



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

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Information:  
**415.558.6377**



# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, June 28, 2017**

Time: **Not before 9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	<b>1530 48th Avenue</b>	Case No.:	<b>2015-016598VAR</b>
Cross Street(s):	<b>Kirkham &amp; Lawton Sts.</b>	Building Permit:	<b>2016.0128.8248</b>
Block /Lot No.:	<b>1893/038</b>	Applicant:	<b>Jeremy Paul</b>
Zoning District(s):	<b>RH-2 / 40-X</b>	Telephone:	<b>(415) 552-1888</b>
Area Plan:	<b>n/a</b>	E-Mail:	<b>jeremy@quickdrawsf.com</b>
PROJECT DESCRIPTION			
<p>The proposal is to legalize and expand a two-story horizontal addition at the rear of the existing two-story building and add dormer windows. The proposed project has been filed to abate Department of Building Inspection (DBI) Complaint No. 201577572.</p> <p><b>PER SECTION 134 OF THE PLANNING CODE</b>, the subject property is required to maintain a rear yard of approximately 54 feet. The existing non-complying dwelling encroaches entirely into the required rear yard extending to within approximately 3-1/4 inches of the rear property line. The remodeled non-complying structure with proposed addition and dormer windows encroach into the required rear yard extending to within approximately 9 inches of the rear yard property line. This rear yard encroachment necessitates a rear yard variance, pursuant to Planning Code Sections 134. No work is proposed for the existing garage with studio above at the front of the lot.</p>			
ADDITIONAL INFORMATION			
<p><b>ARCHITECTURAL PLANS:</b> The site plan and elevations of the proposed project are available on the Planning Department's website at: <a href="http://notice.sfplanning.org/2015-016598VAR.pdf">http://notice.sfplanning.org/2015-016598VAR.pdf</a></p> <p>Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.</p>			
<p><b>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:</b></p> <p>Planner: <b>Elizabeth Gordon Jonckheer</b> Telephone: <b>(415) 575-8728</b> E-Mail: <a href="mailto:elizabeth.gordon-jonckheer@sfgov.org">elizabeth.gordon-jonckheer@sfgov.org</a></p>			

# GENERAL INFORMATION ABOUT PROCEDURES

## HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

## BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311 the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **On 5/24/17, the Department issued the required Section 311 notification for this project, which expires on 6/23/17.**

## APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.



**a0.00**





1. STREET ELEVATION, FACING EAST  
NOTE THAT THE HOME AT THE REAR OF THE PROPERTY IS BARELY VISIBLE - IF AT ALL - FROM THE STREET



2. STREET ELEVATION, ACROSS THE STREET FACING WEST  
THIS PHOTOS SHOWS THE INTENSITY & VARIETY OF LOCAL DEVELOPMENT, INCL. A 15-UNIT APARTMENT COMPLEX



3. FRONT (WEST) ELEVATION  
MASSING, MATERIALS & ARCHITECTURAL DETAILS  
TO BE RETAINED OR REPLACED IN KIND



4. NEIGHBORING STRUCTURE TO THE NORTH  
FACING NORTHWEST AS SHOWN ON a1.00



5. NEIGHBORING STRUCTURE TO THE EAST  
FACING EAST



6. NEIGHBORING STRUCTURE TO THE SOUTH  
FACING SOUTHWEST AS SHOWN ON a1.00



7. REAR (EAST) ELEVATION, GROUND FLOOR  
SHOWING (E) STAIRS, DECK, DOORS AND ROOFLINE;  
PRE-CONSTRUCTION



8. REAR (EAST) ELEVATION, SECOND FLOOR  
SHOWING SECOND FLOOR DECK, DOORS; PRE-CONSTRUCTION



9. NORTH ELEVATION, FACING SOUTHWEST  
SHOWING PRE-CONSTRUCTION ROOFLINE



10. SIDING DETAIL  
TO BE REPLACED WITH MATCHING



11. NORTHWEST CORNER  
SHOWING CRUMBLING FOUNDATION AND ROTTEN FRAMING, TYPICAL THROUGHOUT

PROJECT NAME

## 48TH AVENUE ADDITION

PAUL MARSHALL &  
KATELYN WHEELER  
1530 48TH AVENUE  
SAN FRANCISCO, CA 94112  
415 215 3622

DRAWING ISSUED	DATE
PERMIT SUBMITTAL 1 - VARIANCE	12.12.15
PERMIT SUBMITTAL 2 - BUILDING	01.25.16
PERMIT SUBMITTAL 3 - VARIANCE	02.17.16
PERMIT SUBMITTAL 4 - VARIANCE	08.25.16
PERMIT SUBMITTAL 5 - VARIANCE	02.14.17
PERMIT SUBMITTAL 6 - VARIANCE	03.10.17
PERMIT SUBMITTAL 8 - VARIANCE	06.14.17

SHEET NAME

## REFERENCE PHOTOS

SHEET INFORMATION

DRAWN BY: JPG

SCALE:

AS NOTED

SHEET NUMBER

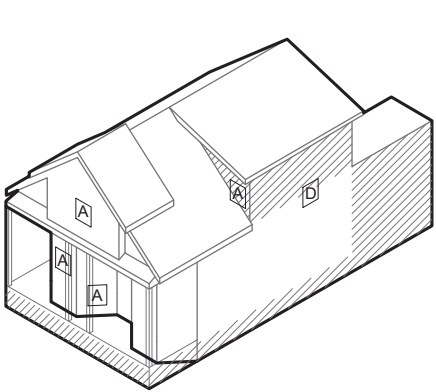
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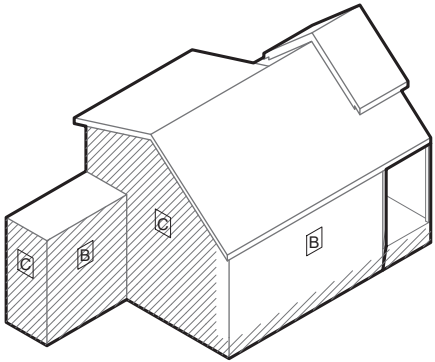
VERTICAL DEMOLITION AREA CALCULATIONS - SECTION 317

VERTICAL ELEMENTS	AREA	REMOVED	% REMOVED
A: FRONT FACADE	519 SF	67 SF	12.9
C: REAR FACADE	436 SF	409 SF	93.8
B: SIDE FACADE	538 SF	234 SF	42.7
D: SIDE FACADE	621 SF	333 SF	53.0
TOTAL	2,114 SF	1,043 SF	49.3

Percentage Vertical Envelope Elements to be demolished: 49%  
(Less than the 50% threshold to be considered tantamount to demolition)



HATCHING INDICATES AREA OF VERTICAL DEMOLITION



HATCHING INDICATES AREA OF VERTICAL DEMOLITION

LEGEND



AREA OF DEMOLITION



EXTENT OF FLOOR PLATES

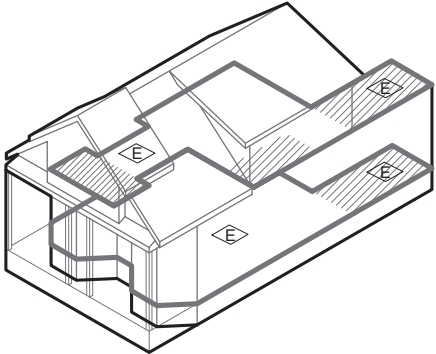


LINEAR REMOVAL OF WALLS

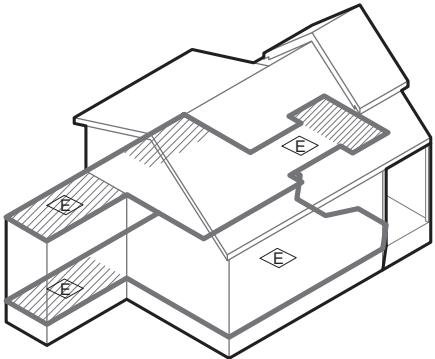
HORIZONTAL DEMOLITION AREA CALCULATIONS - SECTION 317

HORIZONTAL ELEMENTS	AREA	REMOVED	% REMOVED
E: FLOORS	1,150 SF	275 SF	23.9
F: ROOF	708 SF	535 SF	75.6
TOTAL	1,858 SF	810 SF	43.6

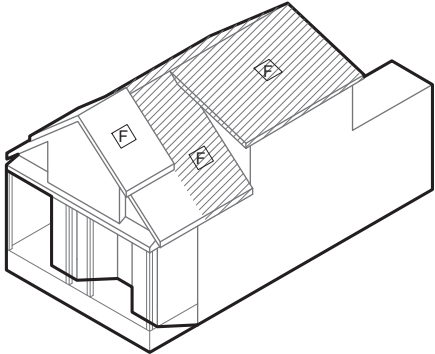
Percentage Horizontal Envelope Elements to be demolished: 44%  
(Less than the 50% threshold to be considered tantamount to demolition)



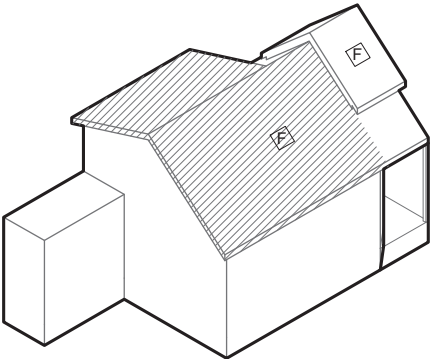
HATCHING INDICATES AREA OF FLOOR DEMOLITION



HATCHING INDICATES AREA OF FLOOR DEMOLITION



HATCHING INDICATES AREA OF ROOF DEMOLITION



HATCHING INDICATES AREA OF ROOF DEMOLITION

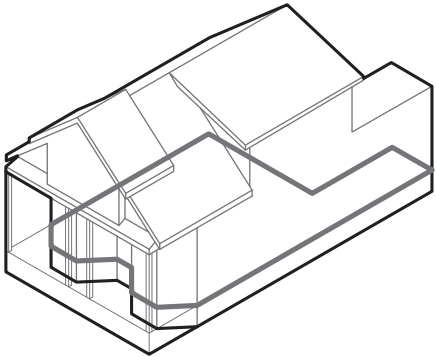
EXT. WALLS DEMO. LINEAR FOOTAGE CALCULATIONS - SECTION 317

ELEMENT	LENGTH	REMOVED	% REMOVED
A: FRONT FACADE	28'-5"	0'-0"	0
C: REAR FACADE	22'-1"	22'-1"	100
SUBTOTAL FRONT & REAR	[50'-6"]	[22'-1"]	[43.7]
B: SIDE FACADE	36'-2"	12'-4"	34.1
D: SIDE FACADE	36'-2"	12'-4"	34.1
TOTAL	122'-10"	46'-9"	38.1

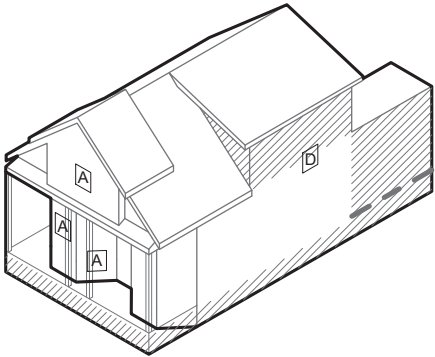
Total linear feet, demolition of exterior walls at foundation level: 122'-10"

Percentage of front & rear facade exterior walls to be demolished: 44%  
(Less than the 50% threshold to be considered tantamount to demolition)

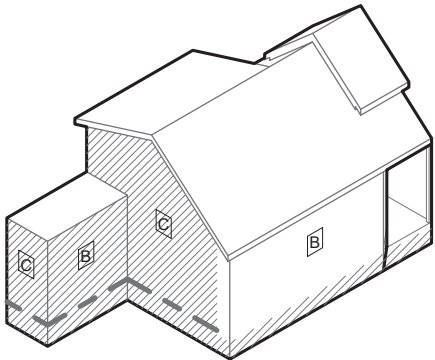
Percentage of all exterior walls to be demolished: 38%  
(Less than the 65% threshold to be considered tantamount to demolition)



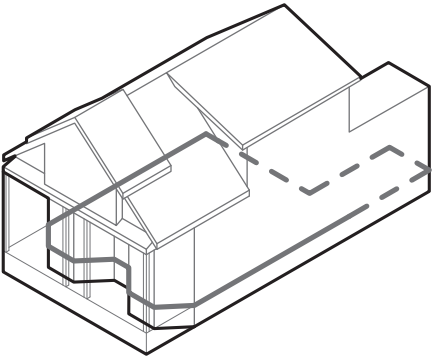
LINEAR FEET, EXTERIOR WALLS AT FOUNDATION LEVEL: 122'-10"



DASHED LINE DENOTES LINEAR FACADE DEMO AT FOUNDATION



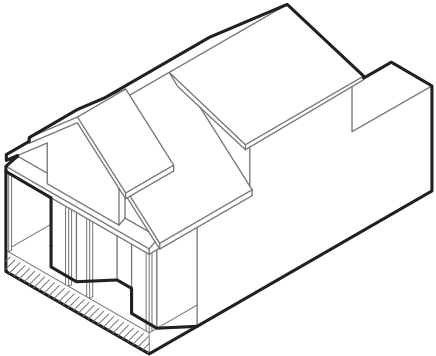
DASHED LINE DENOTES LINEAR FACADE DEMO AT FOUNDATION



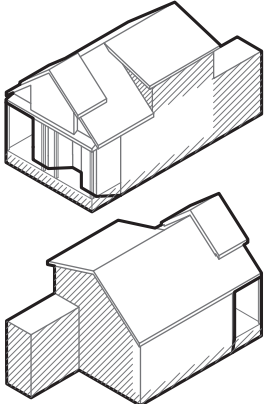
TOTAL LINEAR DIMENSION OF DEMOLITION, EXTERIOR WALLS: 46'-9"

DEMO CALCULATIONS FOR HISTORIC STRUCTURE, CODE SEC. 1005(F)

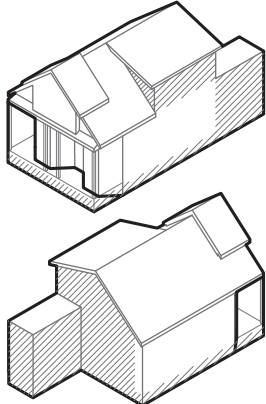
ELEMENTS	TOTAL	REMOVED	% REMOVED
(1) SURFACE OF EXT. WALLS FACING PUBLIC STREET	519 SF	51 SF	9.8
Surface of all external walls facing public street to be removed: 10% (Less than the 25% threshold to be considered tantamount to demolition)			
(2) EXTERNAL WALLS REMOVED FROM USE AS EXT. WALLS	2,114 SF	1,043 SF	49.3
External walls to be removed from function as all external walls: 49% (Less than the 50% threshold to be considered tantamount to demolition)			
(3) EXT. WALLS REMOVED FROM USE AS INT. OR EXT. WALLS	2,114 SF	1,043 SF	49.3
External walls to be removed from function as int. or ext. walls: 49% (Exceeds the 25% threshold to be considered tantamount to demolition)			
(4) INTERNAL STRUCTURE FLOOR PLATES	258'-7"	156'-8"	60.7
Internal structural framework to be removed: 61% Floor plates to be removed: 24% (Less than the 75% thresholds to be considered tantamount to demo.)			



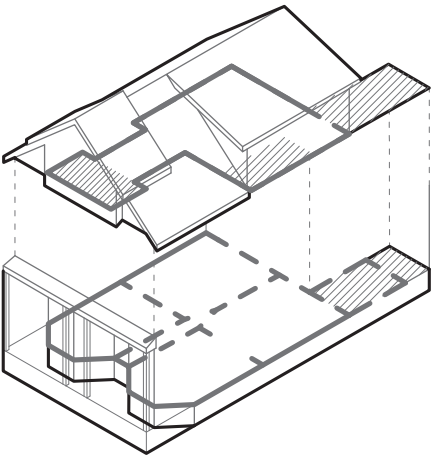
(1) REMOVAL OF EXTERNAL WALL SURFACE FACING STREET



(2) REMOVAL OF EXTERNAL WALLS AS ALL EXT. WALLS



(3) REMOVAL OF EXTERNAL WALLS AS EXT. OR INTERIOR WALLS



(4) DEMOLITION OF INTERNAL STRUCTURAL FRAMEWORK (DASHED)  
REMOVAL OF FLOOR PLATES (HATCHING)



MANUAL LABOR

2421 CURTIS STREET  
BERKELEY, CA 94702  
510 842 5042

PROJECT NAME

48TH AVENUE  
ADDITION

PAUL MARSHALL &  
KATELYN WHEELER

1530 48TH AVENUE  
SAN FRANCISCO, CA 94112  
415 215 3622

DRAWING ISSUED	DATE
SUPPLEMENTAL INFO	02.08.16
SUPPLEMENTAL INFO	07.20.16
PERMIT SUBMITTAL 4 - VARIANCE	08.25.16
PERMIT SUBMITTAL 5 - VARIANCE	02.14.17
PERMIT SUBMITTAL 6 - VARIANCE	03.10.17
PERMIT SUBMITTAL 8 - VARIANCE	06.14.17

SHEET NAME

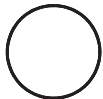
DEMOLITION  
CALCULATIONS

SHEET INFORMATION

DRAWN BY: JPG

SCALE:

AS NOTED



SHEET NUMBER

a0.07



MANUAL LABOR  
2421 CURTIS STREET  
BERKELEY, CA 94702  
510 842 5042

17 NOT USED  
X" = 1'-0"

13 NOT USED  
X" = 1'-0"

18 NOT USED  
X" = 1'-0"

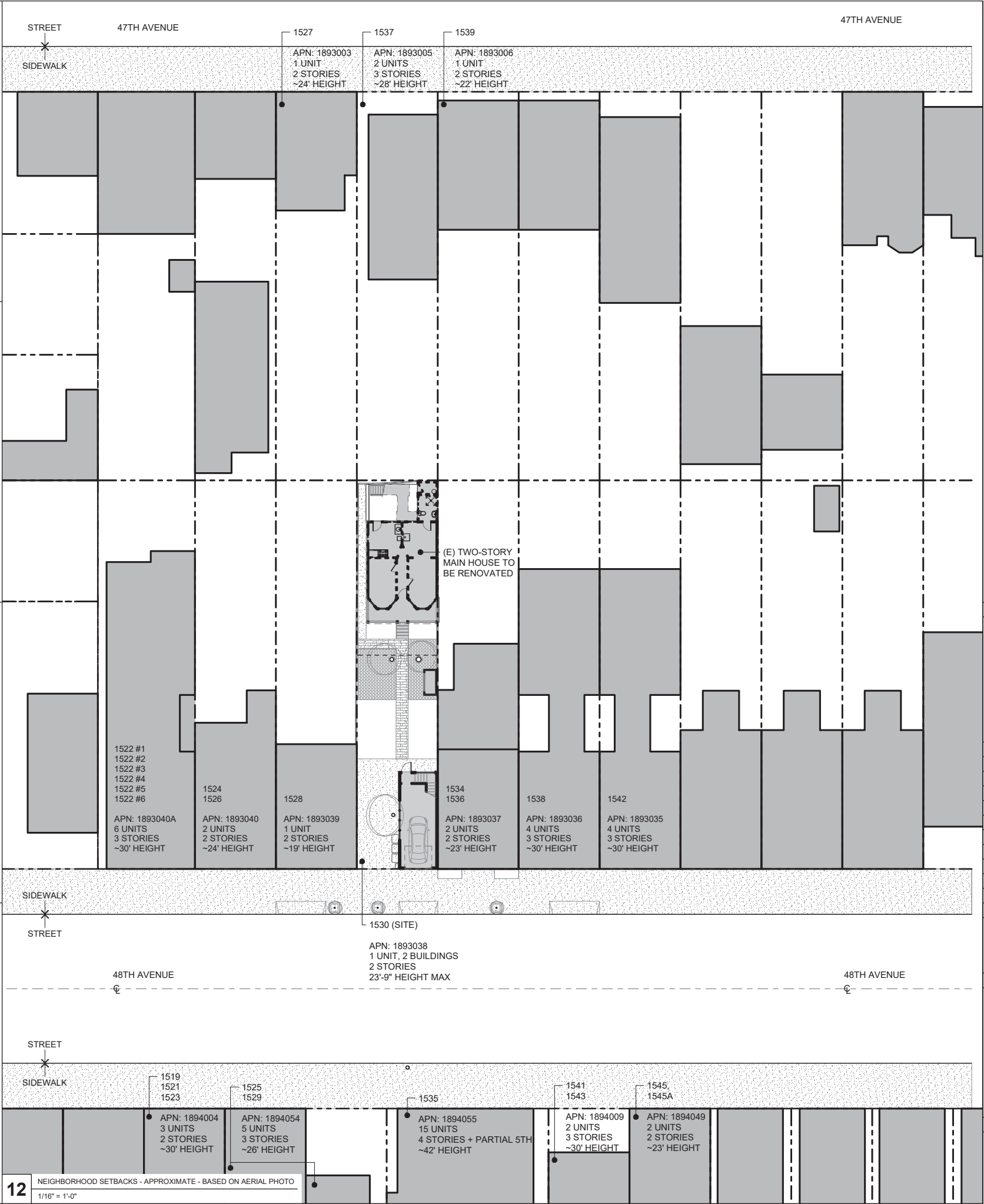
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X" = 1'-0"

19 NOT USED  
X" = 1'-0"

15 NOT USED  
X" = 1'-0"

20 NOT USED  
X" = 1'-0"

16 NOT USED  
X" = 1'-0"



PROJECT NAME

## 48TH AVENUE ADDITION

PAUL MARSHALL &  
KATELYN WHEELER  
1530 48TH AVENUE  
SAN FRANCISCO, CA 94112  
415 215 3622

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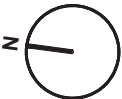
SHEET NAME

## NEIGHBORHOOD SETBACK STUDY

SHEET INFORMATION

DRAWN BY: JPG

SCALE:  
AS NOTED



SHEET NUMBER

a1.00

GENERAL NOTES

1. SEE a0.06 FOR SITE PHOTOS PER LEGEND.

17

GENERAL NOTES

NTS

18

NOT USED

X" = 1'-0"

19

NOT USED

X" = 1'-0"

20

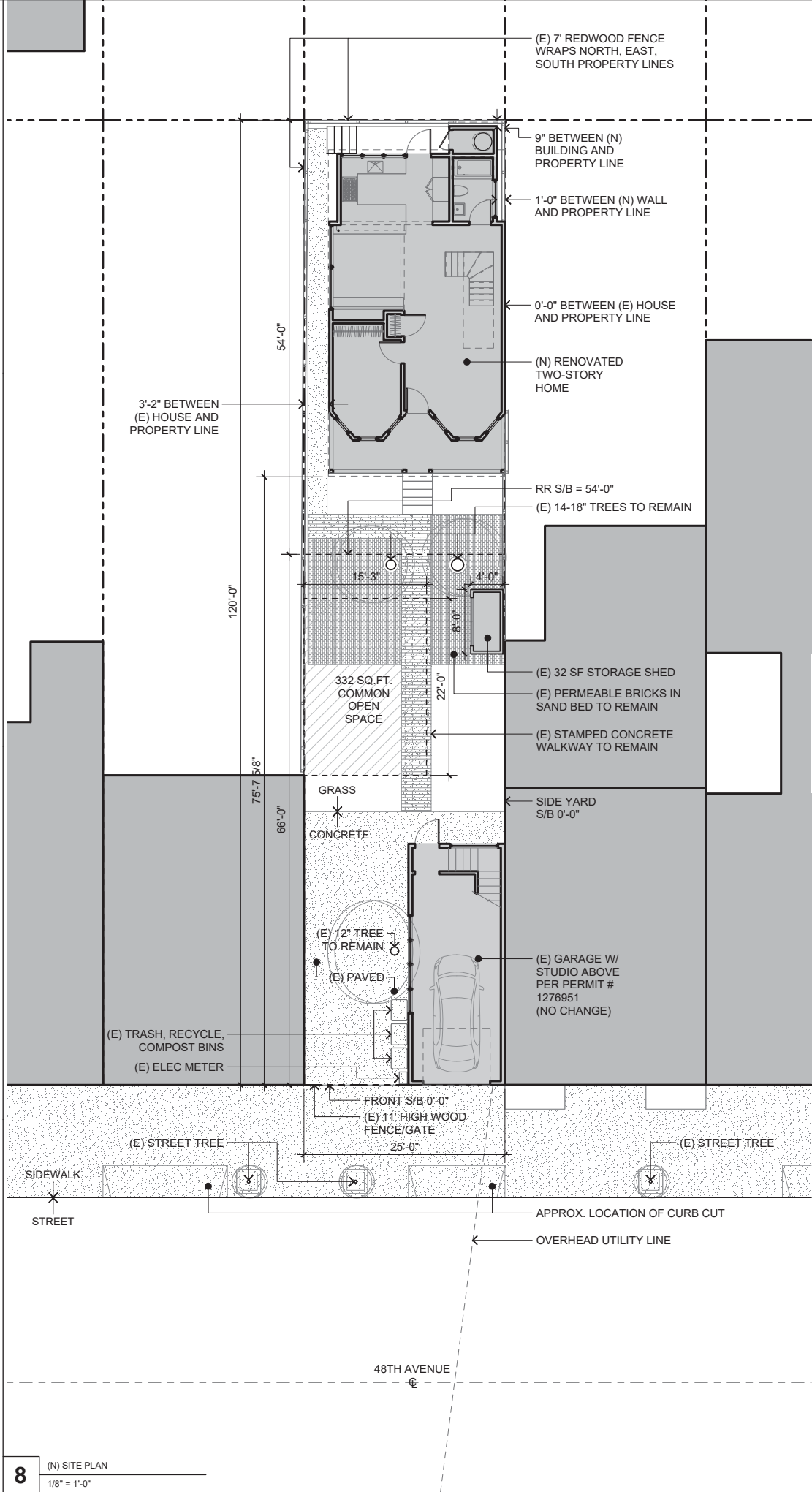
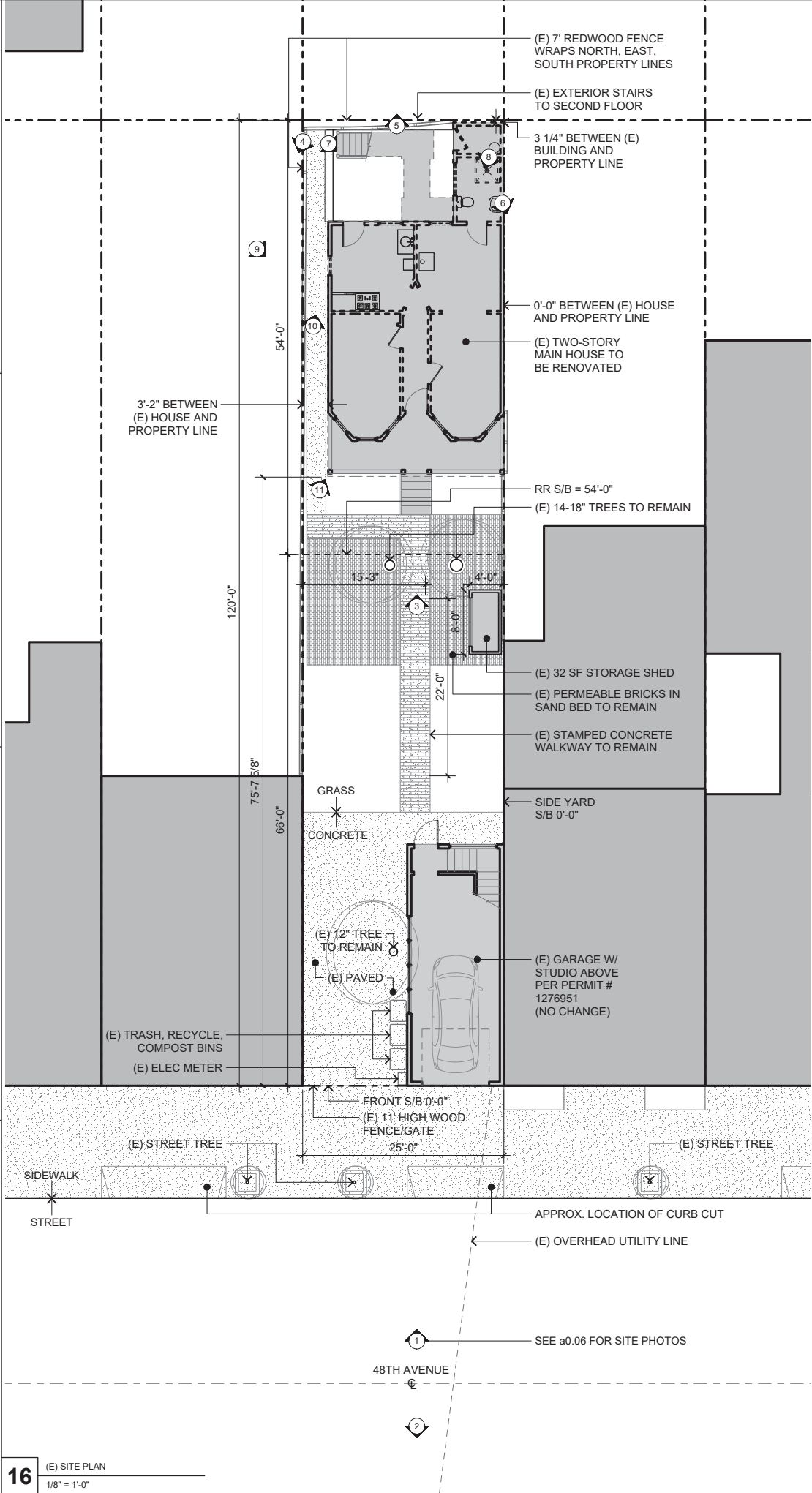
NOT USED

X" = 1'-0"

16

(E) SITE PLAN

1/8" = 1'-0"



MANUAL LABOR

2421 CURTIS STREET  
BERKELEY, CA 94702

510 842 5042

PROJECT NAME

48TH AVENUE ADDITION

PAUL MARSHALL &  
KATELYN WHEELER

1530 48TH AVENUE  
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PERMIT SUBMITTAL 6 - VARIANCE	03.10.17

SHEET NAME

EXISTING & PROPOSED SITE PLANS

SHEET INFORMATION

DRAWN BY: JPG

SCALE:  
AS NOTED

SHEET NUMBER

a1.01



### GENERAL NOTES

1. ARROWS INDICATE (E) SURFACE-FLOW SITE DRAINAGE
2. SEDIMENTATION BASIN AND WASHOUT AREA TO BE CONSTRUCTED AS SHOWN OR IN MOST ACCESSIBLE/FUNCTIONAL LOCATION FEASIBLE
3. (E) TREES TO BE PROTECTED IN PLACE. NO WASHOUT AREAS, CONSTRUCTION ACTIVITIES OR STORAGE WITHIN 3'-0" OF TREE TRUNKS.

17	GENERAL NOTES
	NTS

## WASTE MANAGEMENT

1. CONSTRUCTION AND DEMOLITION DEBRIS: 100% OF MIXED DEBRIS MUST BE TRANSPORTED BY A REGISTERED HAULER TO A REGISTERED FACILITY AND BE PROCESSED FOR RECYCLING, IN COMPLIANCE WITH THE SAN FRANCISCO CONSTRUCTION & DEMOLITION DEBRIS ORDINANCE.
2. RECYCLING BY OCCUPANTS: PROVIDE ADEQUATE SPACE AND EQUAL ACCESS FOR STORAGE, COLLECTION AND LOADING OF COMPOSTABLE, RECYCLABLE AND LANDFILL MATERIALS

18	WASTE MANAGEMENT NOTES
	NTS

18 NTS

<b>13</b>	NOT USED
	$X'' = 1'-0''$

$$X'' = 1'-0''$$

14	NOT USED
	$X'' = 1'-0''$

$$X'' = 1'-0''$$

9	NOT USED
	X" = 1'-0"

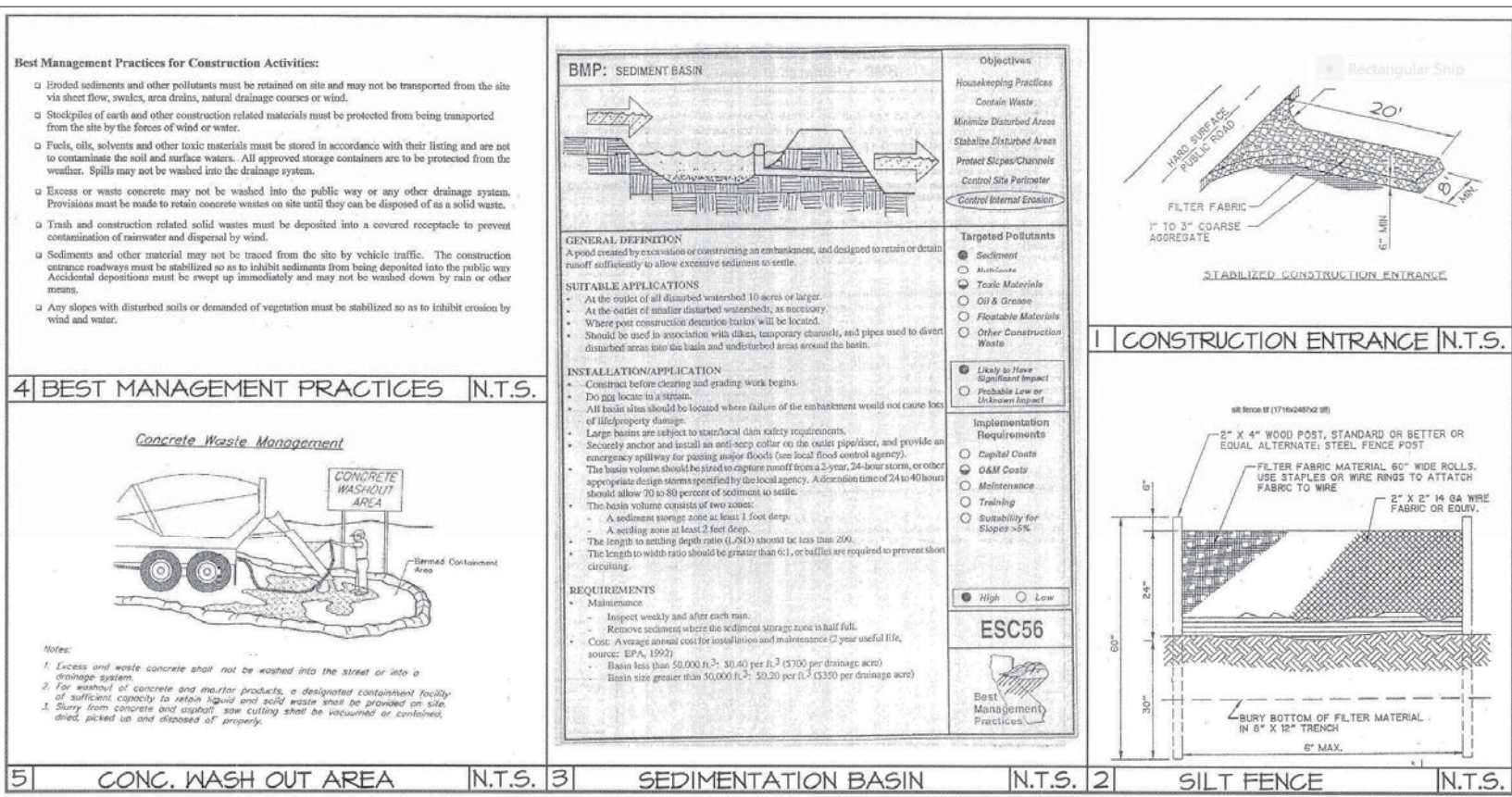
NOT USED

 $X'' = 1'-0''$ 

10	NOT USED
	X" = 1'-0"

NOT USED

X" = 1'-0"

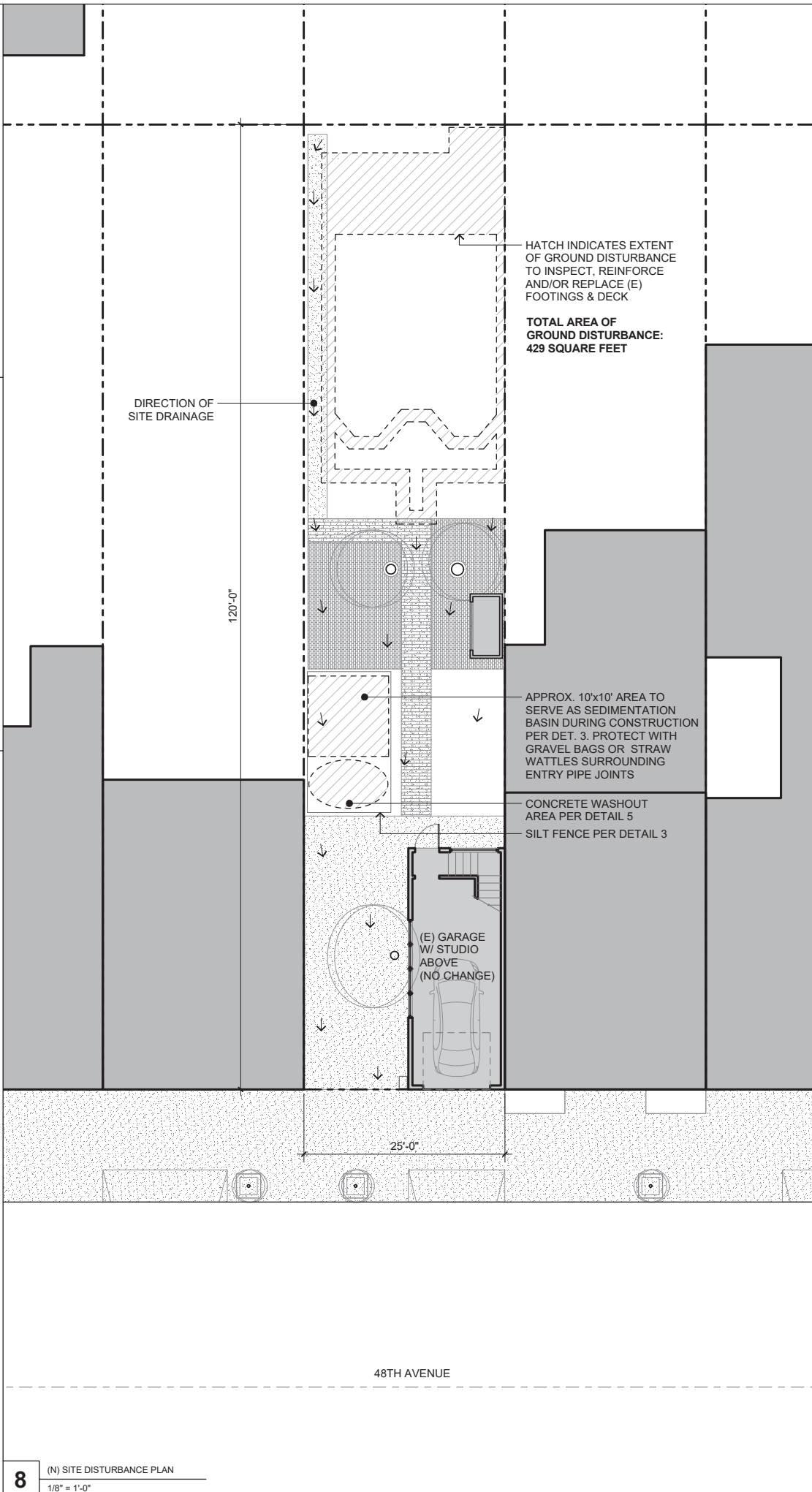


<b>20</b>	CONSTRUCTION BEST MANAGEMENT PRACTICES
	NTS

20 NTS

8	(N) SITE DISTURBANCE PLAN
	1/8" = 1'-0"

8	$1/8" = 1'-0"$
---	----------------



M.

MANUAL LABOR

2421 CURTIS STREET  
BERKELEY, CA 94702  
510 842 5042

PROJECT NAME

## 48TH AVENUE ADDITION

PAUL MARSHALL &  
KATELYN WHEELER

1530 48TH AVENUE  
SAN FRANCISCO, CA 94112  
415 215 3622

DRAWING ISSUED	DATE
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PERMIT SUBMITTAL 6 - VARIANCE	03.10.17

SHEET NAME

## SITE DISTURBANCE & BEST MANAGEMENT PRACTICES

SHEET INFORMATION

DRAWN BY:

JPC

SCALE:

AS NOTED

SHEET NUMBER

# a1.02





17

GENERAL NOTES

NTS

13

NOT USED

X" = 1'-0"

9

NOT USED

X" = 1'-0"

5

NOT USED

X" = 1'-0"

1

NOT USED

X" = 1'-0"

KEY NOTES

1. DEMO (E) WALL

2. DEMO (E) WINDOW

3. DEMO & REPLACE (E) FLOORING

4. (E) ASPHALT SHINGLES, TYP.

5. DEMO MAJORITY OF (E) ROOF

18

KEY NOTES - NOT ALL USED

NTS

14

NOT USED

X" = 1'-0"

10

NOT USED

X" = 1'-0"

19

NOT USED

X" = 1'-0"

15

NOT USED

X" = 1'-0"

11

NOT USED

X" = 1'-0"

20

NOT USED

X" = 1'-0"

16

NOT USED

X" = 1'-0"

12

NOT USED

X" = 1'-0"

8

(E) ROOF DEMO PLAN

1/4" = 1'-0"

M

L

MANUAL LABOR

2421 CURTIS STREET  
BERKELEY, CA 94702

510 842 5042

PROJECT NAME	
48TH AVENUE ADDITION	
PAUL MARSHALL & KATELYN WHEELER	
1530 48TH AVENUE SAN FRANCISCO, CA 94112 415 215 3622	
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PERMIT SUBMITTAL 1 - VARIANCE	12.12.15
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PERMIT SUBMITTAL 6 - VARIANCE	03.10.17
SHEET NAME	
(E) ROOF DEMO PLAN	
SHEET INFORMATION	
DRAWN BY:	JPG
SCALE:	
AS NOTED	
SHEET NUMBER	

a2.01

GENERAL NOTES

1. THE FRONT (WEST) FACADE OF THE BUILDING SHALL BE MAINTAINED AS IS TO THE EXTENT FEASIBLE. THIS FACADE SHALL BE PROTECTED THROUGHOUT CONSTRUCTION. ONLY CHANGES DESCRIBED IN THE PLANS SHALL BE MADE TO THE FRONT FACADE.

17

GENERAL NOTES

NTS

KEY NOTES

1. (N) OPERABLE WINDOW

2. (N) ONE-HOUR FIRE RATED NON-OPERABLE WINDOW

3. (N) FROSTED GLASS OPERABLE WINDOW

4. EGRESS WINDOW PER 2013 C.R.C. R310.11

5. (NOT USED)

6. NEW CONTINUOUS HANDRAIL 34"-38" HIGH. A SPACE OF NOT LESS THAN 1 1/2" BETWEEN THE WALL AND HANDRAIL, PER 2013 CBC 1012.2 & 1012.7

7. NEW WOOD HANDRAIL, IF CIRCULAR, W/ HANDRAIL DIAMETER DIM BETWEEN 1-1/4" AND 2". IF NOT CIRCULAR, W/ HANDRAIL DIAMETER DIM BETWEEN 4" AND 6.25" W/ MAX HANDRAIL CROSS SECTION DIM OF 2.25". HANDRAIL EDGES SHALL HAVE A MIN RADIUS OF 0.01" PER 2013 CBC 1012.3.1

8. NEW 42" HIGH MIN. STEEL STAIR GUARDRAIL SHALL BE CONSTRUCTED NOT TO ALLOW A 4" SPHERE TO PASS THROUGH, PER 2013 CBC 1013.2 & 1013.3

9. (E) 6'-0" HIGH REDWOOD FENCE TO BE RECONSTRUCTED TO ALIGN WITH EAST AND SOUTH PROPERTY LINE

10. (E) WOOD SHIPLAP SIDING TO BE PARTIALLY REPLACED WITH MATCHING, TYP.

11. WOOD SIDING AND TRIM TO BE PAINTED BENJAMIN MOORE "GRAPHITE 1603" TO MATCH (E), TYP.

12. (N) CLASS 'A' ASPHALT SHINGLE ROOF, "MOIRE BLACK", TYP. U.O.N.

13. (N) STEEL RAIN GUTTERS, STYLE A, PAINTED TO MATCH SIDING, SIZED PER CPC 1101 REQUIREMENTS

14. (N) STEEL DOWNSPOUT, PAINTED TO MATCH SIDING, SIZED PER CPC 1101 REQUIREMENTS

19

KEY NOTES - NOT ALL USED

NTS

20

NOT USED

X" = 1'-0"

13

NOT USED

X" = 1'-0"

9

NOT USED

X" = 1'-0"

5

NOT USED

X" = 1'-0"

1

NOT USED

X" = 1'-0"

16

(N) SECOND FLOOR PLAN

1/4" = 1'-0"

8

(N) GROUND FLOOR PLAN

1/4" = 1'-0"

MANUAL LABOR

2421 CURTIS STREET  
BERKELEY, CA 94702

510 842 5042

PROJECT NAME

48TH AVENUE  
ADDITION

PAUL MARSHALL &  
KATELYN WHEELER

1530 48TH AVENUE  
SAN FRANCISCO, CA 94112  
415 215 3622

DRAWING ISSUED	DATE
PERMIT SUBMITTAL 1 - VARIANCE	12.12.15
PERMIT SUBMITTAL 2 - BUILDING	01.25.16
PERMIT SUBMITTAL 3 - VARIANCE	02.17.16
PERMIT SUBMITTAL 4 - VARIANCE	08.25.16
PERMIT SUBMITTAL 5 - VARIANCE	02.14.17
PERMIT SUBMITTAL 6 - VARIANCE	03.10.17
PERMIT SUBMITTAL 7 - VARIANCE	03.24.17

SHEET NAME

(N) FIRST & SECOND  
FLOOR PLANS

SHEET INFORMATION

DRAWN BY:JPG

SCALE:  
AS NOTED

SHEET NUMBER

a2.02





GENERAL NOTES

1. BUILDING HEIGHTS ARE APPROXIMATE BASED ON SITE OBSERVATIONS

17 GENERAL NOTES

NTS

KEY NOTES

1. DUO-GARD TRANSLUCENT POLYCARBONATE PANEL SYSTEM: SYSTEM 3000 CANOPY & SERIES 3500 VERTICAL WALL
2. (N) FROSTED GLASS WINDOW
3. (N) ONE-HOUR FIRE RATED, NON-OPERABLE WINDOW
4. EGRESS WINDOW PER 2013 C.R.C. R310.11
5. (E) 7'-0" HIGH REDWOOD FENCE TO BE PROTECTED IN PLACE & REPAIRED AS NEEDED
6. (E) SIDING TO BE REPLACED WITH MATCHING, TYP.
7. (E) WINDOW ALUMINUM CLAD, WOOD CASING
8. (E) WINDOW ALUMINUM, NO CASING
9. SMOOTH STUCCO FINISH
10. 6" FLAT CEDAR SIDING
11. 6" SHIPLAP WOOD SIDING

18 KEY NOTES - NOT ALL USED

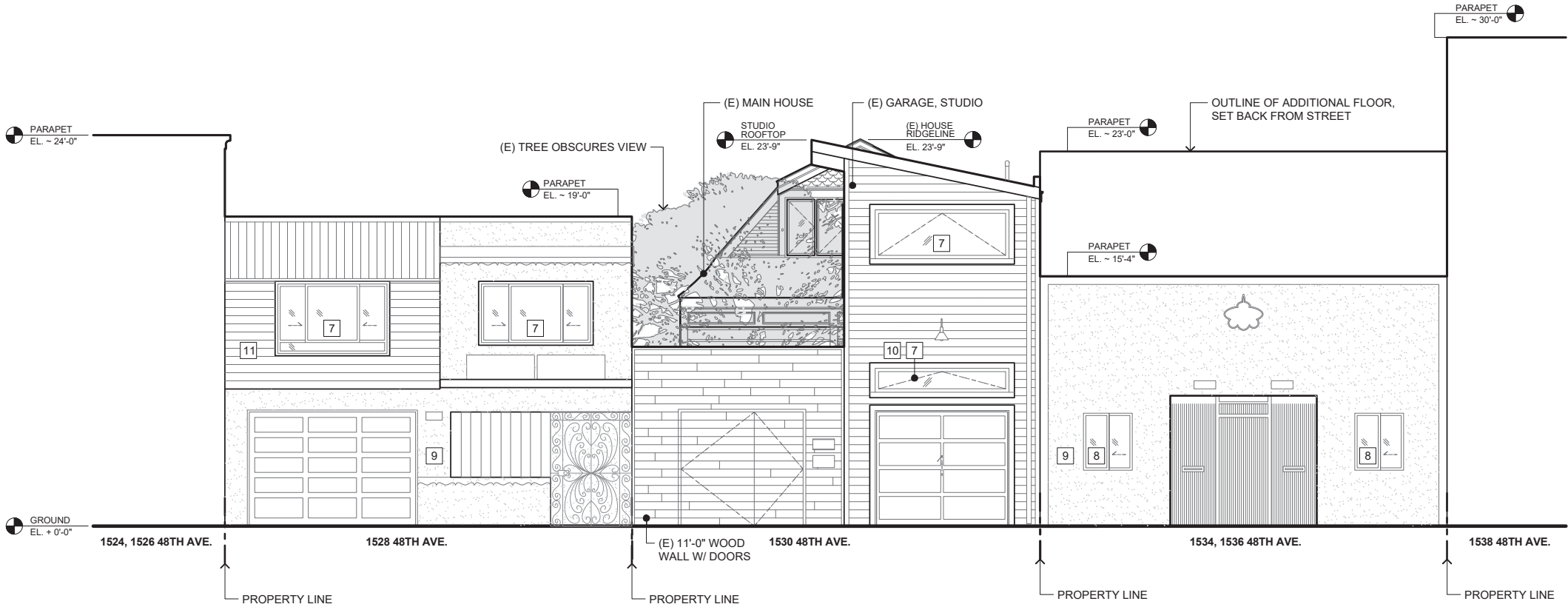
NTS

19 NOT USED

X" = 1'-0"

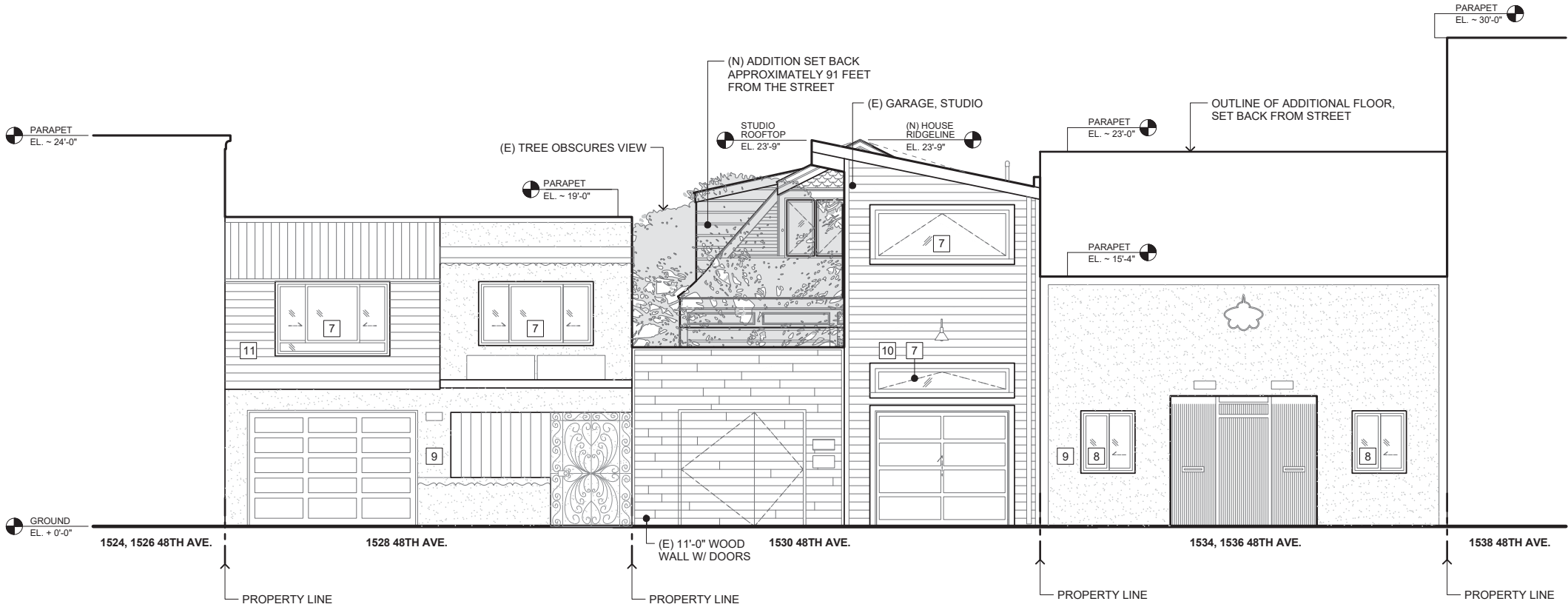
20 NOT USED

X" = 1'-0"



14 (E) STREETSCAPE (EAST) ELEVATION

1/4" = 1'-0"



16 (N) STREETSCAPE (EAST) ELEVATION

1/4" = 1'-0"



MANUAL LABOR

2421 CURTIS STREET  
BERKELEY, CA 94702  
510 842 5042

PROJECT NAME

## 48TH AVENUE ADDITION

PAUL MARSHALL &  
KATELYN WHEELER

1530 48TH AVENUE  
SAN FRANCISCO, CA 94112  
415 215 3622

DRAWING ISSUED	DATE
PERMIT SUBMITTAL 1 - VARIANCE	12.12.15
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PERMIT SUBMITTAL 5 - VARIANCE	02.14.17
PERMIT SUBMITTAL 6 - VARIANCE	03.10.17

SHEET NAME

### (E/N) ELEVATIONS - STREETSCAPE

SHEET INFORMATION

DRAWN BY:

JPG

SCALE:

AS NOTED



SHEET NUMBER

# a3.00



GENERAL NOTES

1. THE FRONT (WEST) FACADE OF THE BUILDING SHALL BE MAINTAINED AS IS TO THE EXTENT FEASIBLE. THIS FACADE SHALL BE PROTECTED THROUGHOUT CONSTRUCTION. ONLY CHANGES DESCRIBED IN THE PLANS SHALL BE MADE TO THE FRONT FACADE.

2. HATCH INDICATES DEMOLITION AS DESCRIBED.

17 GENERAL NOTES

NTS

KEY NOTES

1. NOT USED
2. NOT USED
3. (N) ONE-HOUR FIRE RATED, NON-OPERABLE WINDOW
4. EGRESS WINDOW PER 2013 C.R.C. R310.11
5. (E) 6'-0" HIGH REDWOOD FENCE TO BE PROTECTED IN PLACE & REPAIRED AS NEEDED. DISTANCE FROM WALL TO (E) INSIDE FACE OF FENCE VARIES, AS SHOWN ON PLANS a2.00 AND a2.02.
6. (E) WOOD SHIPLAP SIDING TO BE PARTIALLY REPLACED WITH MATCHING, TYP.

18 KEY NOTES - NOT ALL USED

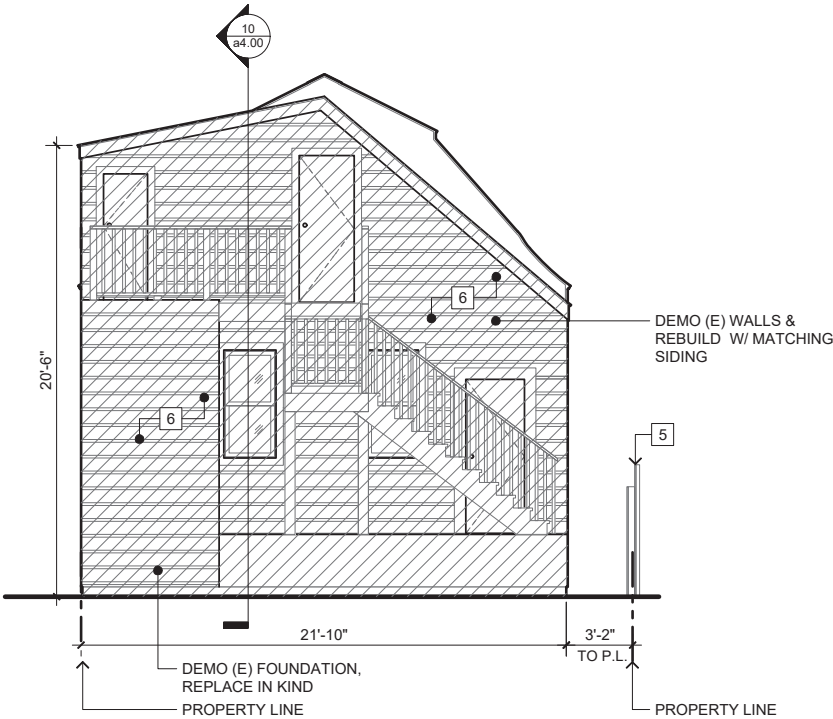
NTS

19 NOT USED

X" = 1'-0"

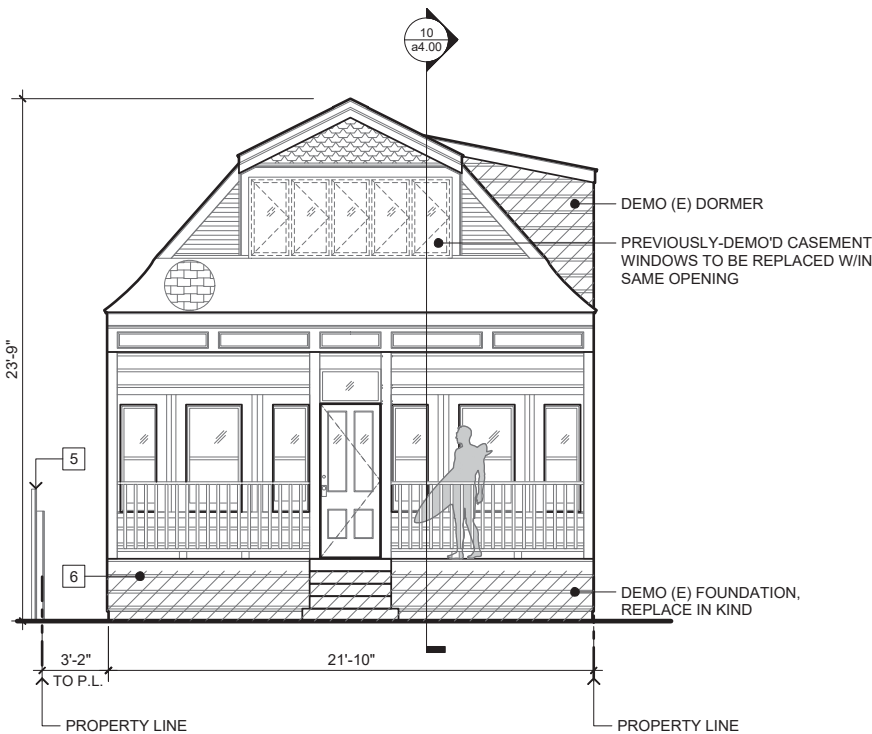
20 NOT USED

X" = 1'-0"



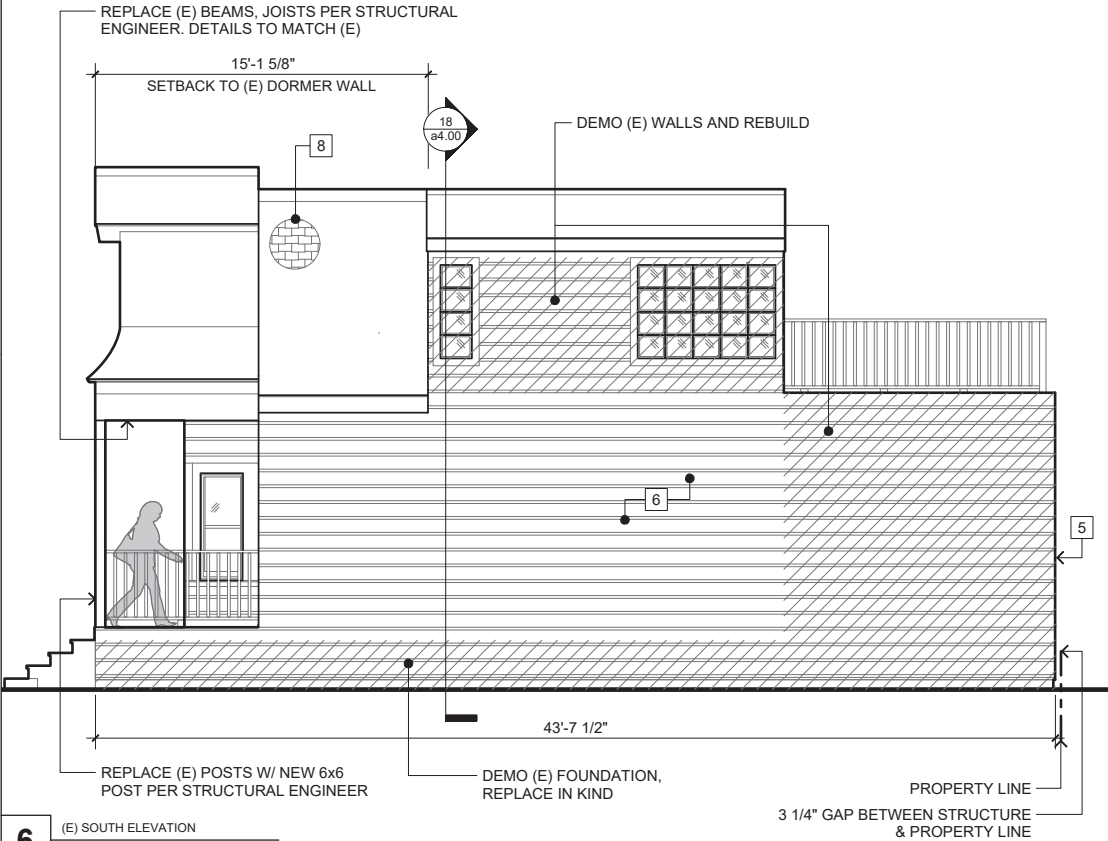
14 (E) EAST ELEVATION

1/4" = 1'-0"



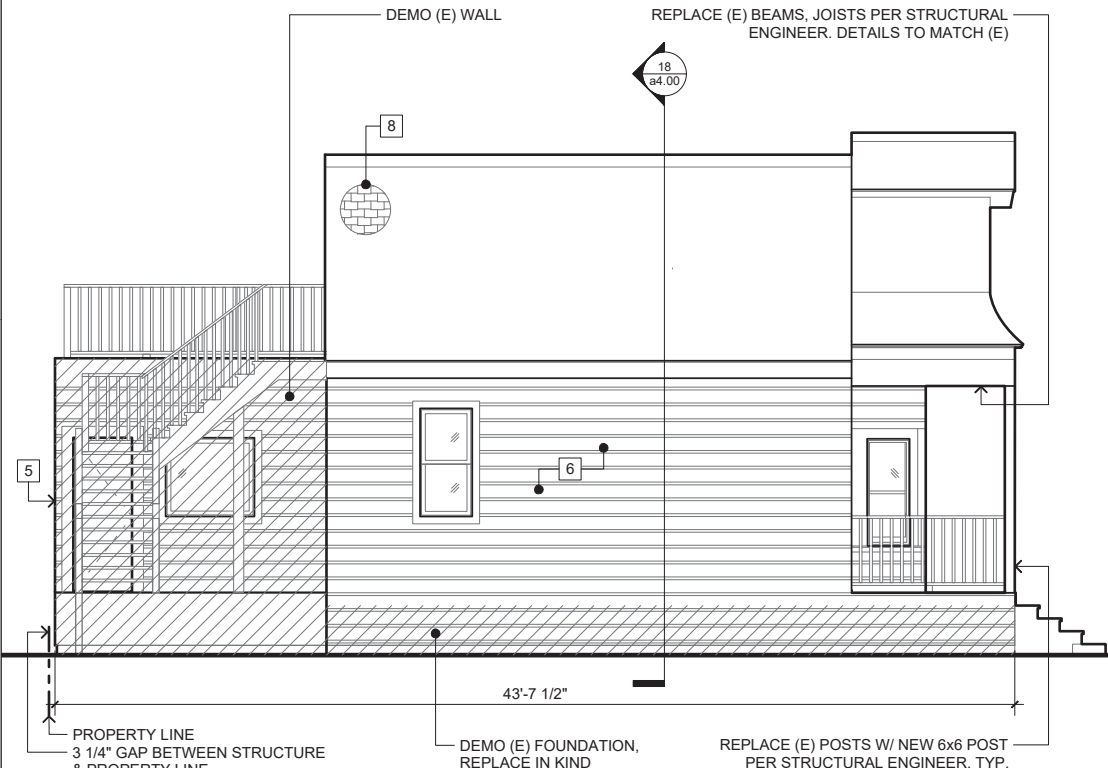
16 (E) WEST ELEVATION

1/4" = 1'-0"



6 (E) SOUTH ELEVATION

1/4" = 1'-0"



8 (E) NORTH ELEVATION

1/4" = 1'-0"

MANUAL LABOR

2421 CURTIS STREET  
BERKELEY, CA 94702

510 842 5042

PROJECT NAME	
48TH AVENUE ADDITION	
PAUL MARSHALL & KATELYN WHEELER	
1530 48TH AVENUE SAN FRANCISCO, CA 94112 415 215 3622	
DRAWING ISSUED	DATE
PERMIT SUBMITTAL 1 - VARIANCE	12.12.15
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PERMIT SUBMITTAL 6 - VARIANCE	03.10.17
PERMIT SUBMITTAL 7 - VARIANCE	03.24.17
PERMIT SUBMITTAL 8 - VARIANCE	03.30.17
SHEET NAME	
(E) ELEVATIONS - BUILDING	
SHEET INFORMATION	
DRAWN BY:	JPG
SCALE:	
AS NOTED	
SHEET NUMBER	

a3.01

**GENERAL NOTES**

1. THE FRONT (WEST) FACADE OF THE BUILDING SHALL BE MAINTAINED AS IS TO THE EXTENT FEASIBLE. THIS FACADE SHALL BE PROTECTED THROUGHOUT CONSTRUCTION. ONLY CHANGES DESCRIBED IN THE PLANS SHALL BE MADE TO THE FRONT FACADE.

2. GROUP ALL VENTS AS POSSIBLE. REVIEW AND GET PLACEMENT APPROVED BY ARCHITECT BEFORE BEGINNING WORK.

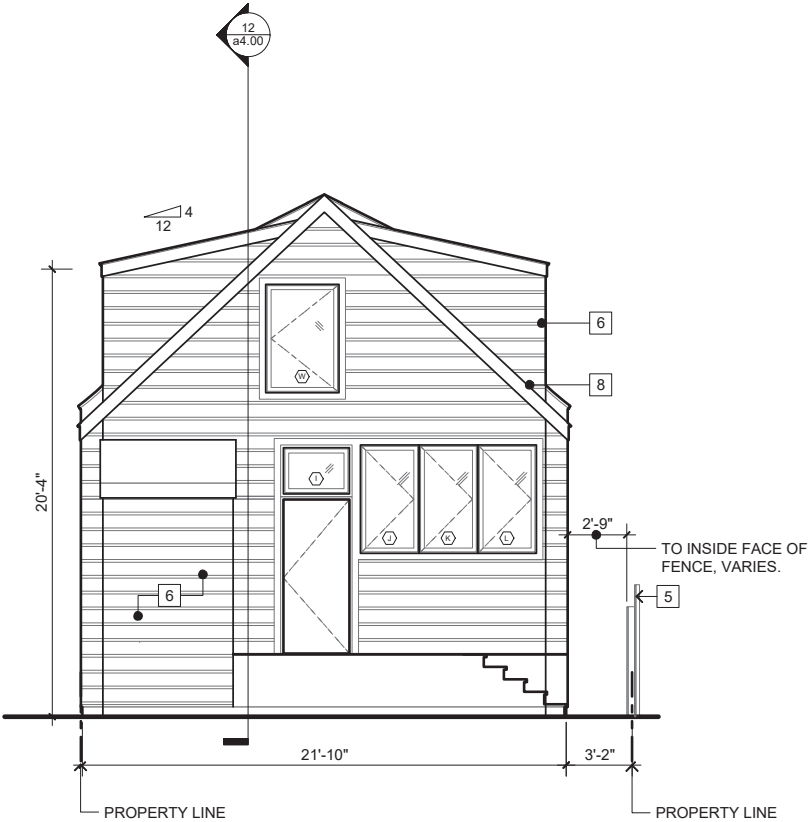
17 GENERAL NOTES  
NTS

- KEY NOTES**
1. NOT USED
  2. NOT USED
  3. (N) ONE-HOUR FIRE RATED, NON-OPERABLE WINDOW
  4. EGRESS WINDOW PER 2013 C.R.C. R310.11
  5. (E) 6'-0" HIGH REDWOOD FENCE TO BE PROTECTED IN PLACE & REPAIRED AS NEEDED. DISTANCE FROM WALL TO (E) INSIDE FACE OF FENCE VARIES, AS SHOWN ON PLANS a2.00 AND a2.02.
  6. (E) WOOD SHIPLAP SIDING TO BE REPAIRED AS POSSIBLE AND PARTIALLY REPLACED WITH MATCHING, TYP.
  7. WOOD SIDING AND TRIM TO BE PAINTED BENJAMIN MOORE "GRAPHITE 1603" TO MATCH (E), TYP.
  8. (N) ASPHALT SHINGLE ROOF, "MOIRE BLACK", TYP.
  9. (N) 6'-0" HIGH REDWOOD FENCE TO ALIGN W/ PROPERTY LINE

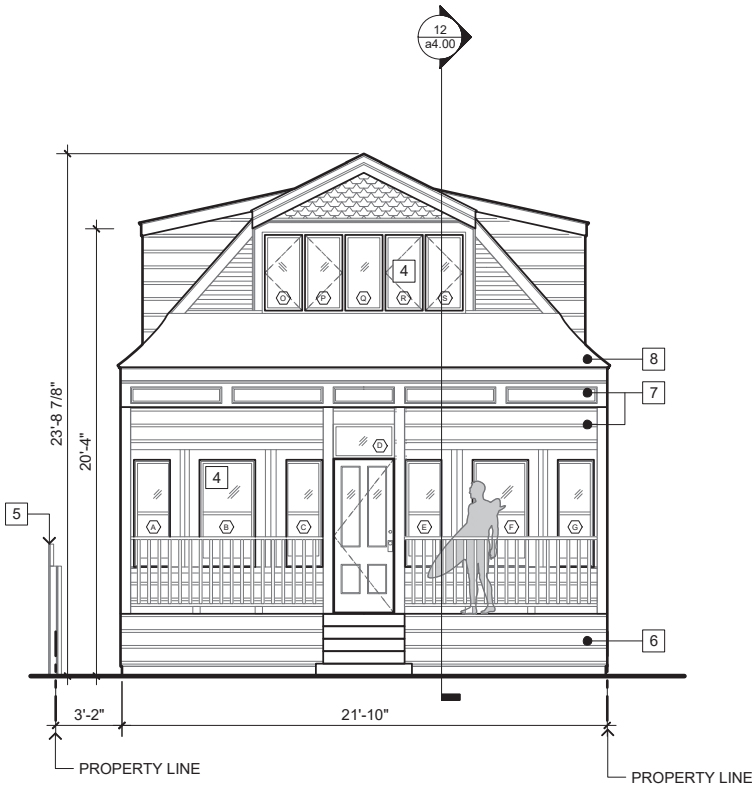
18 KEY NOTES - NOT ALL USED  
NTS

19 NOT USED  
X" = 1'-0"

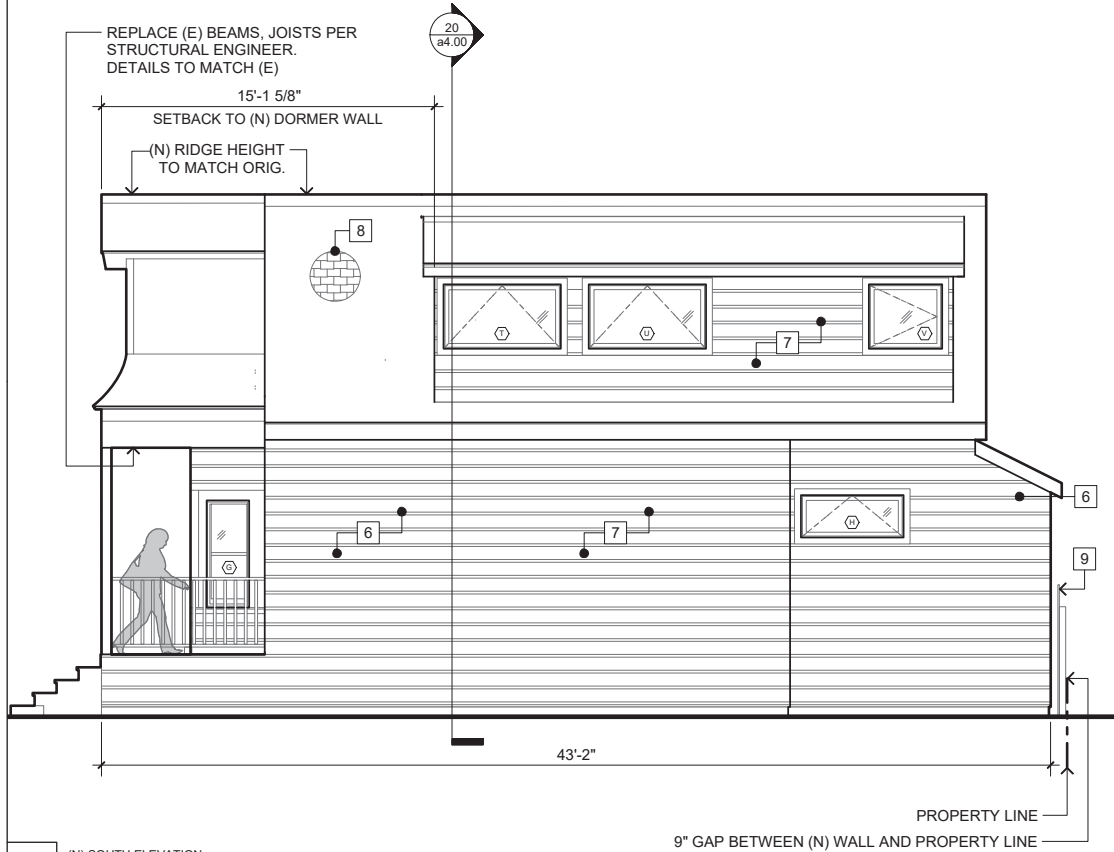
20 NOT USED  
X" = 1'-0"



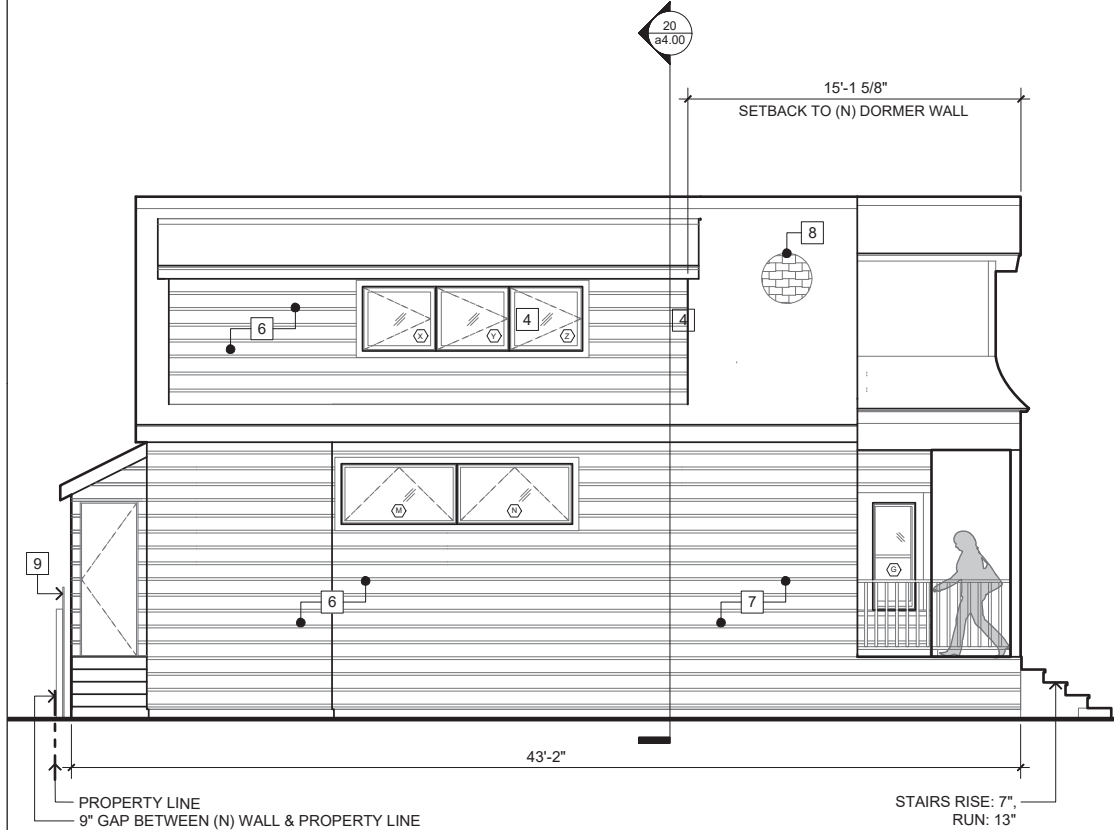
14 (N) EAST ELEVATION  
1/4" = 1'-0"



16 (N) WEST ELEVATION  
1/4" = 1'-0"



6 (N) SOUTH ELEVATION  
1/4" = 1'-0"



8 (N) NORTH ELEVATION  
1/4" = 1'-0"

**MANUAL LABOR**

2421 CURTIS STREET  
BERKELEY, CA 94702  
510 842 5042

PROJECT NAME	
<b>48TH AVENUE ADDITION</b>	
PAUL MARSHALL & KATELYN WHEELER	
1530 48TH AVENUE SAN FRANCISCO, CA 94112 415 215 3622	
DRAWING ISSUED	DATE
PERMIT SUBMITTAL 1 - VARIANCE	12.12.15
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SHEET NAME	
<b>(N) ELEVATIONS - BUILDING</b>	
SHEET INFORMATION	
DRAWN BY:	JPG
SCALE:	
AS NOTED	
SHEET NUMBER	

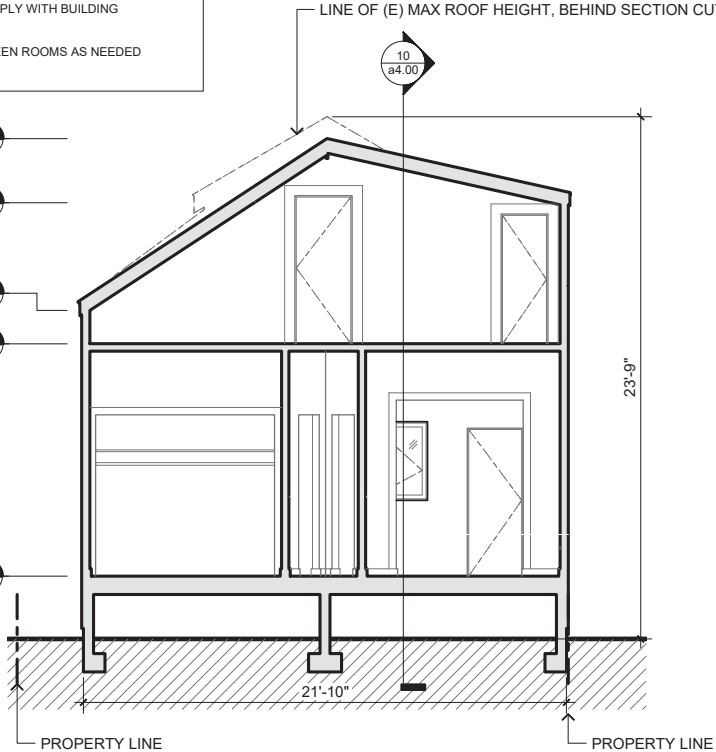
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GENERAL NOTES

1. THE FRONT (WEST) FACADE OF THE BUILDING SHALL BE MAINTAINED AS IS TO THE EXTENT FEASIBLE. THIS FACADE SHALL BE PROTECTED THROUGHOUT CONSTRUCTION. ONLY CHANGES DESCRIBED IN THE PLANS SHALL BE MADE TO THE FRONT FACADE.
2. ANY PROPOSED DEMOLITION OF STRUCTURAL COMPONENTS TO BE REVIEWED AND APPROVED BY STRUCTURAL ENGINEER PRIOR TO DEMOLITION
3. STRUCTURAL BRACING MAY BE NEEDED THROUGHOUT THE STRUCTURE TO ENSURE STRUCTURAL INTEGRITY THROUGHOUT DEMOLITION & CONSTRUCTION
4. VENT EAVES AND RIDGE AS NEEDED TO COMPLY WITH BUILDING CODE.
5. INSTALL FIRESTOPS WITHIN FRAMING BETWEEN ROOMS AS NEEDED TO COMPLY WITH BUILDING CODE

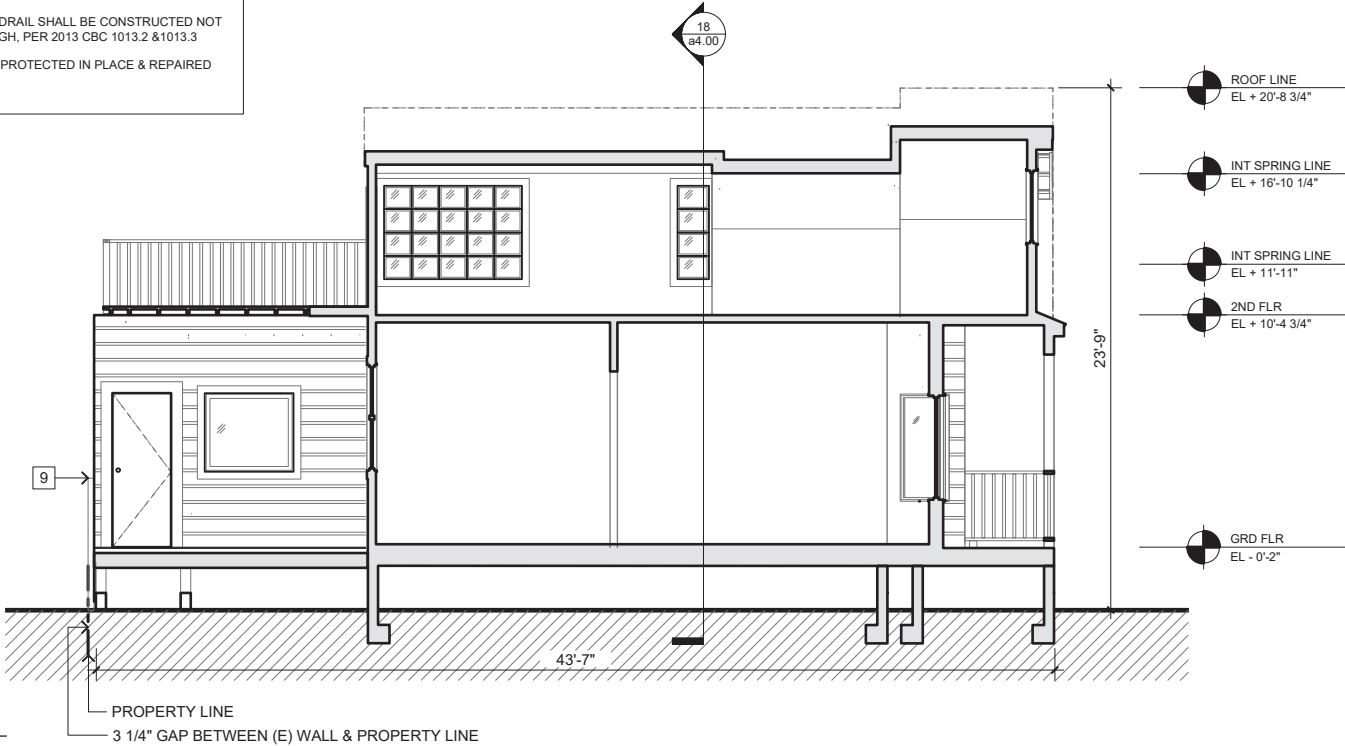
- ROOF LINE  
EL + 19'-8 3/4"
- INT SPRING LINE  
EL + 16'-10 1/4"
- INT SPRING LINE  
EL + 11'-11"
- 2ND FLR  
EL + 10'-4 3/4"
- GRD FLR  
EL - 0'-2"



18 EXISTING SECTION  
1/4" = 1'-0"

KEY NOTES

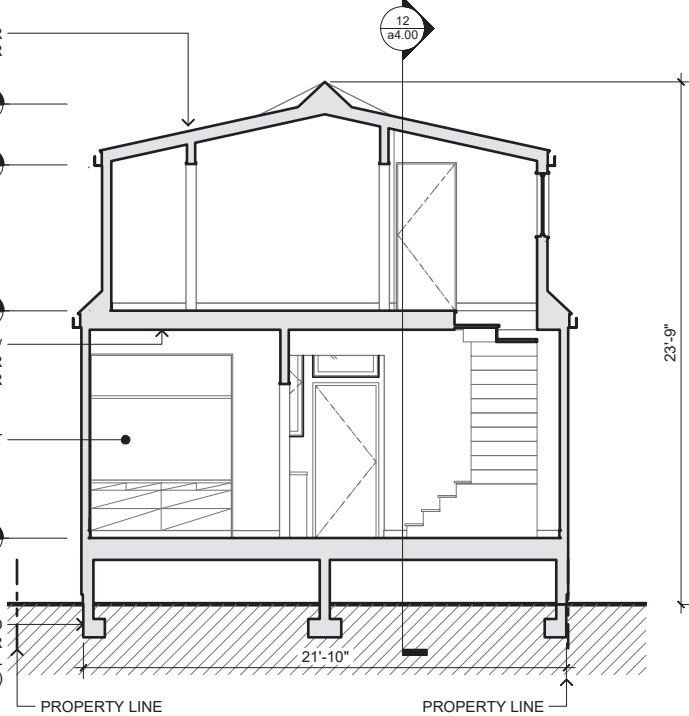
1. (N) OPERABLE WINDOW
2. (N) ONE-HOUR FIRE RATED WINDOW
3. (N) FROSTED GLASS OPERABLE WINDOW
4. EGRESS WINDOW PER 2013 C.R.C. R310.11
5. NOT USED
6. NEW CONTINUOUS HANDRAIL 34"-38" HIGH. A SPACE OF NOT LESS THAN 1 1/2" BETWEEN THE WALL AND HANDRAIL, PER 2013 CBC 1012.2 & 1012.7
7. NEW CIRCULAR WOOD HANDRAIL WITH DIAMETER DIM BETWEEN 1-1/4" AND 2", PER 2013 CBC 1012.3.1
8. NEW 42" HIGH MIN. STEEL STAIR GUARDRAIL SHALL BE CONSTRUCTED NOT TO ALLOW A 4" SPHERE TO PASS THROUGH, PER 2013 CBC 1013.2 & 1013.3
9. (E) 7'-0" HIGH REDWOOD FENCE TO BE PROTECTED IN PLACE & REPAIRED AS NEEDED



10 EXISTING SECTION  
1/4" = 1'-0"

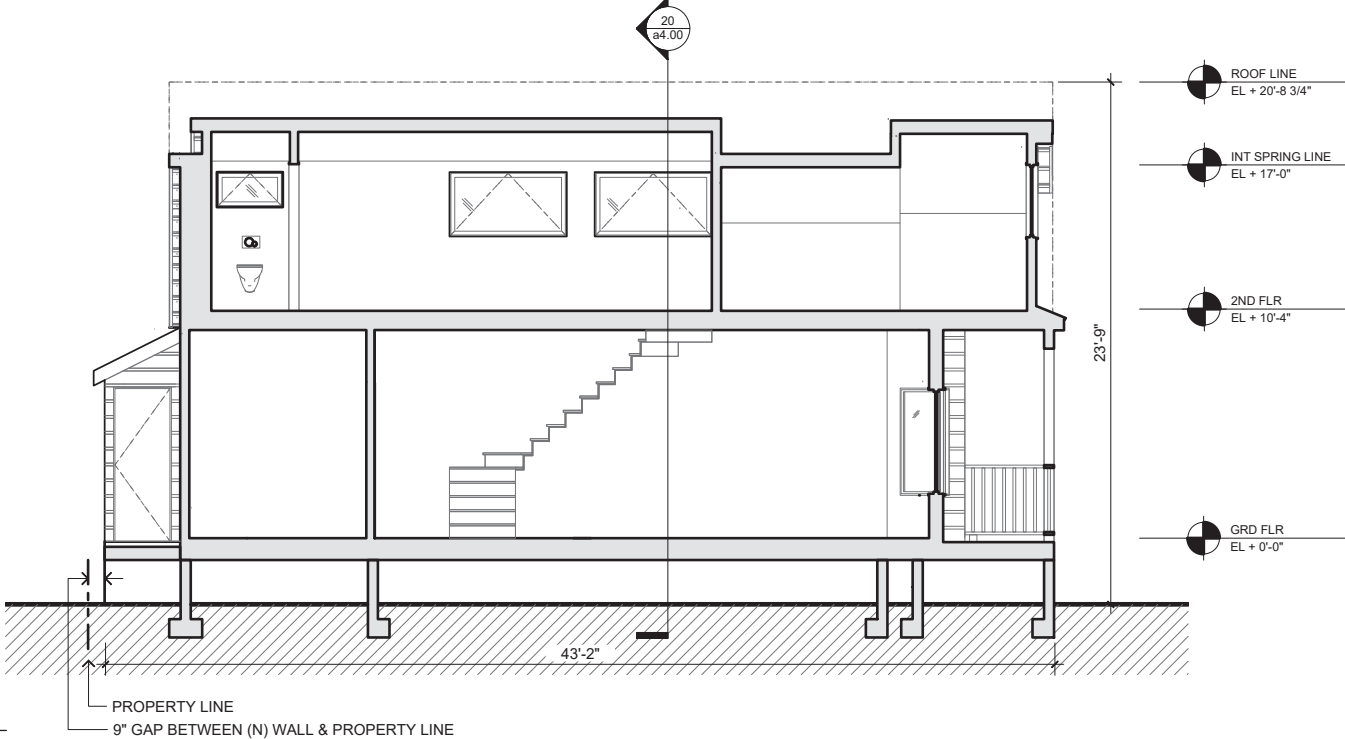
- (N) CEILING RAFTERS PER  
STRUCTURAL ENGINEER
- ROOF LINE  
EL + 19'-8 3/4"
- INT SPRING LINE  
EL + 17'-0"
- 2ND FLR  
EL + 10'-4"
- REINFORCE (E) FLOOR W/  
NEW JOISTS PER  
STRUCTURAL ENGINEER
- BUILT-IN CLOSET

- GRD FLR  
EL + 0'-0"
- NEW OR REINFORCED  
FOUNDATION AND FLOOR  
FRAMING PER STRUCTURAL  
ENGINEER (SEE S1-S4)



20 PROPOSED SECTION  
1/4" = 1'-0"

20  
a4.00



12 PROPOSED SECTION  
1/4" = 1'-0"



MANUAL LABOR

2421 CURTIS STREET  
BERKELEY, CA 94702  
510 842 5042

PROJECT NAME

48TH AVENUE  
ADDITION

PAUL MARSHALL &  
KATELYN WHEELER

1530 48TH AVENUE  
SAN FRANCISCO, CA 94112  
415 215 3622

DRAWING ISSUED	DATE
PERMIT SUBMITTAL 1 - VARIANCE	12.12.15
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PERMIT SUBMITTAL 5 - VARIANCE	02.14.17
PERMIT SUBMITTAL 6 - VARIANCE	03.10.17

SHEET NAME

(E)/(N) SECTIONS

SHEET INFORMATION

DRAWN BY:

JPG

SCALE:

AS NOTED

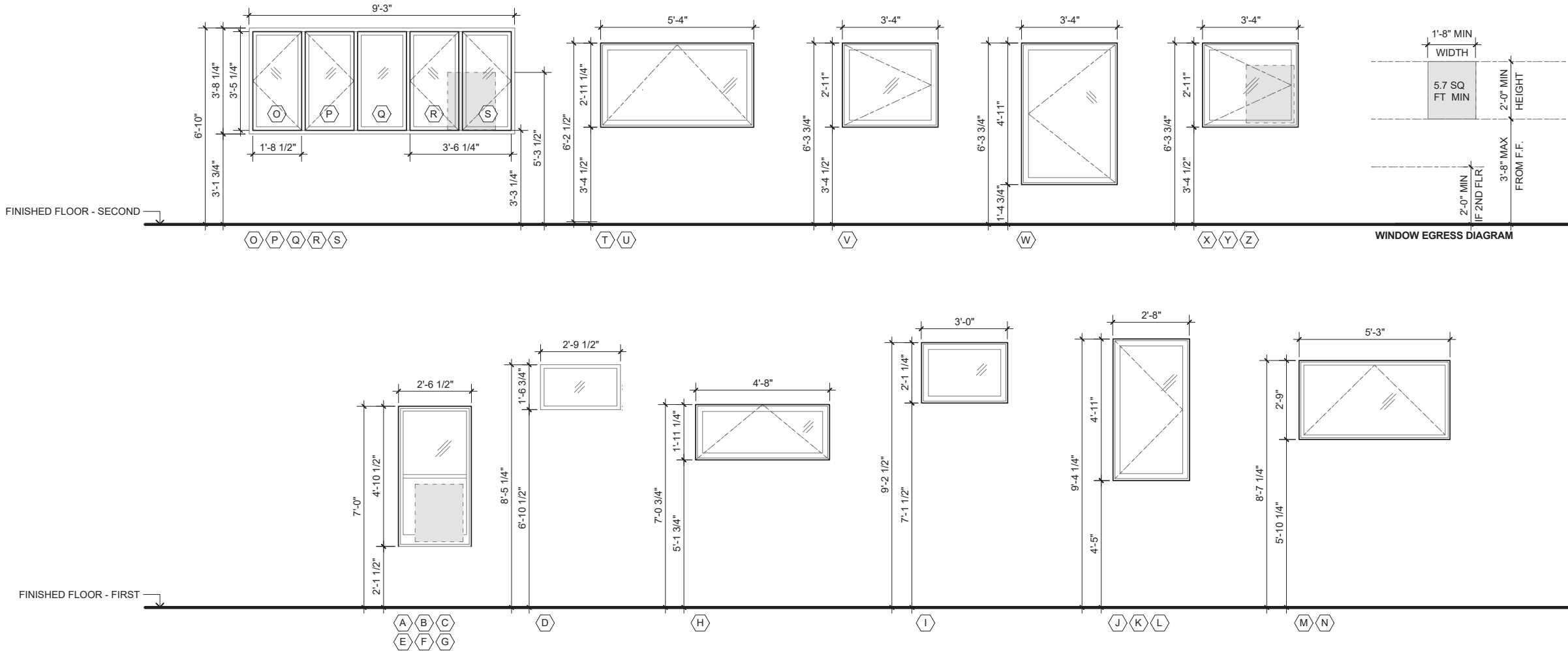


SHEET NUMBER

a4.00



MANUAL LABOR  
2421 CURTIS STREET  
BERKELEY, CA 94702  
510 842 5042



WINDOW SCHEDULE

WDW #	ROOM #	FUNCTION	DIMENSIONS	JAMB DEPTH	GLAZING	CONST.	FINISH - EXT	FINISH - INT	MFR	MODEL	NOTES
A	106	DOUBLE-HUNG	2'-6 1/2" x 4'-10 1/2"	(EXISTING)	SINGLE GLAZED	WOOD	PAINT	PAINT	CUSTOM	CUSTOM	EXISTING (NO CHANGE) [EGRESS WINDOW]
B	106	DOUBLE-HUNG	2'-6 1/2" x 4'-10 1/2"	(EXISTING)	SINGLE GLAZED	WOOD	PAINT	PAINT	CUSTOM	CUSTOM	EXISTING (NO CHANGE)
B	106	DOUBLE-HUNG	2'-6 1/2" x 4'-10 1/2"	(EXISTING)	SINGLE GLAZED	WOOD	PAINT	PAINT	CUSTOM	CUSTOM	EXISTING (NO CHANGE)
D	101	FIXED	2'-9 3/8" x 1'-6 3/4"	(EXISTING)	STAINED GLASS	WOOD	PAINT	PAINT	CUSTOM	CUSTOM	EXISTING (NO CHANGE)
E	101	DOUBLE-HUNG	2'-6 1/2" x 4'-10 1/2"	(EXISTING)	SINGLE GLAZED	WOOD	PAINT	PAINT	CUSTOM	CUSTOM	EXISTING (NO CHANGE)
F	101	DOUBLE-HUNG	2'-6 1/2" x 4'-10 1/2"	(EXISTING)	SINGLE GLAZED	WOOD	PAINT	PAINT	CUSTOM	CUSTOM	EXISTING (NO CHANGE)
G	101	DOUBLE-HUNG	2'-6 1/2" x 4'-10 1/2"	(EXISTING)	SINGLE GLAZED	WOOD	PAINT	PAINT	CUSTOM	CUSTOM	EXISTING (NO CHANGE)
H	105	AWNING	4'-8" x 1'-11 1/4"	TBD	DBL GLZ FROSTED	WOOD/ALUMINUM CLAD	PDR COAT	STAIN-GRADE DF	MARVIN	CLAD ULTIMATE	EBONY FINISH
I	103	FIXED	3'-0" x 2'-1 1/4"	TBD	DOUBLE GLAZED	WOOD/ALUMINUM CLAD	PDR COAT	STAIN-GRADE DF	MARVIN	CLAD ULTIMATE	EBONY FINISH
J	105	CASEMENT	2'-8" x 4'-11"	TBD	DOUBLE GLAZED	WOOD/ALUMINUM CLAD	PDR COAT	STAIN-GRADE DF	MARVIN	CLAD ULTIMATE	EBONY FINISH
K	105	CASEMENT	2'-8" x 4'-11"	TBD	DOUBLE GLAZED	WOOD/ALUMINUM CLAD	PDR COAT	STAIN-GRADE DF	MARVIN	CLAD ULTIMATE	EBONY FINISH
L	105	CASEMENT	2'-8" x 4'-11"	TBD	DOUBLE GLAZED	WOOD/ALUMINUM CLAD	PDR COAT	STAIN-GRADE DF	MARVIN	CLAD ULTIMATE	EBONY FINISH
M	104	AWNING	5'-3" x 2'-9"	TBD	DOUBLE GLAZED	WOOD/ALUMINUM CLAD	PDR COAT	STAIN-GRADE DF	MARVIN	CLAD ULTIMATE	EBONY FINISH
N	104	AWNING	5'-3" x 2'-9"	TBD	DOUBLE GLAZED	WOOD/ALUMINUM CLAD	PDR COAT	STAIN-GRADE DF	MARVIN	CLAD ULTIMATE	EBONY FINISH
O	205	FR. CASEMENT	1'-8 1/2" x 3'-5 1/4"	TBD	DOUBLE GLAZED	WOOD	PAINT	PAINT	MARVIN	WOOD ULTIMATE	EXTERIOR PAINT TO MATCH (E) TRIM
P	205	FR. CASEMENT	1'-8 1/2" x 3'-5 1/4"	TBD	DOUBLE GLAZED	WOOD	PAINT	PAINT	MARVIN	WOOD ULTIMATE	EXTERIOR PAINT TO MATCH (E) TRIM
Q	205	PICTURE	1'-8 1/2" x 3'-5 1/4"	TBD	DOUBLE GLAZED	WOOD	PAINT	PAINT	MARVIN	WOOD ULTIMATE	EXTERIOR PAINT TO MATCH (E) TRIM
R	205	FR. CASEMENT	1'-8 1/2" x 3'-5 1/4"	TBD	DOUBLE GLAZED	WOOD	PAINT	PAINT	MARVIN	WOOD ULTIMATE	[EGRESS WINDOW] EXTERIOR PAINT TO MATCH (E) TRIM
S	205	FR. CASEMENT	1'-8 1/2" x 3'-5 1/4"	TBD	DOUBLE GLAZED	WOOD	PAINT	PAINT	MARVIN	WOOD ULTIMATE	[EGRESS WINDOW] EXTERIOR PAINT TO MATCH (E) TRIM
T	201	AWNING	5'-4" x 2'-11 1/4"	TBD	DOUBLE GLAZED	WOOD/ALUMINUM CLAD	PDR COAT	STAIN-GRADE DF	MARVIN	CLAD ULTIMATE	EBONY FINISH
U	201	AWNING	5'-4" x 2'-11 1/4"	TBD	DOUBLE GLAZED	WOOD/ALUMINUM CLAD	PDR COAT	STAIN-GRADE DF	MARVIN	CLAD ULTIMATE	EBONY FINISH
V	202	CASEMENT	3'-4" x 2'-11"	TBD	DBL GLZ FROSTED	WOOD/ALUMINUM CLAD	PDR COAT	STAIN-GRADE DF	MARVIN	CLAD ULTIMATE	EBONY FINISH
W	202	CASEMENT	3'-4" x 4'-11"	TBD	DBL GLZ FROSTED	WOOD/ALUMINUM CLAD	PDR COAT	STAIN-GRADE DF	MARVIN	CLAD ULTIMATE	EBONY FINISH
X	203	CASEMENT	3'-4" x 2'-11"	TBD	DOUBLE GLAZED	WOOD/ALUMINUM CLAD	PDR COAT	STAIN-GRADE DF	MARVIN	CLAD ULTIMATE	EBONY FINISH [EGRESS WINDOW]
Y	203	CASEMENT	3'-4" x 2'-11"	TBD	DOUBLE GLAZED	WOOD/ALUMINUM CLAD	PDR COAT	STAIN-GRADE DF	MARVIN	CLAD ULTIMATE	EBONY FINISH
Z	203	CASEMENT	3'-4" x 2'-11"	TBD	DOUBLE GLAZED	WOOD/ALUMINUM CLAD	PDR COAT	STAIN-GRADE DF	MARVIN	CLAD ULTIMATE	EBONY FINISH

NOTES

- ALL WINDOWS & DOORS VIEWED FROM EXTERIOR
- ALL DIMENSIONS APPROXIMATE - REFER TO MANUFACTURER DOCUMENTATION FOR ACTUAL DIMENSIONS AND ROUGH OPENING SIZES
- INSTALLATION DETAILS TO CONFORM TO MANUFACTURER'S SPECIFICATIONS.
- V.I.F. ALL DIMENSIONS PRIOR TO START OF WORK
- ALL WINDOW AND GLASS DOOR LITES AT THE FOLLOWING HAZARDOUS LOCATIONS SHALL BE SAFTEY GLASS AS PER CBC SECTION 2406:  
A. GLAZING IN INGRESS AND EGRESS DOORS EXCEPT JALOUSIES  
B. GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS.  
C. GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENT WHERE THE BOTTOM OF THE GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET
- ALL (N) WINDOW JAMB DEPTHS TO HAVE 3/4" OVERHANG AT INTERIOR WALL SURFACE

PROJECT NAME

48TH AVENUE  
ADDITION

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KATELYN WHEELER

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SAN FRANCISCO, CA 94112  
415 215 3622

DRAWING ISSUED	DATE
PERMIT SUBMITTAL 2 - BUILDING	01.25.16
PERMIT SUBMITTAL 7 - VARIANCE	03.24.17
PERMIT SUBMITTAL 8 - VARIANCE	03.30.17

SHEET NAME

WINDOW  
SCHEDULE

SHEET INFORMATION

DRAWN BY: JPG

SCALE:

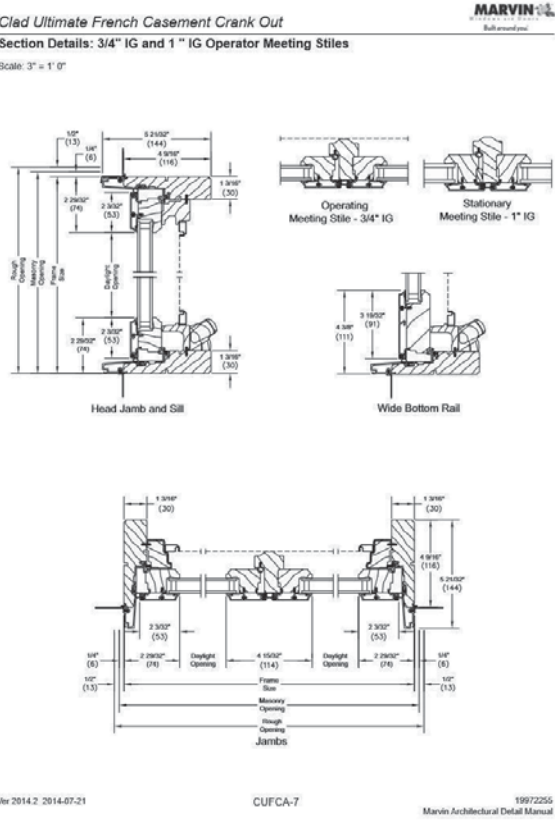
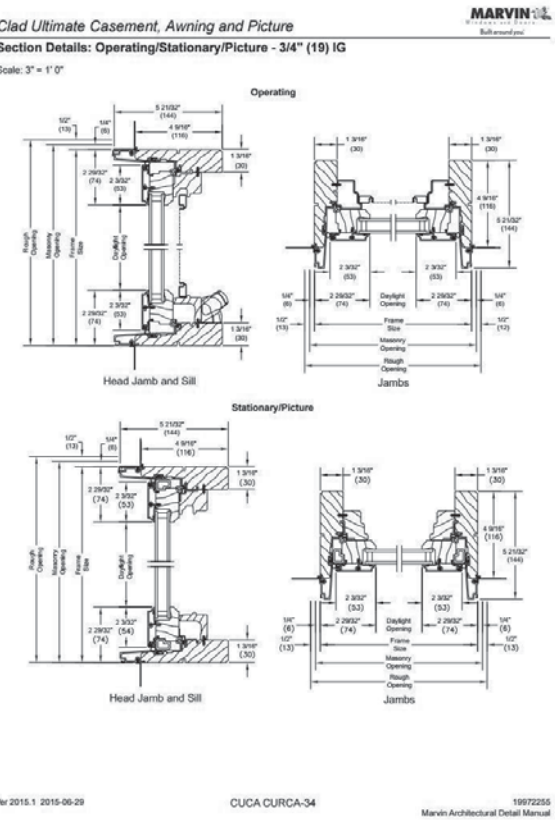
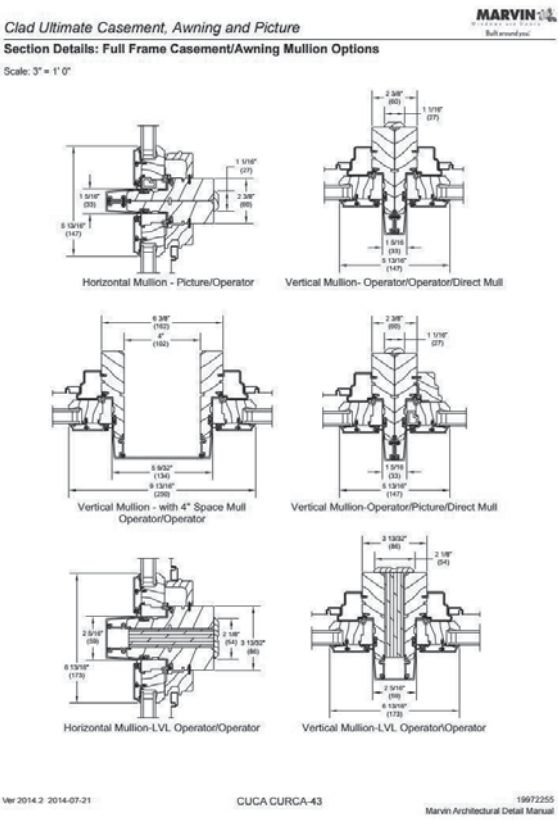
AS NOTED

SHEET NUMBER

a8.00

GENERAL NOTES

1. THESE SPEC SHEETS EXCERPTED FROM MARVIN ARCHITECTURAL  
DETAIL MANUAL 19972255, "CLAD ULTIMATE CASEMENT, AWNING AND  
PICTURE" - PROVIDED AS AN ATTACHMENT TO THIS SET (8 1/2" x 11")



PROJECT NAME

48TH AVENUE  
ADDITION

PAUL MARSHALL &  
KATELYN WHEELER

1530 48TH AVENUE  
SAN FRANCISCO, CA 94112  
415 215 3622

DRAWING ISSUED	DATE
PERMIT SUBMITTAL 2 - BUILDING	01.25.16
PERMIT SUBMITTAL 7 - VARIANCE	03.24.17

SHEET NAME

WINDOW  
CUT SHEET EXCERPTS

SHEET INFORMATION

DRAWN BY: JPG

SCALE:  
AS NOTED

SHEET NUMBER

a8.01