



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

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**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409
558*6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, March 28, 2018**
 Time: **Not before 9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 722 39th Avenue	Case No.: 2016-015279VAR
Cross Street(s): Balboa Street	Building Permit: 2016.07081938
Block /Lot No.: 1606 / 041	Applicant: James Li
Zoning District(s): RH-2 / 40-X	Telephone: (415) 810-0188
Area Plan: None	E-Mail: jamesli1628@gmail.com

PROJECT DESCRIPTION

The proposal is to construct a new deck at the second story at the rear of the existing 2-story, single-family house. No construction is proposed within the rear 25% of lot depth.

PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a rear yard of 54 feet. Although the existing building complies with the rear yard requirement, as the portion of the building extending into the required rear yard is a permitted obstruction per Planning Code Section 136, the proposed deck will extend 7 feet further into the required rear yard, resulting in a rear yard of approximately 36 feet. Therefore, the project requires a rear yard variance.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department’s website at: <http://notice.sfplanning.org/2016-015279VAR.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department’s website or in other public documents.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:
 Planner: **David Weissglass** Telephone: **(415) 575-9177** E-Mail: [**david.weissglass@sfgov.org**](mailto:david.weissglass@sfgov.org)

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

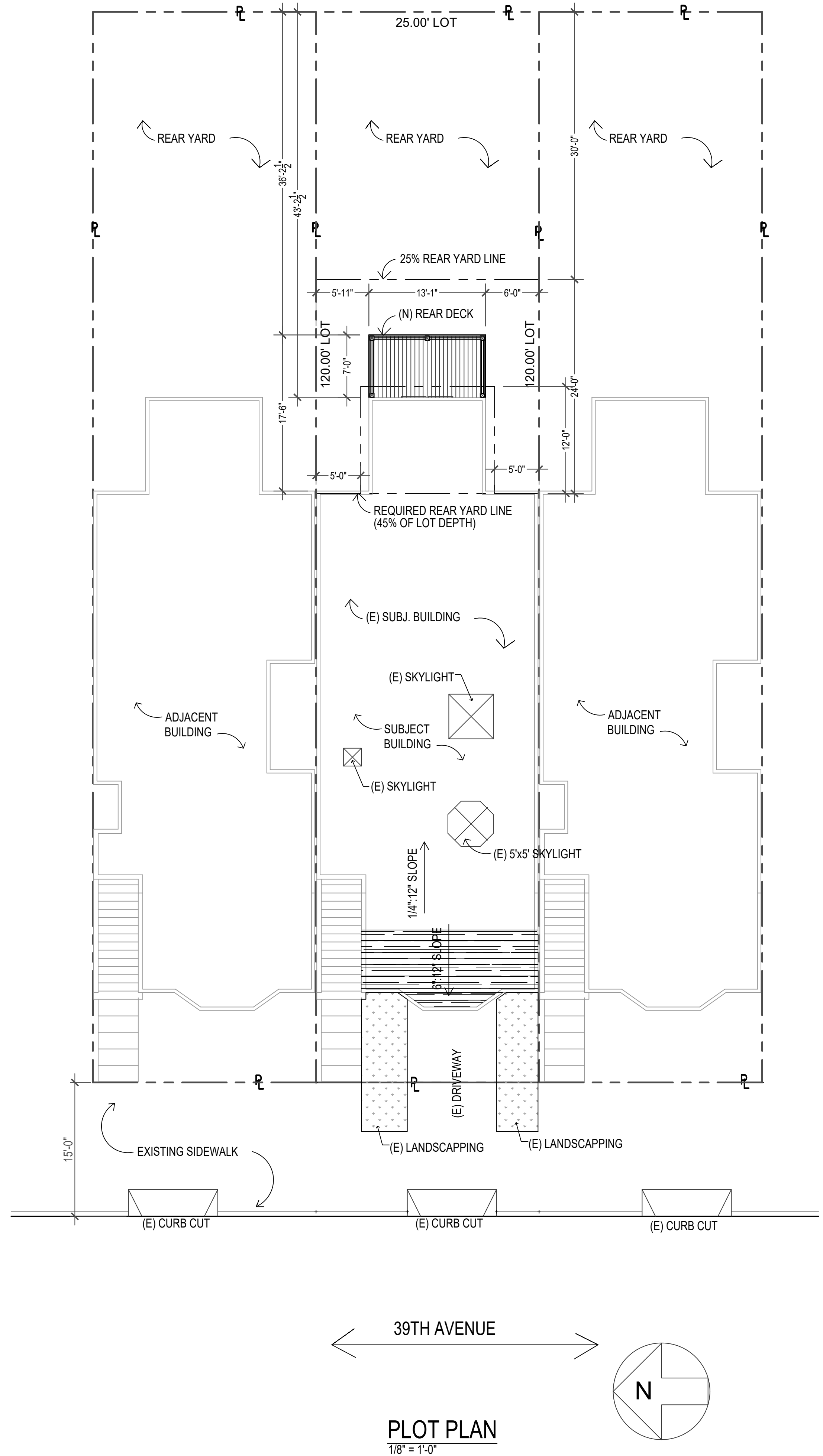
Pursuant to Planning Code Section 311, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.



PLOT PLAN
1/8" = 1'-0"

DRAWING INDEX			
A-1	PLOT PLAN	S-1	FRAMING PLAN AND DETAILS
A-2	(E) & (N) FLOOR PLANS		
A-3	(E) & (N) ELEVATIONS, SECTION		

PROJECT DATA	
BLOCK LOT: 1606/041	OCCUPANCY GROUP: R-3
TYPE OF CONST: VB	ZONING: RH-1
NO. OF STORIES: 2	NO. OF DWELLING UNIT: ONE

GENERAL NOTES

All Construction work shall be done in accordance with the City Building Code and Uniform Building Code, as well as all applicable Federal, State, OSHA, County and City Ordinances, Amendments and Rulings. The City Code shall govern when it and the UBC or any other reference codes and standards are in conflict.

The contractor shall give all notices necessary and incidental to the lawful execution of the work.

The contractor shall verify all existing conditions, dimensions of the lot, easement, soil conditions, all proposed dimensions, including excavation, underpinning, drainage and utility lines at subject property, as well as, at adjacent properties. Should any discrepancy and/or inconsistency appears or occurs in the drawings and site conditions, the contractor, before proceeding with the work, shall notify the Engineer for proper adjustment, and in no case, shall proceed with the work in uncertainty.

The drawings are intended to describe and provide for a finished piece of work. The contractor shall understand that the work herein described shall be completed in a good and workman-like manner and in every detail although every necessary item involved is not particularly mentioned. Except as otherwise specifically stated, the contractor shall pay for all necessary permit, fees, materials, labor, tools, and equipment for the entire completion of the work intended to be described and shall avail himself manifestly of any unintentional error or omission should such exist.

At all times, the contractor shall be solely and completely responsible for the conditions at the job site, including safety of people, subject property, and adjacent properties. The Engineer will not review the adequacy of the contractor's safety measures.

The Engineer shall not have control charge of, and shall not be responsible for construction means, techniques, sequences or procedures, for the omissions of the contractor or subcontractors performing any of the work or for the failure of any of the them to carry out the work in conformance with the plans and specifications.

All drawings, specifications, and information furnished herein are and shall remain the property of the Engineer and shall be held confidential and shall not be used for any purpose or purposes other than those for which they have been supplied and prepared. The engineer's drawings, specifications, or other documents, shall not be used by others on any other projects, except by agreement in writing.

Any drawings issued without the approval stamp, signed and dated by the building department shall be considered in the preliminary stage and shall not be used for construction.

Do not scale drawings.

SYMBOLS	
Column grid line	Sprinkler head
Interior elevation number with direction indication Sheet number	Exhaust fan
Section/Detail identification Sheet number	Exhaust fan w/wheat lamp
Enlarged plan section or Detail reference	Thermostat
Room/Space number	Telephone outlet
Door number	Television cable
Hardware group	Duplex convenient outlet
Window number	Appliance circuit (220V)
New stud wall	Duplex receptacle w/ one switched outlet
New stud wall with insulation See Detail	Switch 3 Way
New Wall and Door	Switch 4 Way
Existing wall/door to be removed	DIM. Dimmer
Existing wall/door to remain	Light fixture-ceiling
Masonry wall	Light fixture-wall mounted
F.D. Floor drain	Light fixture-recessed
R.D. Roof drain	C.A.R. Cold air return
House bibb	Heating duct register
Smoke detector	Ceiling fan

SCOPE OF WORK	
1.	NEW DECK AT REAR OF 2ND FLOOR. 7 FEET BY 13 FEET 1 INCH, 91 SF.

REVISION BY
10-25-2017 J. LI

James Li P.E. Consulting Engineer
1279 Hillcrest Blvd
Millbrae California 94030
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E-mail: jamesli1618@yahoo.com

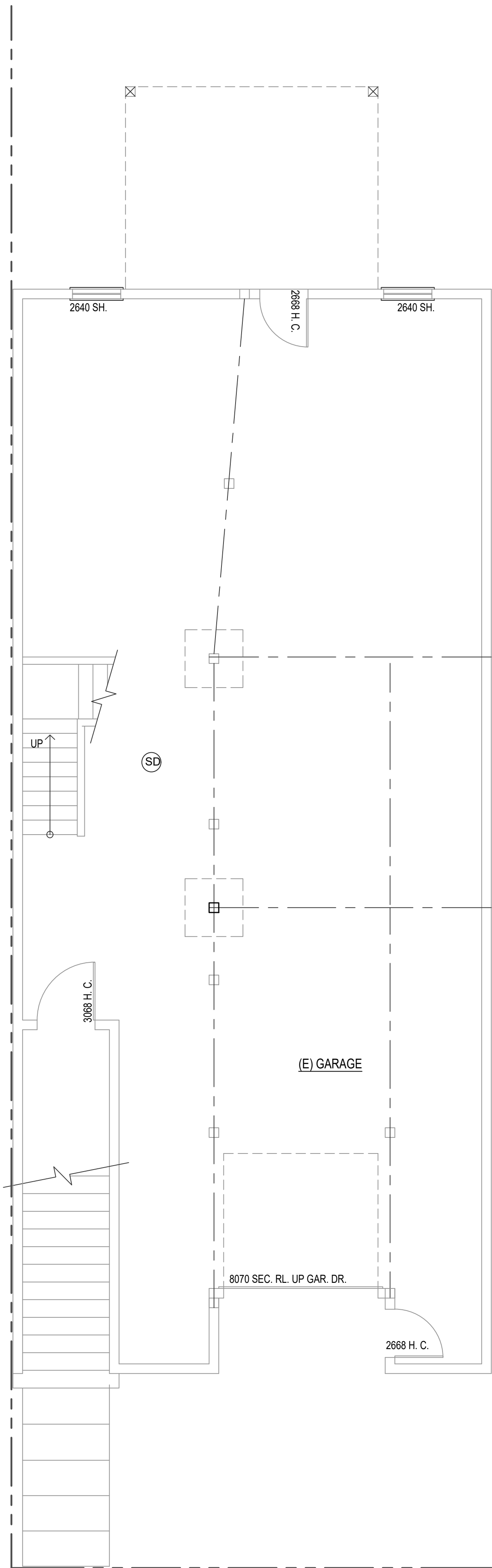
(N) DECK AT REAR OF 2ND FL.
722 39TH AVENUE
SAN FRANCISCO, CA.

PLOT PLAN

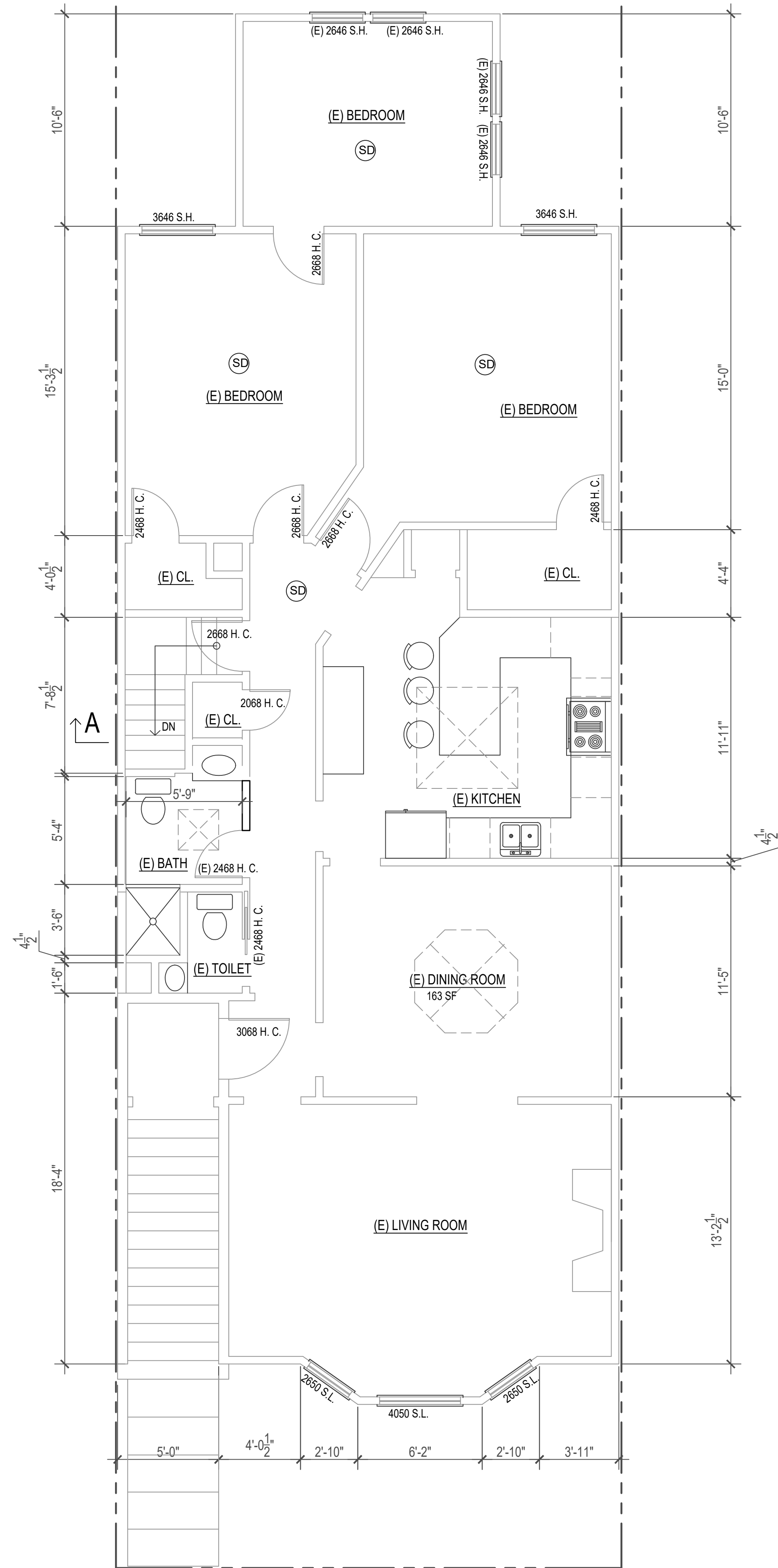
Owner's Information:
Keller Eugene E & Sherry A
722 39th Avenue
San Francisco, CA. 94121



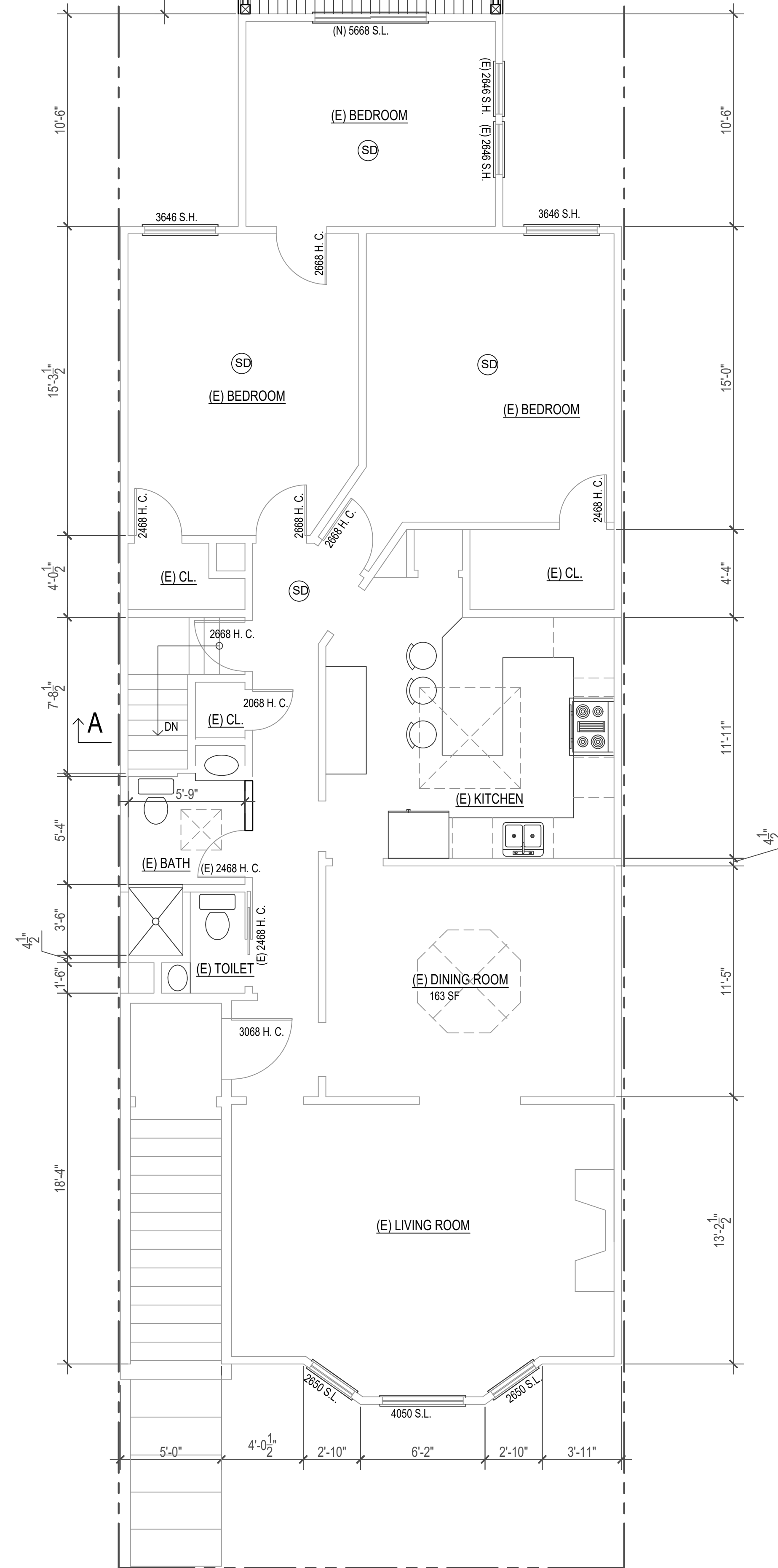
Date 05-24-2017
Scale 1/4"=1'-0"
Drawn J. LI
Job 2017/008
Sheet



(E) GROUND FLOOR PLAN
1/4"=1'-0" 1363 sf



(E) 2ND FLOOR PLAN
1/4"=1'-0" 1486 sf



(N) 2ND FLOOR PLAN
1/4"=1'-0" 1578 sf

LEGEND

- New Wall and Door
- Existing wall/door to be removed
- Existing wall/door to remain
- Smoke detector
110 V
- Exhaust fan w/heat lamp
- Switch
- Duplex convenient outlet
- Fluorescent Light

REVISION BY

James Li P.E. Consulting Engineer
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Millbrae California 94030
Telephone: (415) 810-0188 Fax: (650) 62-3898
E-mail: jamesli1618@yahoo.com

(N) DECK AT REAR OF 2ND FL.
722 39TH AVENUE
SAN FRANCISCO, CA.

(E) & (N) FLOOR PLANS

Owner's Information:
Keller Eugene E & Sherry A
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Date 05-24-2017
Scale 1/4"=1'-0"
Drawn J. Li
Job 2017/008
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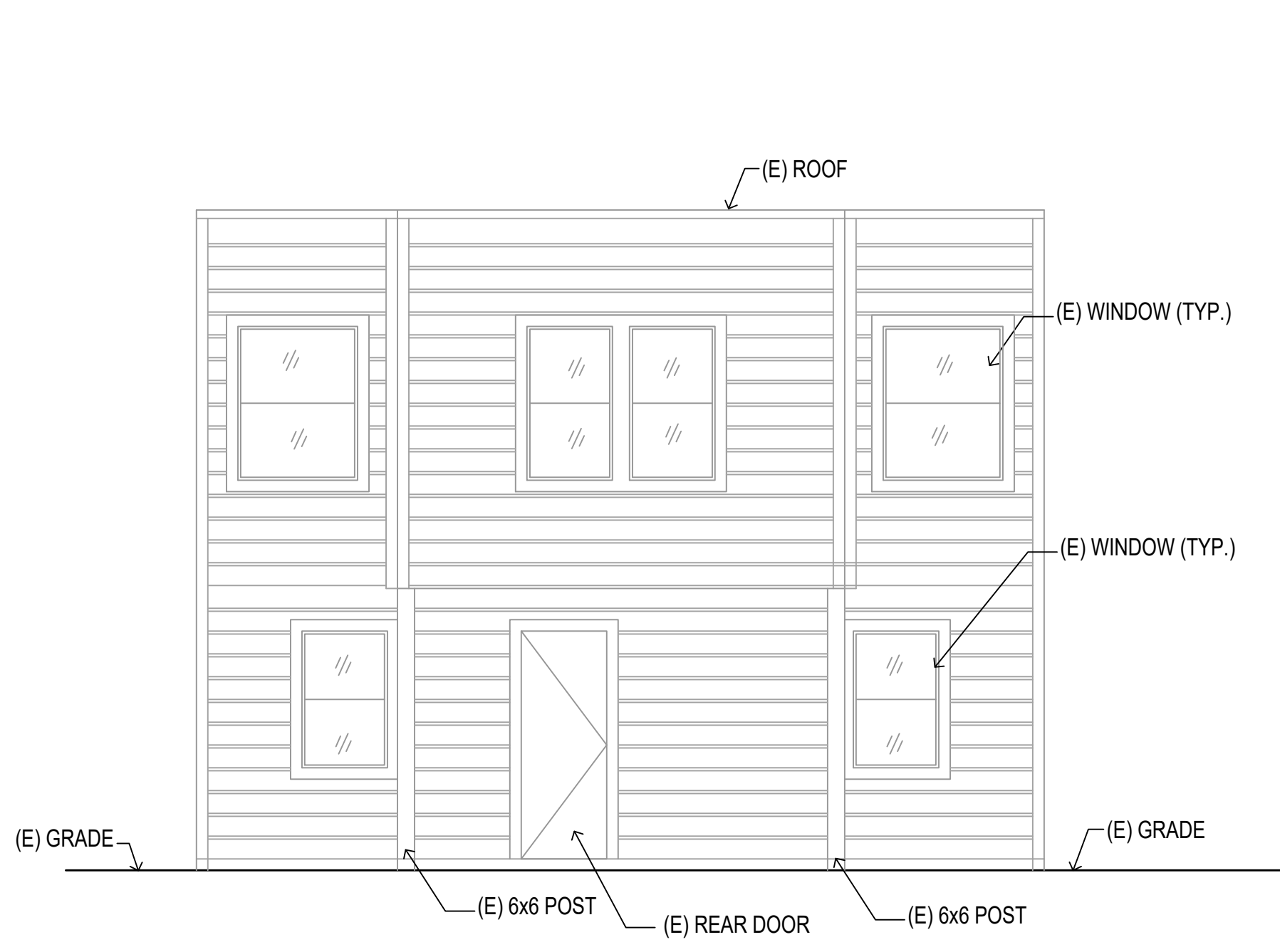
(E) & (N) ELEVATIONS

Owner's Information:
 Keller Eugene E & Sherry A
 722 39th Avenue
 San Francisco, CA. 94121

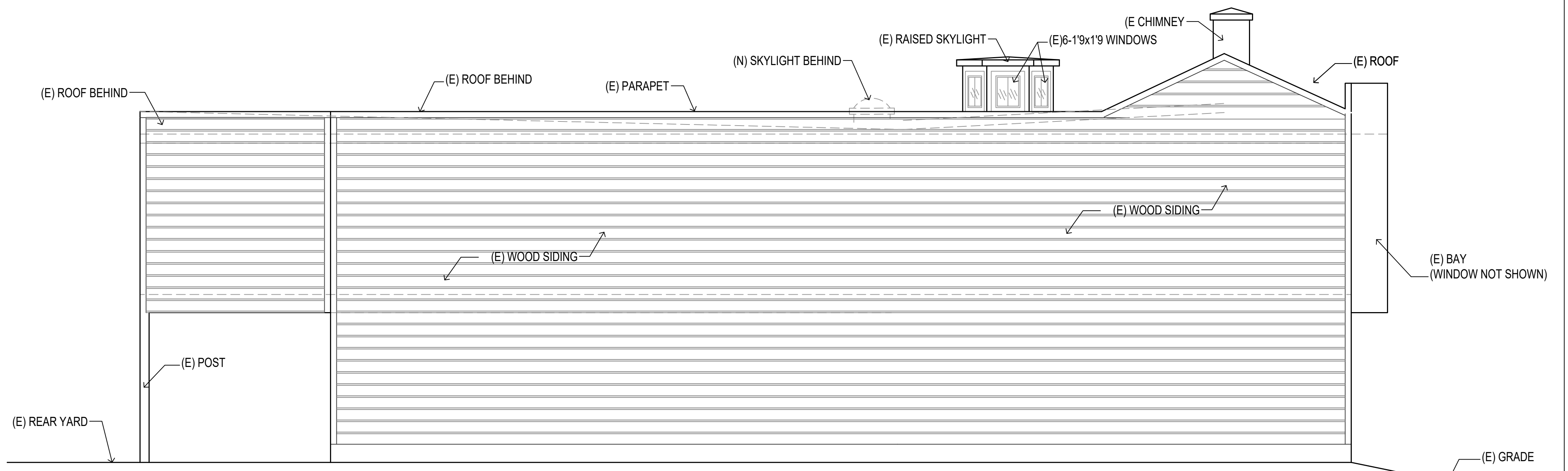


Date 05-24-2017
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 Drawn J. Li
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 Sheet

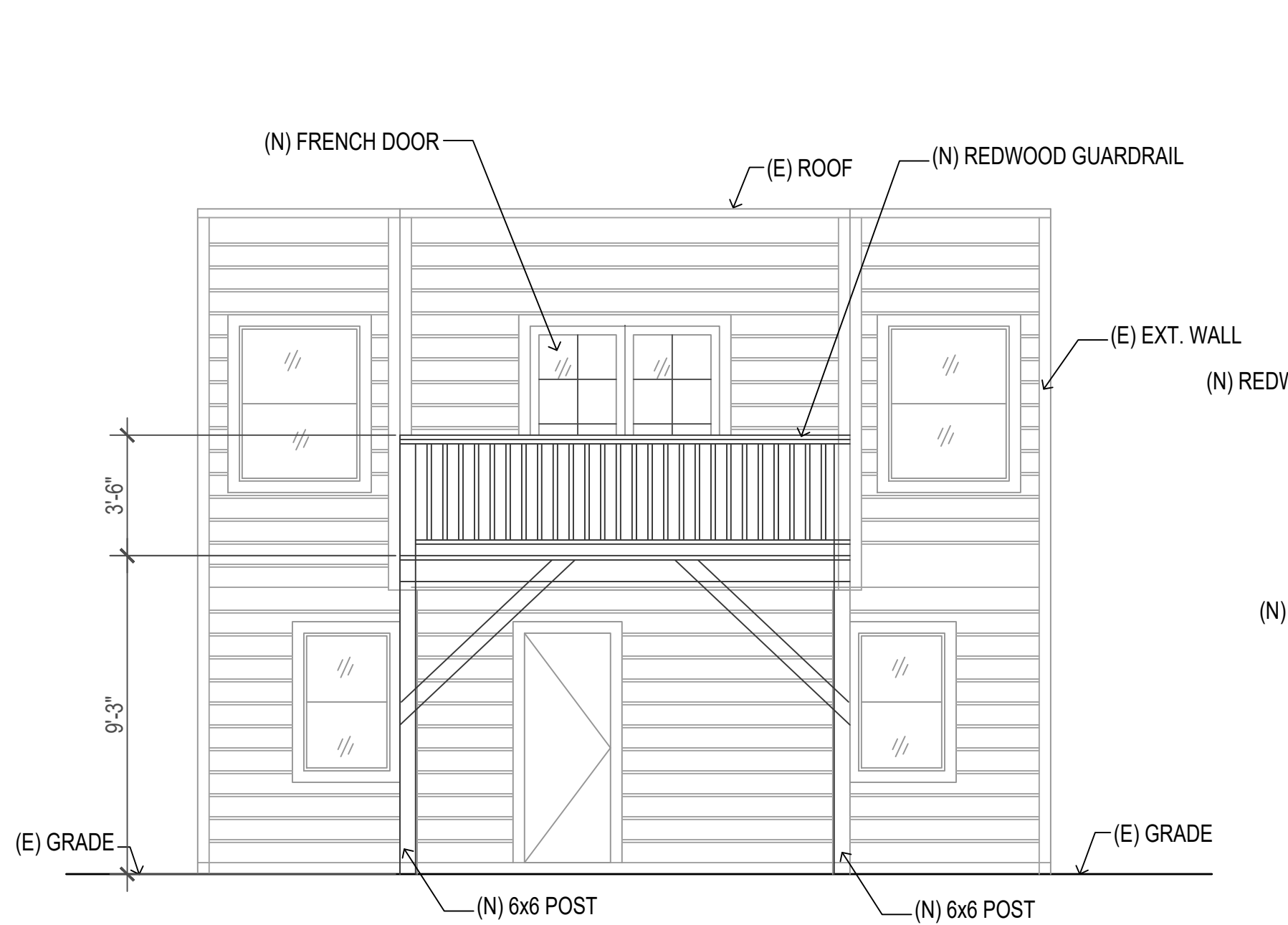
A-3



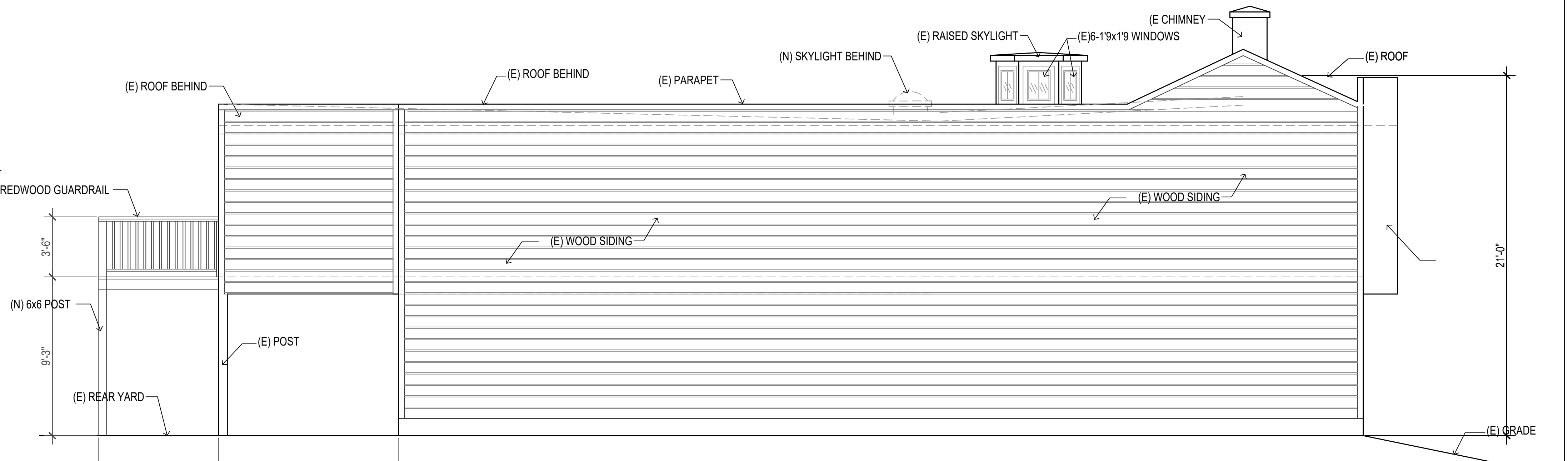
(E) EAST ELEVATION
 1/4"=1'-0"



(E) NORTH ELEVATION
 1/4"=1'-0"



(N) EAST ELEVATION
 1/4"=1'-0"



(N) NORTH ELEVATION
 1/4"=1'-0"