



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, August 23, 2017**

Time: **Not before 9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 3277 Folsom Street Cross Street(s): Bessie & Stoneman Block /Lot No.: 5524/052 Zoning District(s): RH-2 / 40-X Area Plan: N/A	Case No.: 2016-015456VAR Building Permit: 201611213249 Applicant: Brian Milford Telephone: (415) 346-9990 E-Mail: brian@martinkovicmilford.com

PROJECT DESCRIPTION

The project proposes to construct a new one-story vertical addition and deck at the rear of the existing two-story over basement building, single-family dwelling, as well as a new one-story popout at the basement level with a second floor balcony and stairs.

PER SECTION 242 OF THE PLANNING CODE, the subject property is required to maintain a rear yard of 49 feet 6 inches. As proposed, the subject property does not comply with the rear yard requirement. The proposed popout that would otherwise be allowed as a permitted obstruction per Planning Code Section 136(25) is not allowed within the Bernal Heights Special Use District. Further, the proposed stairs exceed the dimensions permitted under Section 136(14). Consequently, the proposed horizontal addition with stairs will extend approximately 15 feet into the required rear yard. Therefore, a rear yard is required.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://notice.sfplanning.org/2016-015456VAR.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Esmeralda Jardines** Telephone: **(415) 575-9144** E-Mail: esmeralda.jardines@sfgov.org

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

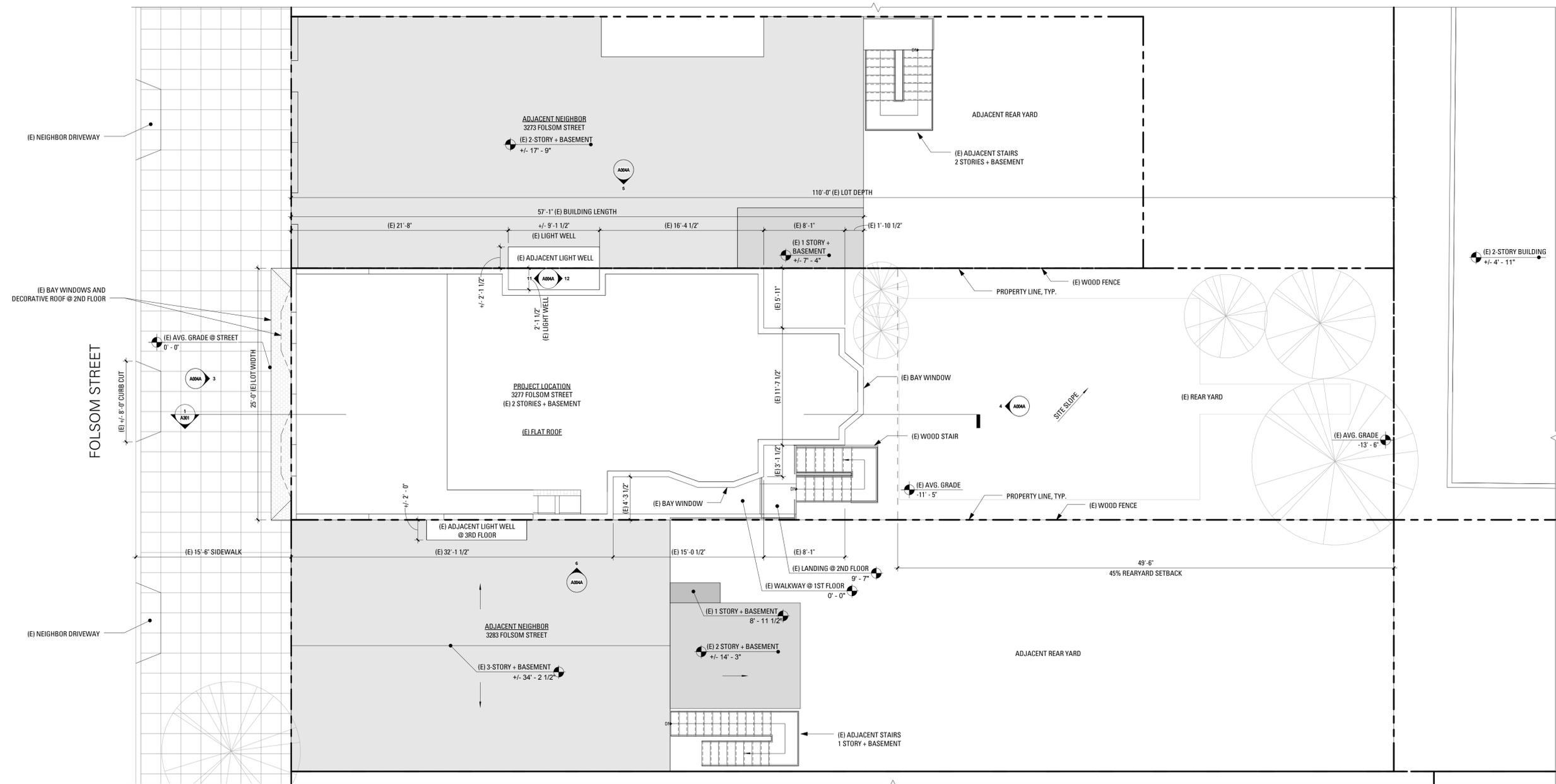
Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

BALABANIAN
RESIDENCE

3277 FOLSOM STREET
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101 Montgomery
Street Suite 650 San
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T 415 346 9990



NO.	RECORD OF DRAWING ISSUANCE	DATE
	PRE-APPLICATION MEETING	11.14.2016
	SITE PERMIT SET	11.21.2016
1	REVISION 1	07.21.2017



PRE-APPLICATION MEETING	
Drawn By:	Author
Checked By:	Approver
Project Number:	1559.1

EXISTING SITE PLAN

SHEET NUMBER

A002A

1 EXISTING SITE PLAN
3/16" = 1'-0"

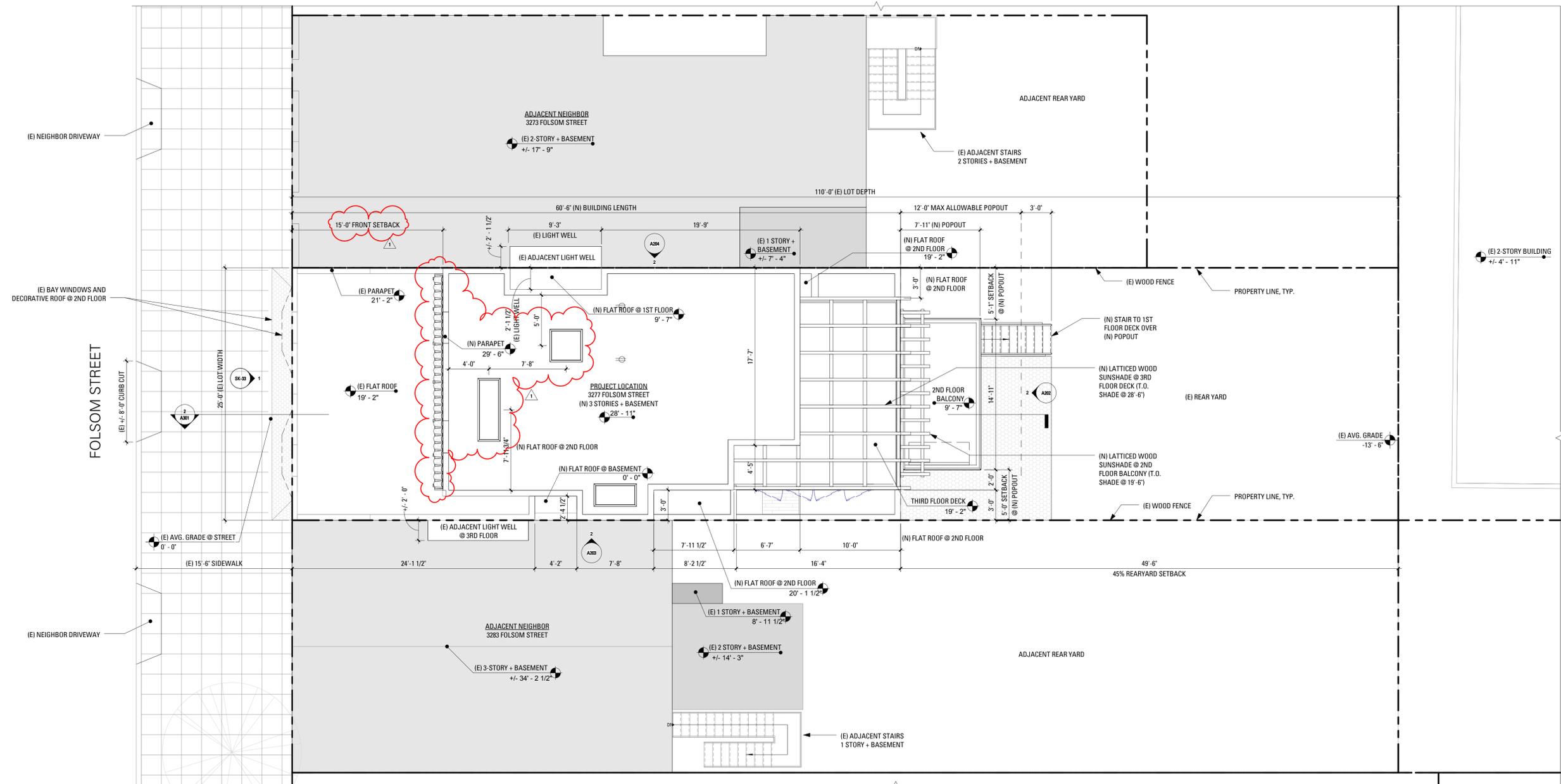
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PROPOSED SITE PLAN
SHEET NUMBER
A002B

1 PROPOSED SITE PLAN
3/16" = 1'-0"

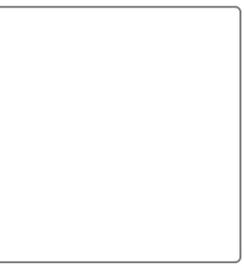
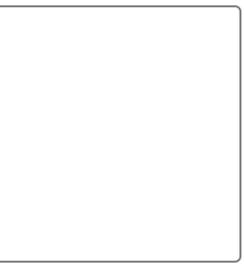
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EXISTING CONDITIONS - PHOTOGRAPHS
SHEET NUMBER

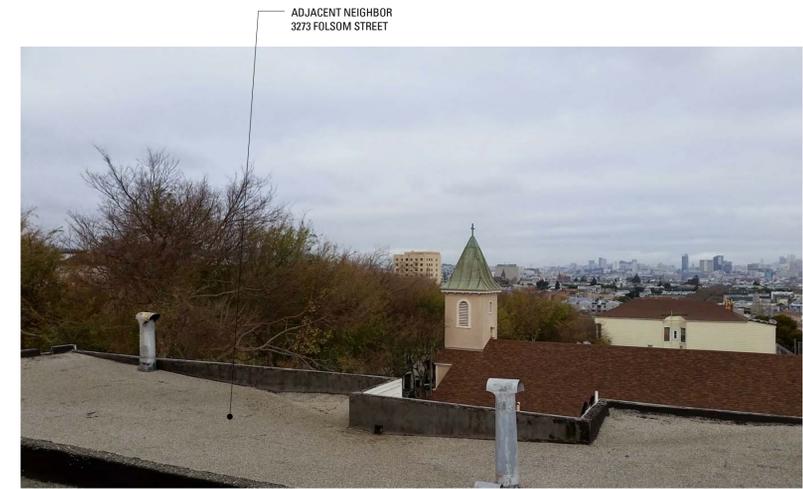
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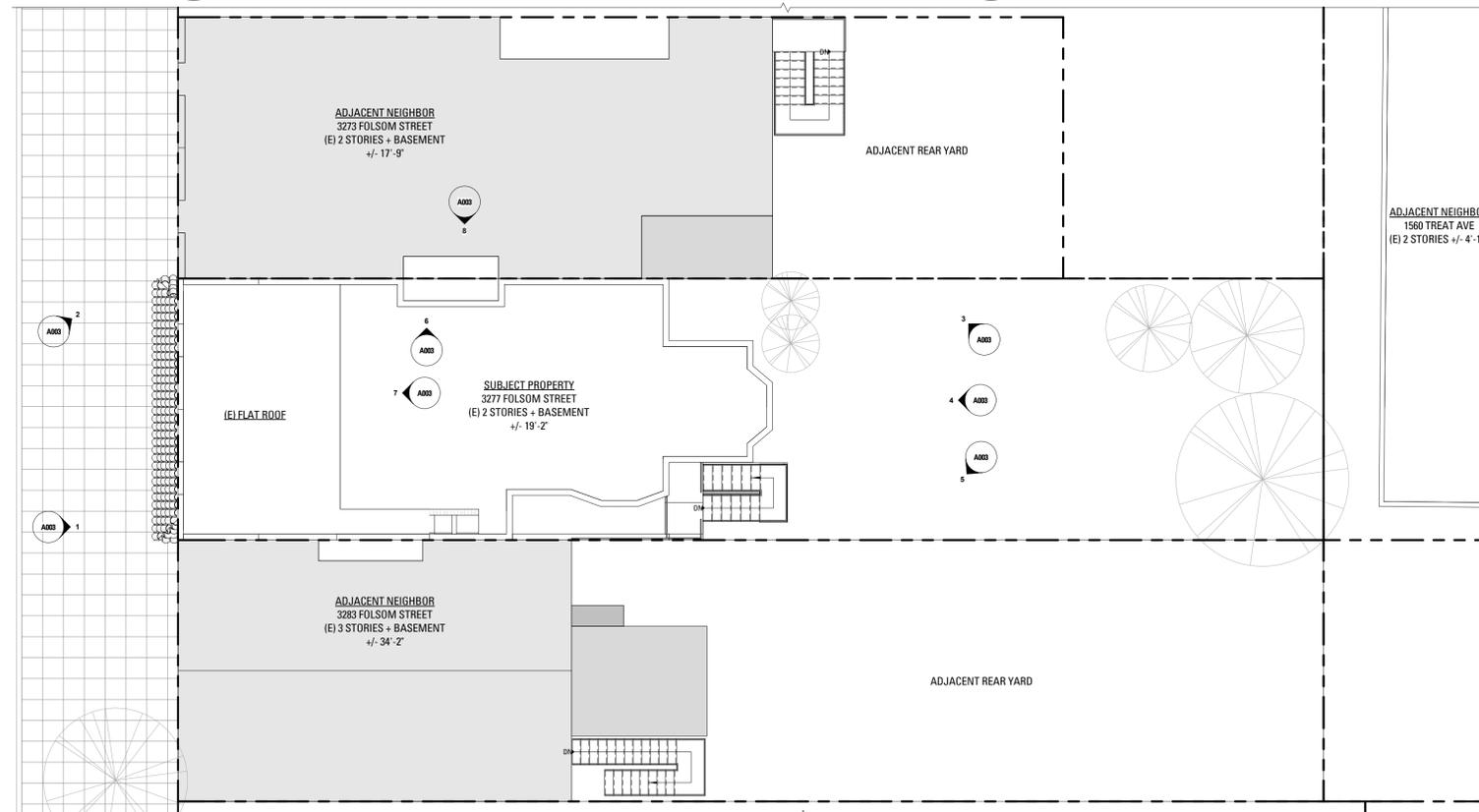
8 ROOF VIEW FROM ADJACENT PROPERTY



7 ROOF VIEW FROM SUBJECT PROPERTY



6 ROOF VIEW FROM SUBJECT PROPERTY



EXISTING SITE PLAN
1/8" = 1'-0"



5 REAR OF ADJ BUILDING TO SOUTH



4 REAR OF SUBJECT BUILDING



3 REAR OF ADJ BUILDING TO NORTH



2 FRONT OF SUBJECT PROPERTY



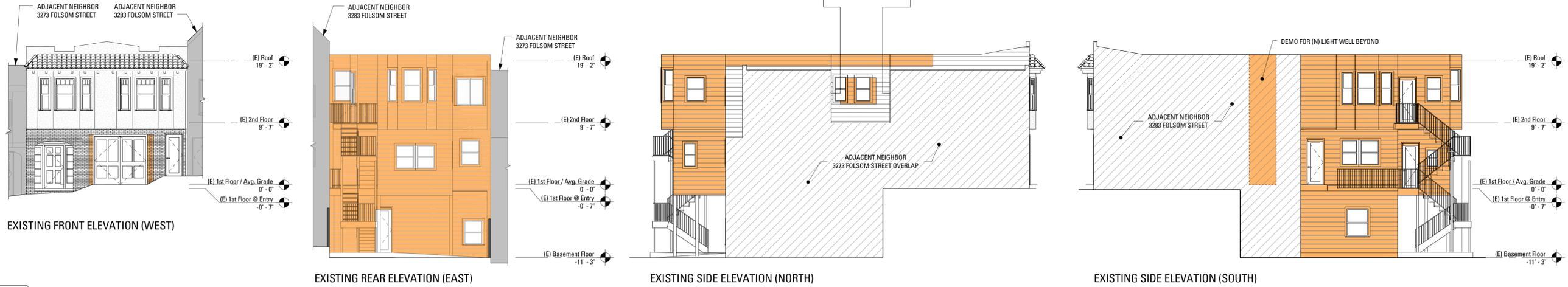
1 FRONT OF SUBJECT PROPERTY

BALABANIAN RESIDENCE

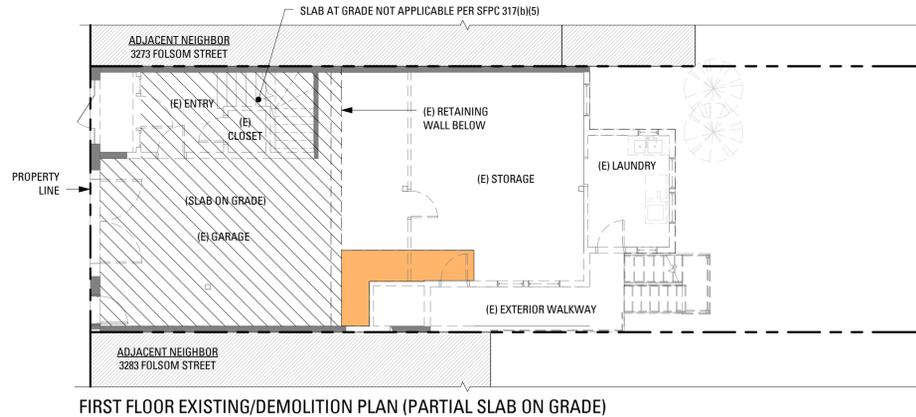
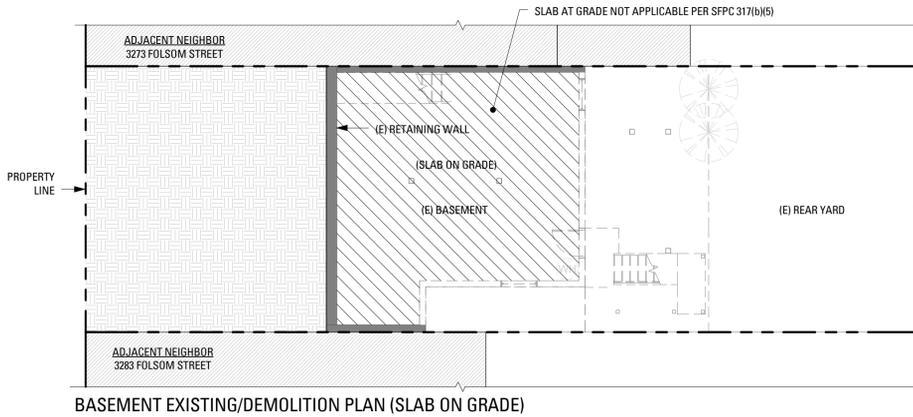
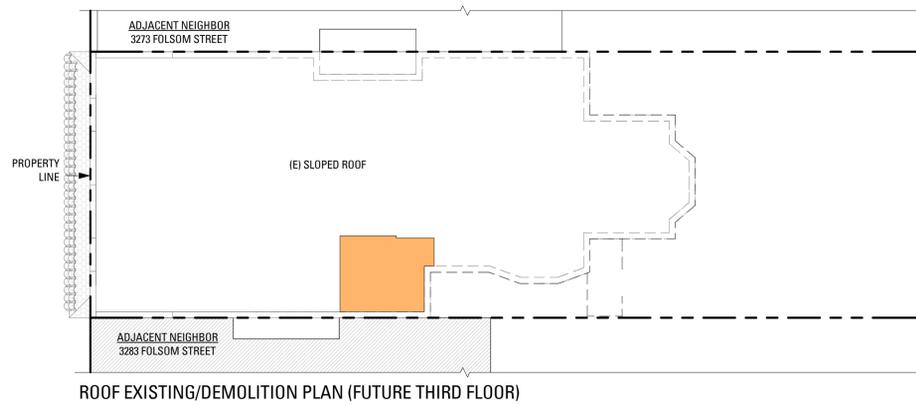
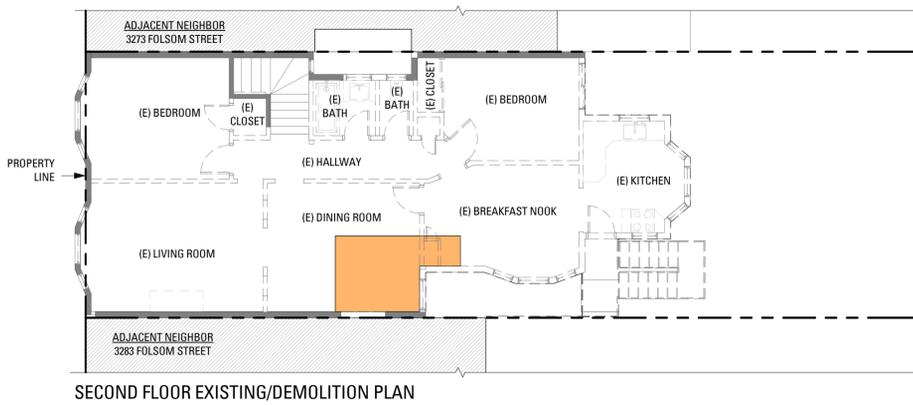
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2 HORIZONTAL DEMO CALCULATION DIAGRAMS
1/8" = 1'-0"



SECTION 317(b) DEMOLITION CALCULATIONS - METHOD 2					
ABOVE GRADE VERTICAL ELEMENTS	EXISTING	PROPOSED REMOVAL	PERCENT REMOVAL	PERCENT BY CODE	COMPLIES?
FRONT (WEST) ELEVATION	355 SF	12 SF	3.4%		
REAR (EAST) ELEVATION	654 SF	654 SF	100%		
NORTH ELEVATION	1454 SF	252 SF	17.3%		
SOUTH ELEVATION	1315 SF	618 SF	47.0%		
TOTAL:	3778 SF	1536 SF	40.7%	50%	YES
ABOVE GRADE VERTICAL ELEMENTS	EXISTING	PROPOSED REMOVAL	PERCENT REMOVAL	PERCENT BY CODE	COMPLIES?
BASEMENT FLOOR (SLAB ON GRADE)	N/A	N/A	N/A		
FIRST FLOOR (PARTIAL SLAB ON GRADE)	FLOOR PLATE: 544 SF SLAB ON GRADE: N/A	47 SF	8.6%		
SECOND FLOOR	1089 SF	68 SF	6.2%		
ROOF (FUTURE THIRD FLOOR)	1115 SF	59 SF	5.3%		
TOTAL:	2748 SF	176 SF	6.5%	<50%	YES

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PRE-APPLICATION MEETING

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SECTION 317B
CALCULATIONS
SHEET NUMBER

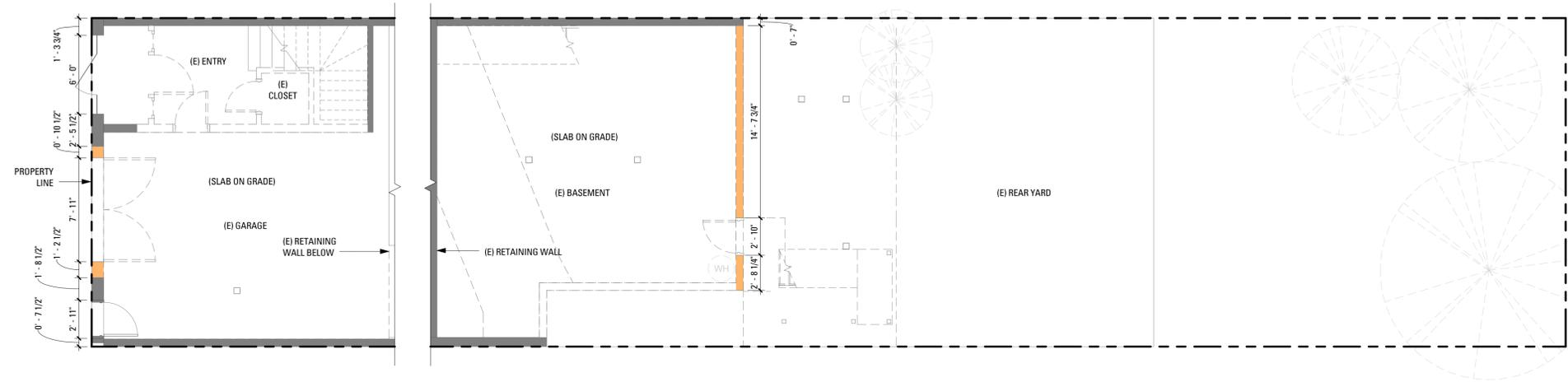
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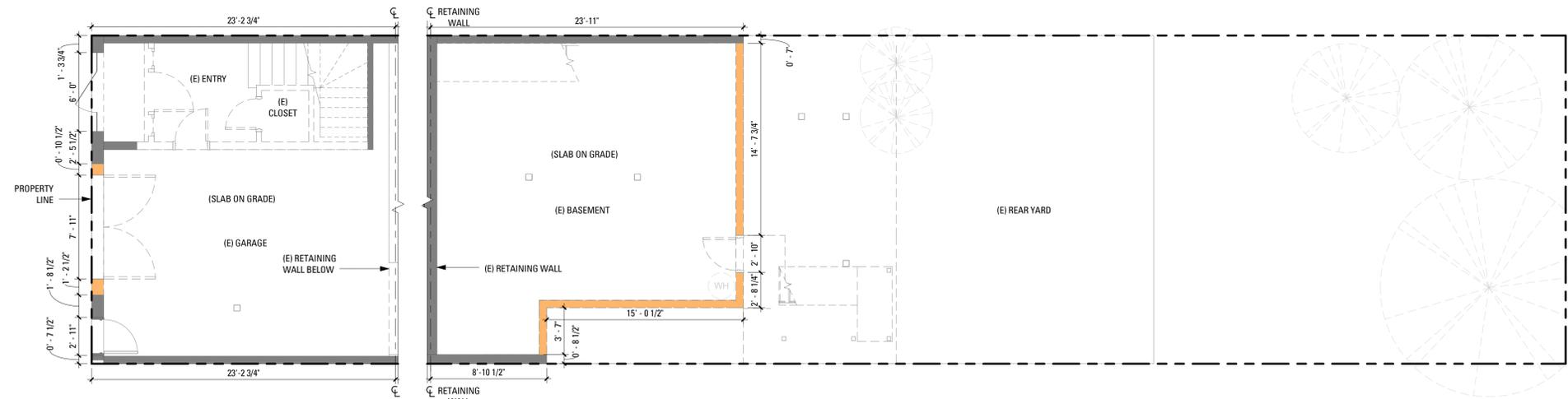


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FIRST FLOOR EXISTING/DEMOLITION DIAGRAM AT FOUNDATION BASEMENT EXISTING/DEMOLITION PLAN AT FOUNDATION

2 FRONT & REAR WALL DEMO DIAGRAM
1/8" = 1'-0"



FIRST FLOOR EXISTING/DEMOLITION DIAGRAM AT FOUNDATION BASEMENT EXISTING/DEMOLITION DIAGRAM AT FOUNDATION

1 PERIMETER WALL DEMO DIAGRAM
1/8" = 1'-0"

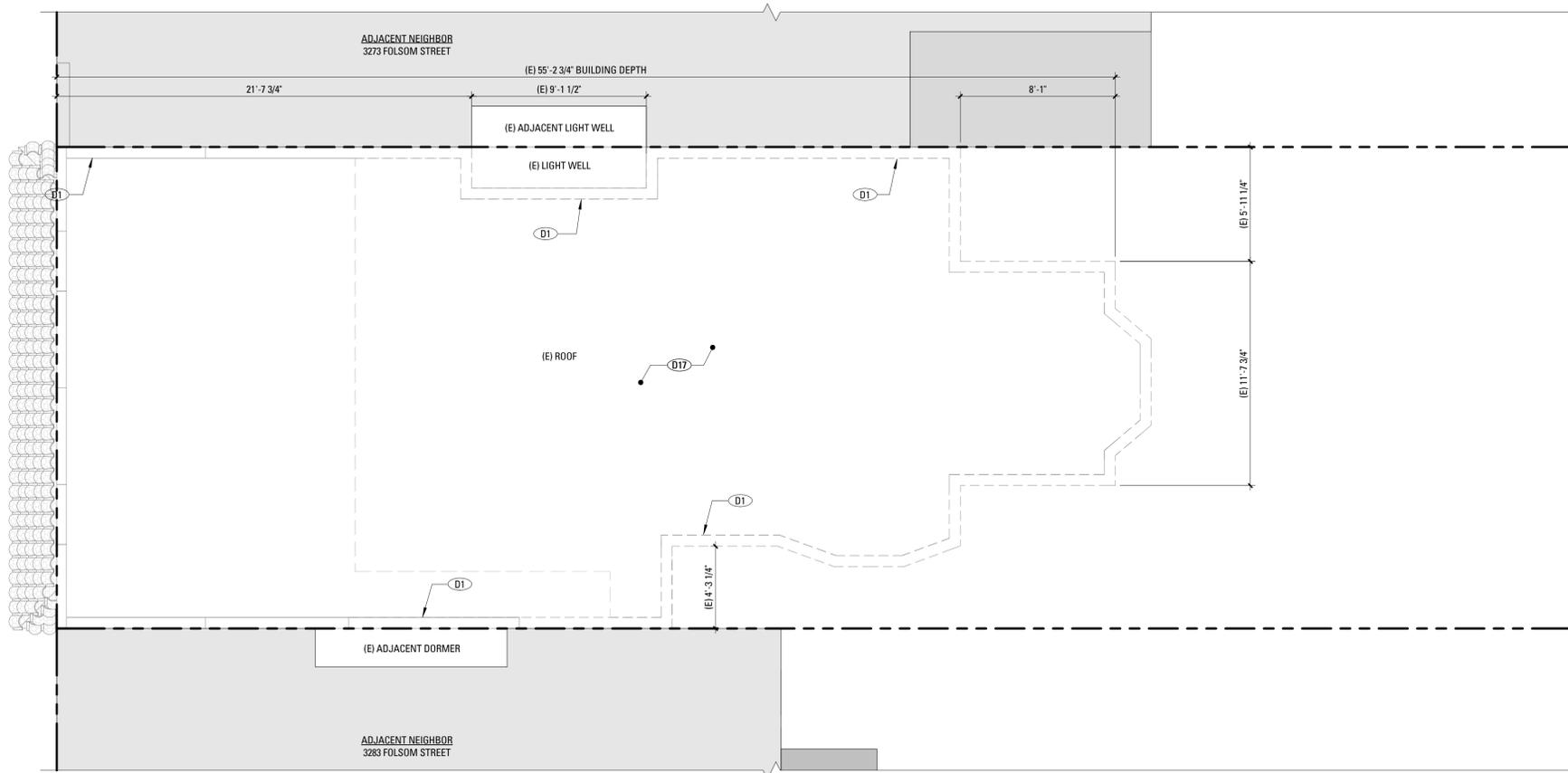
SECTION 317(b) DEMOLITION CALCULATIONS - METHOD 1					
SUM OF FRONT AND REAR WALLS MEASURED IN LINEAL FEET AT THE FOUNDATION	EXISTING	PROPOSED REMOVAL	PERCENT REMOVAL	PERCENT BY CODE	COMPLIES?
FRONT (WEST) ELEVATION	8'-2"	2'-1"	25.5%		
REAR (EAST) ELEVATION	17'-11"	17'-4"	96.7%		
TOTAL:	26'-1"	19'-5"	74.4%	50%	NO
SUM OF EXTERIOR WALLS MEASURED IN LINEAL FEET AT THE FOUNDATION	EXISTING	PROPOSED REMOVAL	PERCENT REMOVAL	PERCENT BY CODE	COMPLIES?
PERIMETER TOTAL:	124'-8"	38'-9"	31.1%	65%	YES

SURFACE AREA TO BE REMOVED

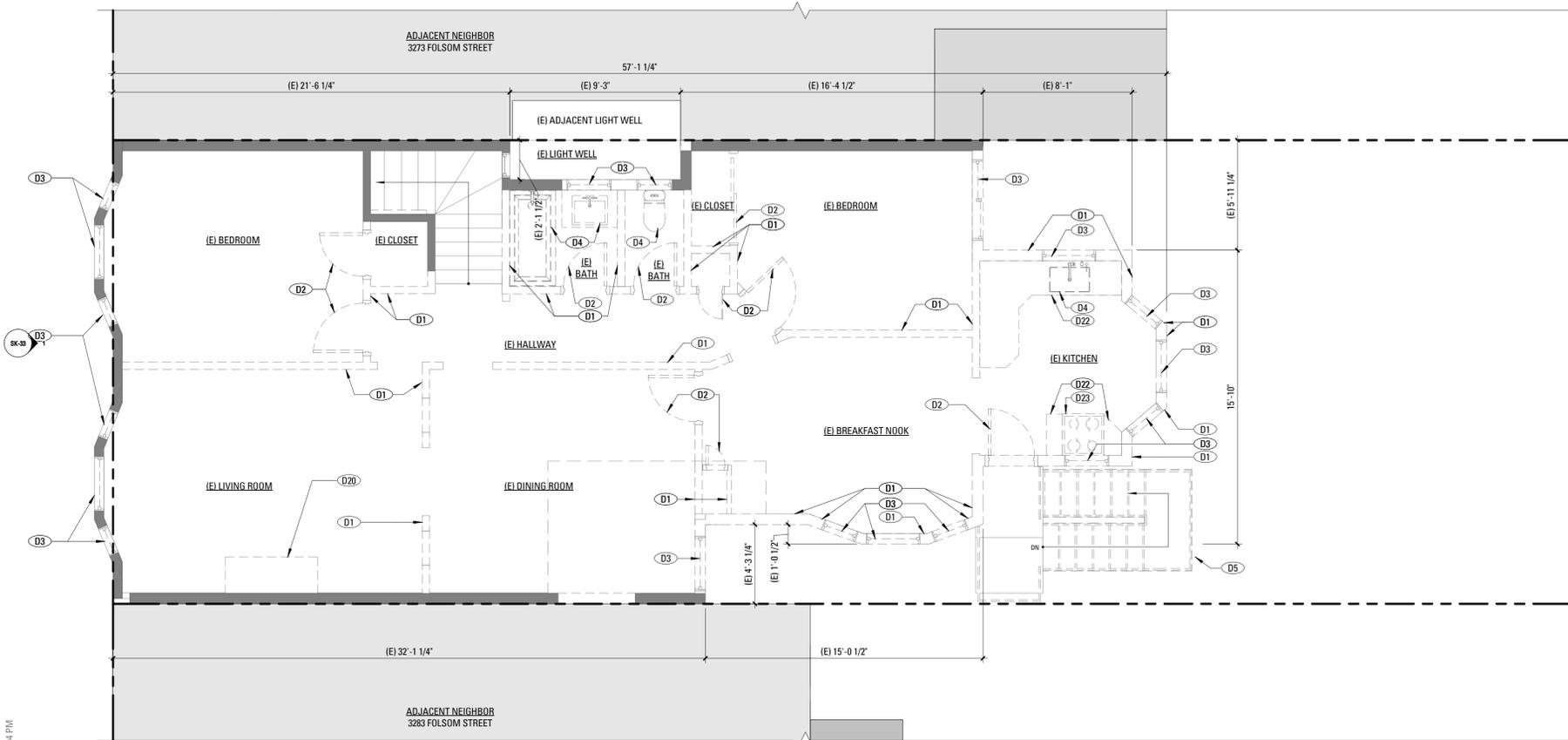
NO.	RECORD OF DRAWING ISSUANCE	DATE
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**SECTION 317B
CALCULATIONS**
SHEET NUMBER
A004B



2 ROOF EXISTING/DEMOLITION PLAN
1/4" = 1'-0"

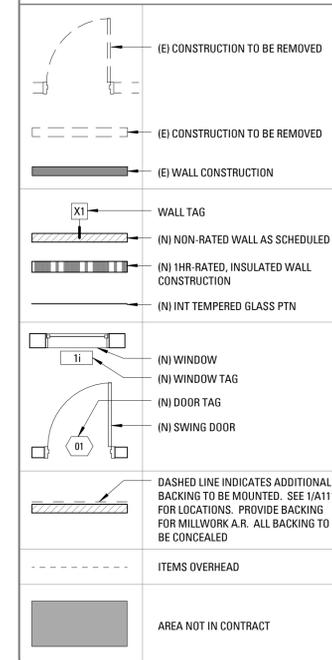


1 SECOND FLOOR EXISTING/DEMOLITION PLAN
1/4" = 1'-0"

**DEMOLITION PLAN
GENERAL NOTES**

- SEE SHEET A001 FOR LEGEND AND ABBREVIATIONS
- CONTRACTOR SHALL COORDINATE THE EXTENT OF THE DEMOLITION WITH NEW CONSTRUCTION. REFER TO PLANS AND ELEVATIONS. PROTECT ALL PORTIONS OF (E) STRUCTURE TO REMAIN.
- REMOVE ALL (E) FINISHES, HARDWARE, EQUIPMENT, CONDUIT, PLUMBING, AND FRAMING NECESSARY TO ACCOMMODATE ALL NEW WORK.
- CAP OFF ALL PLUMBING, GAS, & ELECTRICAL LINES WHERE APPLIANCES AND FIXTURES ARE DISCONNECTED.
- CONTRACTOR SHALL ENSURE THE STABILITY OF ALL (E) STRUCTURE, FRAMING AND FOUNDATIONS TO REMAIN DURING DEMOLITION AND CONSTRUCTION OF NEW WORK
- CONTRACTOR SHALL REPLACE ALL DAMAGED OR DECAYED EXISTING WOOD FRAMING, FLOOR, OR SHEATHING IN AREAS OF REMODEL AND REPAIR. NOTIFY ARCHITECT IF DAMAGED OR DECAYED CONDITIONS ARE ENCOUNTERED PRIOR TO COMMENCING REPAIR WORK.
- DOCUMENTATION HEREIN DOES NOT AUTHORIZE, DESCRIBE, REQUIRE OR INCLUDE THE REMOVAL OF ANY HAZARDOUS MATERIALS OR ELEMENTS, INCLUDING, BUT NOT LIMITED TO LEAD PAINT, ASBESTOS AND PCB'S. GENERAL CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, REGULATIONS, ORDINANCES AND RULES RELATING TO ANY HAZARDOUS OR TOXIC MATERIALS. IF GENERAL CONTRACTOR DISCOVERS ANY SUCH MATERIALS ON THE PROPERTY, GENERAL CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER. ANY REMOVAL OF HAZARDOUS MATERIALS SHALL BE DOCUMENTED SEPARATELY, AND SHALL OCCUR AS REQUIRED BY CODE AND REGULATORY REQUIREMENTS.

PLAN LEGEND



**DEMOLITION
KEYNOTES**

- D1 REMOVE (E) WALL TO ACCOMMODATE (N) WORK
- D2 REMOVE (E) DOOR
- D3 REMOVE (E) WINDOW TO ACCOMMODATE (N) WORK
- D4 REMOVE (E) PLUMBING FIXTURE, CAP OFF/RE-ROUTE UTILITY LINES AS REQ'D
- D5 REMOVE (E) STAIRS AND (E) HANDRAIL W.O.
- D17 REMOVE (E) ROOF TO ACCOMMODATE (N) WORK
- D20 REMOVE (E) FIREPLACE AND SURROUND
- D22 REMOVE (E) CASEWORK
- D23 REMOVE (E) APPLIANCES

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**2ND FLOOR & ROOF
EXISTING/DEMO PLAN**
SHEET NUMBER

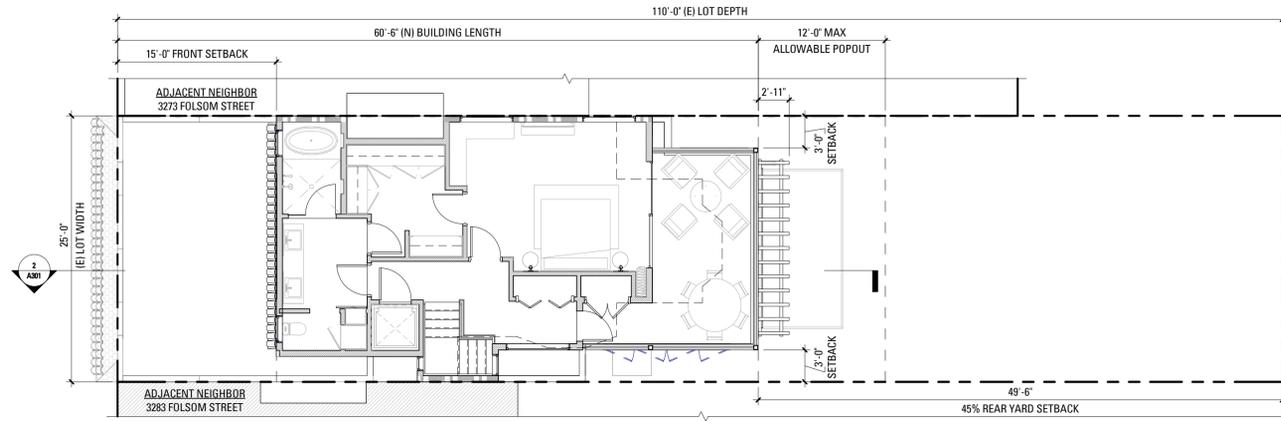
A102

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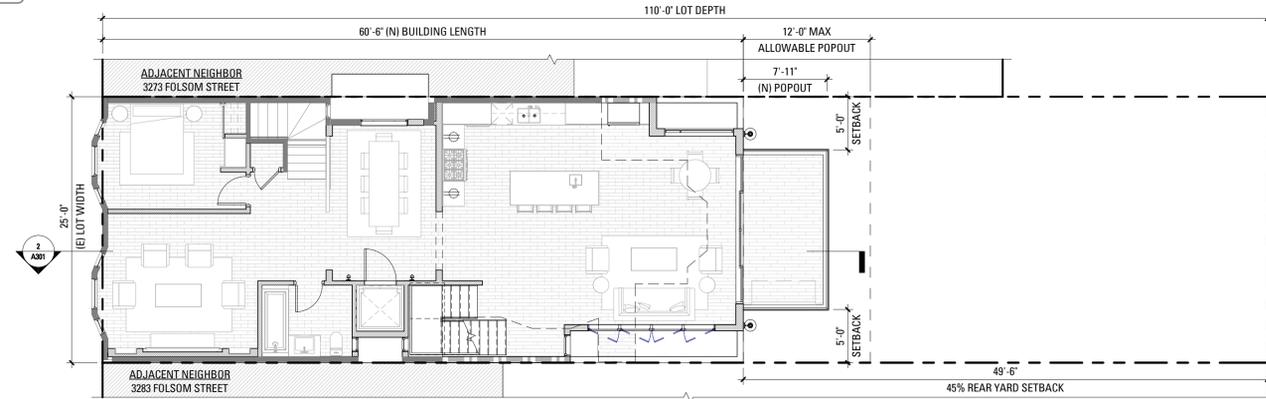
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SAN FRANCISCO, CA 94110



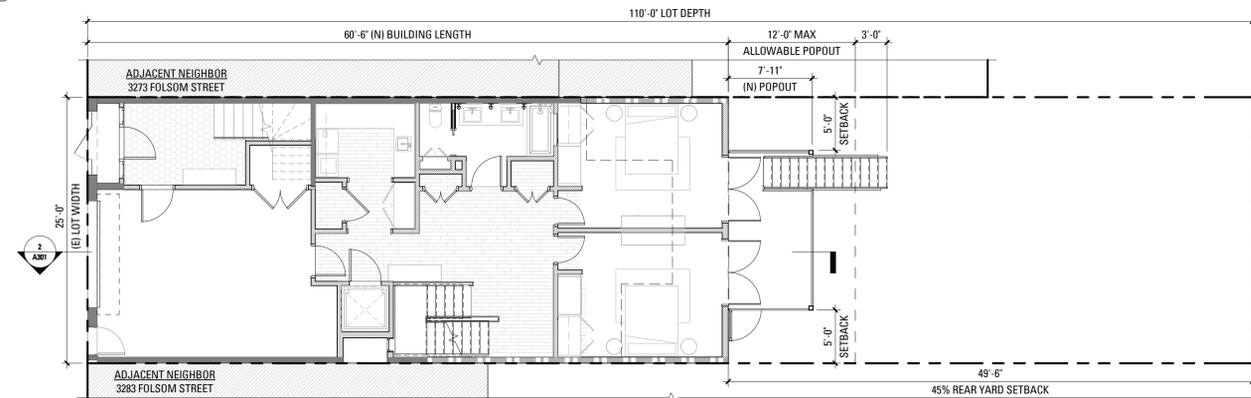
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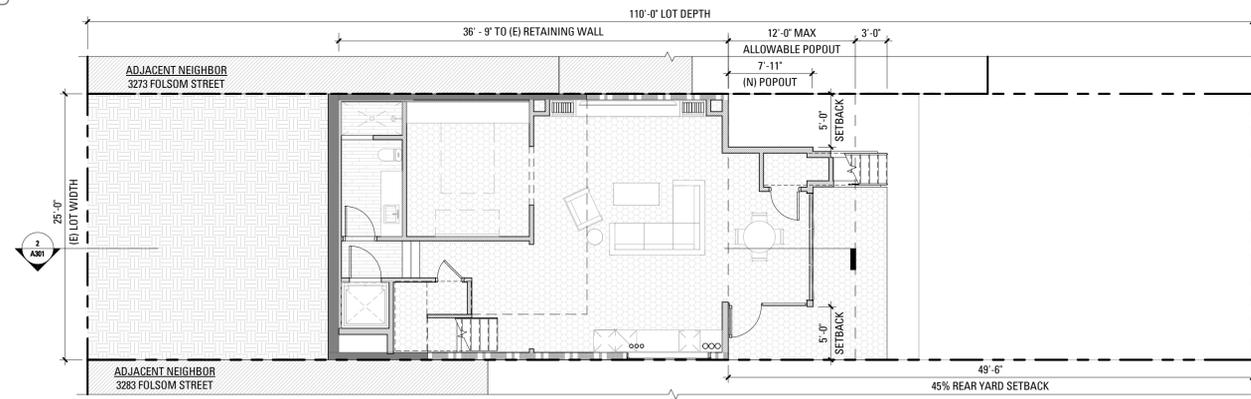
4 THIRD FLOOR REFERENCE PLAN
1/8" = 1'-0"



3 SECOND FLOOR REFERENCE PLAN
1/8" = 1'-0"



2 FIRST FLOOR REFERENCE PLAN
1/8" = 1'-0"



1 BASEMENT REFERENCE PLAN
1/8" = 1'-0"

NO. RECORD OF DRAWING ISSUANCE DATE

1 REVISION 1 07.21.2017

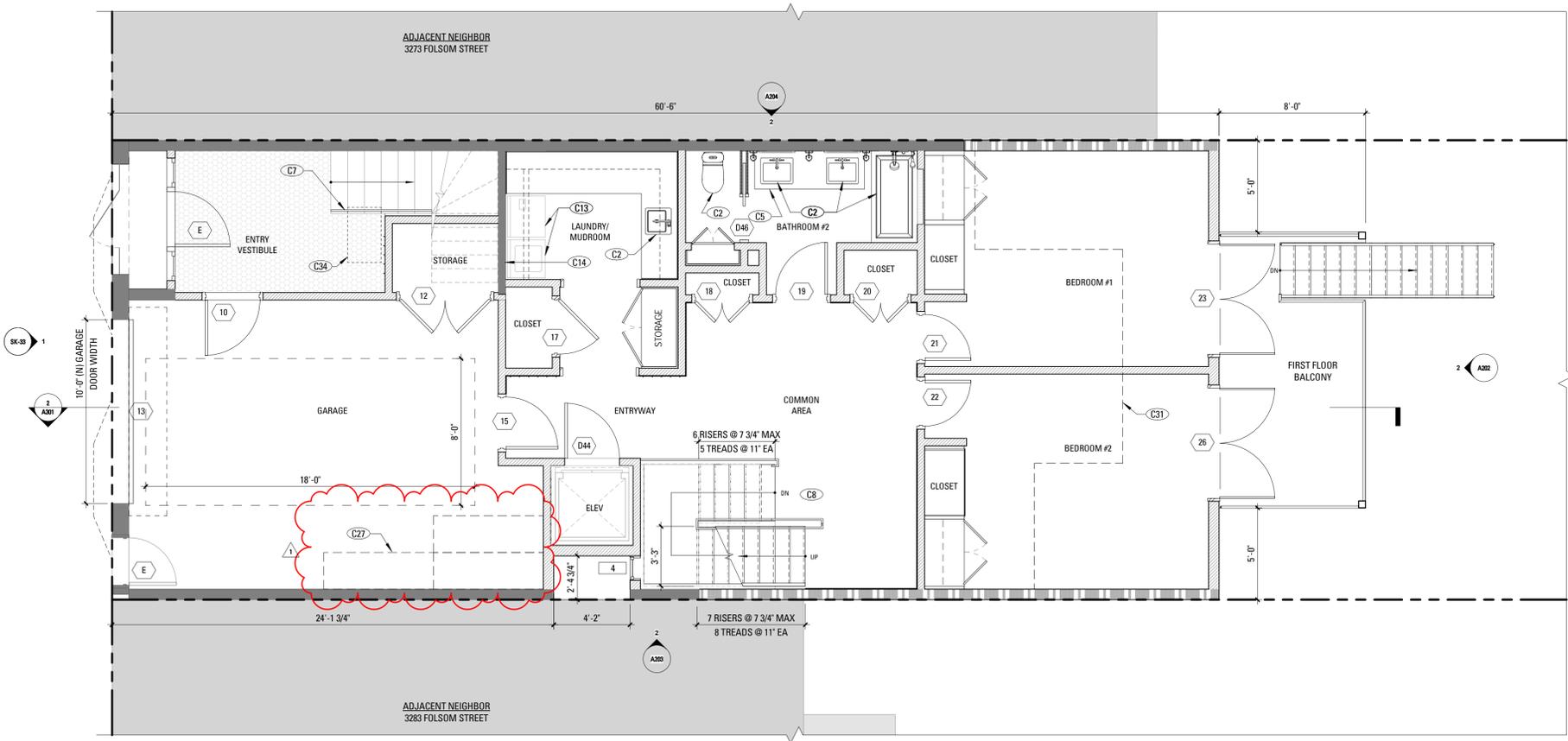


PRE-APPLICATION MEETING

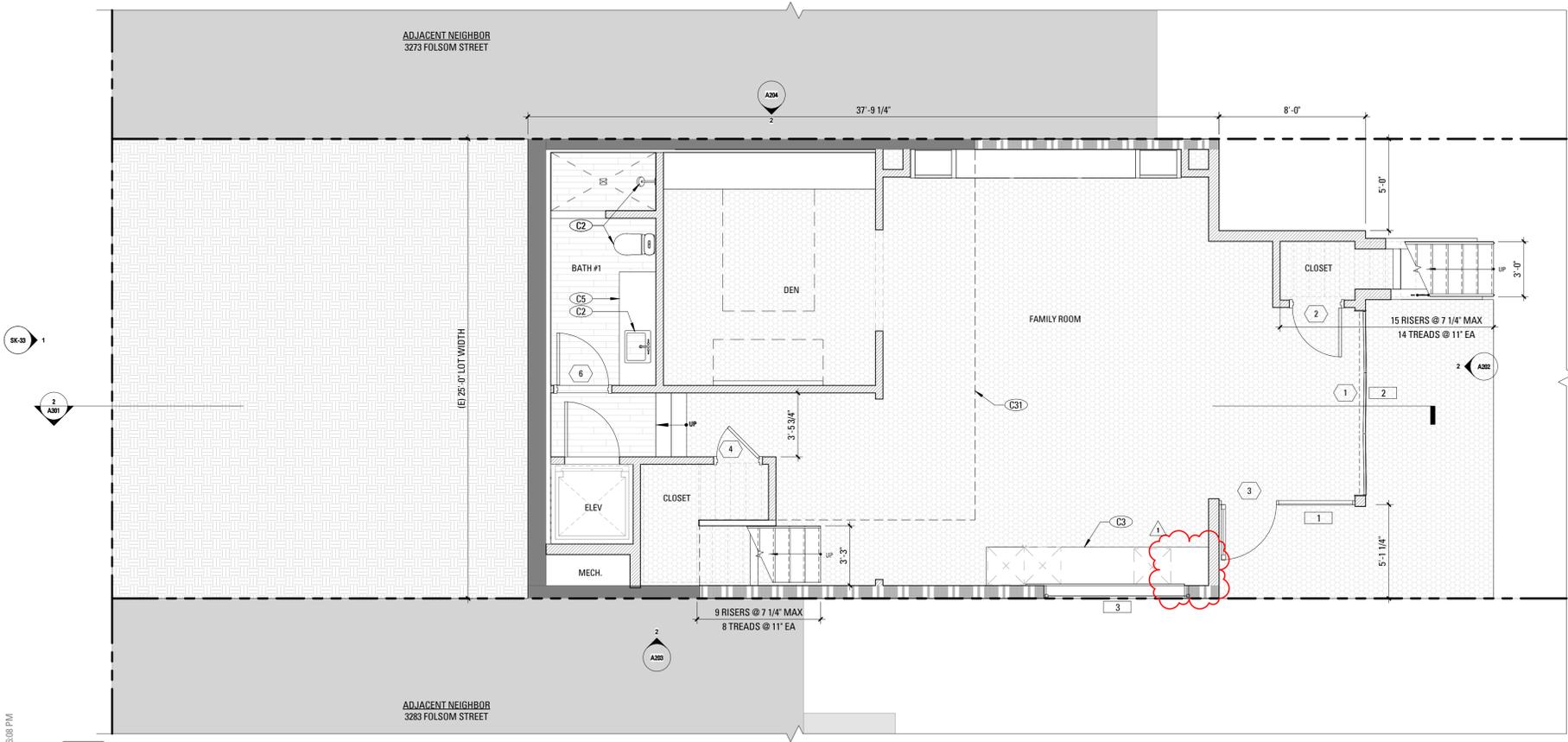
Drawn By: Author
Checked By: Approver
Project Number: 1589-1

REFERENCE FLOOR
PLANS
SHEET NUMBER

A110



2 FIRST FLOOR CONSTRUCTION PLAN
1/4" = 1'-0"



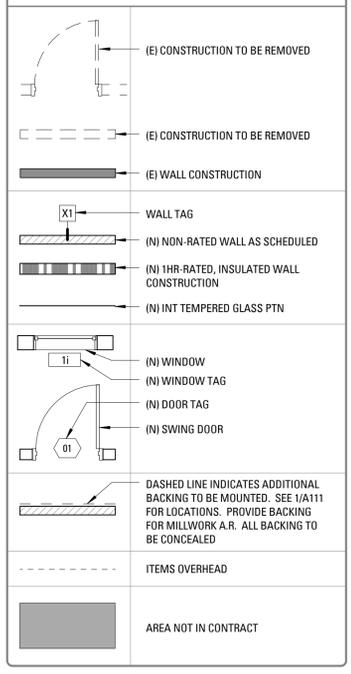
1 BASEMENT CONSTRUCTION PLAN
1/4" = 1'-0"

CONSTRUCTION PLAN

GENERAL NOTES

- SEE SHEET A004 FOR ACCESSIBLE CLEARANCES & FURTHER INFORMATION ON RECEPTION DESK
- SEE GENERAL NOTES ON SHEET A002.
- 1 ALL (N) WALLS TYPE "A" U.O.N. SEE SCHEDULE, A901.
- 2 ALL DIMENSIONS ARE TO FACE OF FINISH, CENTERLINE OF OPENING OR EDGE OF JAMB FRAME, U.O.N.
- 3 CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING. ARCHITECT TO REVIEW ALL CHALK LINES IN FIELD PRIOR TO STUD INSTALLATION.
- 4 DOORS NOT LOCATED BY DIMENSION SHALL BE PLACED 3" OFF JAMB, U.O.N. REFER TO DOOR SCHEDULE FOR TYPES AND SIZES ON SHEET A901.
- 5 PROVIDE & INSTALL FLASHING, COUNTERFLASHING, CAP FLASHING, METAL TRIM, OTHER FABRICATED ITEMS AND MISCELLANEOUS SHEET METALWORK AT JUNCTIONS OF A ROOF AND WALL, AT CHIMNEYS, OVER EXPOSED DOORS AND WINDOWS. AT CHANGES OF SIDING MATERIAL IN ROOF-VALLEYS OR WHERE REQUIRED TO PROVIDE COMPLETE WATERTIGHT AND WATERPROOF CONSTRUCTION.
- 6 PROVIDE & INSTALL ONE PIECE GSM PAN FLASHING AT ALL NEW AND REPLACEMENT EXTERIOR DOORS. COMPLY WITH ASTM E212-07, STANDARD PRACTICE FOR INSTALLATION OF EXTERIOR WINDOWS, DOORS, AND SKYLIGHTS.
- 7 WATERPROOFING SHALL OVERLAP FLASHINGS FOR POSITIVE DRAINAGE AT ALL CONDITIONS.
- 8 FLASHING & SHEET METALWORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH SHEET METAL & AIR CONDITIONING CONTRACTORS' NATIONAL ASSOCIATION (SMACNA) ARCHITECTURAL SHEET METAL MANUAL. COMPLY WITH MINIMUM THICKNESS OR GAGE REQUIREMENTS AS SPECIFIED IN SMACNA ARCHITECTURAL SHEET METAL MANUAL. ISOLATE AND PROTECT DISSIMILAR METALS FROM CONTACT WITH EACH OTHER BY APPLYING SPECIFIED ISOLATION MATERIAL TO CONTACT SURFACES. PROTECT SURFACES OF SHEET METAL IN CONTACT WITH CONCRETE, TREATED WOOD, OR ALUMINUM WITH A HEAVY COATING OF BITUMINOUS PAINT AS RECOMMENDED BY MANUFACTURER/FABRICATOR.
- 9 FLASHING & SHEET METALWORK WILL NOT BE MEASURED SEPARATELY FOR PAYMENT BUT WILL BE PAID FOR AS PART OF THE CONTRACT LUMP SUM PRICE FOR ARCHITECTURAL WORK.
- 10 PROVIDE MINIMUM OF R-19 BATT INSULATION IN EXTERIOR WALLS ADJACENT TO LIVING SPACE.
- 11 PROVIDE CEMENT BOARD BACKING IN AREAS TO RECEIVE TILE FINISH.
- 12 WOOD LOCATED NEARER THAN 6" TO EARTH SHALL BE TREATED WOOD.
- 13 ALL DOORS AND WINDOWS NOT TAGGED ARE EXISTING TO REMAIN U.O.N.
- 14 ALL TOILETS TO HAVE A MINIMUM CLEARANCE OF 24" IN FRONT AND 15" FROM CENTERLINE OF THE TOILET TO EACH SIDE.
- 15 STAIRWAYS SHALL HAVE A MINIMUM HEADROOM CLEARANCE OF 80 INCHES ABOVE THE FRONT EDGE OF THE NOSING.
- 16 ALL APPLIANCES WITH QUICK-ACTING VALVES, INCLUDING BUT NOT LIMITED TO DISHWASHERS & CLOTHES WASHERS, SHALL HAVE WATER HAMMER ARRESTORS (CPC 609.10).
- 17 ALL EXISTING NON-COMPLIANT AND NEW PLUMBING FIXTURES SHALL COMPLY WITH CALIFORNIA SB-407 (2009).
- 18 WATER HEATERS SHALL HAVE SEISMIC STRAPPING AT A POINT WITHIN THE UPPER 1/3 AND THE LOWER 1/3 OF THE WATER HEATER'S VERTICAL DIMENSIONS. AT THE LOWER POINT, A MINIMUM DISTANCE OF FOUR (4) INCHES SHALL BE MAINTAINED ABOVE THE CONTROLS TO THE STRAP. (CPC 507.2).
- 19 KITCHEN RANGES SHALL BE PROVIDED WITH A METAL VENTILATING HOOD. A VERTICAL CLEARANCE OF 24" MINIMUM BETWEEN THE COOKTOP & METAL VENTILATING HOOD SHALL BE MAINTAINED. THE HOOD SHALL BE AS WIDE AS THE RANGE AND CENTERED OVER THE UNIT. THE METAL HOOD SHALL BE 0.0122" MINIMUM THICK (2013 CMC 920.3).
- 20 KITCHEN IS REQUIRED TO HAVE AN EXHAUST FAN DUCTED TO THE OUTSIDE WITH A MINIMUM VENTILATION RATE OF 100 CFM.
- 21 ALL EXHAUST FAN DUCTING, INCLUDING BUT NOT LIMITED TO KITCHEN AND BATHROOM EXHAUST FANS, SHALL BE SIZED ACCORDING TO ASHRAE STANDARD 62.2 TABLE 7.1.
- 22 APPLIANCES IN ATTIC AND UNDER-FLOOR SPACES SHALL BE ACCESSIBLE THROUGH AN OPENING AND PASSAGEWAY AT LEAST AS LARGE AS THE LARGEST COMPONENT OF THE APPLIANCE, AND NOT LESS THAN 22 INCHES BY 30 INCHES. (CPC 508.4).
- 23 APPLIANCES IN ATTIC AND UNDER-FLOOR SPACES SHALL HAVE A SOLID FLOOR PASSAGEWAY OF NOT LESS THAN 24 INCHES AND A WORK PLATFORM OF NOT LESS THAN 30 INCHES BY 30 INCHES IN FRONT OF THE SERVICE SIDE OF THE APPLIANCE. (CPC 508.4.2 & 508.4.3).
- 24 APPLIANCES IN ATTIC AND UNDER-FLOOR SPACES SHALL HAVE A PERMANENT 120-VOLT RECEPTACLE OUTLET AND A LIGHTING FIXTURE NEAR THE APPLIANCE. (CPC 508.4.4).
- 25 ALL GLASS SHALL BE BIRD SAFE GLAZING PER SAN FRANCISCO STANDARDS FOR BIRD SAFE BUILDINGS.

PLAN LEGEND



CONSTRUCTION KEYNOTES

- C2 (N) PLUMBING FIXTURES, TYP.
- C3 (N) BUILT-IN CASEWORK
- C5 (N) BASE CABINETS AND COUNTERS
- C7 (N) GRIPPABLE HANDRAIL @ 36" ABOVE NOSING; DESIGN SHALL RESIST LINEAR LOAD OF 50 PLF IN ACCORDANCE W/ SECTION 4.5.1 OF ASCE 7 PER CBC 1607.8.1
- C8 (N) GUARDRAIL @ 42" W/ 4" MAX OPENING; DESIGN SHALL RESIST LINEAR LOAD OF 50 PLF IN ACCORDANCE W/ SECTION 4.5.1 OF ASCE 7 PER CBC 1607.8.1
- C13 (N) WASHER/DRYER AND HOOK UPS. VENT DRYER TO EXTERIOR
- C14 (N) GAS SHUTOFF
- C17 (N) DEDICATED CLASS 1 BICYCLE PARKING SPACE PER SF ZONING ADMINISTRATOR BULLETIN NO. 9
- C31 (E) FLOOR OUTLINE SHOWN FOR REFERENCE
- C32 (N) PAINTED WOOD LATTICED SUNSHADE
- C33 (N) FOLD-DOWN WOOD BENCH, PROVIDE BACKING IN PARTIAL HEIGHT WALL
- C34 (N) UNDER-STAIR STORAGE DRAWER

PARKING CALCULATIONS AND BICYCLE SPACES

PER SF PLANNING CODE SECTION 242(e)(4):
 PROPOSED USABLE FLOOR AREA: 3,770SF
 PARKING SPACES REQUIRED: 4
 PARKING SPACES PROVIDED: 1 AUTO, 3 BICYCLE (PER SF PLANNING CODE 150(e)), BIKE PARKING CAN SUBSTITUTE REQUIRED AUTO PARKING SPACES)
 PER ZONING ADMINISTRATOR BULLETIN 9, EACH CLASS 1 BICYCLE PARKING SPACE SHALL MAINTAIN A 2'-0" X 6'-0" CLEAR SPACE.

BALABANIAN RESIDENCE

3277 FOLSOM STREET
SAN FRANCISCO, CA 94110



101 Montgomery Street Suite 650 San Francisco, CA 94104
T 415 346 9990



NO.	RECORD OF DRAWING ISSUANCE	DATE
	PRE-APPLICATION MEETING	11.14.2016
	SITE PERMIT SET	11.21.2016
1	REVISION 1	07.21.2017

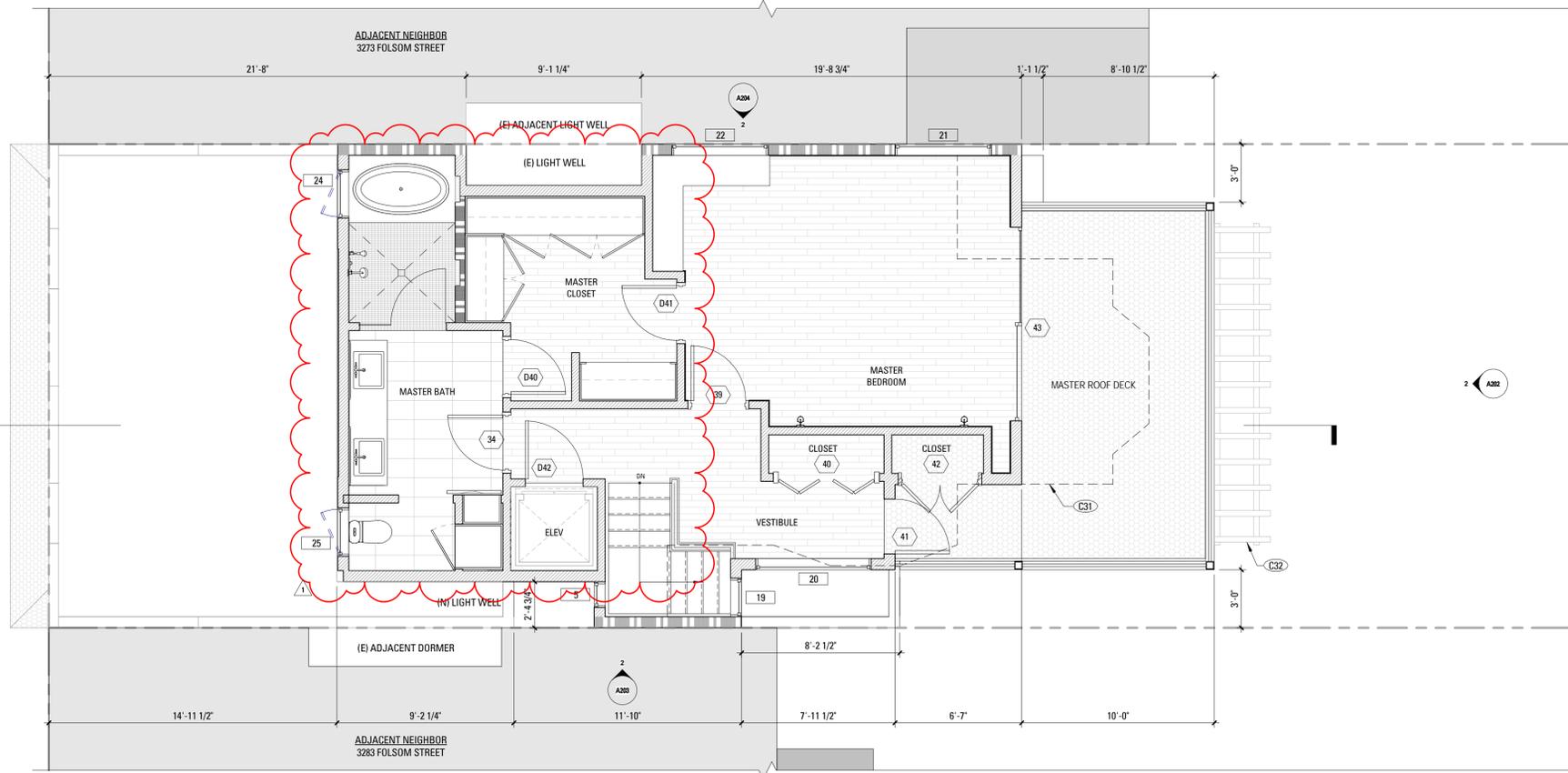
PRE-APPLICATION MEETING

Drawn By:	Author
Checked By:	Approver
Project Number:	1559.1

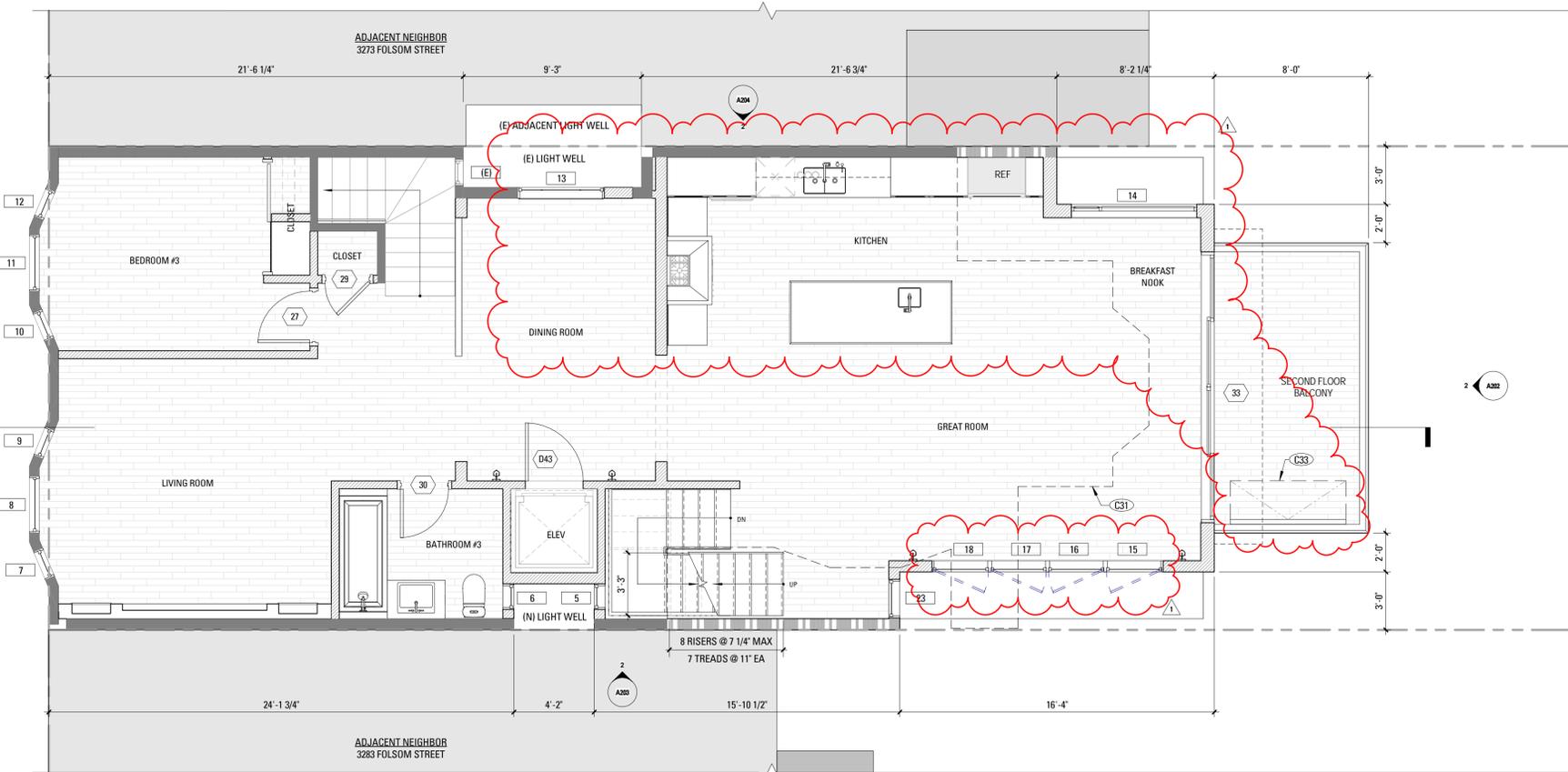
BASEMENT & 1ST FLOOR CONSTRUCTION PLAN

SHEET NUMBER

A111



2 THIRD FLOOR CONSTRUCTION PLAN
1/4" = 1'-0"



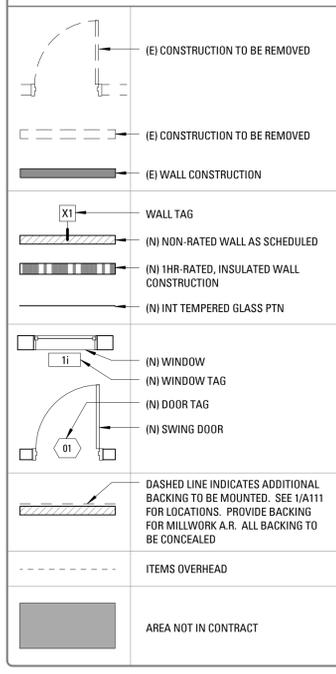
1 SECOND FLOOR CONSTRUCTION PLAN
1/4" = 1'-0"

CONSTRUCTION PLAN

GENERAL NOTES

- SEE SHEET A004 FOR ACCESSIBLE CLEARANCES & FURTHER INFORMATION ON RECEPTION DESK
SEE GENERAL NOTES ON SHEET A002.
- ALL (N) WALLS TYPE "A" U.O.N. SEE SCHEDULE, A901.
 - ALL DIMENSIONS ARE TO FACE OF FINISH, CENTERLINE OF OPENING OR EDGE OF JAMB FRAME, U.O.N.
 - CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING. ARCHITECT TO REVIEW ALL CHALK LINES IN FIELD PRIOR TO STUD INSTALLATION.
 - DOORS NOT LOCATED BY DIMENSION SHALL BE PLACED 3" OFF JAMB, U.O.N. REFER TO DOOR SCHEDULE FOR TYPES AND SIZES ON SHEET A901.
 - PROVIDE & INSTALL FLASHING, COUNTERFLASHING, CAP FLASHING, METAL TRIM, OTHER FABRICATED ITEMS AND MISCELLANEOUS SHEET METALWORK AT JUNCTIONS OF A ROOF AND WALL, AT CHIMNEYS, OVER EXPOSED DOORS AND WINDOWS. AT CHANGES OF SIDING MATERIAL IN ROOF-VALLEYS OR WHERE REQUIRED TO PROVIDE COMPLETE WATERTIGHT AND WATERPROOF CONSTRUCTION.
 - PROVIDE & INSTALL ONE PIECE GSM PAN FLASHING AT ALL NEW AND REPLACEMENT EXTERIOR DOORS. COMPLY WITH ASTM E2112-07, STANDARD PRACTICE FOR INSTALLATION OF EXTERIOR WINDOWS, DOORS, AND SKYLIGHTS.
 - WATERPROOFING SHALL OVERLAP FLASHINGS FOR POSITIVE DRAINAGE AT ALL CONDITIONS.
 - FLASHING & SHEET METALWORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH SHEET METAL & AIR CONDITIONING CONTRACTORS' NATIONAL ASSOCIATION (SMACNA) ARCHITECTURAL SHEET METAL MANUAL, COMPLY WITH MINIMUM THICKNESS OR GAGE REQUIREMENTS AS SPECIFIED IN SMACNA ARCHITECTURAL SHEET METAL MANUAL. ISOLATE AND PROTECT DISSIMILAR METALS FROM CONTACT WITH EACH OTHER BY APPLYING SPECIFIED ISOLATION MATERIAL TO CONTACT SURFACES. PROTECT SURFACES OF SHEET METAL IN CONTACT WITH CONCRETE, TREATED WOOD, OR ALUMINUM WITH A HEAVY COATING OF BITUMINOUS PAINT AS RECOMMENDED BY MANUFACTURER/FABRICATOR.
 - FLASHING & SHEET METALWORK WILL NOT BE MEASURED SEPARATELY FOR PAYMENT BUT WILL BE PAID FOR AS PART OF THE CONTRACT LUMP SUM PRICE FOR ARCHITECTURAL WORK.
 - PROVIDE MINIMUM OF R-19 BATT INSULATION IN EXTERIOR WALLS ADJACENT TO LIVING SPACE.
 - PROVIDE CEMENT BOARD BACKING IN AREAS TO RECEIVE TILE FINISH.
 - WOOD LOCATED NEARER THAN 6" TO EARTH SHALL BE TREATED WOOD.
 - ALL DOORS AND WINDOWS NOT TAGGED ARE EXISTING TO REMAIN U.O.N.
 - ALL TOILETS TO HAVE A MINIMUM CLEARANCE OF 24" IN FRONT AND 15" FROM CENTERLINE OF THE TOILET TO EACH SIDE.
 - STAIRWAYS SHALL HAVE A MINIMUM HEADROOM CLEARANCE OF 80 INCHES ABOVE THE FRONT EDGE OF THE NOSING.
 - ALL APPLIANCES WITH QUICK-ACTING VALVES, INCLUDING BUT NOT LIMITED TO DISHWASHERS & CLOTHES WASHERS, SHALL HAVE WATER HAMMER ARRESTORS (CPC 609.10).
 - ALL EXISTING NON-COMPLIANT AND NEW PLUMBING FIXTURES SHALL COMPLY WITH CALIFORNIA SB-407 (2009).
 - WATER HEATERS SHALL HAVE SEISMIC STRAPPING AT A POINT WITHIN THE UPPER 1/3 AND THE LOWER 1/3 OF THE WATER HEATER'S VERTICAL DIMENSIONS. AT THE LOWER POINT, A MINIMUM DISTANCE OF FOUR (4) INCHES SHALL BE MAINTAINED ABOVE THE CONTROLS TO THE STRAP. (CPC 507.2).
 - KITCHEN RANGES SHALL BE PROVIDED WITH A METAL VENTILATING HOOD. A VERTICAL CLEARANCE OF 24" MINIMUM BETWEEN THE COOKTOP & METAL VENTILATING HOOD SHALL BE MAINTAINED. THE HOOD SHALL BE AS WIDE AS THE RANGE AND CENTERED OVER THE UNIT. THE METAL HOOD SHALL BE 0.0122" MINIMUM THICK (2013 CMC 920.3).
 - KITCHEN IS REQUIRED TO HAVE AN EXHAUST FAN DUCTED TO THE OUTSIDE WITH A MINIMUM VENTILATION RATE OF 100 CFM.
 - ALL EXHAUST FAN DUCTING, INCLUDING BUT NOT LIMITED TO KITCHEN AND BATHROOM EXHAUST FANS, SHALL BE SIZED ACCORDING TO ASHRAE STANDARD 62.2 TABLE 7.1.
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 - APPLIANCES IN ATTIC AND UNDER-FLOOR SPACES SHALL HAVE A SOLID FLOOR PASSAGEWAY OF NOT LESS THAN 24 INCHES AND A WORK PLATFORM OF NOT LESS THAN 30 INCHES BY 30 INCHES IN FRONT OF THE SERVICE SIDE OF THE APPLIANCE. (CPC 508.4.2 & 508.4.3).
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 - ALL GLASS SHALL BE BIRD SAFE GLAZING PER SAN FRANCISCO STANDARDS FOR BIRD SAFE BUILDINGS.

PLAN LEGEND



CONSTRUCTION KEYNOTES

- C2 (N) PLUMBING FIXTURES, TYP.
- C3 (N) BUILT-IN CASEWORK
- C5 (N) BASE CABINETS AND COUNTERS
- C7 (N) GRIPABLE HANDRAIL @ 36" ABOVE NOSING; DESIGN SHALL RESIST LINEAR LOAD OF 50 PLF IN ACCORDANCE W/ SECTION 4.5.1 OF ASCE 7 PER CBC 1607.8.1
- C8 (N) GUARDRAIL @ 42" W/ 4" MAX OPENING; DESIGN SHALL RESIST LINEAR LOAD OF 50 PLF IN ACCORDANCE W/ SECTION 4.5.1 OF ASCE 7 PER CBC 1607.8.1
- C13 (N) WASHER/DRYER AND HOOK UPS. VENT DRYER TO EXTERIOR
- C14 (N) GAS SHUTOFF
- C27 (N) DEDICATED CLASS 1 BICYCLE PARKING SPACE PER SF ZONING ADMINISTRATOR BULLETIN NO. 9
- C31 (E) FLOOR OUTLINE SHOWN FOR REFERENCE
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- C34 (N) UNDER-STAIR STORAGE DRAWER

BALABANIAN RESIDENCE

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PRE-APPLICATION MEETING

Drawn By: AW
Checked By: BM
Project Number: 1559.1

2ND & 3RD FLOOR CONSTRUCTION PLAN

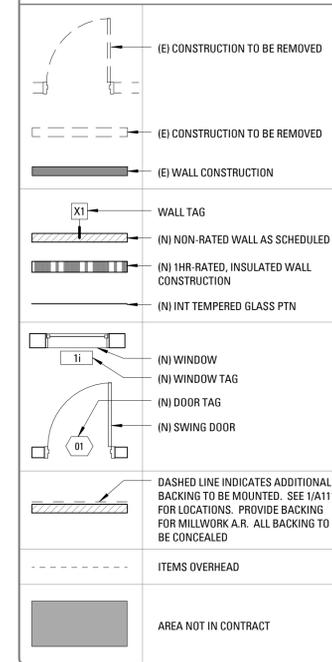
SHEET NUMBER

A112

**CONSTRUCTION PLAN
GENERAL NOTES**

- SEE SHEET A004 FOR ACCESSIBLE CLEARANCES & FURTHER INFORMATION ON RECEPTION DESK
SEE GENERAL NOTES ON SHEET A002.
- ALL (N) WALLS TYPE "A" U.O.N. SEE SCHEDULE, A901.
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PLAN LEGEND



CONSTRUCTION KEYNOTES

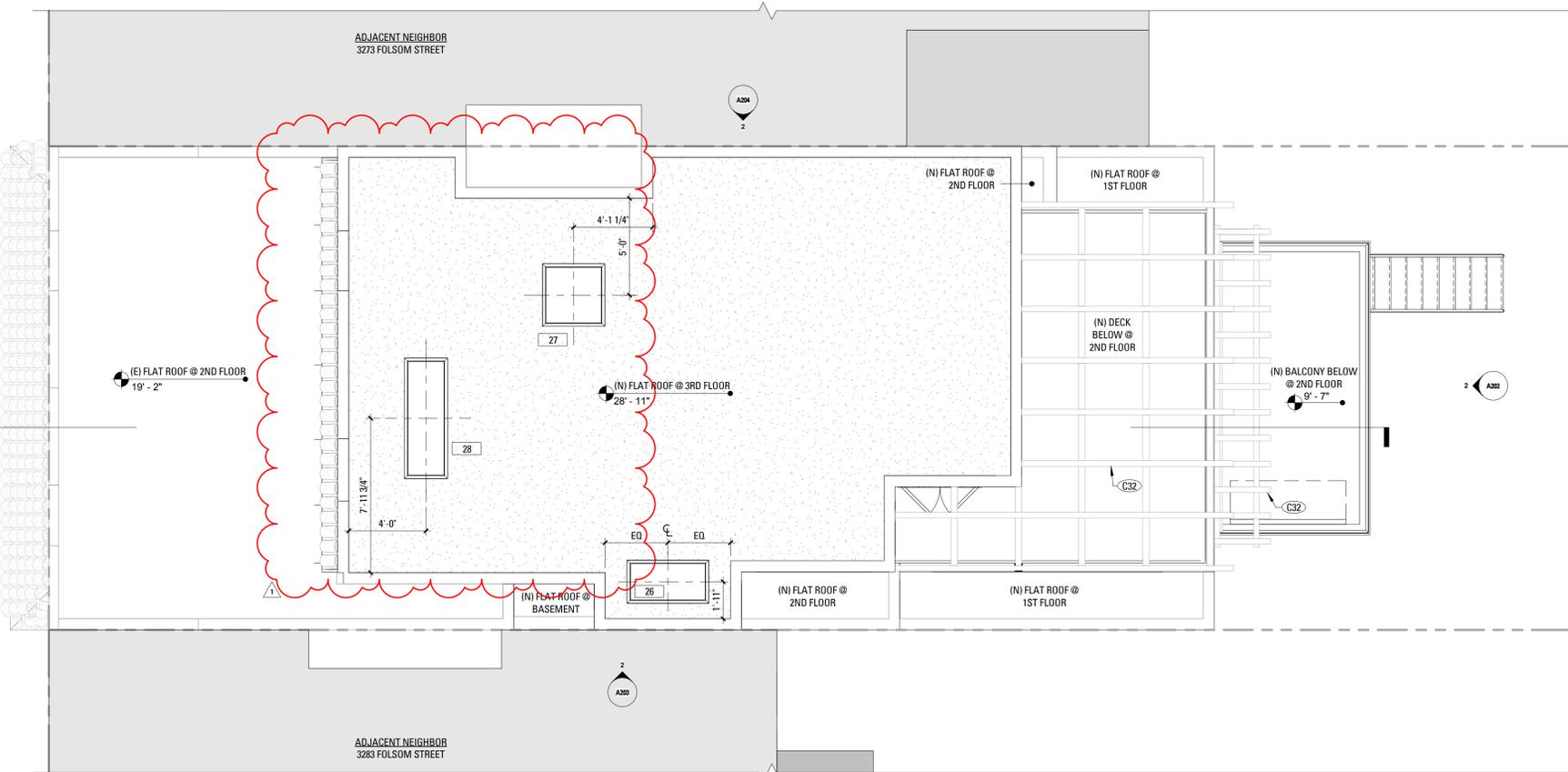
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- C34 (N) UNDER-STAIR STORAGE DRAWER

**BALABANIAN
RESIDENCE**

3277 FOLSOM STREET
SAN FRANCISCO, CA 94110



101 Montgomery
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1 ROOF CONSTRUCTION PLAN
1/4" = 1'-0"

NO.	RECORD OF DRAWING ISSUANCE	DATE
	PRE-APPLICATION MEETING	11.14.2016
	SITE PERMIT SET	11.21.2016
1	REVISION 1	07.21.2017

PRE-APPLICATION MEETING	
Drawn By:	Author
Checked By:	Approver
Project Number:	1559.1
ROOF CONSTRUCTION PLAN	
SHEET NUMBER	
A113	

EXTERIOR ELEVATION

KEYNOTES

- (D) (E) DOOR OR WINDOW TO BE REMOVED
- (E) (E) DOOR OR WINDOW TO REMAIN
- (N) (N) DOOR OR WINDOW, SEE SCHEDULE A901 AND A902
- (R) (E) DOOR OR WINDOW TO BE RELOCATED
- 2 (N) CEMENTICIOUS PLASTER

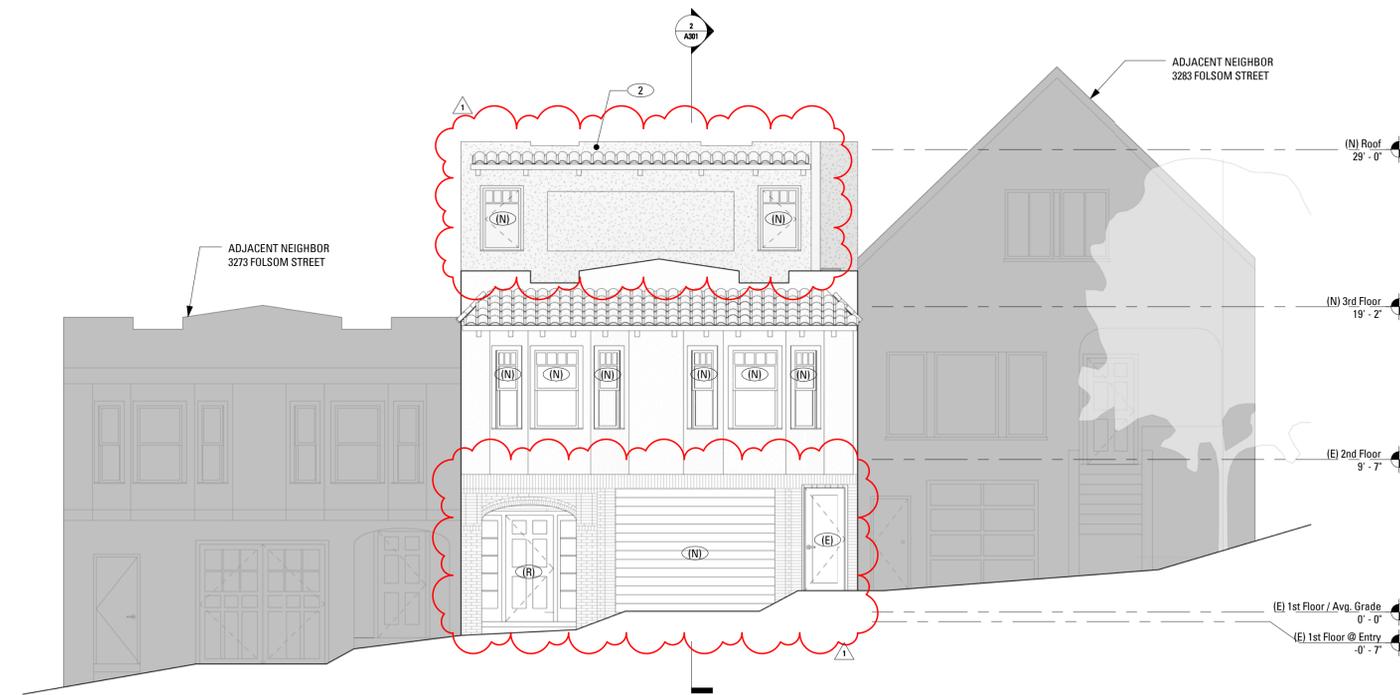
BALABANIAN RESIDENCE

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MARTINKOVIC MILFORD ARCHITECTS

101 Montgomery Street Suite 650 San Francisco, CA 94104 T 415 346 9990



2 PROPOSED FRONT ELEVATION (WEST)
3/16" = 1'-0"



1 EXISTING FRONT ELEVATION (WEST)
3/16" = 1'-0"

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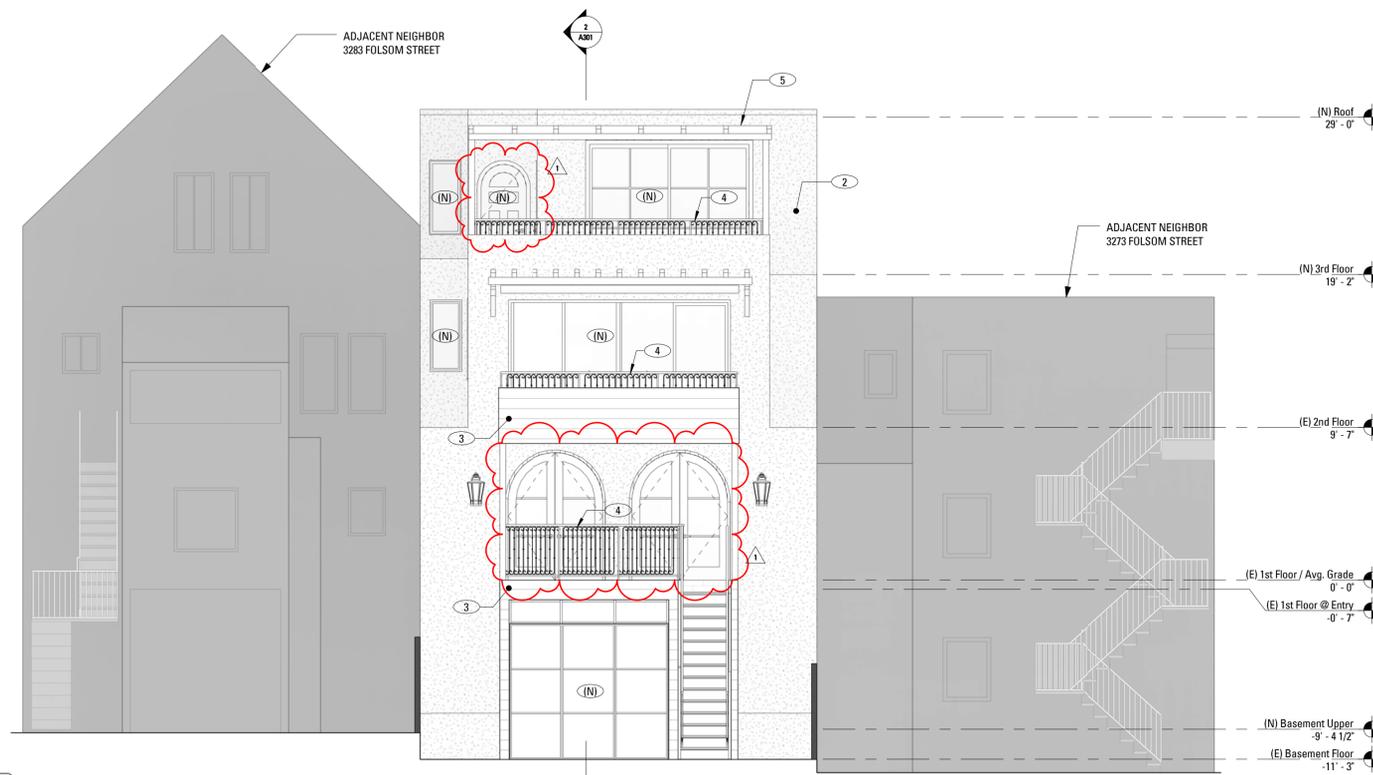
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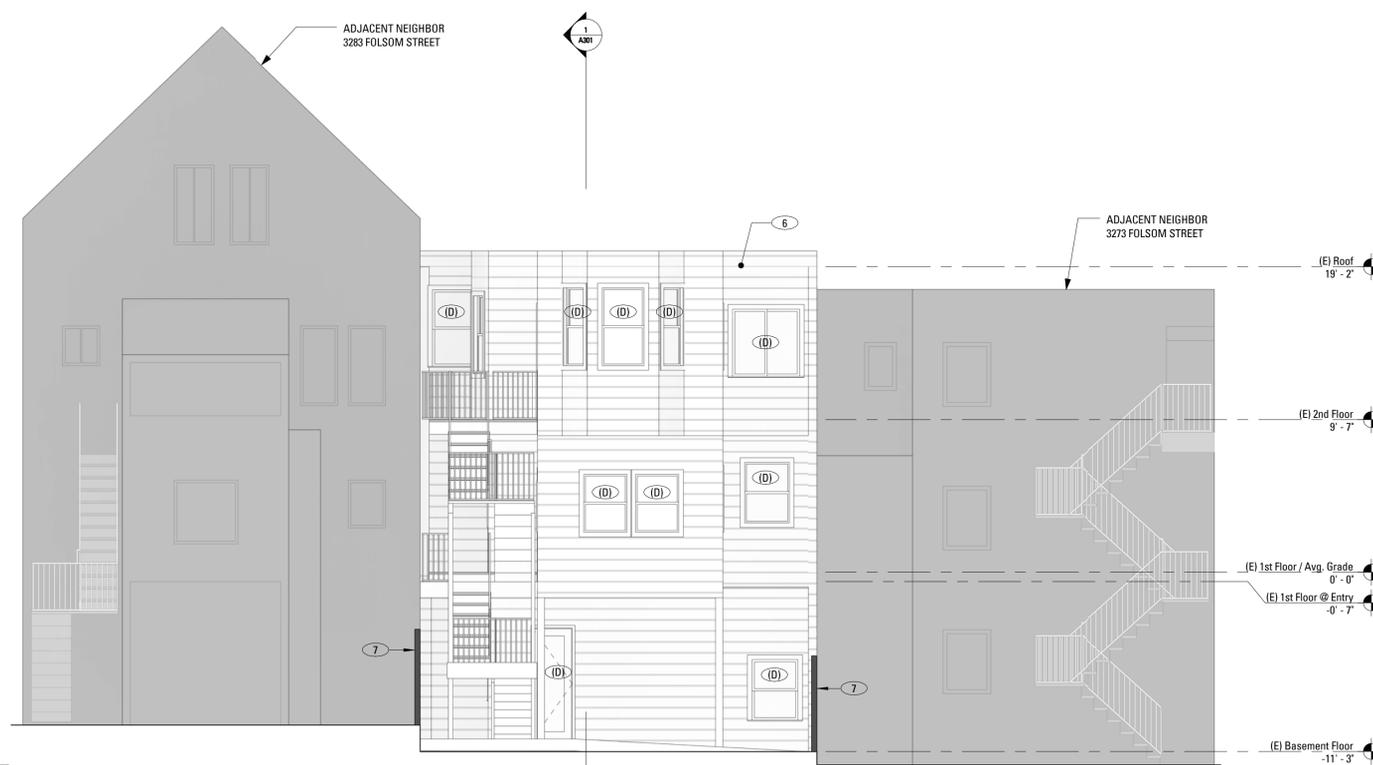
EXTERIOR ELEVATIONS

SHEET NUMBER

A201



2 PROPOSED REAR ELEVATION (EAST)
3/16" = 1'-0"



1 EXISTING REAR ELEVATION (EAST)
3/16" = 1'-0"

EXTERIOR ELEVATION

KEYNOTES

- (D) (E) DOOR OR WINDOW TO BE REMOVED
- (N) (N) DOOR OR WINDOW, SEE SCHEDULE A901 AND A902
- 2 (N) CEMENTICIOUS PLASTER
- 3 (N) STAINED WOOD PLANKS
- 4 (N) PAINTED METAL GUARDRAIL
- 5 (N) LATTICED WOOD SUNSHADE
- 6 (E) SIDING TO BE REMOVED
- 7 (E) FENCE TO REMAIN

BALABANIAN
RESIDENCE

3277 FOLSOM STREET
SAN FRANCISCO, CA 94110



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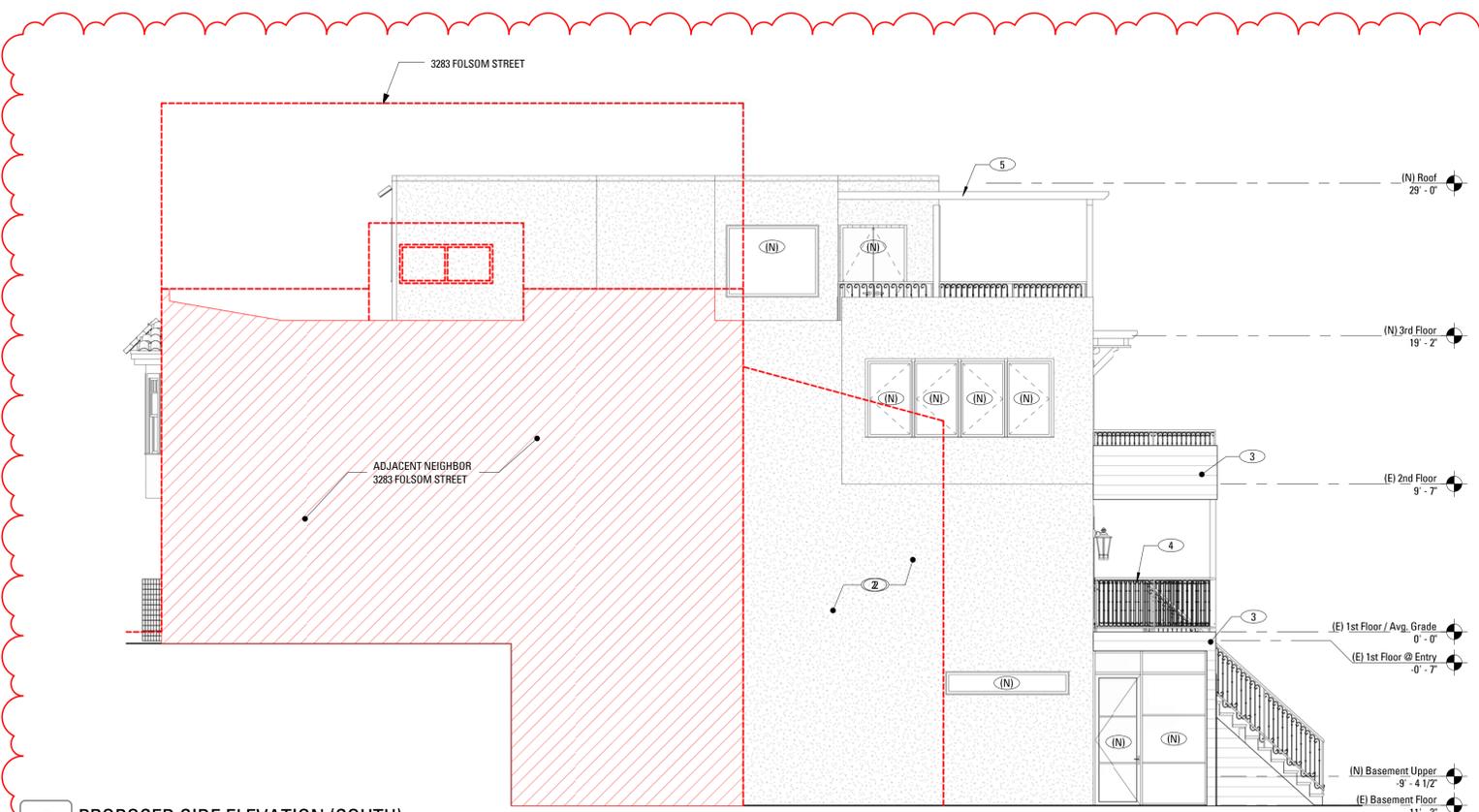
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EXTERIOR ELEVATIONS

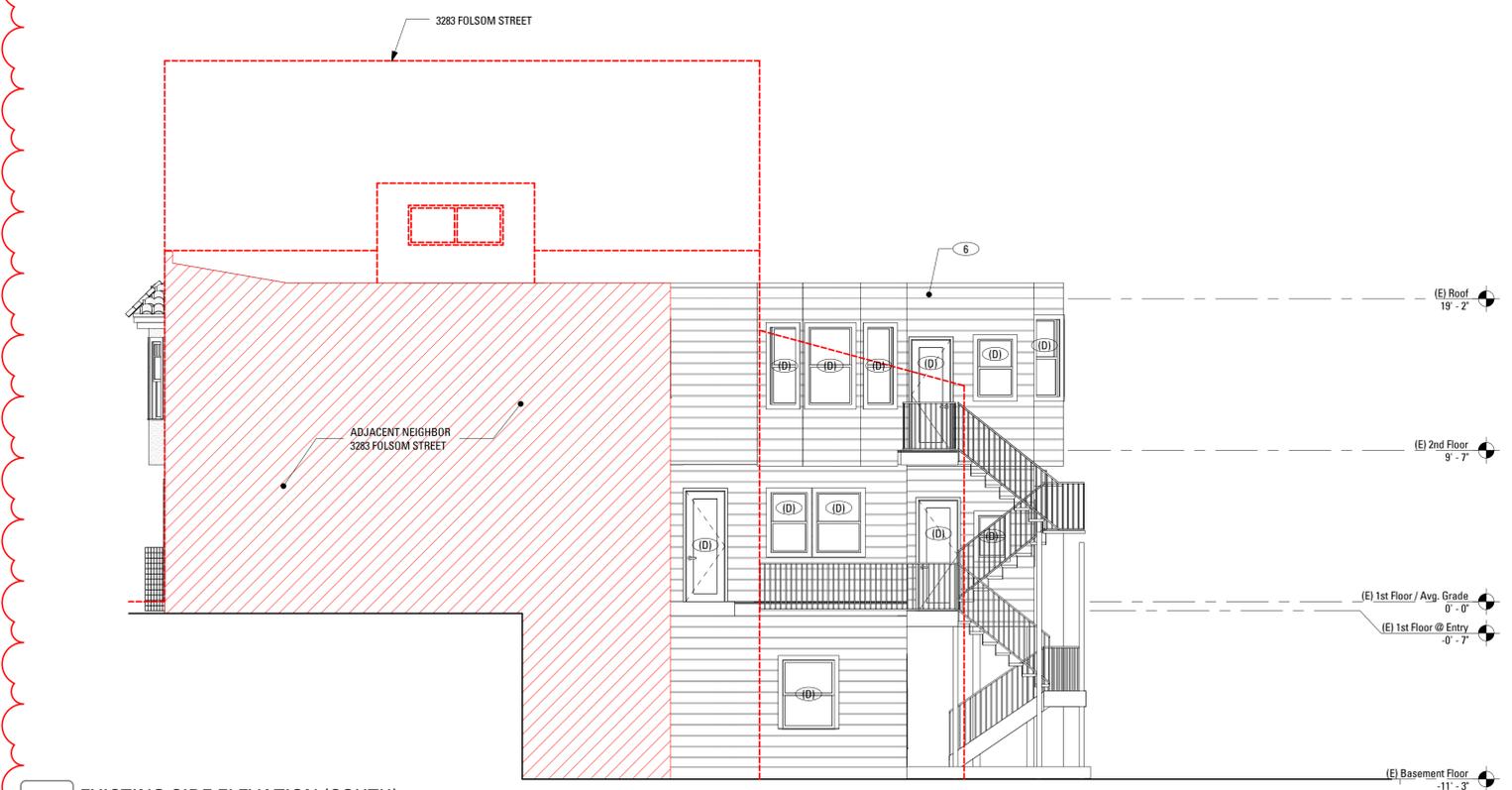
SHEET NUMBER

A202

7/21/2017 6:18:59 PM



2 PROPOSED SIDE ELEVATION (SOUTH)
3/16" = 1'-0"



1 EXISTING SIDE ELEVATION (SOUTH)
3/16" = 1'-0"

EXTERIOR ELEVATION KEYNOTES

(D)	(E) DOOR OR WINDOW TO BE REMOVED
(N)	(N) DOOR OR WINDOW, SEE SCHEDULE A801 AND A802
2	(N) CEMENTICIOUS PLASTER
3	(N) STAINED WOOD PLANKS
4	(N) PAINTED METAL GUARDRAIL
5	(N) LATTICED WOOD SUNSHADE
6	(E) SIDING TO BE REMOVED

ELEVATION LEGEND

	ADJACENT NEIGHBOR IN FOREGROUND
	LOCATION WHERE ADJACENT NEIGHBOR IN FOREGROUND AND SUBJECT PROPERTY TOUCH EACH OTHER
	ADJACENT NEIGHBOR IN BACKGROUND

BALABANIAN RESIDENCE

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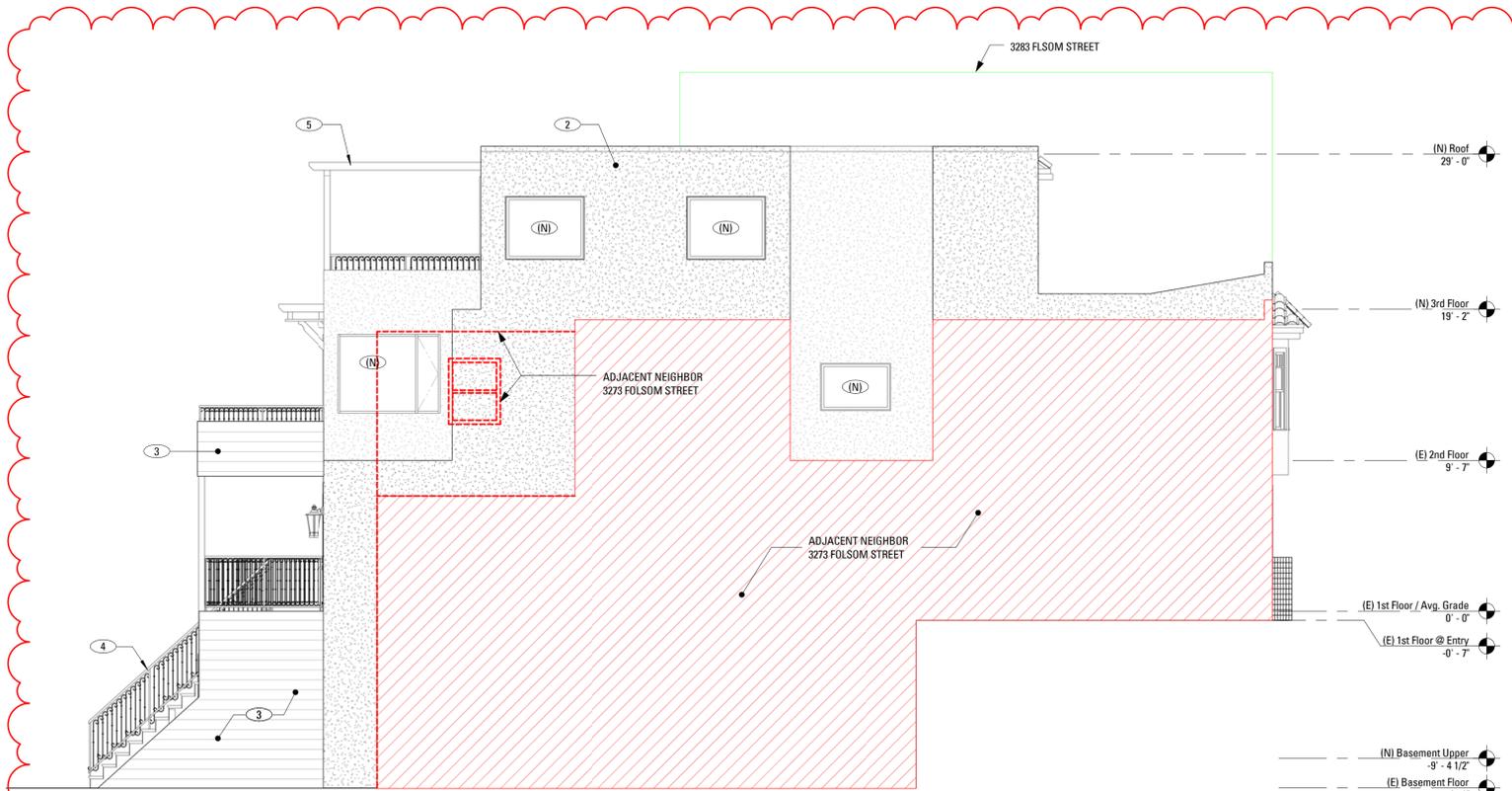
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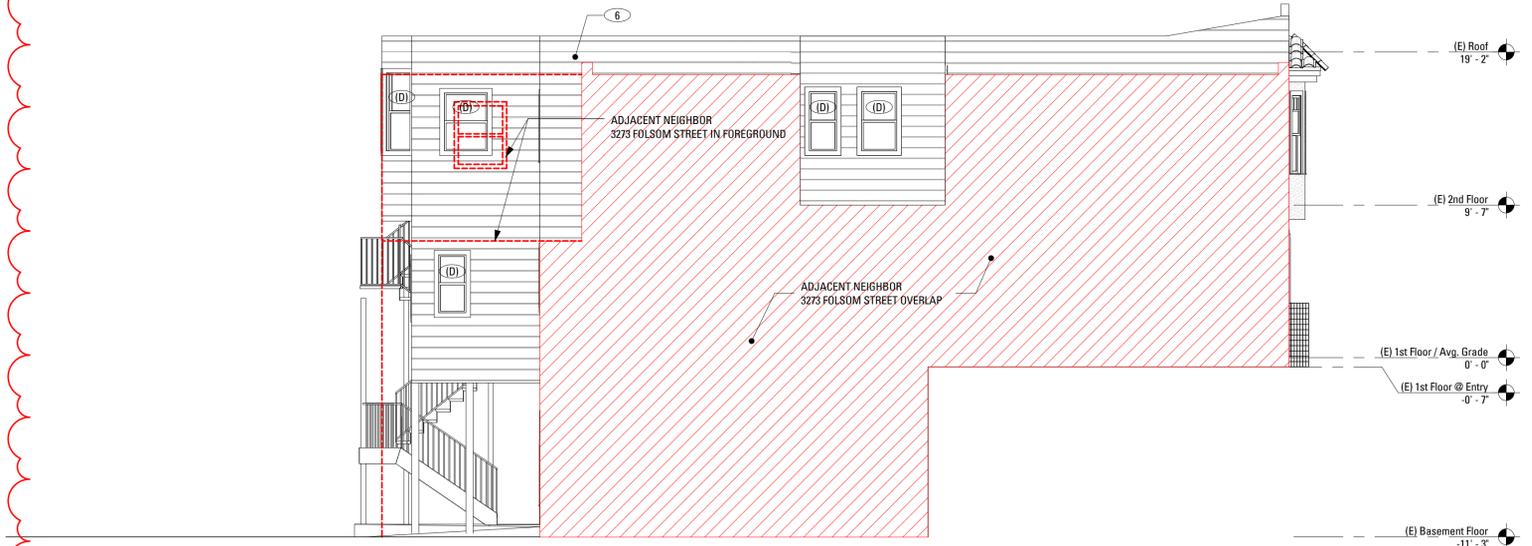
EXTERIOR ELEVATIONS

SHEET NUMBER

A203



2 PROPOSED SIDE ELEVATION (NORTH)
3/16" = 1'-0"



1 EXISTING SIDE ELEVATION (NORTH)
3/16" = 1'-0"

EXTERIOR ELEVATION KEYNOTES

(D)	(E) DOOR OR WINDOW TO BE REMOVED
(N)	(N) DOOR OR WINDOW, SEE SCHEDULE A801 AND A802
2	(N) CEMENTICIOUS PLASTER
3	(N) STAINED WOOD PLANKS
4	(N) PAINTED METAL GUARDRAIL
5	(N) LATTICED WOOD SUNSHADE
6	(E) SIDING TO BE REMOVED

ELEVATION LEGEND

	ADJACENT NEIGHBOR IN FOREGROUND
	LOCATION WHERE ADJACENT NEIGHBOR IN FOREGROUND AND SUBJECT PROPERTY TOUCH EACH OTHER
	ADJACENT NEIGHBOR IN BACKGROUND

BALABANIAN RESIDENCE

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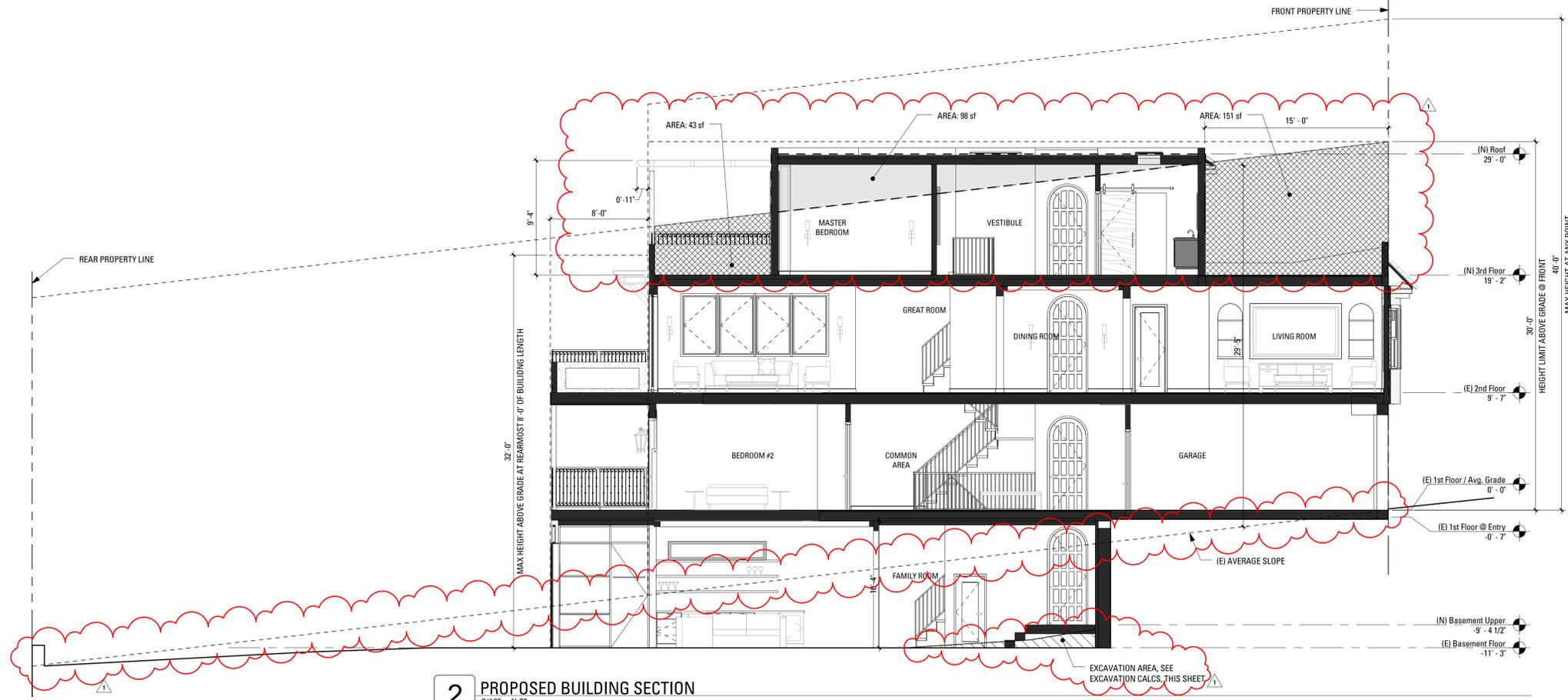
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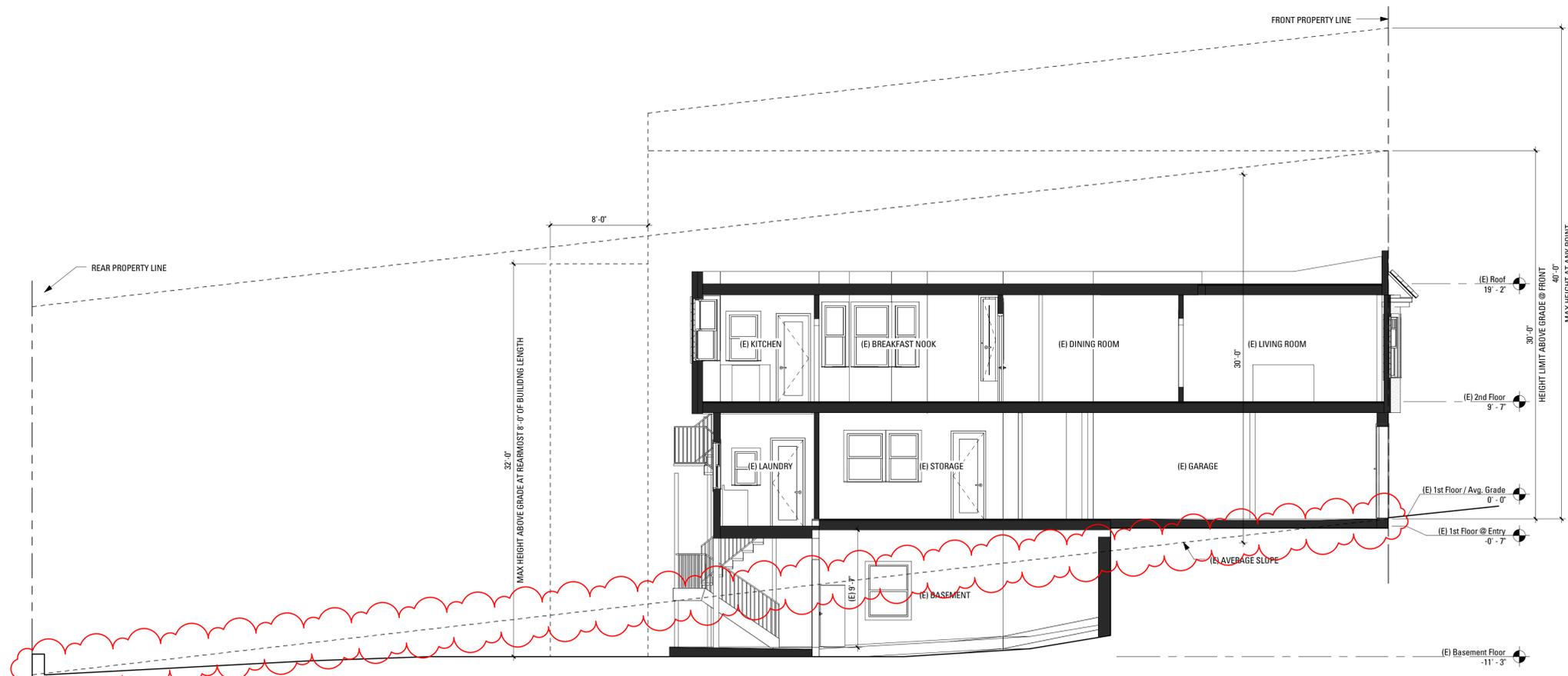
EXTERIOR ELEVATIONS

SHEET NUMBER

A204



2 PROPOSED BUILDING SECTION
3/16" = 1'-0"



1 EXISTING BUILDING SECTION
3/16" = 1'-0"

HEIGHT LIMIT EXCEPTION

SF PLANNING CODE SECTION 242.a.1:

***HEIGHT LIMITS. NO PORTION OF A DWELLING IN ANY PORTION OF THIS DISTRICT SHALL EXCEED A HEIGHT OF 30 FEET EXCEPT AS PROVIDED BELOW.**

(A) THE HEIGHT OF A DWELLING ON A DOWNSLOPE LOT SHALL NOT EXCEED 30 FEET ABOVE GRADE, SUBJECT TO AVERAGING OR OFFSET BY AN EQUAL HEIGHT REDUCTION. ANY PORTION OF A DWELLING EXCEEDING A HEIGHT OF 30 FEET MUST BE OFFSET BY AT LEAST AN EQUAL AMOUNT OF DWELLING HAVING A HEIGHT OF LESS THAN 30 FEET, PROVIDED THAT THE MAXIMUM HEIGHT ABOVE GRADE AT ANY POINT CANNOT EXCEED 40 FEET, AND THE REARMOST EIGHT FEET OF LENGTH CANNOT EXCEED 32 FEET ABOVE GRADE.

AREA ABOVE 30'-0" MAX HEIGHT LINE: 98sf
AREA BELOW 30'-0" MAX HEIGHT LINE: 194sf

EXCAVATION CALCULATIONS

SECTION OF AREA TO BE EXCAVATED: 9.13SF
WIDTH OF AREA TO BE EXCAVATED: 25SF (WIDTH OF LOT)
TOTAL VOLUME OF EXCAVATION: 228.25 CUBIC FEET

BALABANIAN RESIDENCE

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BUILDING SECTIONS

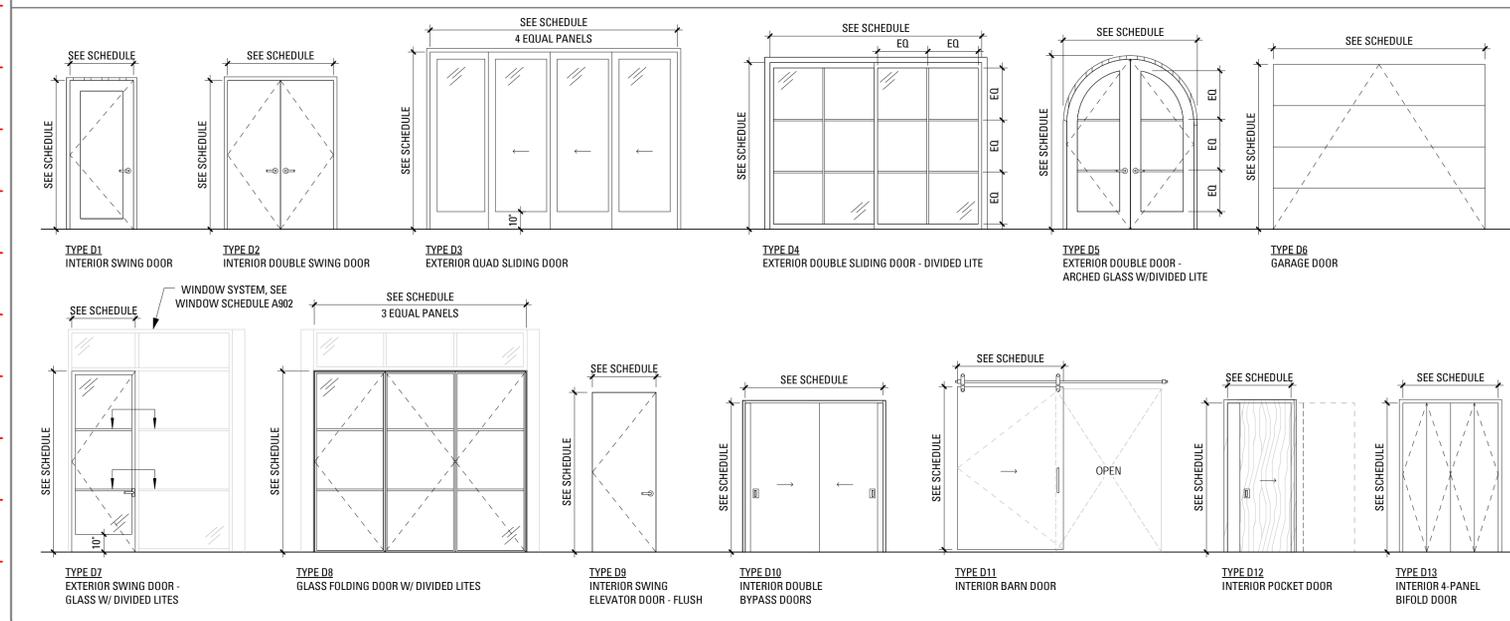
SHEET NUMBER

A301

DOOR SCHEDULE

DOOR NUM	ELEV. TYPE	ROOM NAME	DOOR			FRAME		DETAILS		RATING	HDWR	COMMENTS
			WIDTH	HEIGHT	THICK	MATERIAL	FINISH	HEAD	JAMB			
1	D8	MASTER BATH	2'-10"	6'-0"	1/2"	GL	AN					
2	D1	FAMILY ROOM	10'-0"	8'-6"	1/2"	AL-GL	AN					
3	D7	FAMILY ROOM	2'-8"	6'-8"	1 3/4"	WD	PT					
4	D1	FAMILY ROOM	3'-0"	8'-6"	1/2"	AL-GL	AN					
6	D1	BATH #1	2'-4"	5'-10"	1 3/4"	WD	PT					
10	D1	GARAGE	2'-10"	7'-0"	1 3/4"	WD	PT					
12	D2	GARAGE	3'-0"	7'-0"	1 3/4"	WD	PT			90		EXTERIOR DOOR, PROVIDE WEATHER SEAL
13	D6	GARAGE	10'-0"	7'-9"	2"	MTL	PT					
15	D1	GARAGE	2'-10"	7'-0"	1 3/4"	WD	PT					EXTERIOR DOOR, PROVIDE WEATHER SEAL
17	D1	CLOSET	3'-0"	7'-0"	1 3/4"	WD	PT					
18	D2	COMMON AREA	3'-0"	7'-0"	1 3/4"	WD	PT					
19	D1	BATHROOM #2	2'-10"	7'-0"	1 3/4"	WD	PT					
20	D2	COMMON AREA	3'-0"	7'-0"	1 3/4"	WD	PT					
21	D1	BEDROOM #1	2'-6"	7'-0"	1 3/4"	WD	PT					
22	D1	COMMON AREA	2'-6"	7'-0"	1 3/4"	WD	PT					
23	D5	BEDROOM #1	6'-0"	8'-0"	1"	HM	PT			20		
24	D10	BEDROOM #3	6'-0"	7'-0"	1 3/4"	WD	PT					
26	D5	BEDROOM #2	6'-0"	8'-0"	1"	HM	PT			20		
27	D1	LIVING ROOM	2'-8"	7'-0"	1 3/4"	WD	PT					
29	D1	LIVING ROOM	2'-4"	6'-8"	1 3/4"	WD	PT					
30	D1	BATHROOM #3	2'-6"	7'-0"	1 3/4"	WD	PT					
33	D3	KITCHEN	14'-0"	8'-0"	2"	HM	PT					
34	D1	ENTRYWAY	2'-10"	6'-8"	1 3/4"	WD	PT					
39	D1	MASTER BEDROOM	2'-10"	6'-8"	1 3/4"	WD	PT					
40	D13	CLOSET	5'-0"	7'-0"	1 1/2"	WD	PT					BI-FOLD
41		VESTIBULE	2'-10"	7'-0"	2"							EXTERIOR DOOR, PROVIDE WEATHER SEAL
42	D2	CLOSET	4'-0"	7'-0"	1 3/4"	WD	PT					
43	D4	MASTER BEDROOM	10'-0"	8'-2"	2"	HM	PT					SLIDER

DOOR TYPE ELEVATIONS



BALABANIAN RESIDENCE

3277 FOLSOM STREET
SAN FRANCISCO, CA 94110



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NO.	RECORD OF DRAWING ISSUANCE	DATE
1	SITE PERMIT SET	11.21.2016
	REVISION 1	07.21.2017

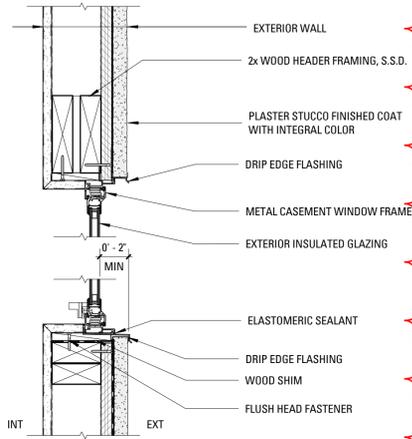
PRE-APPLICATION MEETING

Drawn By:	Author
Checked By:	Approver
Project Number:	1559.1

SCHEDULES

SHEET NUMBER

A901

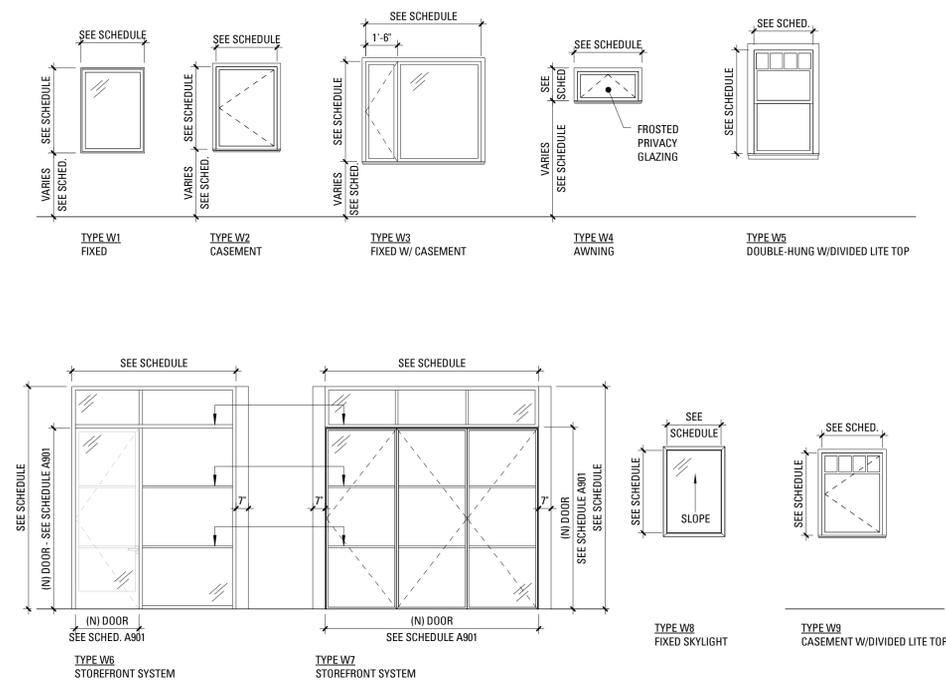


1 WINDOW REVEAL DETAIL
1:6

WINDOW SCHEDULE

NO.	TYPE	HEIGHT	WIDTH	FINISH	MFR.	MATERIAL
1	W6	10'-5 1/2"	7'-9"	PAINTED METAL	TBD	
2	W7	10'-5 1/2"	10'-1"	PAINTED METAL	TBD	
3	W1	1'-6"	8'-0"	PAINTED METAL	TBD	
4	W1	4'-0"	1'-4"	PAINTED METAL	TBD	
5	W1	4'-0"	1'-4"	PAINTED METAL	TBD	
6	W1	4'-0"	1'-4"	PAINTED METAL	TBD	
7	W5	5'-0"	1'-7"	PAINTED METAL	TBD	(N) WINDOW STYLE TO MATCH EXISTING. PROVIDE OGEE LUGS TO MATCH EXISTING. PAINT TRIM TO MATCH EXISTING.
8	W5	5'-0"	2'-11"	PAINTED METAL	TBD	(N) WINDOW STYLE TO MATCH EXISTING. PROVIDE OGEE LUGS TO MATCH EXISTING. PAINT TRIM TO MATCH EXISTING.
9	W5	5'-0"	1'-7"	PAINTED METAL	TBD	(N) WINDOW STYLE TO MATCH EXISTING. PROVIDE OGEE LUGS TO MATCH EXISTING. PAINT TRIM TO MATCH EXISTING.
10	W5	5'-0"	1'-7"	PAINTED METAL	TBD	(N) WINDOW STYLE TO MATCH EXISTING. PROVIDE OGEE LUGS TO MATCH EXISTING. PAINT TRIM TO MATCH EXISTING.
11	W5	5'-0"	2'-11"	PAINTED METAL	TBD	(N) WINDOW STYLE TO MATCH EXISTING. PROVIDE OGEE LUGS TO MATCH EXISTING. PAINT TRIM TO MATCH EXISTING.
12	W5	5'-0"	1'-7"	PAINTED METAL	TBD	(N) WINDOW STYLE TO MATCH EXISTING. PROVIDE OGEE LUGS TO MATCH EXISTING. PAINT TRIM TO MATCH EXISTING.
13	67	3'-0"	4'-6"	PAINTED METAL		FIREGLASS, MIN. 3/4 HOUR RATING
14	W3	6'-6"	5'-0"	PAINTED METAL	TBD	
15	W2	5'-0"	3'-0"	PAINTED METAL	TBD	
16	W2	5'-0"	3'-0"	PAINTED METAL	TBD	
17	W2	5'-0"	3'-0"	PAINTED METAL	TBD	
18	W2	5'-0"	3'-0"	PAINTED METAL	TBD	
19	W1	4'-8"	2'-0"	PAINTED METAL	TBD	
20	W1	4'-8"	6'-0"	PAINTED METAL	TBD	
21	W1	4'-0"	5'-0"	PAINTED METAL	TBD	FIREGLASS, MIN. 3/4 HOUR RATING
22	W1	4'-0"	5'-0"	PAINTED METAL	TBD	FIREGLASS, MIN. 3/4 HOUR RATING
23	W1	4'-6"	2'-0"	PAINTED METAL	TBD	
24	W9	4'-0"	2'-6"	PAINTED METAL	TBD	DIVISIONS IN UPPER SASH TO MATCH WINDOW TYPE W5
25	W9	4'-0"	2'-6"	PAINTED METAL	TBD	DIVISIONS IN UPPER SASH TO MATCH WINDOW TYPE W5
26	W8	4'-0"	2'-0"	PAINTED METAL	VELUX OR APPROVED EQUAL	
27	W8	3'-1 1/2"	3'-1 1/2"	PAINTED METAL	VELUX OR APPROVED EQUAL	
28	W8	6'-0"	2'-0"	PAINTED METAL	VELUX OR APPROVED EQUAL	
29	W25					

WINDOW TYPE ELEVATIONS



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PRE-APPLICATION MEETING	
Drawn By:	AW
Checked By:	BM
Project Number:	1559.1

SCHEDULES
SHEET NUMBER
A902