE DRAWINGS.</p> <p>INSTALL ALL FIXTURES, EQUIPMENT, AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS AND THE REQUIREMENTS OF THE CODES. ALL APPLIANCES, FIXTURES, AND EQUIPMENT ASSOCIATED WITH PLUMBING, ELECTRICAL, AND MECHANICAL SYSTEMS SHALL BE LISTED BY A NATIONALLY RECOGNIZED AND APPROVED AGENCY.</p> <p>VERIFY CLEARANCES FOR FLUES, VENTS, CHASES, SOFFITS, FIXTURES, FIREPLACES, ETC., BEFORE ANY CONSTRUCTION, ORDERING OF, OR INSTALLATION OF ANY ITEM OF WORK.</p> <p>PROVIDE FIRE-BLOCKING AND DRAFTSTOPPING AT ALL CONCEALED DRAFT OPENINGS (VERTICAL &amp; HORIZONTAL). AS PER 2013 CBC SECTION 718, FIREBLOCKING &amp; DRAFTSTOPS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:</p> <p>1) IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10-FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL.</p> <p>2) IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.</p> <p>3) IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS.</p> <p>WINDOW SIZES ON DRAWINGS ARE NOMINAL DIMENSIONS. REFER TO MANUFACTURER FOR ACTUAL ROUGH OPENING SIZES.</p> <p>MECHANICAL, PLUMBING, ELECTRICAL, AND OTHER PENETRATIONS OF FLOORS, WALLS AND CEILINGS SHALL BE SEALED AIRTIGHT WITH ACOUSTICAL SEALANT AND FIRESAFING AS REQUIRED.</p> <p>ALL EXTERIOR DOORS AND WINDOWS ARE TO BE WEATHERSTRIPPED PER TITLE 24 REQUIREMENTS.</p> <p>ALL WALL, FLOOR, ROOF, AND SHAFT CONSTRUCTION TO BE RATED, U.O.N.</p> <p>DISCREPANCIES: WHERE A CONFLICT IN REQUIREMENTS OCCURS BETWEEN THE SPECIFICATIONS AND DRAWINGS, OR ON THE DRAWINGS, AND A RESOLUTION IS NOT OBTAINED FROM THE ARCHITECT BEFORE THE BIDDING DTAE, THE MORE STRINGENT ALTERNATE WILL BECOME THE CONTRACTUAL REQUIREMENTS.</p> <p>CONTRACTOR SHALL ENSURE THAT GUIDELINES SET FORTH ON SHEET A0.1 ARE MAINTAINED DURING CONSTRUCTION, INSTALLATION, AND FINISHING OF ALL ASPECTS OF THIS PROJECT.</p> <p>PROVIDE SAFETY GLAZING AT ALL HAZARDOUS LOCATIONS, INCLUDING, BUT NOT LIMITED TO GLAZING WITHIN 18" OF A WALKING SURFACE. GLAZING IN DOORS AND WINDOWS ADJACENT TO DOORS IN ACCORDANCE WITH SECTION 2406.4.</p> <p>ALL TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL PER CBC SECTION 2403</p> <p>ALL SMOKE DETECTORS TO BE HARD WIRED.</p> <p>OPENINGS IN 1, 2, OR 3-HOUR RATED ASSEMBLIES SHOULD BE PROTECTED WITH (1), (2), OR (3)-HOUR RATED ASSEMBLIES, RESPECTIVELY.</p> <p>ALL ASSEMBLIES SHOULD BE APPROVED.</p> <p>ALL DUCT PENETRATIONS THROUGH RATED WALLS SHOULD BE PROTECTED WITH SMOKE AND FIRE DAMPERS.</p>	<div><div>ADJACENT PROPERTY 784 KANSAS ST.</div><div>SUBJECT PROPERTY 780-782 KANSAS ST.</div><div>ADJ. PROP. 778 KANSAS ST.</div><div>ADJACENT PROPERTY 784 KANSAS ST.</div><div>1 EAST ELEVATION (FRONT) SCALE: NINE</div><div>SUBJECT PROPERTY 780-782 KANSAS ST.</div><div>ADJ. PROP. 778 KANSAS ST.</div><div>4 WEST ELEVATION (REAR) SCALE: NINE</div></div>	<div><div>SUBJECT PROPERTY 780-782 KANSAS ST.</div><div>2 EAST ELEVATION (FRONT FACADE) SCALE: NINE</div><div>SUBJECT PROPERTY 780-782 KANSAS ST.</div><div>3 WEST ELEVATION (REAR FACADE) SCALE: NINE</div></div>	<p>SECTION: SECTION LETTER SHEET NUMBER</p> <p>DETAIL: DETAIL NUMBER SHEET NUMBER ELEVATION: ELEVATION LETTER SHEET NUMBER</p> <p>DOOR NUMBER</p> <p>WINDOW TYPE</p> <p>SHEET LAYOUT DESIGNATION VIEW NUMBER SHEET NUMBER</p> <p>SCALE</p> <p>NORTH DESIGNATION</p> <p>ROOF SLOPE INDICATION</p> <p>EQUIPMENT NUMBER</p> <p>ELEVATION TAG</p> <p>SPOT ELEVATION</p> <p>REVISION</p> <p>PROPERTY LINE</p> <p>CENTER LINE</p>	AREA CALCULATIONS:						SHARED GARAGE	UNIT 1	UNIT 2		EXISTING (FLOOR)	0 SF (1ST)	787 SF (1ST)	2,045 SF (2ND & 3RD)		PROPOSED (FLOOR)	269 SF (1ST)	811 SF (1ST)	2,623 SF (2ND,3RD,4TH)		CHANGED	+269 SF	+24 SF	+578 SF		EXISTING (FLOOR)	0 SF (NA)	0 SF (NA)	280 SF (2ND,3RD)	3,112 SF (ALL)	PROPOSED (FLOOR)	0 SF (NA)	0 SF (NA)	559 SF (2ND,3RD,4TH)	4,014 SF (ALL)	CHANGED	NA	NA	+279 SF	+902 SF	REAR YARD:	836 SF			
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ABBREVIATIONS	SHEET INDEX		PROJECT DIRECTORY																																													
<div><div>AB. ANCHOR BOLT</div><div>A.F.F. ABOVE FINISHED FLOOR</div><div>AGGR. AGGREGATE</div><div>AL. ALUMINUM</div><div>ALT. ALTERNATE</div><div>APPROX. APPROXIMATE</div><div>ARCH. ARCHITECTURAL</div><div>BD. BOARD</div><div>BLDG. BUILDING</div><div>BLK. BLOCK</div><div>BLK'G. BLOCKING</div><div>BM. BEAM</div><div>BOT. BOTTOM</div><div>BTWN. BETWEEN</div><div>B.U.R. BUILT UP ROOFING</div><div>B.W. BOTH WAYS</div><div>C.J. CONTROL JOINT</div><div>CLG. CEILING</div><div>CLKG. CAULKING</div><div>CLR. CLEAR</div><div>C.M.U. CONCRETE MASONRY UNIT</div><div>COL. COLUMN</div><div>CONC. CONCRETE</div><div>CONN. CONNECTION</div><div>CONSTR. CONSTRUCTION</div><div>CONT. CONTINUOUS</div><div>C.T. CERAMIC TILE</div><div>DEG. DEGREE</div><div>DET./DTL. DETAIL</div><div>D.F. DRINKING FOUNTAIN</div><div>DIAG. DIAGONAL</div><div>DIA. Ø DIAMETER</div><div>DN. DOWN</div><div>DS. DOWNSPOUT</div><div>DWG. DRAWING</div><div>E. EAST</div><div>(E) EXISTING</div><div>EA. EACH</div><div>E.J. EXPANSION JOINT</div><div>E.I.F.S. EXTERIOR INSULATION AND FINISH SYSTEM</div><div>EL. ELEVATION</div><div>ELEC. ELECTRICAL</div><div>NOTE: CLARIFY WITH ARCHITECT – ALL ABBREVIATIONS NOT LISTED</div></div>	<div><div>ELEV. EMER.</div><div>ENCL. ENCL.</div><div>EQ. EQUIP.</div><div>E.W. E.W.</div><div>W.E.C. W.E.C.</div><div>EXP. EXP.</div><div>EXT. EXT.</div><div>F.A. F.A.</div><div>F.D. F.D.</div><div>F.D.C. F.D.C.</div><div>FDN. FDN.</div><div>F.A. F.A.</div><div>F.A.C. F.A.C.</div><div>F.B. F.B.</div><div>F.H.C. F.H.C.</div><div>FIN. FIN.</div><div>F.L. F.L.</div><div>FLR. FLR.</div><div>FLUOR. FLUOR.</div><div>FND. FND.</div><div>F.O.B. F.O.B.</div><div>F.O.C. F.O.C.</div><div>F.S. F.S.</div><div>FT. FT.</div><div>FTG. FTG.</div><div>FURR. FURR.</div><div>GA. GA.</div><div>GALV. GALV.</div><div>G.C. G.C.</div><div>G.L. G.L.</div><div>GR. GR.</div><div>GYP. GYP.</div><div>GYP. BD. GYP. BD.</div><div>H.B. H.B.</div><div>H.C. H.C.</div><div>H/C H/C</div><div>HDWD. HDWD.</div><div>HDWE. HDWE.</div><div>H.M. H.M.</div><div>HR. HR.</div></div>	<div><div>HT. HT.</div><div>HVAC. HVAC.</div><div>AND AIR CONDITIONING</div><div>I.D. I.D.</div><div>INSUL. INSUL.</div><div>INT. INT.</div><div>JAN. JAN.</div><div>JNT. JNT.</div><div>JST. JST.</div><div>KIT. KIT.</div><div>LAB. LAB.</div><div>LAM. LAM.</div><div>LAV. LAV.</div><div>LT. LT.</div><div>MAX. MAX.</div><div>MECH. MECH.</div><div>MEMB. MEMB.</div><div>MFR. MFR.</div><div>M.H. M.H.</div><div>MIN. MIN.</div><div>MISC. MISC.</div><div>M.O. M.O.</div><div>MTL. MTL.</div><div>MUL. MUL.</div><div>N. N</div><div>(N) (N)</div><div>N.I.C. N.I.C.</div><div>NO. NO.</div><div>NOM. NOM.</div><div>N.T.S. N.T.S.</div><div>O.C. O.C.</div><div>O.D. O.D.</div><div>OH. OH.</div><div>OPG. OPG.</div><div>OPP. OPP.</div><div>PCT. PCT.</div><div>P.L. P.L.</div><div>P.LAM. P.LAM.</div><div>PLAS. PLAS.</div><div>PLYWD. PLYWD.</div><div>PR. PR.</div><div>Q.T. Q.T.</div><div>R. R.</div></div>	<div><div>(R) R.D.</div><div>R.E. RE:</div><div>HT. HT.</div><div>REINF. REINF.</div><div>REQ'D REQ'D</div><div>RM RM</div><div>R.D. R.D.</div><div>S S</div><div>S.C. S.C.</div><div>SCHED. SCHED.</div><div>SECT. SECT.</div><div>S.F. S.F.</div><div>SHT. SHT.</div><div>SIM. SIM.</div><div>SPEC. SPEC.</div><div>SO. OR Ø SO. OR Ø</div><div>S.S. S.S.</div><div>STAGG. STAGG.</div><div>STD. STD.</div><div>STIFF. STIFF.</div><div>STL. STL.</div><div>STRUC. STRUC.</div><div>SUSP. SUSP.</div><div>TR. TR.</div><div>T &amp; B T &amp; B</div><div>TER. TER.</div><div>T &amp; G T &amp; G</div><div>THK. THK.</div><div>T/ T/</div><div>TYP. TYP.</div><div>U.O.N. U.O.N.</div><div>VCT. VCT.</div><div>VER. VER.</div><div>VERT. VERT.</div><div>W W</div><div>W/ W/</div><div>W.C. W.C.</div><div>WD. WD.</div><div>W/O W/O</div><div>P- P-</div><div>Q Q</div></div> <div><div>REMODELED OR RELOCATED</div><div>ROOF DRAIN</div><div>REFER TO ...</div><div>REFRIGERATOR</div><div>REINFORCED</div><div>REQUIRED</div><div>ROOM</div><div>ROUGH OPENING</div><div>SOUTH</div><div>SOLID CORE</div><div>SCHEDULE</div><div>SECTION</div><div>SQUARE FOOT</div><div>SHEET</div><div>SIMILAR</div><div>SPECIFICATION</div><div>SQUARE</div><div>STAINLESS STEEL</div><div>STAGGERED</div><div>STANDARD</div><div>STIFFENER</div><div>STEEL</div><div>STRUCTURAL</div><div>SUSPENDED</div><div>TREAD</div><div>TOP AND BOTTOM</div><div>TERRAZZO</div><div>TONGUE AND GROOVE</div><div>THICK</div><div>TOP OF</div><div>TYPICAL</div><div>UNLESS OTHERWISE NOTED</div><div>VINYL COMPOSITION TILE</div><div>VERIFY</div><div>VERTICAL</div><div>WEST</div><div>WITH</div><div>WATER CLOSET</div><div>WOOD</div><div>WITHOUT</div><div>PROPERTY LINE</div><div>CENTERLINE</div></div>	<p>PROJECT ARCHITECT RODGERS ARCHITECTURE 156 SOUTH PARK SAN FRANCISCO, CA 94107 P: 415.309.9612 E: ardesign@att.net</p> <p>PROPERTY OWNER MARK HAMPTON AND GAYLE PIGATTO 780 KANSAS ST. SAN FRANCISCO, CA 94107 E: markhampton@gmail.com P:</p> <p>GENERAL CONTRACTOR T.B.D.</p>																																												
PROJECT LOCATION MAP			GENERAL NOTES, PROJECT INFORMATION																																													
			<p>DATE 2020-03-04</p> <p>SCALE NO SCALE</p> <p>DRAWN SMH / AR</p> <p>JOB</p> <p>SHEET</p> <p>A0.1</p>																																													





REVISIONS:

415 309 9612  
rogers  
architecture  
www.rodgersarchitecture.com



ALTERNATIONS TO:  
780 KANSAS ST.  
SAN FRANCISCO, CA, 94107  
OWNER:

FOR REVIEW

## SITE PLAN

DATE	2020-03-04
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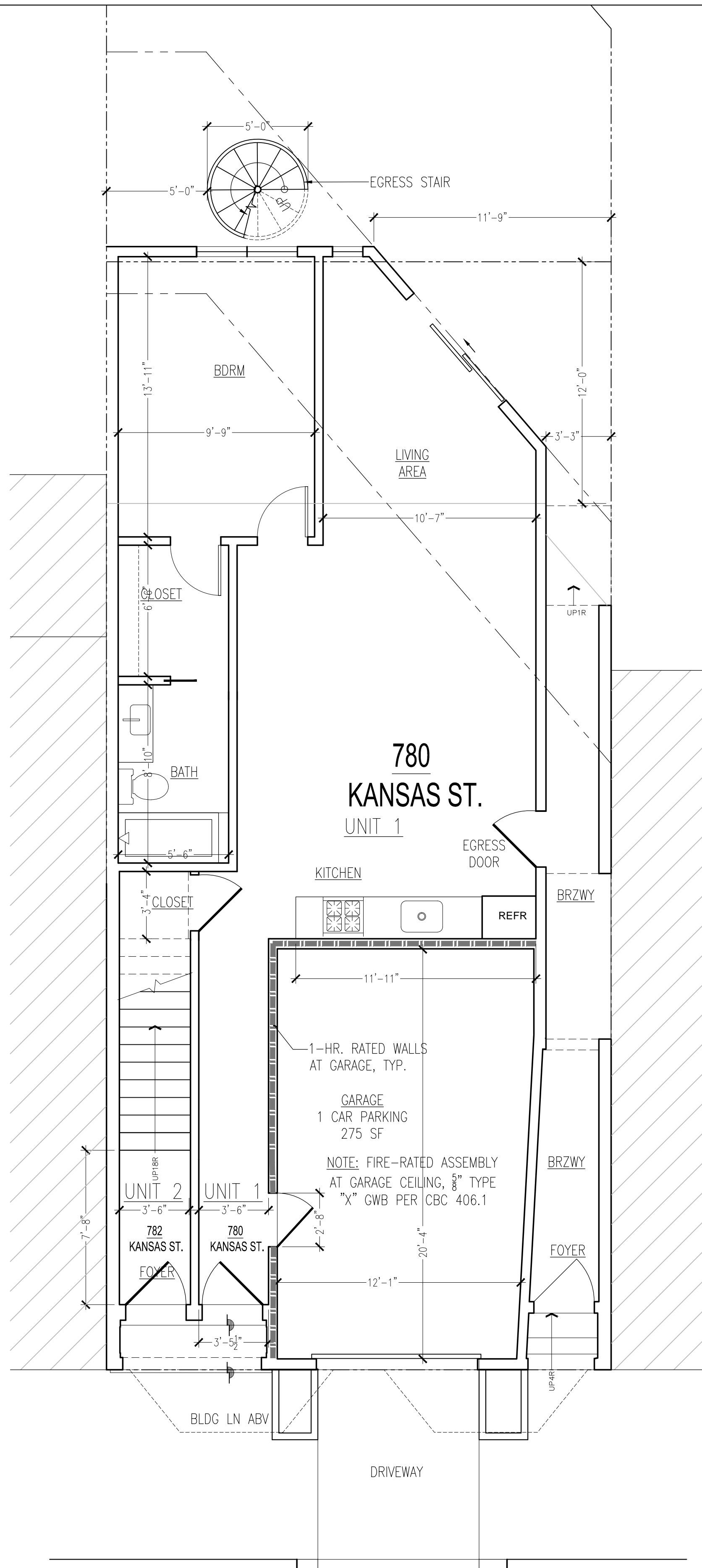
SCALE  $1/8" = 1'-0"$

DRAWN	SMH / AF
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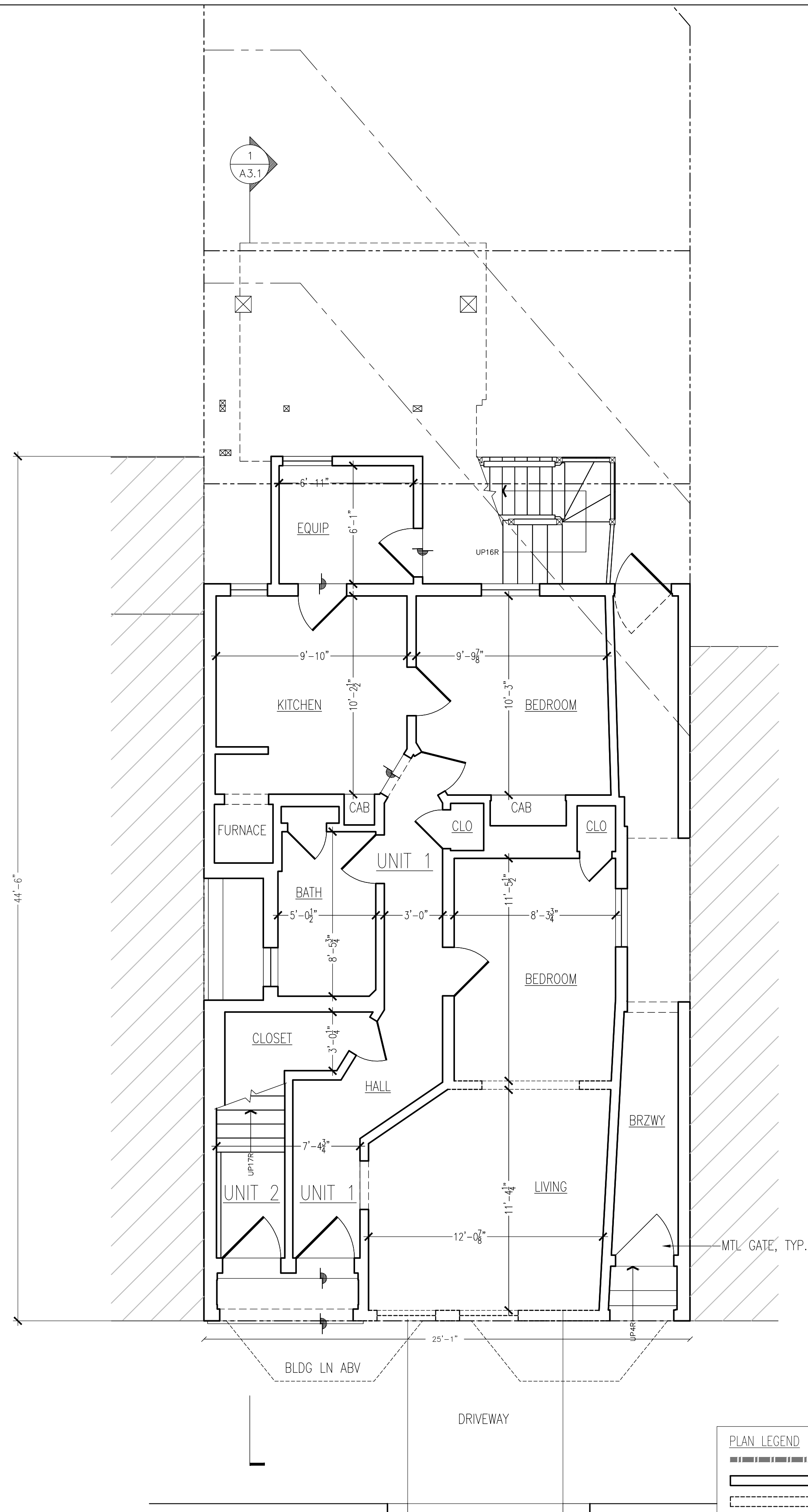
	JOB
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SHEET

## A1.0



2 PROPOSED GROUND LEVEL FLOOR PLAN  
SCALE: 1/4" = 1'-0" 1,190 SQFT INTERIOR

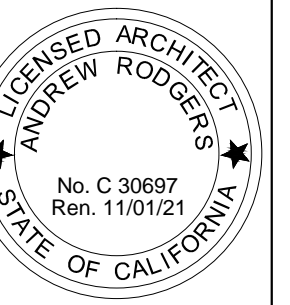


1 EXISTING GROUND LEVEL FLOOR PLAN  
SCALE: 1/4" = 1'-0" 844 SQFT INTERIOR

PLAN LEGEND			
	1-HR RATED WALL		(N) WDW. / (E) WDW.
	(E) WALL TO REMAIN		(N) DOOR / (E) DOOR
	WALL TO BE REMOVED		MILLWORK MARKER
	(N) WALL		CEILING HEIGHT
	WALL TYPE		FLOORING FINISH MARKER
	TILED WALL		HOSE BIB
	DETAIL MARKER		GAS OUTLET
SCALE 0 2 4 8 16 FEET			

REVISIONS:

rogers  
architecture  
415 309 9612  
www.rogersarchitecture.com



ALTERATIONS TO:  
780 KANSAS ST.  
SAN FRANCISCO, CA, 94107  
OWNER:

FOR REVIEW

EXISTING/  
PROPOSED  
GROUND  
FLOOR PLAN

DATE 2020-03-04

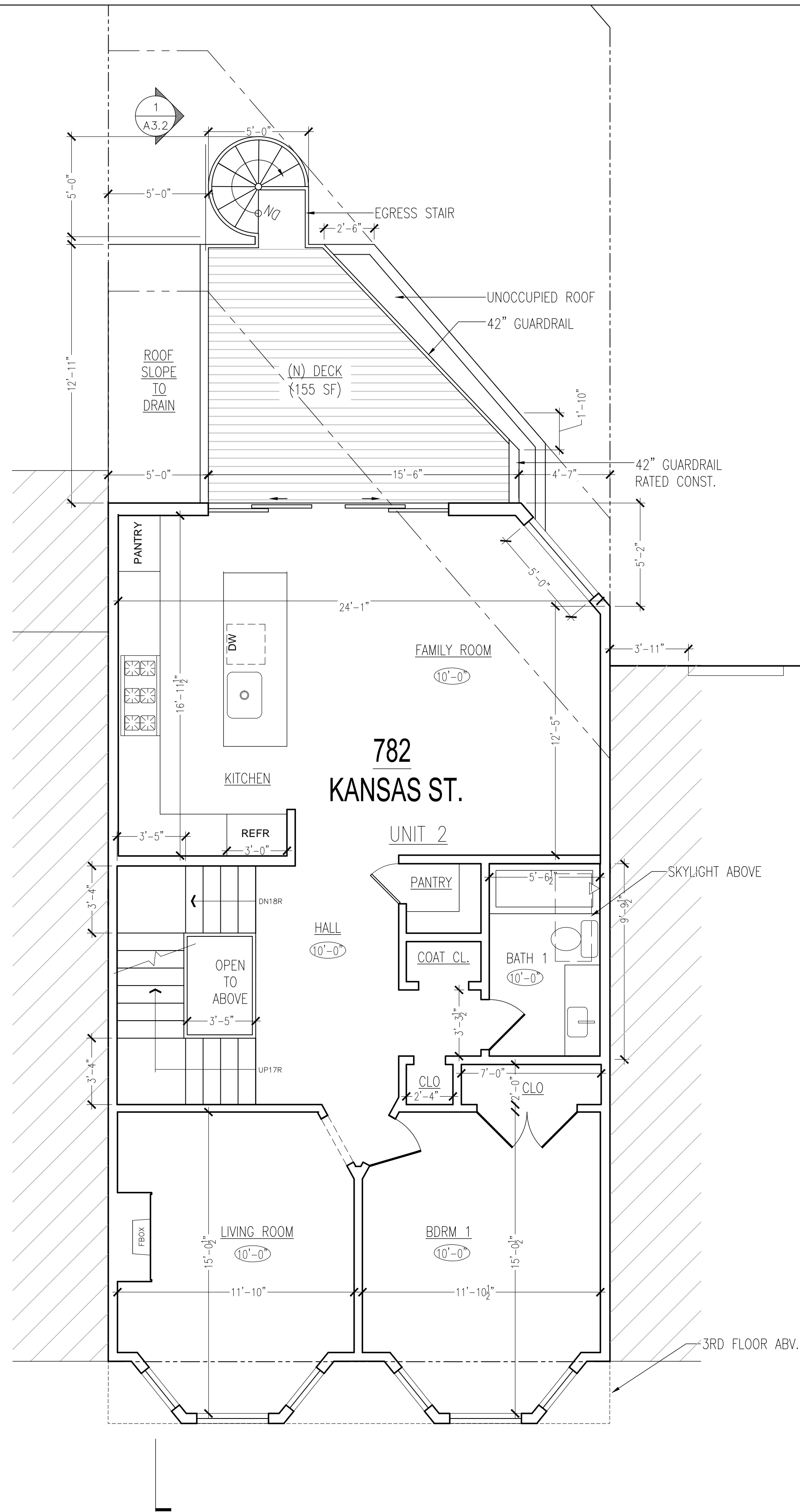
SCALE 1/4" = 1'-0"

DRAWN SMH / AR

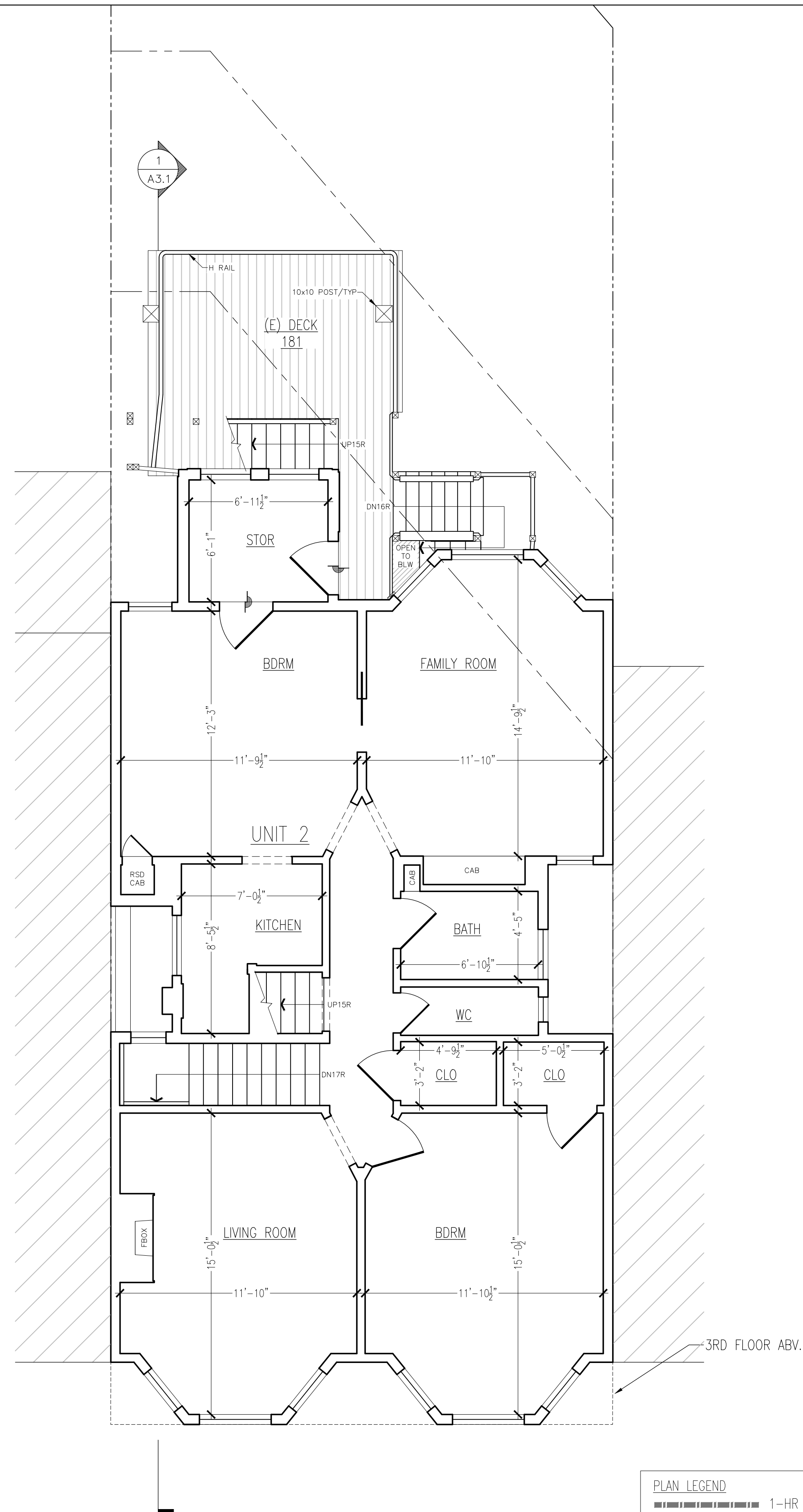
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SHEET

A1.1



**2 PROPOSED 2ND LEVEL FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"  
 1,121 SQFT INTERIOR  
 260 SQFT EXTERIOR



**1 EXISTING 2ND LEVEL FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"  
 1,025 SQFT INTERIOR  
 182 SQFT EXTERIOR

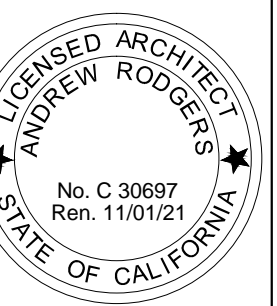
**PLAN LEGEND**

1-HR RATED WALL	(N) WDW. / (E) WDW.
(E) WALL TO REMAIN	(N) DOOR / (E) DOOR
WALL TO BE REMOVED	MILLWORK MARKER
(N) WALL	CEILING HEIGHT
WALL TYPE	FLOORING FINISH MARKER
DETAIL MARKER	HOSE BIB
TILED WALL	GAS OUTLET

SCALE 0 2 4 8 16 FEET

REVISIONS:

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 www.rodgersarchitecture.com



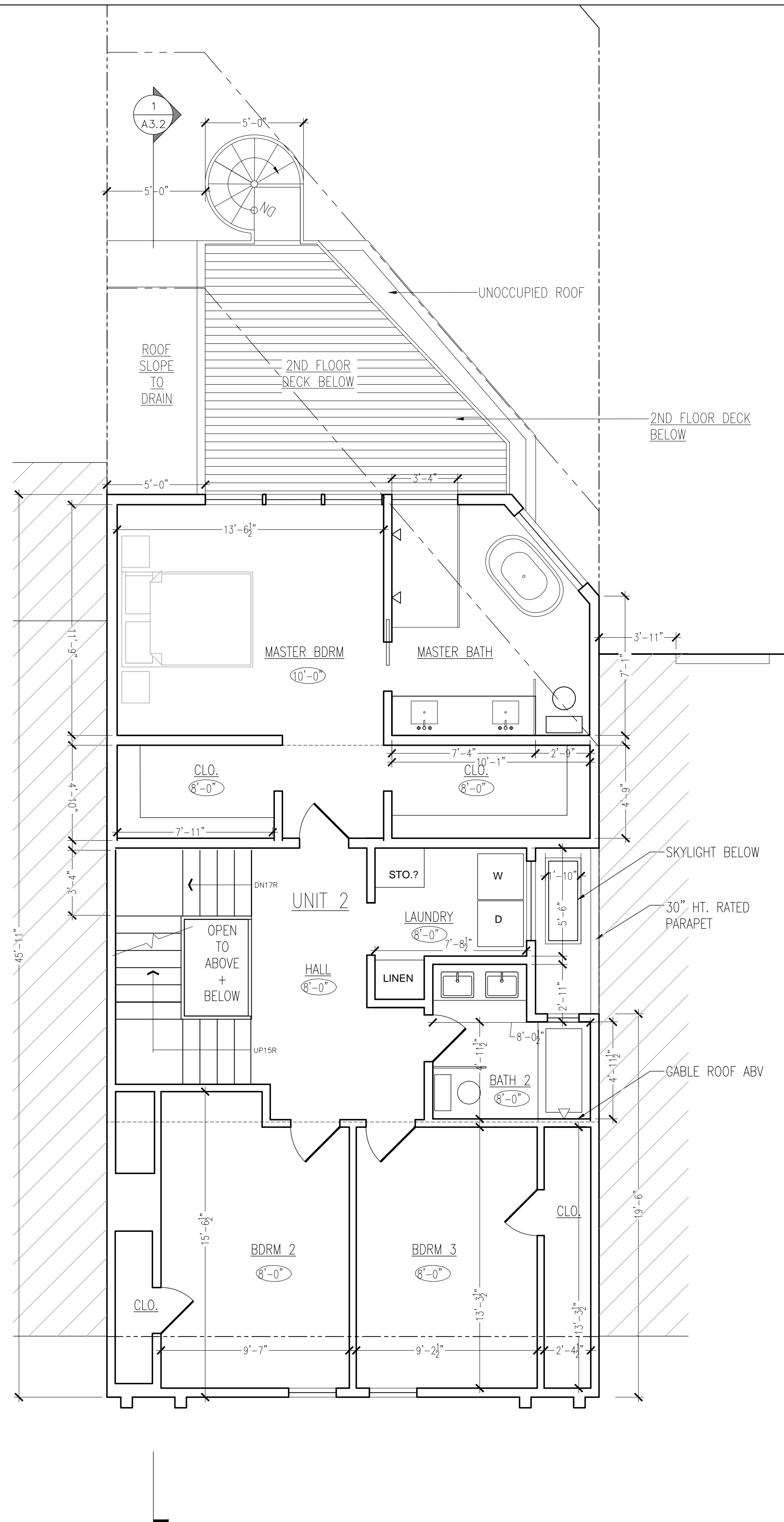
ALTERATIONS TO:  
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 OWNER:

FOR REVIEW

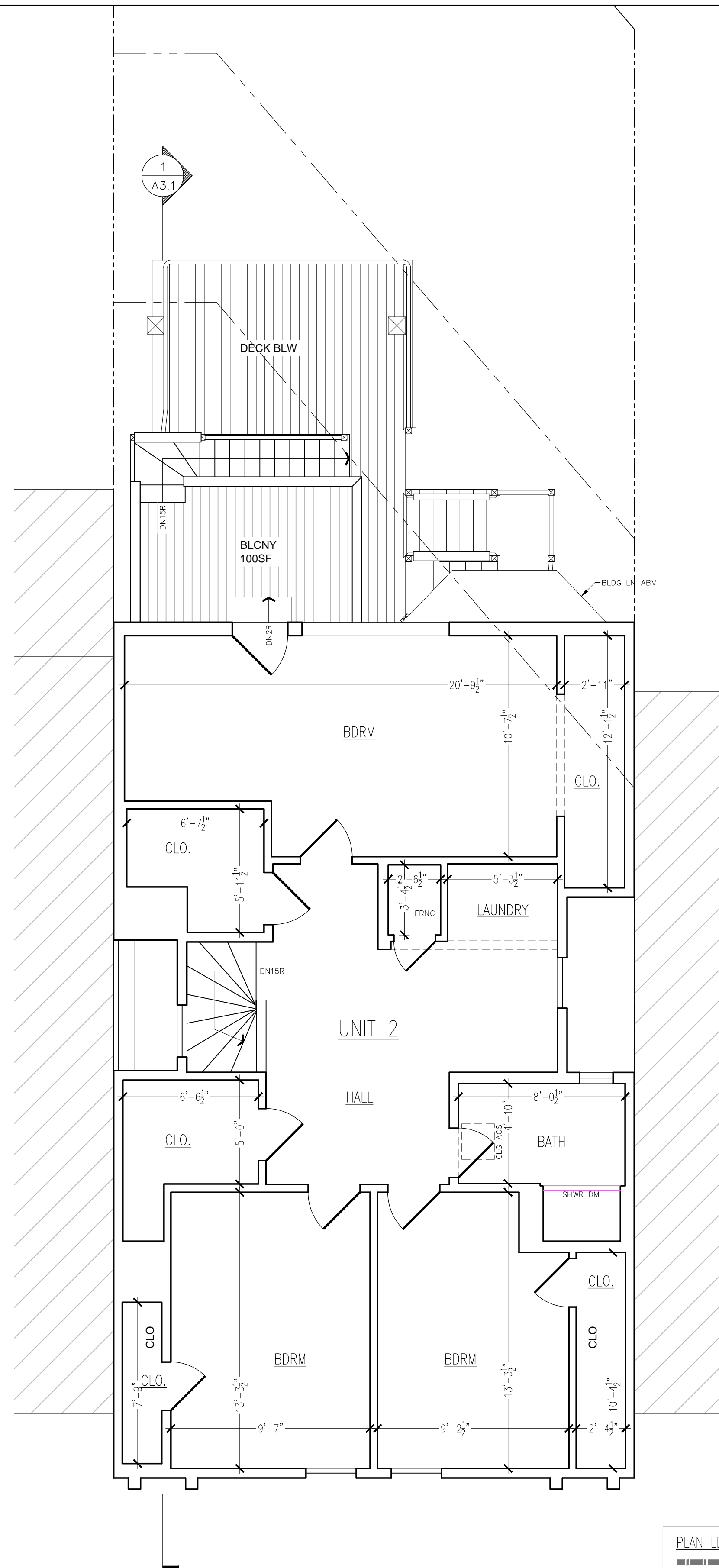
EXISTING/  
 PROPOSED  
 2ND FLOOR  
 PLAN

DATE 2020-03-04  
 SCALE 1/4" = 1'-0"  
 DRAWN SMH  
 JOB  
 SHEET

**A1.2**



2 PROPOSED 3RD LEVEL FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
1,084 SQFT INTERIOR  
45 SQFT EXTERIOR

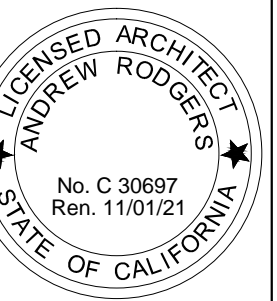


1 EXISTING 3RD LEVEL FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
984 SQFT INTERIOR  
99 SQFT EXTERIOR

PLAN LEGEND			
	1-HR RATED WALL		(N) WDW. / (E) WDW.
	(E) WALL TO REMAIN		(N) DOOR / (E) DOOR
	WALL TO BE REMOVED		MILLWORK MARKER
	(N) WALL		CEILING HEIGHT
	WALL TYPE		FLOORING FINISH MARKER
	TILED WALL		HOSE BIB
			GAS OUTLET
SCALE 0 2 4 8 16 FEET			

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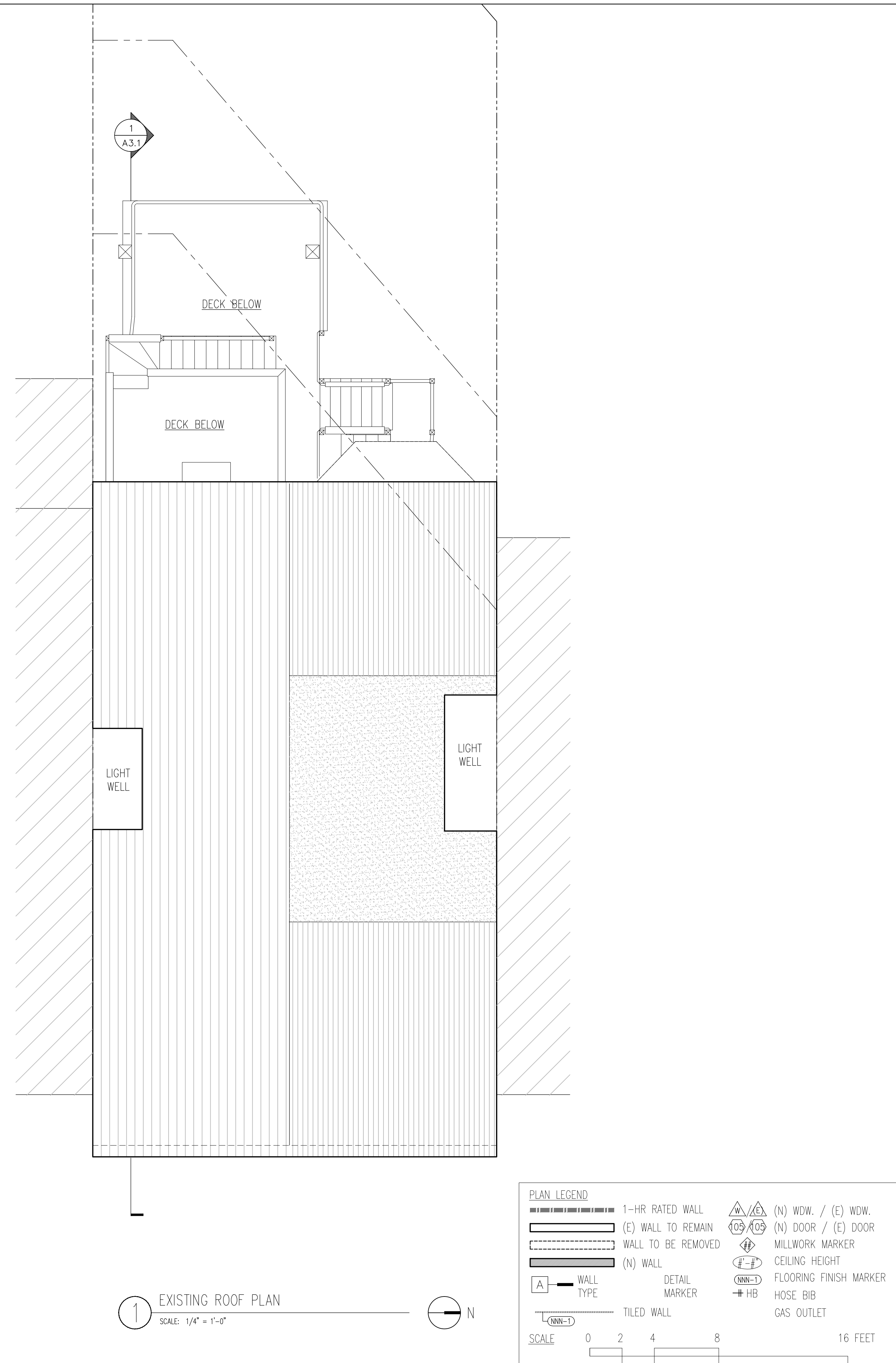
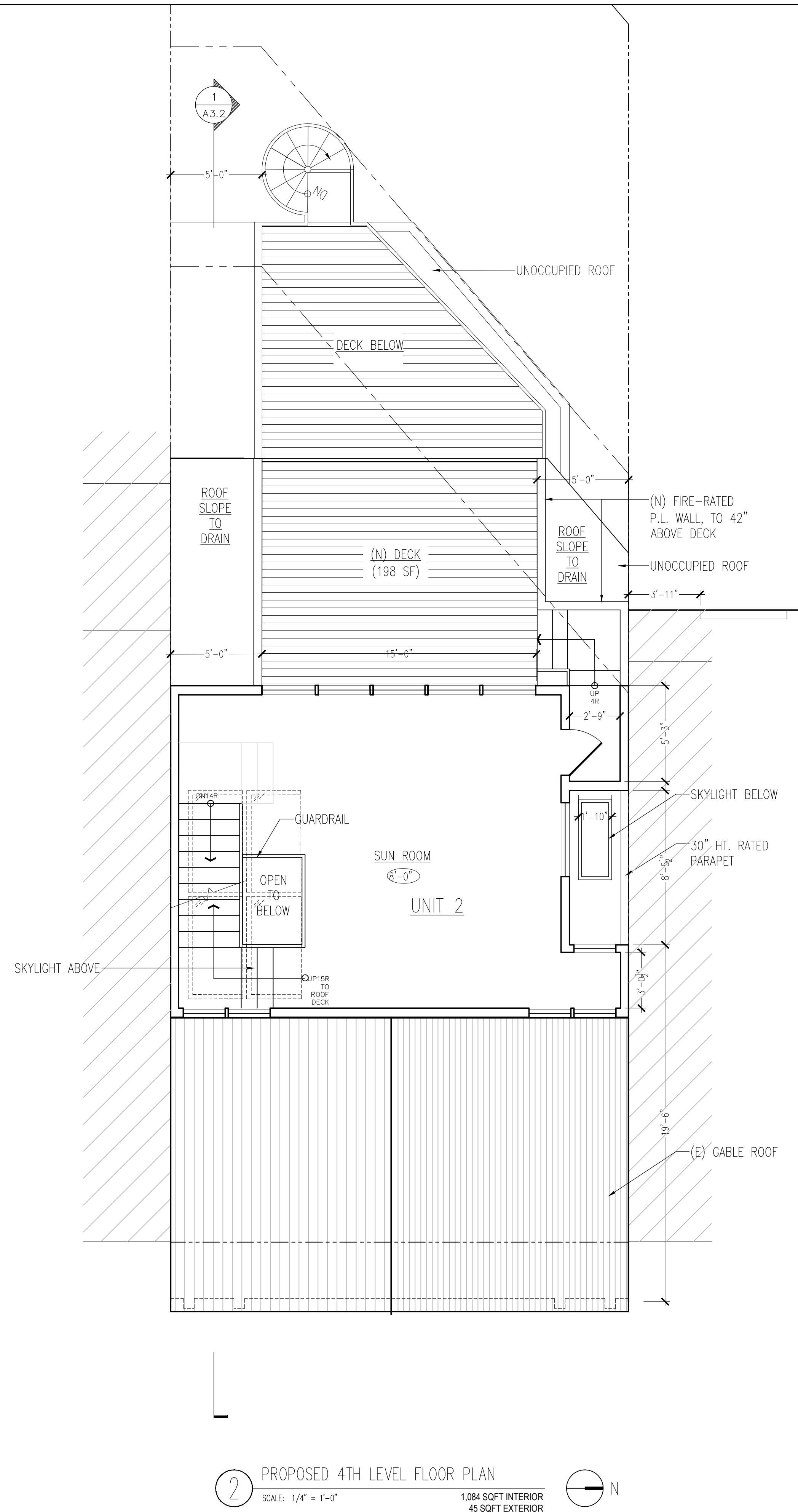
FOR REVIEW

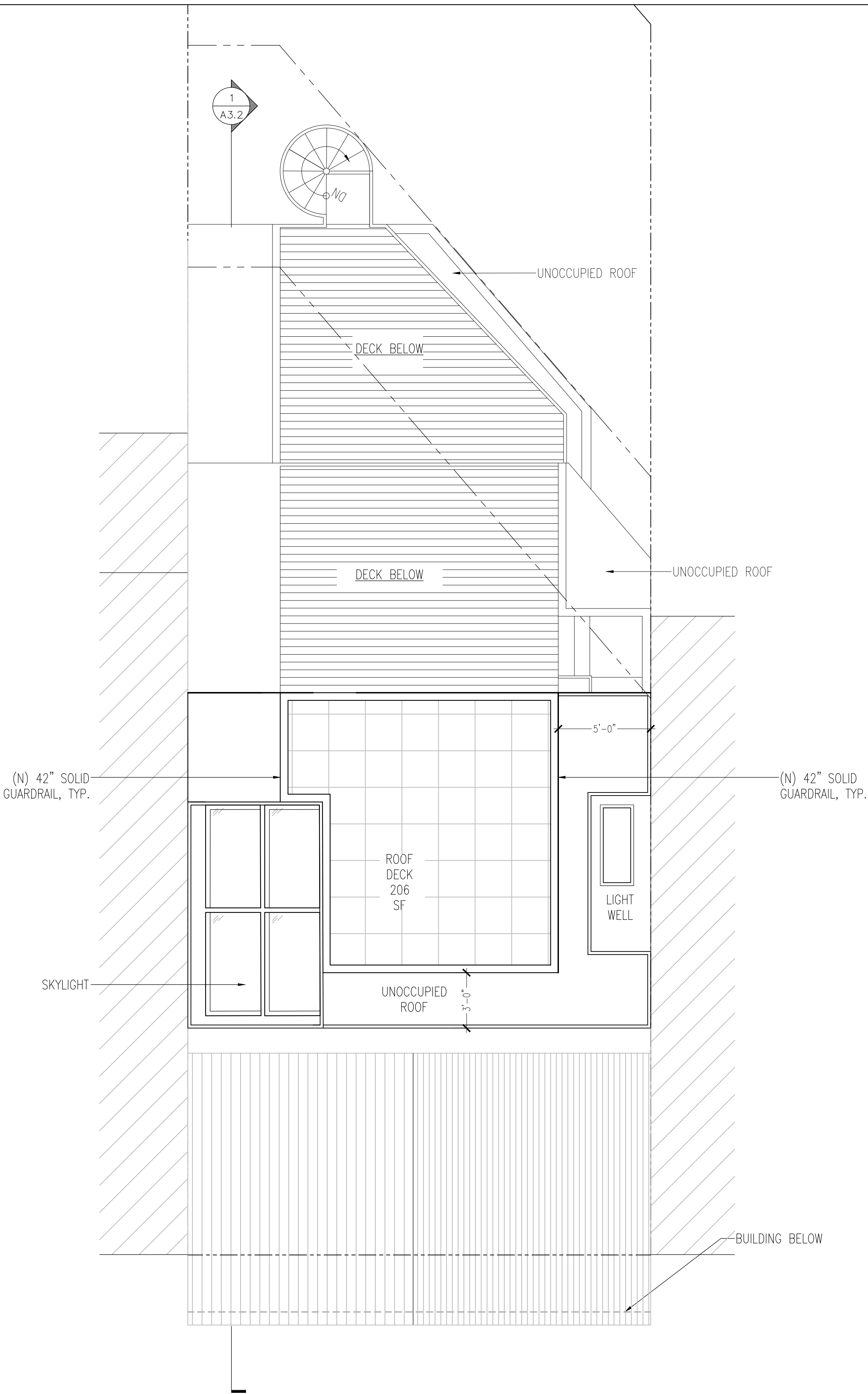
EXISTING/  
PROPOSED  
3RD FLOOR  
PLAN

DATE 2020-03-04  
SCALE 1/4" = 1'-0"  
DRAWN SMH  
JOB  
SHEET

A1.3







1 PROPOSED ROOF PLAN  
SCALE: 1/4" = 1'-0"

**PLAN LEGEND**

	1-HR RATED WALL		(N) WDW. / (E) WDW.
	(E) WALL TO REMAIN		(N) DOOR / (E) DOOR
	WALL TO BE REMOVED		MILLWORK MARKER
	(N) WALL		CEILING HEIGHT
	WALL TYPE		FLOORING FINISH MARKER
	DETAIL MARKER		HOSE BIB
	TILED WALL		GAS OUTLET

SCALE 0 2 4 8 16 FEET

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PROPOSED ROOF PLAN

DATE 2020-03-04  
SCALE 1/4" = 1'-0"  
DRAWN SMH  
JOB  
SHEET

**A1.5**

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EXISTING EAST  
(FRONT)  
ELEVATION

DATE 2020-03-04

SCALE 1/4" = 1'-0"

DRAWN SMH / AR

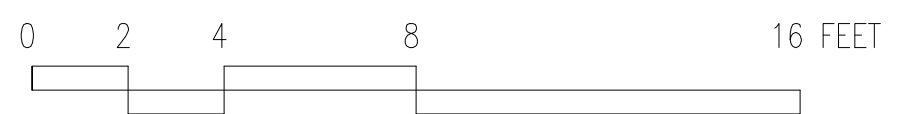
JOB

SHEET

**A2.1**



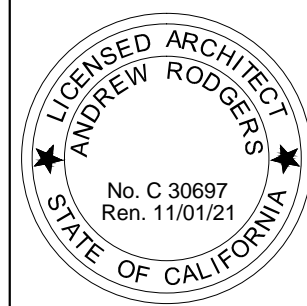
1 EXISTING EAST ELEVATION (FRONT)  
SCALE: 1/4" = 1'-0"





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ALTERATIONS TO:  
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FOR REVIEW

PROPOSED  
EAST (FRONT)  
ELEVATION

DATE 2020-03-04

SCALE 1/4" = 1'-0"

DRAWN SH / AR

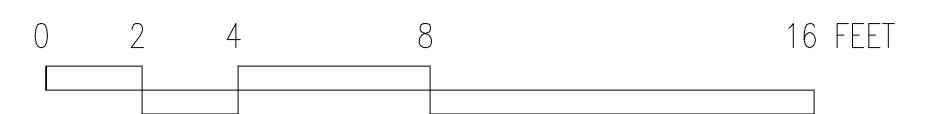
JOB

SHEET

A2.2



1 PROPOSED EAST ELEVATION (FRONT)  
SCALE: 1/4" = 1'-0"



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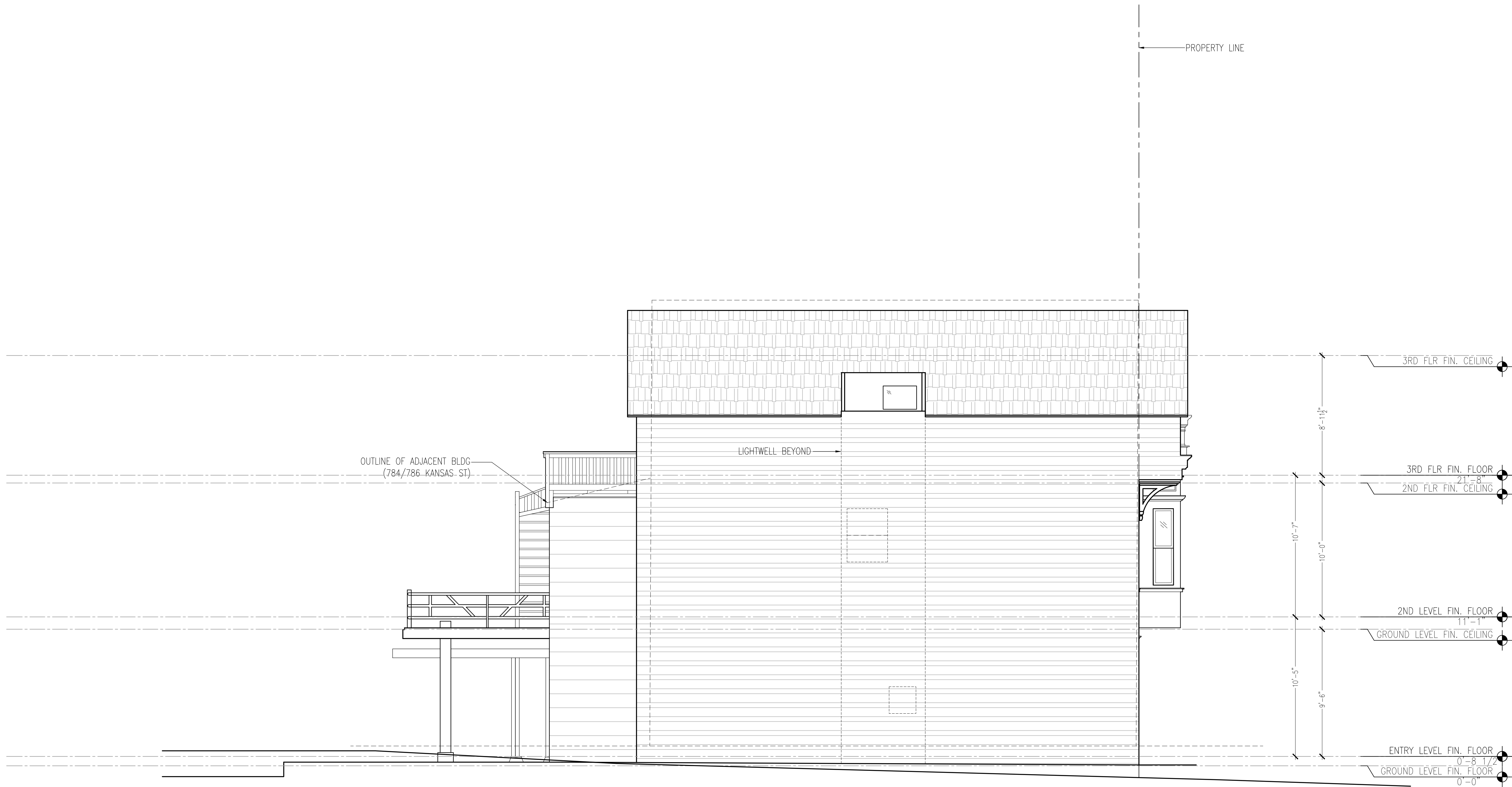
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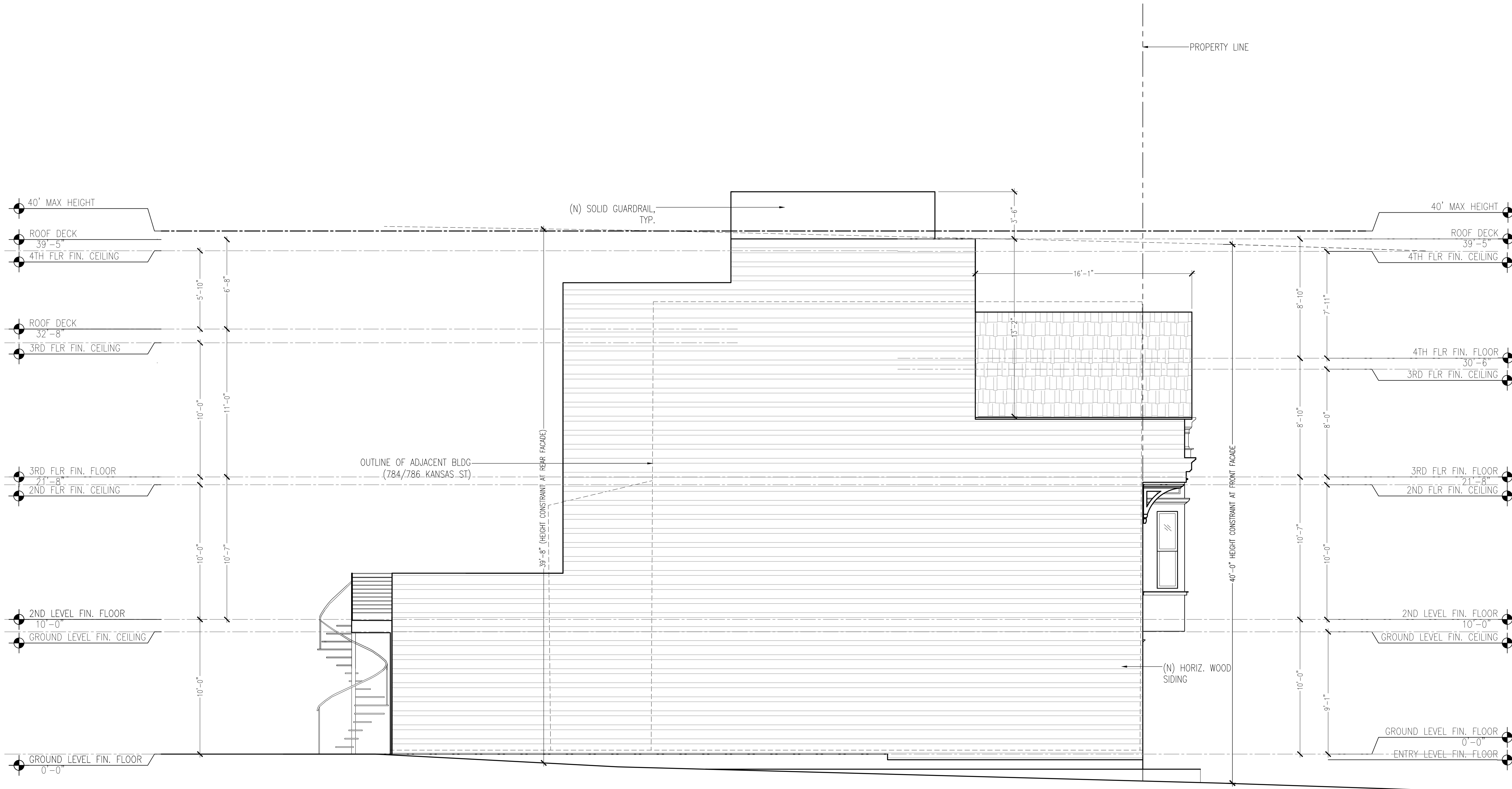
EXISTING  
SOUTH  
ELEVATION

DATE 2020-03-04  
SCALE 1/4" = 1'-0"  
DRAWN SH / AR  
JOB  
SHEET

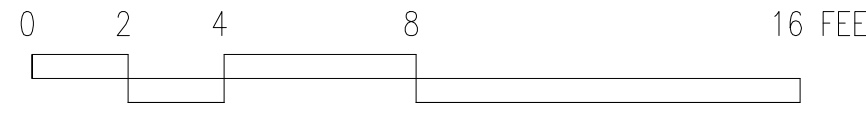
A2.3



1 EXISTING SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



1 PROPOSED SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



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PROPOSED  
SOUTH  
ELEVATION

DATE2020-03-04

SCALE1/4" = 1'-0"

DRAWN SH / AR

JOB

SHEET

A2.4



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EXISTING WEST  
(REAR)  
ELEVATION

DATE 2020-03-04

SCALE 1/4" = 1'-0"

DRAWN SH / AR

JOB

SHEET

A2.5



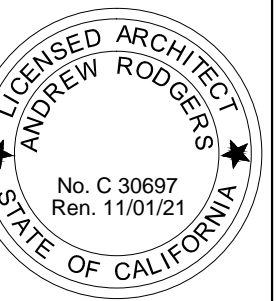


1 PROPOSED WEST ELEVATION (REAR)  
SCALE: 1/4" = 1'-0"

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PROPOSED  
WEST  
ELEVATION

DATE 2020-03-04

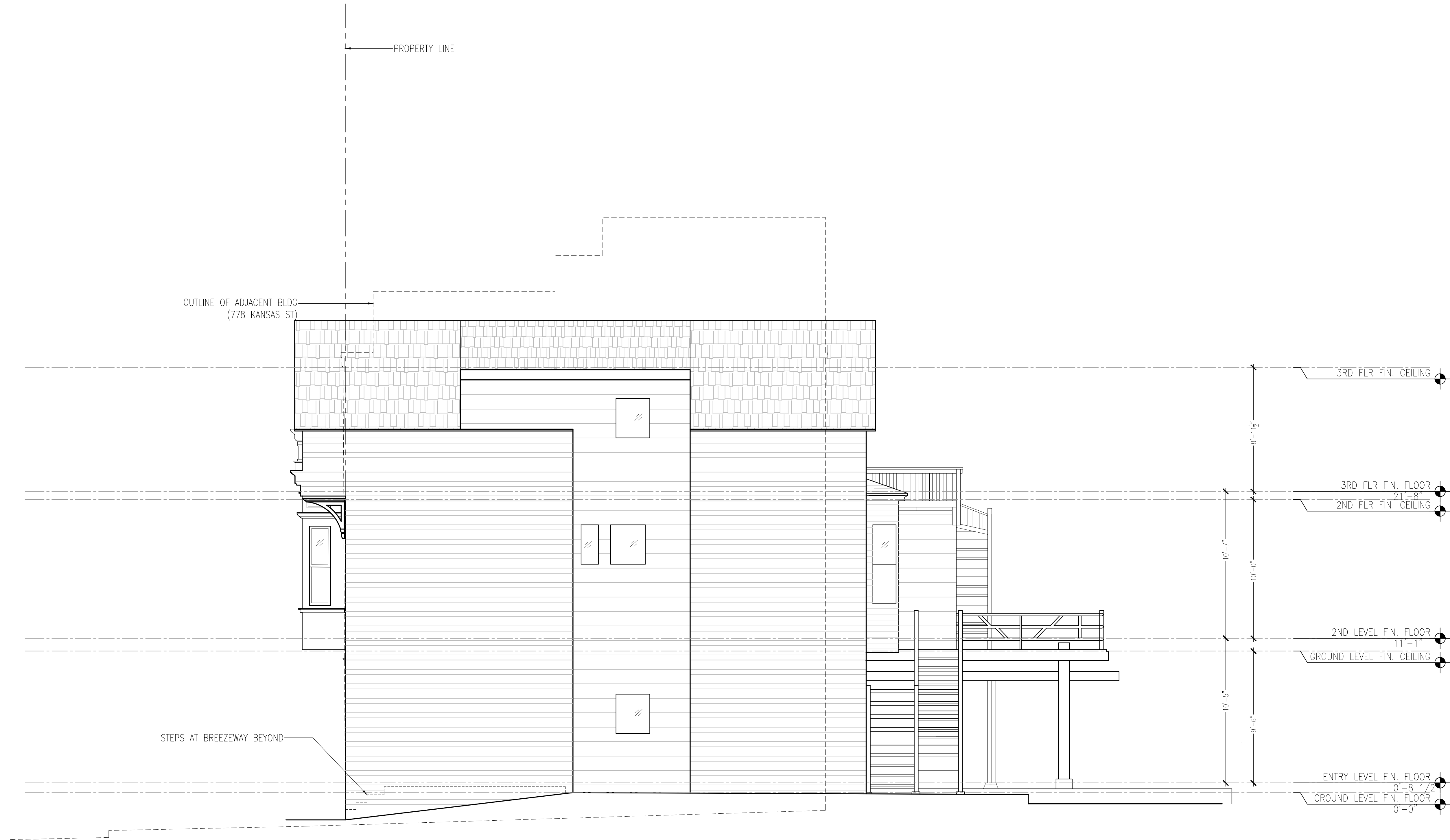
SCALE 1/4" = 1'-0"

DRAWN SH / AR

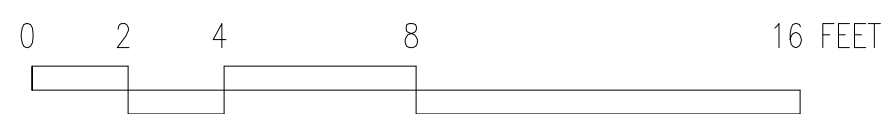
JOB

SHEET

A2.6

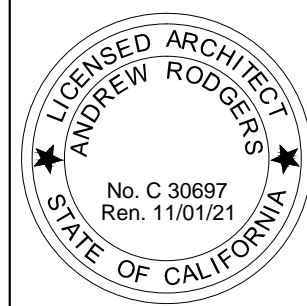


1 EXISTING NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



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EXISTING  
NORTH  
ELEVATION

DATE 2020-03-04

SCALE 1/4" = 1'-0"

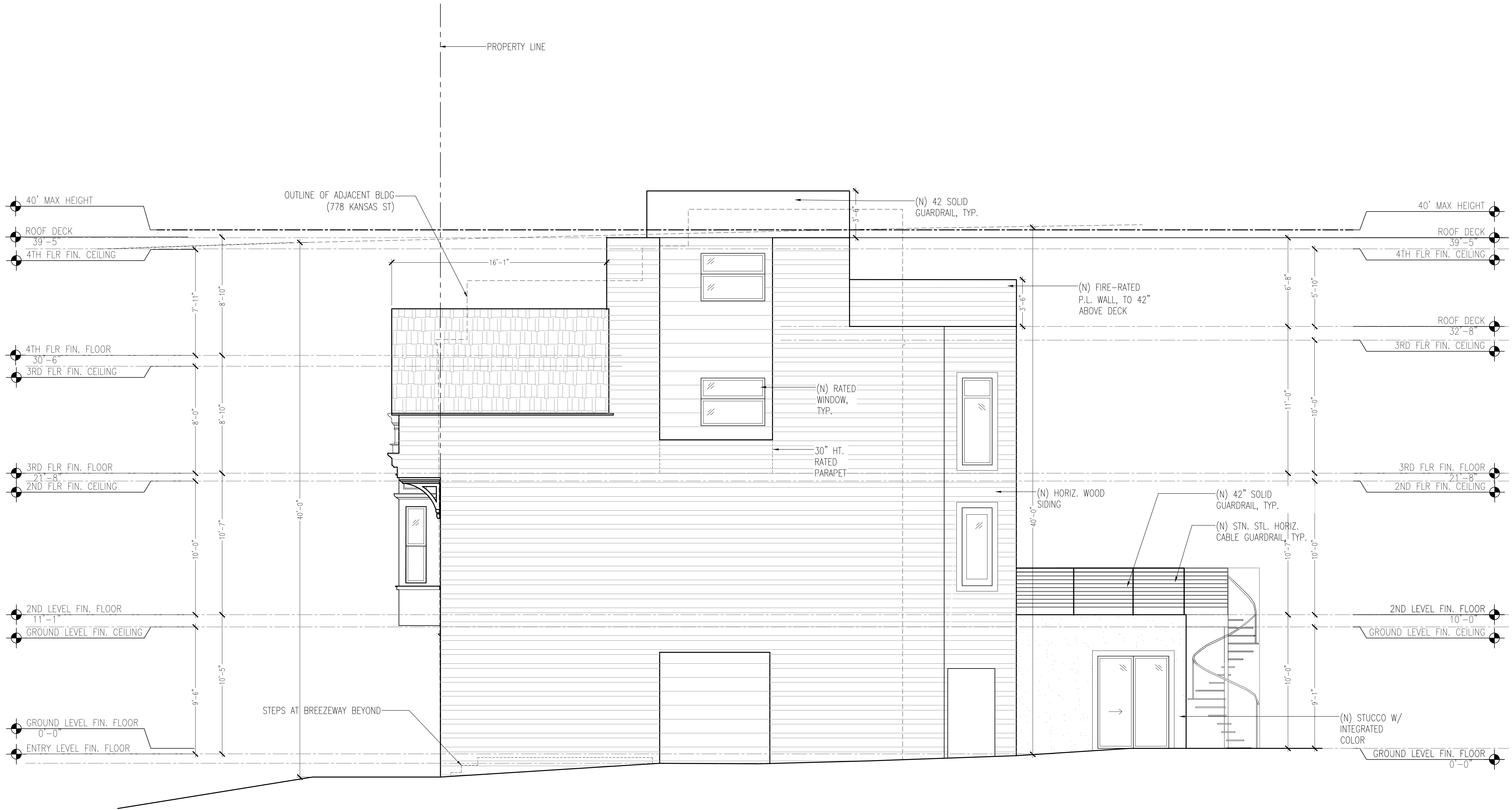
DRAWN SH / AR

JOB

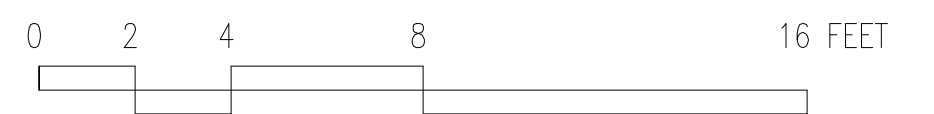
SHEET

A2.7



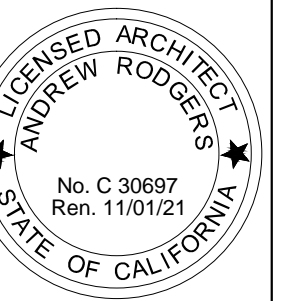


1 PROPOSED NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



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ELEVATION

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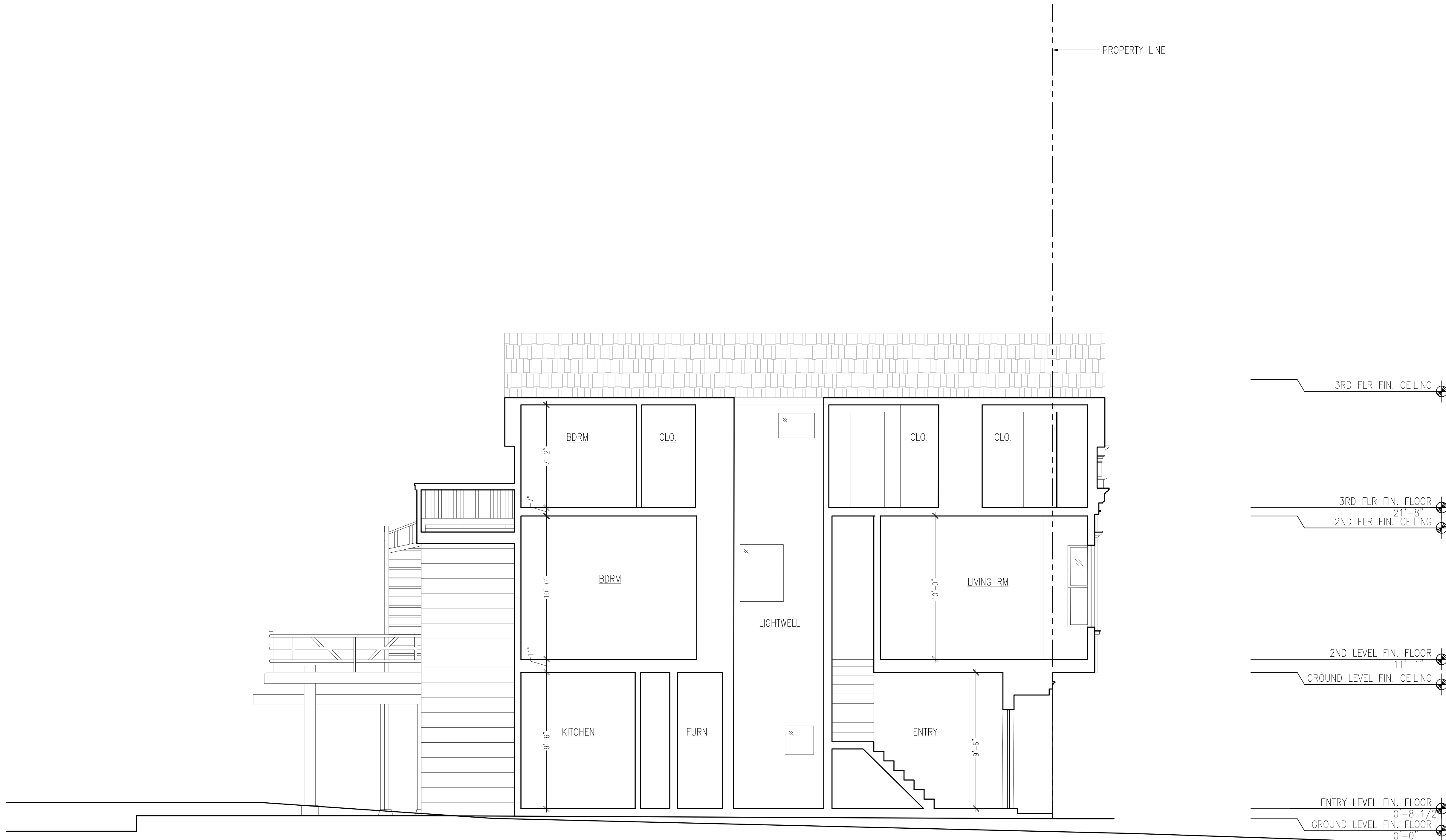
SCALE 1/4" = 1'-0"

DRAWN SH / AR

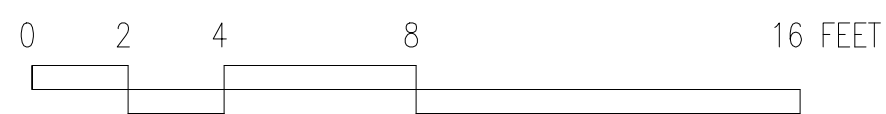
JOB

SHEET

A2.8

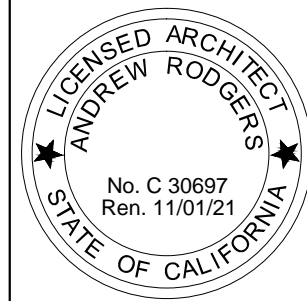


1 EXISTING BUILDING SECTION  
SCALE: 1/4" = 1'-0"



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EXISTING  
BUILDING  
SECTION

DATE 2020-03-04

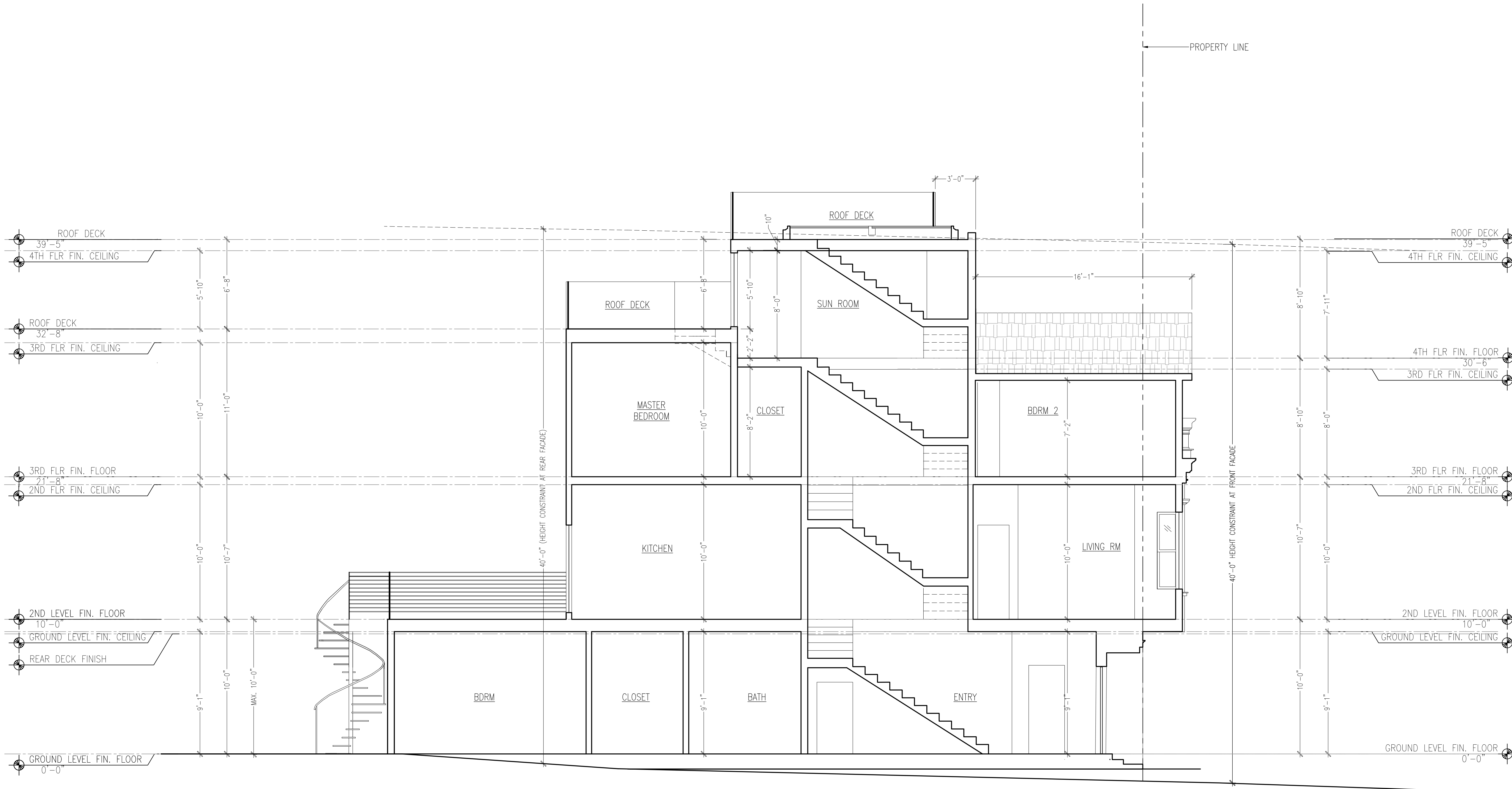
SCALE 1/4" = 1'-0"

DRAWN SH / AR

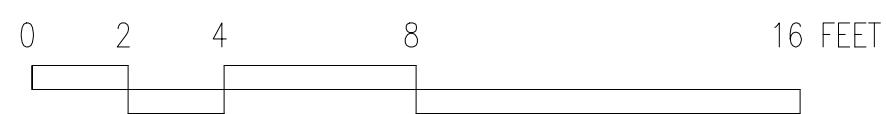
JOB

SHEET

A3.1

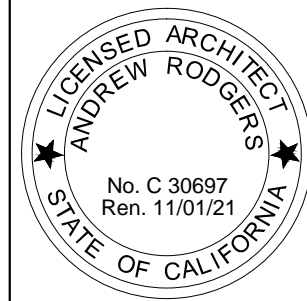


1 PROPOSED BUILDING SECTION  
SCALE: 1/4" = 1'-0"



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BUILDING  
SECTION

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SCALE 1/4" = 1'-0"

DRAWN SH / AR

JOB

SHEET

A3.2