MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St. Suite 400 San Francisco, CA 94103-2479

Reception: 415.558.6378

Fax: 415.558.6409

Planning Information: 415.558.6377



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NOTICE OF PUBLIC HEARING

Hearing Date: Wednesday, August 28, 2019

Time: Not before 9:30 AM

Location: City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408

Case Type: Variance

Hearing Body: Zoning Administrator

PROJECT INF	ORMATION	APPLICANT INFORMATION		
Project Address: Cross Street(s): Block /Lot No.: Zoning District(s): Area Plan: Record Number:	34 Steiner Street Hermann Street 0875 / 013 RTO / 40-X Market and Octavia 2019-0002272VAR	Applicant: Company: Applicant Address: City, State: Telephone: E-Mail:	Toby Morris Kerman Morris Architects 139 Noe Street San Francisco, CA 94114 (415) 749-0302 toby@kermanmorris.com	

PROJECT DESCRIPTION

The proposal is to add 2 new dwelling units to the existing 7-unit building, excavate the basement level to create storage space, construct a new roof deck, add new open stairs and a separate stair penthouse to access the roof deck, and to add a firewall to the rear stairs.

Planning Code Section 134 requires the subject property to maintain a rear yard of approximately 22 feet 6 inches. The existing building projects approximately 17 feet 9 inches into the required rear yard. The proposed firewall will be located completely within the required rear yard. Therefore, a rear yard variance is required.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: To view the plans and related documents for the proposed project, visit <u>sf-planning.org/notices</u> and search the Project Address listed above. The plans will also be available one week prior to the hearing through the hearing agenda at: <u>sf-planning.org/hearings</u> or by request at the Planning Department office located at 1650 Mission Street, 4th Floor.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: David Weissglass Telephone: 415-575-9177 E-Mail: david.weissglass@sfgov.org

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident near the proposed project or are an interested party on record with the Planning Department. You are not required to take any action. For more information regarding the proposed work, or to commnet on the project, please contact the Applicant or Planner listed on this notice as soon as possible. Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice to the Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

BUILDING PERMIT APPLICATION INFORMATION

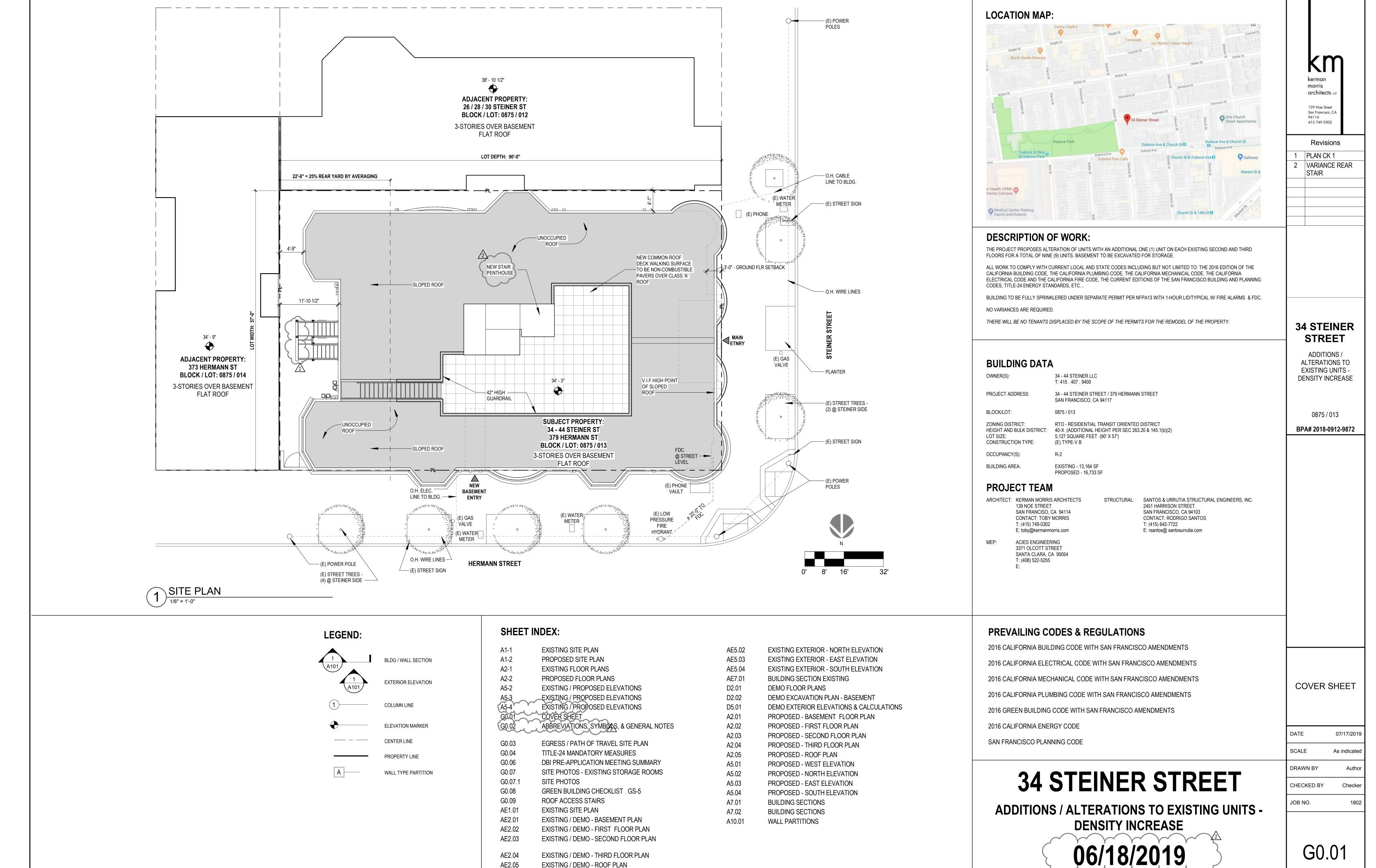
Pursuant to Planning Code Section 311, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. On July 22, 2019, the Department issued the required Section 311 notification for this project, which expires on August 21, 2019.

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department or Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.



EXISTING EXTERIOR - WEST ELEVATION

1 OF 35

SPRINKLERS UNDER SEPARATE PERMIT

GENERAL CONDITIONS

(SEE GENERAL LEGEND ON PLANS FOR RATED WALL DESIGNATIONS AND OTHER WALL TYPES)

PROVIDE MINIMUM 1-HR WALL AND FLOOR/ CEILING ASSEMBLY BETWEEN ALL RESIDENTIAL UNITS. SEE PLANS AND BUILING SECTIONS FOR DESIGNATIONS, AND STANDARD DETAILS FOR COMPLETE ASSEMBLY DESCRIPTIONS.

2. PROVIDE MINIMUM 50 STC RATED ASSEMBILES AT FLOORS. CEILINGS. AND WALLS. AND MINIMUM 50 IIC RATE ASSEMBLIES AT FLOORS AT THE FOLLOWING CONDITIONS: BETWEEN DWELLING UNITS. BETWEEN GUEST ROOMS. BETWEEN THESE AREAS AND PUBLIC/SERVICE AREAS PER CBC 1207, SEE PLANS AND BUILDING SECTIONS FOR DESIGNATIONS, AND STANDARD

DETAILS FOR ASSEMBLY DESCRIPTIONS.

3. INSULATE ALL ASSEMBLIES BETWEEN HEATED AND UNHEATED AREAS, R-30 AT ROOFS, R-19 AT WALLS, R-19 AT FLOORS, MINIMUM, UNLESS SPECIFICALLY NOTED OTHERWISE. SEE TITLE

ENERGY COMPLIANCE STATEMENT MANDATORY MEASURES CHECKLIST FOR SPECIFIC REQUIREMENTS. 4. PROVIDE VENTILATION OF ALL JOIST, STUD, AND RAFTER SPACES ENCLOSED BY BUILDING ASSEMBLIES BETWEEN HEATED AND UNHEATED AREAS INCLUDING: ATTICS, BASEMENTS,

SOFFITS, AND PARAPET AND RAILING WALLS, ETC. 5. ALL DOORS BETWEEN HEATED AND UNHEATED AREAS SHALL BE PROVIDED WITH WEATHER-STRIPPING AND THRESHOLDS.

6. ALL PROPERTY LINE WINDOWS (INDICATED ON DRAWINGS BY "PL") SHALL BE STEEL SASH WITH FIXED WIRE GLASS, WITH SPRINKLER HEAR PROTECTION PER 2016 S.F. BUILDING CODE '. PROVIDE MOISTURE RESISTANT GYPSUM WALL BOARD (MR GWB) ON ALL BATHROOM WALLS. DO NOT USE A CONT VAPOR BARRIER BETWEEN MR GWB. PROVIDE 30 POUND ROOFING FELT BEHIND FINISH SURFACE OF ALL TUB/SHOWER SURROUNDS, LAPPING ALL SEAMS, DO NOT USE MR GWB ON BATHROOM CEILINGS, USE 5/8" TYPE "X" GWB.

DRAWINGS: . DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS SUPERCEDE SCALED DIMENSIONS.

2. ALL DIMENSIONS ARE TO "FACE OF FINISH" UNLESS SPECIFICALLY NOTED OTHERWISE. EXISTING DIMENSIONS ARE TO "FACE OF EXISTING FINISH" UNLESS SPECIFICALLY NOTED

OTHERWISE. ALL EXISTING DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO PROCEEDING WITH THE WORK.

3. LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS. WRITTEN SPECIFCATIONS TAKE PRECEDENCE OVER ALL DRAWINGS.

4. REFER TO EXTERIOR ELEVATIONS FOR INDICATIONS OF WINDOW OPERATION AND HANDING.

CONTRACTOR'S RESPONSIBILITIES: . CONTRACTOR TO PROVIDE ALL WORK AND MATERIALS IN ACCORDANCE WITH THE 2010 CBC AS AMENDED BY ALL STATE AND LOCAL CODES, AND CALIFORNIA ADMINISTRATIVE CODE,

TITLE 24. DISABLED ACCESS COMPLIANCE REGULATIONS. 2. CONTRACTOR SHALL MAKE SITE INSPECTIONS AND BE RESPONSIBLE FOR ALL NEW AND DEMOLITION WORK, WHETHER DETAILED BY THE SPECIFICATIONS AND DRAWINGS, OR IMPLIED BY

3. ANY DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS, AS CONFLICTS WITH ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTIONS OF THE ARCHITECT BEFORE

4. CONTRACTOR SHALL PROVIDE ALL TEMPORARY SHORING & UNDERPINNING AS NECESSARY, WORK TO BE PERFORMED UNDER SEPARATE PERMIT

5. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PROVIDE ALL NECESSARY TEMPORARY UTILITY HOOK-UPS FOR ALL EQUIPMENT DURING CONTRUCTION. 6. CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTION/ CAPPING OFF ALL EXISTING UTILITIES AND RE-CONNECTIONS WHERE RE-USE IS POSSIBLE.

7. CONFIRM ALL WINDOW SIZES WITH ACTUAL/ EXISTING ROUGH OPENING DIMENSIONS PRIOR TO ORDERING WINDOWS.

8. SLOPE ALL FLOORS/ ROOFS TO DRAIN IN A MINIMUM OF 1/4" PER 1'-0", UNLESS SPECIFICALLY NOTED OTHERWISE. 9. CONTRACTOR IS RESPONSIBLE TO PROCURE STATE INDUSTRIAL SAFETY PERMIT FOR ANY WORK OVER 36" IN HEIGHT, INVOLVING EXCAVATION OVER 5' AND AS OTHERWISE REQUIRED. 10. OWNER/ CONTRACTOR IS RESPONSIBLE FOR ALL WATERPROOFING DESIGN AND INSTALLATION FOR WEATHERTIGHT ASSEMBLIES/ INSTALLATIONS, DETAILS INCLUDED IN THIS SET ARE

CLARIFICATION OF INSTALLATION OF FINISH MATERIALS.

11. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL SPECIAL INSPECTIONS, INCLUDING BUT NOT LIMITED TO ORDERING INSPECTIONS AND TESTS AS REQUIRED FOR COMPLIANCE WITH SPECIAL INSPECTIONS/BUILDING PERMIT APPROVALS.

12. CONTRACTOR IS RESPONSIBLE FOR VERIFYING COMPLIANCE WITH ALL SOUND TRANSMISSION REQUIREMENTS PER CBC 1207, INCLUDING STC AND IIC RATINGS OF ASSEMBLIES AND

EXTERIOR ASSEMBLY REQUIREMENTS FOR EXTERIOR SOUND TRANSMISSION CONTROL. FIRE EXTINGUISHING/ FIRE ALARM SYSTEM (FIRE SPRINKLERS): UNDER SEPARATE PERMIT

1. CONTRACTOR SHALL PROVIDE COMPLETE AUTOMATIC FIRE SPRINKLER SYSTEM TO COMPLY WITH ALL APPLICABLE BUILDING AND FIRE CODES INCLUDING, BUT NOT LIMITEDTO S.F. BUILDING CODE, S.F. FIRE CODE AND NFPA-13. THE SYSTEM SHALL INCLUDE, BUT NOT BE LIMITED TO: ALL SPRINKLER HEADS, PIPING, CONNECTIONS, FIRE DEPARTMENT PANELS, ALARMS, PULL STATIONS, VISUAL WARNING DEVICES, AUTOMATIC SYSTEM MONITORING CONNECTIONS (AS REQUIRED) AND ALL ELSE AS REQUIRED.

. THIS WORK SHALL BE UNDER A SEPARATE PERMIT. THE SYSTEM SHALL BE DESIGNBUILD, REQUIRING A COMPLETE SET OF CALCULATIONS AND DRAWINGS, AS NECESSARY FOR BUILDING AND FIRE DEPARTMENT REVIEW / APPROVAL.

. THE FIRE SPRINKLER SYSTEM IS NOT INCLUDED IN THE CALCULATION OF THE BUILDING PERMIT COST

MECHANICAL AND ELECTRICAL: 1. MECHANICAL AND ELECTRICAL WORK SHOWN ON DRAWINGS IS SCHEMATIC IN NATURE, CONTRACTOR TO CONFIRM FINAL LAYOUT WITH ARCHITECT, PRIOR TO PROCEEDING WITH THE

2. ALL WORK TO BE PERFORMED UNDER THIS PERMIT.

3. PARKNG GARAGE(S), COORIDORS AND STAIRS SHALL BE VENTILATED AS REQUIRED PER CODE.

4. PROVIDE EMERGENCY / EXIT LIGHTING AT ALL EXIT PATHS OF TRAVEL, AS REQUIRED PER CODE 5. ALL EXTERIOR LIGHT FIXTURES SHALL BE PROVIDED WITH SWITCHING VIA CENTRAL PHOTO-ELECTRIC SENSOR WITH TIMER CLOCK SWITCH OVERRIDE, UNLESS OTHERWISE SPECIFIED. 6. PARKING GARAGE(S) AND ALL OTHER COMMON AREAS NOT SERVED BY DAYLIGHTING WINDOWS SHALL BE PROVIDED WITH ELECTRICAL LIGHTING 24 HOURS PER DAY, UNLESS

SPECIFICALLY NOTED OTHERWISE

7. STAGGER ALL ELECTRICAL AND MECHANICAL ITEMS IN ALL DEMISING WALLS AND FLOORS BTWEEN UNITS TO MAINTAIN ASSEMBLY'S ACOUSTICAL RATING. SEE SPECIFICATIONS AND

DETAILS FOR SPECIFIC REQUIREMENTS.

ALL ELECTRICAL RECEPTACLES IN DAMP LOCATIONS TO BE GROUND FAULT CIRCUIT INTERRUPTER (GFCI) AS REQUIRED BY CODE.

9. PENETRATIONS OR OPENINGS IN CONSTRUCTION ASSEMBLIES FOR PIPING, ELECTRICAL DEVICES, RECESSED CABINETS, BATHTUBS, SOFFITS OR HEATING, VENTILATION OR EXHAUST DUCTS SHALL BE SEALED, LINED, INSULATED OR OTHERWISE TREATED TO MAINTAIN THE REQUIRED ACOUSTICAL (STC/IIC) RATING OF THE ASSEMBLY

10. VENTILATION DESIGNS SHALL NOT COMPROMISE A DWELLING UNIT'S INTERIOR ALLOWABLE NOISE LEVELS AS REQ'D PER CBC 1207.11. WHERE INTERIOR ALLOWABLE NOISE LEVELS ARE

BY REQUIRING THAT WINDOWS BE UNOPENABLE OR CLOSED. AN ALTERNATE COMPLYING VENTILATION SYSTEM (SUCH AS USAGE OF Z-DUCTS) IS TO BE PROVIDED. 11. ALL MECHANICAL AND ELECTRICAL EQUIPMENT ARE TO COMPLY WITH TITLE 24 REQUIREMENTS AS SPECIFIED IN TITLE 24 ENERGY COMPLIANCE STATEMENT.

WATERPROOFING (DESIGN-BUILD BY CONTRACTOR): 1. ALL SHEET METAL WORK TO BE IN ACCORDANCE WITH CURRENT EDITION OF S.M.A.C.N.A. STANDARDS.

PROVIDE GALVANIZED SHEET METAL FLASHING AT ALL WINDOW AND DOOR HEADS AND DOOR SILLS, INSTALL UNDER EXTERIOR SIDING OR CEMENT PLASTER AND BUILDING PAPER, AND

OVER HEAD FRAME OF ALL NEW DOORS AND WINDOWS.

B. PROVIDE GALVANIZED SHEET METAL FLASHING AT ALL ROOF CONDITIONS INCLUDING, BUT NOT LIMITED TO: PERIMETER EDGES, VALLEYS, PARAPET CAPS, WALL/ROOF INTERSECTIONS, ROOF PENETRATIONS, ETC. SEE DETAIL SHEETS FOR SPECIFIC REQUIREMENTS.

4. ALL NEW EXTERIOR FINISHES TO BE INSTALLED OVER A MINIMUM MOISTURE BARRIER OF TWO LAYERS OF 15 POUND (GRADE D) BUILDING PAPER. MISCELLANEOUS NOTES:

1. IN THE ABSENCE OF A CONTRACT FOR CONSTRUCTION ADMINISTRATION AND REGULAR SITE VISITS ADEQUATE TO ENSURE THAT THESE DRAWINGS AND SPECIFICATIONS ARE BEING GENERALLY FOLLOWED. ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE COMPLETED WORK. SUCH RESPONSIBILITY BEING THAT OF THE GENERAL CONTRACTOR. OWNER'S

REPRESENTATIVE, HIS/HER SUBCONTRACTORS AND ANY PARTIES RESPONSIBLE FOR SPECIAL INSPECTIONS. 2. ALL GLAZING WITHIN 18" OF FLOOR SHALL BE TEMPERED PER CBC 2406.3.

3. WATER HEATERS SHALL BE STRAPPED TO WALL FOR LATERAL FORCE PROTECTION, AND RAISED 18" AT GARAGE AREAS. 4. HEATING UNITS, INCLUDING FIREPLACE HEATERS TO BE U.L. LISTED AND INSTALLED PER MFR'S SPECIFICATIONS.

5. FURNACES AND GAS HEATERS: DIRECT VENTED OR PROVIDE HI/LOW COMBUSTION AIR PER CALIF. MECHANICAL CODE. 6. GARAGE TO BE VENTED AS PER SFBC SECTION 406.1.3

7. BUILDING/PUBLIC HALLWAY VENTILATION REQUIREMENTS TO COMPLY WITH SECTION 1203.4 OR 1203.5.

8. BUILDING SECURITY TO COMPLY WITH CBC 1008.1.9, READILY OPENABLE FROM EGRESS SIDE WITHOUT USE OF KEY OR SPECIAL KNOWLEDGE.

10. ROOFING SHALL BE CLASS-A. 11. FIRE ALARM SYSTEM TO BE PROVIDED PER SFBC 907.2.9 FOR APARTMENT BUILDINGS OF 3 OR MORE STORIES OR MORE THAN 6 APARTMENTS.

12. BATHROOM AND KITCHEN EXHAUST PER CALIF. MECHANICAL CODE AND/OR SF MECHANICAL CODE. 13. ROOF DRAINS AND OVERFLOWS AT ROOF OR DECKS SHALL CONNECT TO THE CITY STORM/SEWER SYSTEM.

14. PROVIDE EXIT SIGNS PER CBC 1011.

ABBREVIATIONS

#	NUMBER	(E)	EXISTING	(N)	NEW	TRD	TREAD
@	AT	ÈÁ	EACH	ŇIĆ	NOT IN CONTRACT	T&G	TONGUE AND GROOVE
AB	ANCHOR BOLT	ELEC	ELECTRICAL	NO/#	NUMBER		
ADJ	ADJACENT	EL	ELEVATION	NTS	NOT TO SCALE	THK	TRICK
AL	ALUMINUM	EQ	EQUAL			TOS	TOP OF SLAB
ALT	ALTERNATE	EXT	EXTERIOR	oc	ON CENTER	TP	TOILET PAPER
AFF	ABOVE FINISH FLOOR			OPNG	OPENING	TB	TOWEL BAR
APPROX	APPROXIMATE	FDN	FOUNDATION	OPP	OPPOSITE	TYP	TYPICAL
7		FIN	FINISH	U			
BLDG	BUILDING	FLR	FLOOR	PL	PROPERTY LINE	UON	UNLESS OTHERWISE NOTED
BTWN	BETWEEN	FLUOR	FLUORESCENT	PLY	PLYWOOD	00.1	
BOT	BOTTOM	FOC	FACE OF CONCRETE	PTDF	PRESSURE TREATED	VERT	VERTICAL
501		FOS	FACE OF STUD		DOUGLAS FIR	VIF	VERIFY IN FIELD
CAB	CABINET	FTG	FOOTING	PLAM	PLASTIC LAMINATE	VPFAM	VAPOR PERMEABLE FLUID
CEM	CEMENT	FOF	FACE OF FINISH	PTD	PAINTED	VIIA	APPLIED MEMBRANE
CLR	CLEAR	101		PTN	PARTITION		
CMU	CONCRETE MASONRY UNIT	GALV	GALVANIZED	1 114		W/	WITH
COL	COLUMN	GFIC	GROUND FAULT	R	RISER	W/O	WITHOUT
CONT	CONTINUOUS	01 10	INTERRUPT CIRCUIT	REF	REFERENCE	WC	WATER CLOSET
CTR	CENTER	GL	GLASS	REFR	REFRIGERATOR	WDW	WINDOW
CL	CENTER LINE	GM	GLASS MIRROR	RWD	REDWOOD	WP	WATERPROOF
CER	CERAMIC	GND	GROUND	REINF	REINFORCED	WT	WEIGHT
CLG	CEILING	GYP	GYPSUM	RO	ROUGH OPENING	WD	WOOD
CONC	CONCRETE	GWB	GYPSUM WALL BOARD	RWL	RAIN WATER LEADER	WH	WATER HEATER
00110		OVID		REQ	REQUIRED	****	
DBL	DOUBLE	НС	HIGH PERFORMANCE COATING	ILE			
DEPT	DEPARTMENT	HM	HOLLOW METAL	SIM	SIMILAR		
DIA	DIAMETER	HORZ	HORIZONTAL	SHT	SHEET		
DF	DOUGLAS FIR	HT	HEIGHT	SOG	SLAB ON GRADE		
DH	DOUBLE HUNG			SPEC	SPECIFICATION		
DIM	DIMENSION	INSUL	INSULATION	SS	STAINLESS STEEL		
DN	DOWN	INT	INTERIOR	STD	STANDARD		
DS	DOWNSPOUT	114 1		STRL	STRUCTURAL		
DTL	DETAIL	JT	JOINT	SUSP	SUSPENDED		
DWG	DRAWING	LAV	LAVATORY	SW	SOLID WOOD		
DWG		MAX	MAXIMUM	SYM	SYMMETRICAL		
		MIN	MINIMUM	3111			
		MFR	MANUFACTURER				
			METAL				
		MTL					

GENERAL NOTES

A. GENERAL NOTES:

1. THE CONTRACTOR SHALL PROVIDE COMPLETE PROJECT SYSTEMS AND COMPONENTS AND COMPLY WITH ALL REQUIREMENTS INDICATED ON THE PROJECT DOCUMENTS.

2. WORK WITHIN THE AREA BOUNDARIES INDICATED IN THE PROJECT DOCUMENTS AND COMPLY WITH ALL APPLICABLE BUILDING CODE. REGULATION, & ORDINANCE REQUIREMENTS. OCCUPANTS ADJACENT TO THE PROJECT AREA BOUNDARIES SHALL CONTINUE UNINTERRUPTED OCCUPANCY DURING CONSTRUCTION OF THE PROJECT.

3. VERIFY FIELD CONDITIONS AND COORDINATION WITH THE PROJECT DOCUMENTS PRIOR TO PROCEEDING WITH THE WORK. 4. COORDINATE THE WORK WITH ALL REQUIREMENTS INDICATED IN THE PROJECT DOCUMENTS.

5. PERFORM THE WORK AT THE PROJECT SITE DURING NORMAL BUSINESS HOURS, UNLESS OTHERWISE NOTED. 6. COORDINATE THE WORK WITH EQUIPMENT, FURNISHINGS AND SYSTEMS PROVIDED BY THE OWNER.

B. DEFINITIONS:

1. "TYPICAL" OR "TYP" INDICATES IDENTICAL COMPLETE SYSTEM SHALL BE PROVIDED FOR EACH OCCURRENCE OF THE CONDITION NOTED. 2. "SIMILAR" INDICATES COMPLETE SYSTEM AND COMPONENTS SHALL BE PROVIDED COMPARABLE TO THE CHARACTERISTICS FOR THE

CONDITION NOTED 3. "AS REQUIRED" INDICATES COMPONENTS REQUIRED TO COMPLETE THE NOTED, SYSTEM AS INDICATED IN THE PROJECT DOCUMENTS,

SHALL BE PROVIDED 4. "ALIGN" INDICATES ACCURATELY PROVIDE FINISH FACES OF MATERIALS IN STRAIGHT, TRUE AND PLUMB RELATION TO ADJACENT MATERIALS.

C. DIMENSIONS:

I. DIMENSIONS ARE INDICATED TO THE CENTERLINE OF THE STRUCTURAL GRID, FACE OF CONCRETE WALL, NOMINAL FACE OF CMU WALL, FACE OF PARTITION AS SCHEDULED, UNLESS OTHERWISE NOTED.

2. ALIGNMENT OF PARTITIONS AND FINISHES AS SCHEDULED SHALL BE STRAIGHT, TRUE & PLUMB. THE PRIORITY FOR PROJECT DIMENSIONS SHALL BE IN THE FOLLOWING ORDER:

A. STRUCTURAL DRAWINGS

B. LARGE SCALE DETAILS C. SMALL SCALE DETAILS

D. ENLARGED VIEWS

E. FLOOR PLANS AND ELEVATIONS

3. MINIMUM DIMENSIONS FOR ACCESSIBILITY CLEARANCES AND BUILDING CODE REQUIREMENTS SHALL BE MAINTAINED. 4. FLOOR ELEVATIONS ARE INDICATED TO THE FACE OF THE STRUCTURAL SLAB, UNLESS OTHERWISE NOTED.

5. VERTICAL DIMENSIONS ARE INDICATED FROM THE FLOOR ELEVATION TO FACE OF FINISHED MATERIAL, UNLESS NOTED ABOVE FINISH 6. CEILING HEIGHTS ARE INDICATED FROM THE FLOOR ELEVATION TO THE FACE OF SUSPENDED ACOUSTIC PANEL CEILING GRID OR FACE OF

FINISH MATERIAL FOR OTHER CEILING TYPES. UON. 7. DIMENSIONS SHOWN ON THE DRAWINGS SHALL INDICATE THE REQUIRED SIZE, CLEARANCE AND DIMENSIONAL RELATIONSHIP BETWEEN

PROJECT SYSTEMS AND COMPONENTS. DIMENSIONS SHALL NOT BE DETERMINED BY SCALING THE DRAWINGS.

D. DRAWING SET ORGANIZATION:

EXAMPLE: EL201A

THIS DRAWING SET:

I INTERIORS

1. EACH DRAWING SET SHEET IS IDENTIFIED BY THE SHEET NUMBER IN THE LOWER RIGHT HAND CORNER OF THE DRAWING TITLE BLOCK. THE SHEET TITLE PROVIDES A GENERAL DESCRIPTION OF THE CONTENTS OF THE SHEET.

SHEET NUMBER EXAMPLE: A201 "A" INDICATES THE DISCIPLINE THAT CREATED THE DRAWING

"2" INDICATES THE DRAWING CATEGORY CONTAINED ON THE SHEET "01" INDICATES THE SHEET NUMBER

2. SHEET NUMBERS MAY INCLUDE SUPPLEMENTAL CHARACTERS TO PROVIDE ADDITIONAL INFORMATION, SUCH AS DRAWING CONTENT, PROJECT SECTOR OR PHASE. REFER TO THE DRAWING INDEX FOR A COMPLETE LIST OF SHEETS INCLUDED IN THE DOCUMENT SET.

"EL" INDICATES THE DISCIPLINE THAT CREATED THE DRAWING AND THE DRAWING CONTENT = ELECTRICAL LIGHTING "A" INDICATES SECTOR "A" OF PLAN SHEET "201". REFER TO THE PROJECT KEY PLAN OR COMPOSITE PLAN INDICATING THE RELATIONSHIP OF THE SECTORS.

3. DRAWING SET INDEX INDICATES THE COMPLETE LIST OF SHEETS CONTAINED IN THE DRAWING SET, INDEXED BY DISCIPLINE, SHEET NUMBER AND SHEET TITLE, IN SEQUENTIAL ORDER. NOTE THAT ALL SEQUENTIAL SHEET NUMBERS MAY BE NOT USED IN THE DRAWING SET. 4. DISCIPLINE IDENTIFICATION, IN ORDER BOUND IN THE DRAWING SET, REFER TO THE DRAWING SET INDEX, FOR DISCIPLINE CONTAINED IN

G GENERAL INFORMATION Q EQUIPMENT F FIRE PROTECTION LANDSCAPE P PLUMBING S STRUCTURAL M MECHANICAL A ARCHITECTURAL E ELECTRICAL

5. DRAWING CATEGORY IDENTIFICATION. REFER TO THE DRAWING SET INDEX FOR DISCIPLINES, CATEGORIES AND SHEET NUMBERS CONTAINED IN THIS DRAWING SET:

T TELECOMMUNICATIONS



11 / 28 /2018

SAN FRANCISCO FIRE DEPARTMENT BUREAU OF FIRE PREVENTION PLAN CHECK DIVISION/WATER FLOW 1660 MISSION STREET, 4TH FLOOR SAN FRANCISCO, CA. 94103 FAX # 415-575-6933 Email: WaterflowSFFD@sfgov.org

X FIRE FLOW

SPRINKLER DESIGN

REQUEST FOR WATER FLOW INFORMATION

REQUEST IS FOR:

CONTACT PERSON: Shirley Perez	ADDRESS: 139 Noe Street
PHONE NO. (_415_)749/_0302	FAX NO. ()/
EMAIL: shirley@kermanmorris.com	
OWNER'S NAME: 34-44 Steiner LLC	PHONE # (415)_407 / _9400
ADDRESS FOR WATER FLOW INFORMA	ATION: PROVIDE SKETCH HERE:
34-44 Steiner Street & 379 Hermann Street	STELL OF THE STELL
CROSS STREETS (BOTH ARE REQUIRED)	STEINER STEINER
Steiner Street / Hermann Street	DUBOCE
SPECIFY STREET FOR POINT OF CONNOCCUPANCY (CIRCLE ONE): R3 (R2) L HAZARD CLASSIFICATION: (LIGHT) OF	LIVE/WORK COMMERCIAL OTHER
CAR-STACKER: YES NO 3-Stories over	
NUMBER OF STORIES: Basement & Roof Deck	HEIGHT OF BLDG.: 38'-8"± FT.
 SUBMIT FORM WITH A \$125.00 CHECK REQUESTS REQUIRING A FIELD FLOW ADDITIONAL FEE OF \$250.00 WILL BE 	W TEST WILL BE NOTIFIED BY FAX OR EMAIL, AND AN

 WATER FLOW INFORMATION WILL BE RETURNED BY FAX, MAIL, OR EMAIL. INCOMPLETE FORMS WILL NOT BE PROCESSED. PLEASE ALLOW 7-14 WORKING DAYS FOR PROCESSING.

LAU Date Forwarded___12/17/18 Flow data provided by:_ Flow data: FIELD FLOW TEST _____ STATIC RESIDUAL 47 PSI RECORDS ANALYSIS X 8 " MAIN on Hermann

IF YOU HAVE ANY QUESTIONS PLEASE CONTACT INSPECTOR DEEN @ 415-558-6361 Rev. 09/01/2017

GROSS BUILDING SQUARE FOOTAGE

LEVEL	EXISTING	ADDITIONAL	TOTAL
BASEMENT	1261 SF	2826 SF	4087 SF
FIRST FLOOR	3826 SF	193 SF	4019 SF
SECOND FLOOR	4162 SF	170 SF	4332 SF
THIRD FLOOR	4162 SF	170 SF	4332 SF
	13412 SF	3359 SF	16771 SF

NOTE: EXISTING BASEMENT UNCONDITIONED SPACE (STORAGE) IS INCLUDED IN BUILDING GROSS SF; EXISTING CRAWLSPACE IS NOT INCLUDED

UNIT COUNT:

	EXISTING	PROPOSED
BASEMENT	-	-
LEVEL 1	3	3
LEVEL 2	2	3
LEVEL 3	2	3
TOTAL	7	9

UNIT MIX:

UNIT MIX	EXISTING	PROPOSED
1-BR	2	0
2-BR	0	1 *
3-BR	0	8 *
4-BR	5	0
TOTAL	7	9

*NOTE: 100% OF DWELLING UNITS ARE 2BR OR GREATER IN COMPLIANCE WITH SECT. 207.6

PROPOSED UNIT COUNT AND SQUARE FOOTAGE:

UNIT#	FLOOR#	2-BDRM	3-BDRM	UNIT SF (NET)
101	FIRST FLOOR	1	0	916 SF
102	FIRST FLOOR	0	1	1357 SF
103	FIRST FLOOR	0	1	1091 SF
		·		
201	SECOND FLOOR	0	1	1232 SF
202	SECOND FLOOR	0	1	1262 SF
203	SECOND FLOOR	0	1	1346 SF
301	THIRD FLOOR	0	1	1246 SF
302	THIRD FLOOR	0	1	1262 SF
303	THIRD FLOOR	0	1	1269 SF
TOTALS:	9	1	8	10982 SF

NOTE: SQUARE FOOTAGE FOR PROPOSED UNITS ARE CALCULATED AS NET; TO INSIDE OF EXTERIOR WALL FINISH AND INSIDE FACE OF DEMISING WALLS. SEE PLANS FOR GROSS SF.

PLANNING DEPARTMENT NOTES:

PROJECT LOCATION: 34 Steiner, San Francisco, CA 94117

ZONING DISTRICT: RTO

HEIGHT DISTRICT: 40-X HEIGHT LIMIT: 40 feet maximum

<u>LOT SIZE:</u> 5,127 SQ FT (Lot Width – 57'; Lot Depth = 90')

CURRENT AND PROPOSED BUILDING USE: Existing: 7 Unit Multi-family Dwelling Proposed: 9 Unit Multi-family Dwelling

HISTORIC RESOURCE STATUS

C - No Historic Resource Present / Not Age eligible

ARTICLE 1: GENERAL ZONING PROVISIONS

Per Sec. 102. HEIGHT (OF A BUILDING OR STRUCTURE) Height (of a building or structure). The vertical distance by which a building or structure rises above a certain point of measurement. See Section 260 of this Code for how height is measured. No Height increase proposed

Front Setback

Sec. 132 FRONT SETBACKS

Required. Based on average of adjacent properties. No proposed building outside of existing envelope. Project complies.

Front Setback Landscaping and Permeability Requirements

Sec. 132(g) all front setback areas required by this section shall be met when an addition of a new dwelling unit. All front setback areas required should be appropriately landscaped and no less than 20% of the required setback area shall be and remain unpaved and devoted to plant

Sec. 132(h) The front setback area shall be at least 50% permeable so as to increase stormwater infiltration. Permeability excludes stairs per section 136(c)(14). Project proposes no new front setback.

Sec. 134 45% of lot depth or 25% minimum by averaging: No expansion is proposed

Side Yard: None required for RTO zoning districts

Sec. 138.1 Six existing provided

<u>Usable Open Space:</u> Sec. 135 Table 135 A

At least 100 sf if private, and 133 sf per dwelling unit if common. The current 7 dwelling units do not have complying open space. The two (2) new dwelling units that are being added within the allowable density will have common open space provided to them on the roof with a new common roof deck - 704 sf.

<u>Parking requirements:</u> Sec. 151. None required

ARTICLE 2: USE DISTRICTS

Sec. 207 DWELLING UNIT DENSITY LIMITATIONS Permitted 1 dwelling unit / 600SF of lot area $5.127 \div 600 = 8.545 - 9$ dwelling units allowed (Rounded up)

Project proposes adding two new dwelling units to the existing 7 dwelling units. Sec. 207.6 DWELLING UNIT MIX 40% of dwelling units must be 2-BRs or larger. Project complies.

Sec. 207.8 DWELLING UNIT DIVISION IN RTO DISTRICT Existing large dwelling units can be subdivided so long as the existing unit is 2,000 sq.ft. or more than 3 BRS; Hence (E) 4-BRS can be subdivided. At least one of the resulting dwelling units must be at least 2-BR and minimum of 1,250 sq.ft. Project complies with subdivision of (1) existing 4BR unit on each of floors 2 and 3.

ARTICLE 2.5: HEIGHT AND BULK DISTRICTS

Sec. 260: HEIGHT LIMITS: MEASUREMENT Building Height is measured from one point on the street frontage from curb to top of flat roof. See height definition above. No height increase proposed. Project Complies

BUILDING DEPT. NOTES:

CONSTRUCTION TYPE:

2016 C.B.C. With San Francisco Amendments and California State Code. 2016 C.H.B.C.

Existing: 3 Stories of Type-VB, Non-Rated Construction Proposed: 3 Stories + Roof Deck of Type-VB.

OCCUPANCY LOAD / EXITING SCHEME: Exiting revised per new layout. See G0.03

OCCUPANCY CLASSIFICATIONS: Group R-2 Multi-unit Residential

Project consists of addition of (2) new dwelling units to an existing (7) unit building and is not subject to chapter 11A Accessibility

Section 1006.3.2 Single Exit:

Note regarding Exiting: The Existing R-2 building of Type V-B construction consisting of 3 stories over basement has two exits. The Proposal is to equip this R-2 occupancy structure with an automatic sprinkler system throughout in accordance with Section 903.3.1.1 or 903.3.1.2 and to provide emergency escape and rescue openings in accordance with Section 1030, so this building can have a single exit per section 1006.3.2. The proposal is consistent with Table 1006.3.2(1) with no more than 4 dwelling units on the first, second and third stories above grade plane and with a maximum common path of egress travel distance of 125 feet.

morris architects

139 Noe Stree San Francisco, C 415 749 0302

Revisions



34 STEINER STREET

ADDITIONS / **ALTERATIONS TO EXISTING UNITS -**DENSITY INCREASE

0875 / 013

BPA# 2018-0912-9872

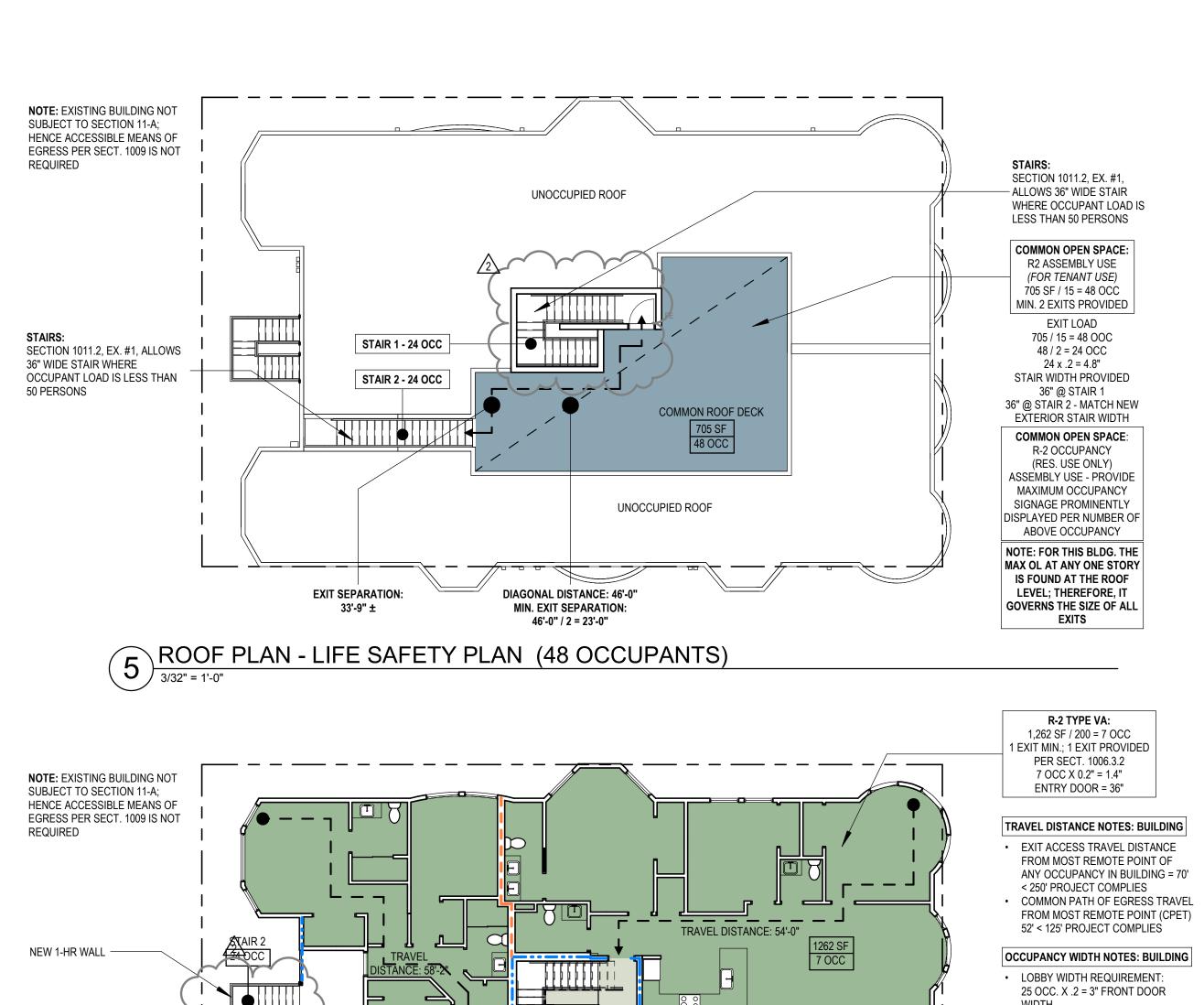
ABBREVIATIONS. SYMBOLS, & GENERAL NOTES

DATE 07/17/2019 SCALE As indicated

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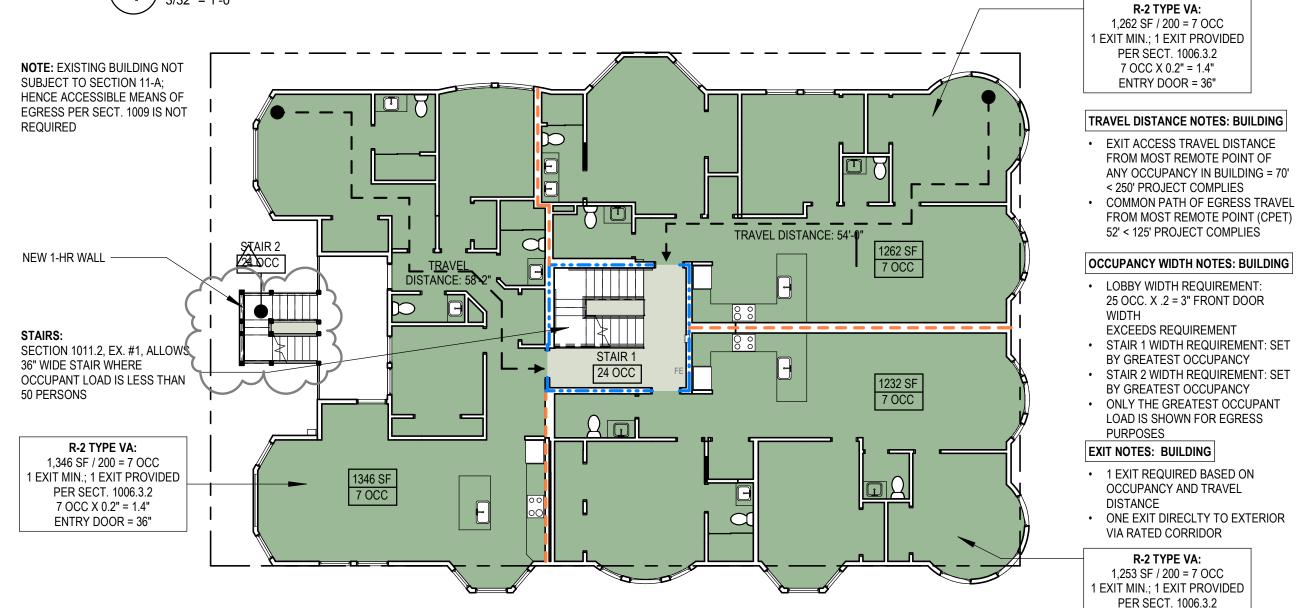
JOB NO.

G0.02



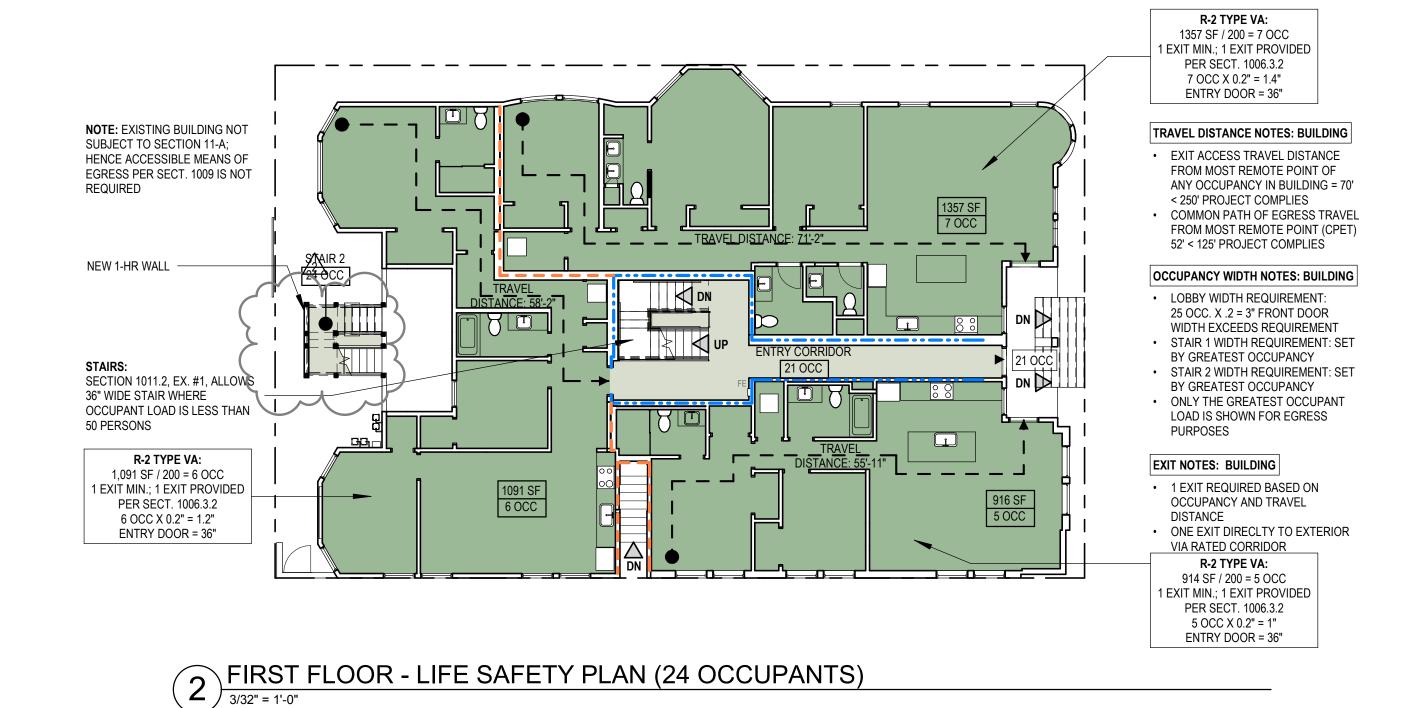
EXCEEDS REQUIREMENT STAIR 1 WIDTH REQUIREMENT: SET SECTION 1011.2, EX. #1, ALLOWS STAIR 1 BY GREATEST OCCUPANCY 36" WIDE STAIR WHERE STAIR 2 WIDTH REQUIREMENT: SET OCCUPANT LOAD IS LESS THAN BY GREATEST OCCUPANCY 50 PERSONS ONLY THE GREATEST OCCUPANT LOAD IS SHOWN FOR EGRESS PURPOSES R-2 TYPE VA: EXIT NOTES: BUILDING 1,306 SF / 200 = 7 OCC 1 EXIT MIN.; 1 EXIT PROVIDED 1 EXIT REQUIRED BASED ON PER SECT. 1006.3.2 OCCUPANCY AND TRAVEL 7 OCC X 0.2" = 1.4" DISTANCE ONE EXIT DIRECLTY TO EXTERIOR ENTRY DOOR = 36" VIA RATED CORRIDOR R-2 TYPE VA: 1,248 SF / 200 = 7 OCC FXIT MIN.: 1 FXIT PROVIDED PER SECT. 1006.3.2 7 OCC X 0.2" = 1.4" THIRD FLOOR - LIFE SAFETY PLAN (24 OCCUPANTS)

3/32" = 1'-0" ENTRY DOOR = 36" 3/32" = 1'-0"



3 SECOND FLOOR - LIFE SAFETY PLAN (24 OCCUPANTS)

3/32" = 1'-0"



STORAGE-D: **FUTURE STORAGE:** 135 SF / 300 = 1 OCC 2,936 SF / 300 = 10 OCC 1 EXIT MIN.; 1 EXIT PROVIDED 1 EXIT MIN.; 1 EXIT PROVIDED 1 OCC X 0.2" = 2" 10 OCC X 0.2" = 20" ENTRY DOOR = 36" ENTRY DOOR = 36" STORAGE-B: TRAVEL DISTANCE NOTES: BUILDING 150 SF / 300 = 1 OCC EXIT MIN.; 1 EXIT PROVIDED EXIT ACCESS TRAVEL DISTANCE 1 OCC X 0.2" = 2" FROM MOST REMOTE POINT OF ENTRY DOOR = 36" ANY OCCUPANCY IN BUILDING = 70' < 250' PROJECT COMPLIES TRAVEL DISTANCE: 64'-9" COMMON PATH OF EGRESS TRAVEL STORAGE-C: FROM MOST REMOTE POINT (CPET) 96 SF / 300 = 1 OCC 52' < 125' PROJECT COMPLIES 1 EXIT MIN.; 1 EXIT PROVIDED 1 OCC X 0.2" = 2" OCCUPANCY WIDTH NOTES: BUILDING ENTRY DOOR = 36" TRAVEL DISTANCE: 54'-10" LOBBY WIDTH REQUIREMENT: 25 OCC. X .2 = 3" FRONT DOOR WIDTH NOTE: EXISTING BUILDING NOT **EXCEEDS REQUIREMENT** SUBJECT TO SECTION 11-A; STAIR 1 WIDTH REQUIREMENT: SET HENCE ACCESSIBLE MEANS OF TRAVEL DISTANCE: 60'-0" BY GREATEST OCCUPANCY EGRESS PER SECT. 1009 IS NOT STAIR 2 WIDTH REQUIREMENT: SET REQUIRED BY GREATEST OCCUPANCY ONLY THE GREATEST OCCUPANT EXIT COURT AREA - SHADED -LOAD IS SHOWN FOR EGRESS PURPOSES STORAGE-A: **EXIT NOTES: BUILDING** 470 SF / 300 = 2 OCC DISTANCE: 52'-0" FUTURE STORA 1 EXIT REQUIRED BASED ON 1 EXIT MIN.; 1 EXIT PROVIDED OCCUPANCY AND TRAVEL 2 OCC X 0.2" = 4" DISTANCE ENTRY DOOR = 36" ONE EXIT DIRECLTY TO EXTERIOR VIA RATED CORRIDOR GATE @ NOTE: TOTAL BASEMENT SF 3,787 / 300 = 13 OCC STREET LEVEL 1 EXIT MIN.; 2 EXIT PROVIDED

EGRESS PLAN LEGEND

2-HR RATED WALL

J 3/32" = 1'-0"

- - - - 1-HR RATED WALL EGRESS PATH OF TRAVEL

USE AND MIN. OCCUPANT LOAD

ASSEMBLY (15 NET SF PER

FIRE EXTINGUISHER CABINET

BASEMENT - LIFE SAFETY PLAN

RESIDENTIAL (200 GROSS SF PER OCCUPANT) UTILITY (300 GROSS SF PER OCCUPANT) CIRCULATION

7 OCC X 0.2" = 1.4" ENTRY DOOR = 36" OCCUPANT)

EGRESS PLAN GENERAL NOTES

 CORRIDORS AND ACCESIBLE ROUTES SHALL COMPLY WITH: ENTRANCE SIGNAGE PER CBC SECTION 1110A.2 GLUE-DOWN CARPET PER CBC SECTION 1110A.3 & SECCTION 804.4.2 LEVEL CHANGES SHALL NOT EXCEED PER CBC SECTIONS 1111A & 1121A SLOPES SHALL NOT EXCEED 5% PER CBC SECTION 1111A MINIMUM WIDTH PER CBC SECTIONS 1119A.3 EXIT DISCHARGE SHALL COMPLY WITH CBC SECTION 1028.1

 EXIT ENCLOSURES TO COMPLY WITH CBC SECTIONS 1022.1 & 1023.1 - NO FURNISHING WILL BE ALLOWED

2. STAIRWAYS SHALL COMPLY WITH: ENCLOSURES PER CBC SECTION 1022 SIGNAGE PER CBC SECTION 1023.8 & 1023.9

 TREADS, RISERS AND NOSING PER CBC SECTIONS 1123A STRIPING PER CBC SECTIONS 1123A.5 • BUILDING TO BE EQUIPPED WITH EMERGENCY VOICE ALARM SYSTEM.

3. AREAS OF REFUGE **NOT** REQUIRED PER CBC 1009.3, EXCEPTION 5 & 1009.3, EXCEPTION 8

4. DOOR FIRE RATING: AT 1-HOUR WALLS:

• 20-MINUTE FIRE-RATED DOORS - CORRIDORS 45-MINUTE FIRE-RATED DOORS - PROTECTED OPENINGS

90-MINUTE FIRE-RATED DOORS - STAIR ENCLOSURES

SECTION 1006.3.2 SINGLE EXIT:

NOTE REGARDING EXITING: THE EXISTING R-2 BUILDING OF TYPE V-B CONSTRUCTION CONSISTING OF 3 STORIES OVER BASEMENT HAS <u>TWO EXITS</u>. THE <u>PROPOSAL</u> IS TO EQUIP THIS R-2 OCCUPANCY STRUCTURE WITH AN AUTOMATIC SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2 AND TO PROVIDE EMERGENCY ESCAPE AND RESCUE OPENINGS IN ACCORDANCE WITH SECTION 1030, SO THIS BUILDING CAN HAVE A SINGLE EXIT PER SECTION 1006.3.2. THE PROPOSAL IS CONSISTENT WITH TABLE 1006.3.2(1) WITH NO MORE THAN 4 DWELLING UNITS ON THE FIRST, SECOND AND THIRD STORIES ABOVE GRADE PLANE AND WITH A MAXIMUM COMMON PATH OF EGRESS TRAVEL DISTANCE OF 125 FEET.

kerman morris architects a

139 Noe Street San Francisco, C 94114 415 749 0302

Revisions

PLAN CK 1

VARIANCE REAR STAIR

34 STEINER STREET

ADDITIONS / **ALTERATIONS TO EXISTING UNITS -**DENSITY INCREASE

0875 / 013 BPA# 2018-0912-9872

EGRESS / PATH OF TRAVEL SITE PLAN

07/17/2019 DATE SCALE As indicated

DRAWN BY Author CHECKED BY Checker

JOB NO.

G0.03

GENERAL NOTES - LIGHTING

§ 110.9: LIGHTING CONTROLS AND COMPONENTS. ALL LIGHTING CONTROL DEVICES AND SYSTEMS, BALLASTS, AND LUMINAIRES MUST MEET THE APPLICABLE REQUIREMENTS OF § 110.9.*

§ 110.9(E): JA8 HIGH EFFICACY LIGHT SOURCES. TO QUALIFY AS A JA8 HIGH EFFICACY LIGHT SOURCE FOR COMPLIANCE WITH § 150.0(K). A RESIDENTIAL LIGHT SOURCE MUST BE CERTIFIED TO THE ENERGY COMMISSION ACCORDING TO REFERENCE JOINT APPENDIX JA8.

§ 150.0(K)1A: LUMINAIRE EFFICACY. ALL INSTALLED LUMINAIRES MUST BE HIGH EFFICACY IN ACCORDANCE WITH TABLE 150.0-A.

§ 150.0(K)1B: BLANK ELECTRICAL BOXES. THE NUMBER OF ELECTRICAL BOXES THAT ARE MORE THAN 5 FEET ABOVE THE FINISHED FLOOR AND DO NOT CONTAIN A LUMINAIRE OR OTHER DEVICE MUST BE NO GREATER THAN THE NUMBER OF BEDROOMS. THESE ELECTRICAL BOXES MUST BE SERVED BY A DIMMER, VACANCY SENSOR CONTROL, OR FAN SPEED CONTROL.

§ 150.0(K)1C: RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS, LUMINAIRES RECESSED INTO CEILINGS MUST MEET ALL OF THE REQUIREMENTS FOR: INSULATION CONTACT (IC) LABELING; AIR LEAKAGE; SEALING; MAINTENANCE; AND SOCKET AND LIGHT SOURCE AS DESCRIBED IN § 150.0(K)1C. A JA8-2016-E LIGHT SOURCE RATED FOR ELEVATED TEMPERATURE MUST BE INSTALLED BY FINAL INSPECTION IN ALL RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS.

§ 150.0(K)1D: ELECTRONIC BALLASTS. BALLASTS FOR FLUORESCENT LAMPS RATED 13 WATTS OR GREATER MUST BE ELECTRONIC AND MUST HAVE AN OUTPUT FREQUENCY NO LESS THAN 20 KHZ.

§ 150.0(K)1E: NIGHT LIGHTS. PERMANENTLY INSTALLED NIGHT LIGHTS AND NIGHT LIGHTS INTEGRAL TO INSTALLED LUMINAIRES OR EXHAUST FANS MUST BE RATED TO CONSUME NO MORE THAN 5 WATTS OF POWER PER LUMINAIRE OR EXHAUST FAN AS DETERMINED IN ACCORDANCE WITH § 130.0 (C). NIGHT LIGHTS DO NOT NEED TO BE CONTROLLED BY VACANCY SENSORS.

§ 150.0(K)1F: LIGHTING INTEGRAL TO EXHAUST FANS. LIGHTING INTEGRAL TO EXHAUST FANS (EXCEPT WHEN INSTALLED BY THE MANUFACTURER IN KITCHEN EXHAUST HOODS) MUST MEET THE APPLICABLE REQUIREMENTS OF § 150.0(K).*

§ 150.0(K)1G: SCREW BASED LUMINAIRES. SCREW BASED LUMINAIRES MUST NOT BE RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS AND MUST CONTAIN LAMPS THAT COMPLY WITH REFERENCE JOINT APPENDIX JA8. INSTALLED LAMPS MUST BE MARKED WITH "JA8-2016" OR "JA8-2016-E" AS SPECIFIED IN REFERENCE JOINT APPENDIX JA8.*

§ 150.0(K)1H: ENCLOSED LUMINAIRES. LIGHT SOURCES INSTALLED IN ENCLOSED LUMINAIRES MUST BE JA8 COMPLIANT AND MUST BE MARKED WITH "JA8-2016-E."

§ 150.0(K)2A: INTERIOR SWITCHES AND CONTROLS. ALL FORWARD PHASE CUT DIMMERS USED WITH LED LIGHT SOURCES MUST COMPLY WITH NEMA SSL 7A.

§ 150.0(K)2B: INTERIOR SWITCHES AND CONTROLS. EXHAUST FANS MUST BE SWITCHED SEPARATELY FROM LIGHTING SYSTEMS.

§ 150.0(K)2C: INTERIOR SWITCHES AND CONTROLS. LUMINAIRES MUST BE SWITCHED WITH READILY ACCESSIBLE CONTROLS THAT PERMIT THE LUMINAIRES TO BE MANUALLY SWITCHED ON AND OFF.

§ 150.0(K)2D: INTERIOR SWITCHES AND CONTROLS. CONTROLS AND EQUIPMENT MUST BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

§ 150.0(K)2E: INTERIOR SWITCHES AND CONTROLS. NO CONTROL MUST BYPASS A DIMMER OR VACANCY SENSOR FUNCTION IF THE CONTROL IS INSTALLED TO COMPLY WITH § 150.0(K).

§ 150.0(K)2F: INTERIOR SWITCHES AND CONTROLS. LIGHTING CONTROLS MUST COMPLY WITH THE APPLICABLE REQUIREMENTS OF § 110.9.

§ 150.0(K)2G: INTERIOR SWITCHES AND CONTROLS. AN ENERGY MANAGEMENT CONTROL SYSTEM (EMCS) MAY BE USED TO COMPLY WITH DIMMER REQUIREMENTS IF IT: FUNCTIONS AS A DIMMER ACCORDING TO § 110.9; MEETS THE INSTALLATION CERTIFICATE REQUIREMENTS OF § 130.4; MEETS THE EMCS REQUIREMENTS OF § 130.5(F); AND MEETS ALL OTHER REQUIREMENTS IN § 150.0(K)2.

§ 150.0(K)2H: INTERIOR SWITCHES AND CONTROLS. AN EMCS MAY BE USED TO COMPLY WITH VACANCY SENSOR REQUIREMENTS IN § 150.0(K) IF IT MEETS ALL OF THE FOLLOWING: IT FUNCTIONS AS A VACANCY SENSOR ACCORDING TO § 110.9; THE INSTALLATION CERTIFICATE REQUIREMENTS OF § 130.4; THE EMCS REQUIREMENTS OF § 130.5(F); AND ALL OTHER REQUIREMENTS IN § 150.0(K)2.

§ 150.0(K)2I: INTERIOR SWITCHES AND CONTROLS. A MULTISCENE PROGRAMMABLE CONTROLLER MAY BE USED TO COMPLY WITH DIMMER REQUIREMENTS IN § 150.0(K) IF IT PROVIDES THE FUNCTIONALITY OF A DIMMER ACCORDING TO § 110.9, AND COMPLIES WITH ALL OTHER APPLICABLE

§ 150.0(K)2J: INTERIOR SWITCHES AND CONTROLS, IN BATHROOMS, GARAGES, LAUNDRY ROOMS. AND UTILITY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES MUST BE CONTROLLED BY A VACANCY SENSOR.

§ 150.0(K)2K: INTERIOR SWITCHES AND CONTROLS. DIMMERS OR VACANCY SENSORS MUST CONTROL ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE JOINT APPENDIX JA8, EXCEPT LUMINAIRES IN CLOSETS LESS THAN 70 SQUARE FEET AND

§ 150.0(K)2L: INTERIOR SWITCHES AND CONTROLS. UNDERCABINET LIGHTING MUST BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS.

§ 150.0(K)3A: RESIDENTIAL OUTDOOR LIGHTING. FOR SINGLE-FAMILY RESIDENTIAL BUILDINGS. OUTDOOR LIGHTING PERMANENTLY MOUNTED TO A RESIDENTIAL BUILDING. OR TO OTHER BUILDINGS ON THE SAME LOT. MUST MEET THE REQUIREMENT IN ITEM § 150.0(K)3AI (ON AND OFF SWITCH) AND THE REQUIREMENTS IN EITHER ITEM

§ 150.0(K): 3AII (PHOTOCELL AND MOTION SENSOR) OR ITEM § 150.0(K)3AIII (PHOTO CONTROL AND AUTOMATIC TIME SWITCH CONTROL, ASTRONOMICAL TIME CLOCK, OR EMCS).

§ 150.0(K)3B: RESIDENTIAL OUTDOOR LIGHTING. FOR LOW-RISE MULTIFAMILY RESIDENTIAL BUILDINGS, OUTDOOR LIGHTING FOR PRIVATE PATIOS, ENTRANCES, BALCONIES. AND PORCHES: AND OUTDOOR LIGHTING FOR RESIDENTIAL PARKING LOTS AND RESIDENTIAL CARPORTS WITH LESS THAN EIGHT VEHICLES PER SITE MUST COMPLY WITH EITHER § 150.0(K)3A OR WITH THE APPLICABLE REQUIREMENTS IN §§ 110.9, 130.0, 130.2, 130.4, 140.7 AND 141.0.

§ 150.0(K)3C: RESIDENTIAL OUTDOOR LIGHTING. FOR LOW-RISE RESIDENTIAL BUILDINGS WITH FOUR OR MORE DWELLING UNITS, OUTDOOR LIGHTING NOT REGULATED BY

§ 150.0(K)3B OR § 150.0(K)3D MUST COMPLY WITH THE APPLICABLE REQUIREMENTS IN §§ 110.9, 130.0, 130.2. 130.4. 140.7 AND 141.0.

§ 150.0(K)3D: RESIDENTIAL OUTDOOR LIGHTING. OUTDOOR LIGHTING FOR RESIDENTIAL PARKING LOTS AND RESIDENTIAL CARPORTS WITH A TOTAL OF EIGHT OR MORE VEHICLES PER SITE MUST COMPLY WITH THE APPLICABLE REQUIREMENTS IN §§ 110.9, 130.0, 130.2, 130.4, 140.7, AND 141.0.

§ 150.0(K)4: INTERNALLY ILLUMINATED ADDRESS SIGNS. INTERNALLY ILLUMINATED ADDRESS SIGNS MUST COMPLY WITH § 140.8; OR MUST CONSUME NO MORE THAN 5 WATTS OF POWER AS DETERMINED ACCORDING TO § 130.0(C).

§ 150.0(K)5: RESIDENTIAL GARAGES FOR EIGHT OR MORE VEHICLES. LIGHTING FOR RESIDENTIAL PARKING GARAGES FOR EIGHT OR MORE VEHICLES MUST COMPLY WITH THE APPLICABLE REQUIREMENTS FOR NONRESIDENTIAL GARAGES IN §§ 110.9, 130.0, 130.1, 130.4, 140.6, AND 141.0.

§ 150.0(K)6A: INTERIOR COMMON AREAS OF LOW-RISE MULTI-FAMILY RESIDENTIAL BUILDINGS. IN A LOW-RISE MULTIFAMILY RESIDENTIAL BUILDING WHERE THE TOTAL INTERIOR COMMON AREA IN A SINGLE BUILDING EQUALS 20 PERCENT OR LESS OF THE FLOOR AREA, PERMANENTLY INSTALLED LIGHTING FOR THE INTERIOR COMMON AREAS IN THAT BUILDING MUST BE HIGH EFFICACY LUMINAIRES AND CONTROLLED BY AN OCCUPANT SENSOR.

§ 150.0(K)6B: INTERIOR COMMON AREAS OF LOW-RISE MULTI-FAMILY RESIDENTIAL BUILDINGS. IN A LOW-RISE MULTIFAMILY RESIDENTIAL BUILDING WHERE THE TOTAL INTERIOR COMMON AREA IN A SINGLE BUILDING EQUALS MORE THAN 20 PERCENT OF THE FLOOR AREA, PERMANENTLY INSTALLED LIGHTING IN THAT BUILDING MUST:

COMPLY WITH THE APPLICABLE REQUIREMENTS IN §§ 110.9, 130.0, 130.1, 140.6 AND 141.0; AND LIGHTING INSTALLED IN CORRIDORS AND STAIRWELLS MUST BE CONTROLLED BY OCCUPANT SENSORS THAT REDUCE THE LIGHTING POWER IN EACH SPACE BY AT LEAST 50 PERCENT. THE OCCUPANT SENSORS MUST BE CAPABLE OF TURNING THE LIGHT FULLY ON AND OFF FROM ALL DESIGNED PATHS OF INGRESS AND EGRESS.

GENERAL NOTES - SPACE CONDITIONING, WATER HEATING, AND PLUMBING SYSTEM

§ 110.0-§ 110.3: CERTIFICATION. HEATING, VENTILATION AND AIR CONDITIONING (HVAC) EQUIPMENT, WATER HEATERS, SHOWERHEADS, FAUCETS, AND ALL OTHER REGULATED APPLIANCES MUST BE CERTIFIED BY THE MANUFACTURER TO THE ENERGY COMMISSION.*

§ 110.2(A): HVAC EFFICIENCY. EQUIPMENT MUST MEET THE APPLICABLE EFFICIENCY REQUIREMENTS IN TABLE 110.2-A THROUGH TABLE 110.2-K.*

§ 110.2(B): CONTROLS FOR HEAT PUMPS WITH SUPPLEMENTARY ELECTRIC RESISTANCE HEATERS. HEAT PUMPS WITH SUPPLEMENTARY ELECTRIC RESISTANCE HEATERS MUST HAVE CONTROLS THAT PREVENT SUPPLEMENTARY HEATER OPERATION WHEN THE HEATING LOAD CAN BE MET BY THE HEAT PUMP ALONE: AND IN WHICH THE CUT-ON TEMPERATURE FOR COMPRESSION HEATING IS HIGHER THAN THE CUT-ON TEMPERATURE FOR SUPPLEMENTARY HEATING, AND THE CUT-OFF TEMPERATURE FOR COMPRESSION HEATING IS HIGHER THAN THE CUT-OFF TEMPERATURE FOR SUPPLEMENTARY HEATING.*

§ 110.2(C): THERMOSTATS. ALL UNITARY HEATING OR COOLING SYSTEMS NOT CONTROLLED BY A

CENTRAL ENERGY MANAGEMENT CONTROL SYSTEM (EMCS) MUST HAVE A SETBACK THERMOSTAT.* § 110.3(C)5: WATER HEATING RECIRCULATION LOOPS SERVING MULTIPLE DWELLING UNITS. WATER HEATING RECIRCULATION LOOPS SERVING MULTIPLE DWELLING UNITS MUST MEET THE AIR RELEASE VALVE, BACKFLOW PREVENTION, PUMP PRIMING, PUMP ISOLATION VALVE, AND RECIRCULATION LOOP CONNECTION REQUIREMENTS OF § 110.3(C)5.

§ 110.3(C)7: ISOLATION VALVES. INSTANTANEOUS WATER HEATERS WITH AN INPUT RATING GREATER THAN 6.8 KBTU/HR (2 KW) MUST HAVE ISOLATION VALVES WITH HOSE BIBBS OR OTHER FITTINGS ON BOTH COLD WATER AND HOT WATER LINES OF WATER HEATING SYSTEMS TO ALLOW FOR WATER TANK FLUSHING WHEN THE VALVES ARE CLOSED.

§ 110.5: PILOT LIGHTS. CONTINUOUSLY BURNING PILOT LIGHTS ARE PROHIBITED FOR NATURAL GAS: FAN-TYPE CENTRAL FURNACES; HOUSEHOLD COOKING APPLIANCES (APPLI- ANCES WITHOUT AN ELECTRICAL SUPPLY VOLTAGE CONNECTION WITH PILOT LIGHTS THAT CONSUME LESS THAN 150 BTU/HR ARE EXEMPT); AND POOL AND SPA HEATERS.*

§ 150.0(H)1: BUILDING COOLING AND HEATING LOADS. HEATING AND/OR COOLING LOADS ARE CALCULATED IN ACCORDANCE WITH ASHRAE HANDBOOK, EQUIPMENT VOLUME, APPLICATIONS VOLUME, AND FUNDAMENTALS VOLUME: SMACNA RESIDENTIAL COMFORT SYSTEM INSTALLATION STANDARDS MANUAL; OR ACCA MANUAL J USING DESIGN CONDITIONS SPECIFIED IN § 150.0(H)2.

§ 150.0(H)3A: CLEARANCES. INSTALLED AIR CONDITIONER AND HEAT PUMP OUTDOOR CONDENSING UNITS MUST HAVE A CLEARANCE OF AT LEAST 5 FEET FROM THE OUTLET OF ANY DRYER VENT.

§ 150.0(H)3B: LIQUID LINE DRIER. INSTALLED AIR CONDITIONER AND HEAT PUMP SYSTEMS MUST BE EQUIPPED WITH LIQUID LINE FILTER DRIERS IF REQUIRED, AS SPECIFIED BY MANUFACTURER'S INSTRUCTIONS.

§ 150.0(J)1: STORAGE TANK INSULATION. UNFIRED HOT WATER TANKS, SUCH AS STORAGE TANKS AND BACKUP STORAGE TANKS FOR SOLAR WATER-HEATING SYSTEMS. MUST HAVE R-12 EXTERNAL INSULATION OR R-16 INTERNAL INSULATION WHERE THE INTERNAL INSULATION R-VALUE IS INDICATED ON THE EXTERIOR OF THE TANK.

§ 150.0(J)2A: WATER PIPING AND COOLING SYSTEM LINE INSULATION. FOR DOMESTIC HOT WATER SYSTEM PIPING, WHETHER BURIED OR UNBURIED, ALL OF THE FOLLOWING MUST BE INSULATED ACCORDING TO THE REQUIREMENTS OF TABLE 120.3-A: THE FIRST 5 FEET OF HOT AND COLD WATER PIPES FROM THE STORAGE TANK; ALL PIPING WITH A NOMINAL DIAMETER OF 3/4 INCH OR LARGER; ALL PIPING ASSOCIATED WITH A DOMESTIC HOT WATER RECIRCULATION SYSTEM REGARDLESS OF THE PIPE DIAMETER; PIPING FROM THE HEATING SOURCE TO STORAGE TANK OR BETWEEN TANKS; PIPING BURIED BELOW GRADE; AND ALL HOT WATER PIPES FROM THE HEATING SOURCE TO KITCHEN FIXTURES.*

§ 150.0(J)2B: WATER PIPING AND COOLING SYSTEM LINE INSULATION. ALL DOMESTIC HOT WATER PIPES THAT ARE BURIED BELOW GRADE MUST BE INSTALLED IN A WATER PROOF AND NON-CRUSHABLE CASING OR SLEEVE.*

§ 150.0(J)2C: WATER PIPING AND COOLING SYSTEM LINE INSULATION. PIPE FOR COOLING SYSTEM LINES MUST BE INSULATED AS SPECIFIED IN § 150.0(J)2A. DISTRIBUTION PIPING FOR STEAM AND HYDRONIC HEATING SYSTEMS OR HOT WATER SYSTEMS MUST MEET THE REQUIREMENTS IN TABLE

§ 150.0(J)3: INSULATION PROTECTION, INSULATION MUST BE PROTECTED FROM DAMAGE. INCLUDING THAT DUE TO SUNLIGHT, MOISTURE, EQUIPMENT MAINTENANCE, AND WIND.

§ 150.0(J)3A: INSULATION PROTECTION. INSULATION EXPOSED TO WEATHER MUST BE INSTALLED WITH A COVER SUITABLE FOR OUTDOOR SERVICE. FOR EXAMPLE, PROTECTED BY ALUMINUM, SHEET METAL, PAINTED CANVAS, OR PLASTIC COVER. THE COVER MUST BE WATER RETARDANT AND PROVIDE SHIELDING FROM SOLAR RADIATION THAT CAN CAUSE DEGRADATION OF THE

§ 150.0(J)3B: INSULATION PROTECTION. INSULATION COVERING CHILLED WATER PIPING AND REFRIGERANT SUCTION PIPING LOCATED OUTSIDE THE CONDITIONED SPACE MUST HAVE A CLASS I OR CLASS II VAPOR RETARDER.

§ 150.0(N)1: GAS OR PROPANE SYSTEMS. SYSTEMS USING GAS OR PROPANE WATER HEATERS TO SERVE INDIVIDUAL DWELLING UNITS MUST INCLUDE ALL OF THE FOLLOWING: A 120V ELECTRICAL RECEPTACLE WITHIN 3 FEET OF THE WATER HEATER; A CATEGORY III OR IV VENT, OR A TYPE B VENT WITH STRAIGHT PIPE BETWEEN THE OUTSIDE TERMINATION AND THE SPACE WHERE THE WATER HEATER IS INSTALLED; A CONDENSATE DRAIN THAT IS NO MORE THAN 2 INCHES HIGHER THAN THE BASE OF THE WATER HEATER, AND ALLOWS NATURAL DRAINING WITHOUT PUMP ASSISTANCE; AND A GAS SUPPLY LINE WITH A CAPACITY OF AT LEAST 200,000 BTU/HR.

§ 150.0(N)2: RECIRCULATING LOOPS. RECIRCULATING LOOPS SERVING MULTIPLE DWELLING UNITS MUST MEET THE REQUIREMENTS OF § 110.3(C)5.

§ 150.0(N)3: SOLAR WATER-HEATING SYSTEMS. SOLAR WATER-HEATING SYSTEMS AND COLLECTORS MUST BE CERTIFIED AND RATED BY THE SOLAR RATING AND CERTIFICATION CORPORATION (SRCC) OR BY A LISTING AGENCY THAT IS APPROVED BY THE EXECUTIVE DIRECTOR.

GENERAL NOTES - DUCTS AND FANS

§ 110.8(D)3: DUCTS, INSULATION INSTALLED ON AN EXISTING SPACE-CONDITIONING DUCT MUST COMPLY WITH § 604.0 OF THE CALIFORNIA MECHANICAL CODE (CMC). IF A CONTRACTOR INSTALLS THE INSULATION, THE CONTRACTOR MUST CERTIFY TO THE CUSTOMER. IN WRITING. THAT THE INSULATION MEETS THIS REQUIREMENT.

§ 150.0(M)1: CMC COMPLIANCE. ALL AIR-DISTRIBUTION SYSTEM DUCTS AND PLENUMS MUST BE INSTALLED, SEALED, AND INSULATED TO MEET THE REQUIREMENTS OF CMC

§§ 601.0, 602.0, 603.0, 604.0, 605.0 AND ANSI/SMACNA-006-2006 HVAC DUCT CONSTRUCTION STANDARDS METAL AND FLEXIBLE 3RD EDITION. PORTIONS OF SUPPLY-AIR AND RETURN-AIR DUCTS AND PLENUMS MUST BE INSULATED TO A MINIMUM INSTALLED LEVEL OF R-6.0 (OR HIGHER IF REQUIRED BY CMC § 605.0) OR A MINIMUM INSTALLED LEVEL OF R-4.2 WHEN ENTIRELY IN CONDITIONED SPACE AS CONFIRMED THROUGH FIELD VERIFICATION AND DIAGNOSTIC TESTING (RA3.1.4.3.8), CONNECTIONS OF METAL DUCTS AND INNER CORE OF FLEXIBLE DUCTS MUST BE MECHANICALLY FASTENED. OPENINGS MUST BE SEALED WITH MASTIC, TAPE, OR OTHER DUCT-CLOSURE SYSTEM THAT MEETS THE APPLICABLE REQUIREMENTS OF UL 181, UL 181A, OR UL 181B OR AEROSOL SEALANT THAT MEETS THE REQUIREMENTS OF UL 723. IF MASTIC OR TAPE IS USED TO SEAL OPENINGS GREATER THAN 1/4 INCH, THE COMBINATION OF MASTIC AND EITHER MESH OR TAPE MUST BE USED. BUILDING CAVITIES, SUPPORT PLATFORMS FOR AIR HANDLERS, AND PLENUMS DESIGNED OR CONSTRUCTED WITH MATERIALS OTHER THAN SEALED SHEET METAL, DUCT BOARD OR FLEXIBLE DUCT MUST NOT BE USED FOR CONVEYING CONDITIONED AIR. BUILDING CAVITIES AND SUPPORT PLATFORMS MAY CONTAIN DUCTS. DUCTS INSTALLED IN CAVITIES AND SUPPORT PLATFORMS MUST NOT BE COMPRESSED TO CAUSE REDUCTIONS IN THE CROSS-SECTIONAL AREA OF THE DUCTS.*

§ 150.0(M)2: FACTORY-FABRICATED DUCT SYSTEMS. FACTORY-FABRICATED DUCT SYSTEMS MUST COMPLY WITH APPLICABLE REQUIREMENTS FOR DUCT CONSTRUCTION, CONNECTIONS, AND CLOSURES; JOINTS AND SEAMS OF DUCT SYSTEMS AND THEIR COMPONENTS MUST NOT BE SEALED WITH CLOTH BACK RUBBER ADHESIVE DUCT TAPES UNLESS SUCH TAPE IS USED IN COMBINATION WITH MASTIC AND DRAW BANDS.

§ 150.0(M)3: FIELD-FABRICATED DUCT SYSTEMS. FIELD-FABRICATED DUCT SYSTEMS MUST COMPLY WITH APPLICABLE REQUIREMENTS FOR: PRESSURE-SENSITIVE TAPES, MASTICS, SEALANTS, AND OTHER REQUIREMENTS SPECIFIED FOR DUCT CONSTRUCTION.

§ 150.0(M)7: BACKDRAFT DAMPERS, ALL FAN SYSTEMS THAT EXCHANGE AIR BETWEEN THE CONDITIONED SPACE AND THE OUTSIDE OF THE BUILDING MUST HAVE BACKDRAFT OR AUTOMATIC DAMPERS.

§ 150.0(M)8: GRAVITY VENTILATION DAMPERS. GRAVITY VENTILATING SYSTEMS SERVING CONDITIONED SPACE MUST HAVE EITHER AUTOMATIC OR READILY ACCESSIBLE, MANUALLY OPERATED DAMPERS IN ALL OPENINGS TO THE OUTSIDE, EXCEPT COMBUSTION INLET AND OUTLET AIR OPENINGS AND ELEVATOR SHAFT VENTS.

§ 150.0(M)9: PROTECTION OF INSULATION. INSULATION MUST BE PROTECTED FROM DAMAGE, INCLUDING THAT DUE TO SUNLIGHT, MOISTURE, FOUIPMENT MAINTENANCE, AND WIND, INSULATION EXPOSED TO WEATHER MUST BE SUITABLE FOR OUTDOOR SERVICE. FOR EXAMPLE, PROTECTED BY ALUMINUM, SHEET METAL, PAINTED CANVAS, OR PLASTIC COVER. CELLULAR FOAM INSULATION MUST BE PROTECTED AS ABOVE OR PAINTED WITH A COATING THAT IS WATER RETARDANT AND PROVIDES SHIELDING FROM SOLAR RADIATION.

§ 150.0(M)10: POROUS INNER CORE FLEX DUCT. POROUS INNER CORE FLEX DUCT MUST HAVE A NON-POROUS LAYER BETWEEN THE INNER CORE AND OUTER VAPOR BARRIER.

§ 150.0(M)11: DUCT SYSTEM SEALING AND LEAKAGE TEST. WHEN SPACE CONDITIONING SYSTEMS USE FORCED AIR DUCT SYSTEMS TO SUPPLY CONDITIONED AIR TO AN OCCUPIABLE SPACE, THE DUCTS MUST BE SEALED AND DUCT LEAKAGE TESTED, AS CONFIRMED THROUGH FIELD VERIFICATION AND DIAGNOSTIC TESTING, IN ACCORDANCE WITH § 150.0(M) 11AND REFERENCE RESIDENTIAL APPENDIX RA3.

§ 150.0(M)12: AIR FILTRATION. MECHANICAL SYSTEMS THAT SUPPLY AIR TO AN OCCUPIABLE SPACE THROUGH DUCTWORK EXCEEDING 10 FEET IN LENGTH AND THROUGH A THERMAL CONDITIONING COMPONENT, EXCEPT EVAPORATIVE COOLERS, MUST BE PROVIDED WITH AIR FILTER DEVICES THAT MEET THE DESIGN, INSTALLATION, EFFICIENCY, PRESSURE DROP, AND LABELING REQUIREMENTS OF § 150.0(M)12.

§ 150.0(M)13: DUCT SYSTEM SIZING AND AIR FILTER GRILLE SIZING. SPACE CONDITIONING SYSTEMS THAT USE FORCED AIR DUCTS TO SUPPLY COOLING TO AN OCCUPIABLE SPACE MUST HAVE A HOLE FOR THE PLACEMENT OF A STATIC PRESSURE PROBE (HSPP), OR A PERMANENTLY INSTALLED STATIC PRESSURE PROBE (PSPP) IN THE SUPPLY PLENUM. THE SPACE CONDITIONING SYSTEM MUST ALSO DEMONSTRATE AIRFLOW ≥ 350 CFM PER TON OF NOMINAL COOLING CAPACITY THROUGH THE RETURN GRILLES. AND AN AIR-HANDLING UNIT FAN EFFICACY ≤ 0.58 W/CFM AS CONFIRMED BY FIELD VERIFICATION AND DIAGNOSTIC TESTING. IN ACCORDANCE WITH REFERENCE RESIDENTIAL APPENDIX RA3.3. THIS APPLIES TO BOTH SINGLE ZONE CENTRAL FORCED AIR SYSTEMS AND EVERY ZONE FOR ZONALLY CONTROLLED CENTRAL FORCED AIR SYSTEMS.*

\$150.0(O): VENTILATION FOR INDOOR AIR QUALITY, ALL DWELLING UNITS MUST MEET THE REQUIREMENTS OF ASHRAE STANDARD 62.2. NEITHER WINDOW OPERATION NOR CONTINUOUS OPERATION OF CENTRAL FORCED AIR SYSTEM AIR HANDLERS USED IN CENTRAL FAN INTEGRATED VENTILATION SYSTEMS ARE PERMISSIBLE METHODS OF PROVIDING WHOLE-BUILDING VENTILATION.

§ 150.0(O)1A: FIELD VERIFICATION AND DIAGNOSTIC TESTING. WHOLE-BUILDING VENTILATION AIRFLOW MUST BE CONFIRMED THROUGH FIELD VERIFICATION AND DIAGNOSTIC TESTING, IN ACCORDANCE WITH REFERENCE RESIDENTIAL APPENDIX RA3.7.

GENERAL NOTES - BUILDING ENVELOPE

§ 110.6(A)1: AIR LEAKAGE. MANUFACTURED FENESTRATION, EXTERIOR DOORS, AND EXTERIOR PET DOORS MUST LIMIT AIR LEAKAGE TO 0.3 CFM/FT² OR LESS WHEN TESTED PER NFRC-400 OR ASTM E283 OR AAMA/WDMA/CSA 101/I.S.2/A440-2011.*

§ 110.6(A)5: LABELING. FENESTRATION PRODUCTS MUST HAVE A LABEL MEETING THE REQUIREMENTS OF § 10-111(A).

§ 110.6(B): FIELD FABRICATED EXTERIOR DOORS AND FENESTRATION PRODUCTS MUST USE U-FACTORS AND SOLAR HEAT GAIN COEFFICIENT (SHGC) VALUES FROM TABLES 110.6-A AND 110.6-B FOR COMPLIANCE AND MUST BE CAULKED AND/OR

§ 110.7: AIR LEAKAGE. ALL JOINTS, PENETRATIONS, AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE MUST BE CAULKED, GASKETED, OR WEATHER STRIPPED.

§ 110.8(A): INSULATION CERTIFICATION BY MANUFACTURERS. INSULATION SPECIFIED OR INSTALLED MUST MEET STANDARDS FOR INSULATING MATERIAL.

§ 110.8(G): INSULATION REQUIREMENTS FOR HEATED SLAB FLOORS. HEATED SLAB FLOORS MUST BE INSULATED PER THE REQUIREMENTS OF § 110.8(G).

§ 110.8(I): ROOFING PRODUCTS SOLAR REFLECTANCE AND THERMAL EMITTANCE. THE THERMAL EMITTANCE AND AGED SOLAR REFLECTANCE VALUES OF THE ROOFING MATERIAL MUST MEET THE REQUIREMENTS OF § 110.8(I) WHEN THE INSTALLATION OF A COOL ROOF IS SPECIFIED ON THE CF1R.

§ 110.8(J): RADIANT BARRIER. A RADIANT BARRIER MUST HAVE AN EMITTANCE OF 0.05 OR LESS AND BE CERTIFIED TO THE DEPARTMENT OF CONSUMER AFFAIRS.

§ 150.0(A): CEILING AND RAFTER ROOF INSULATION. MINIMUM R-22 INSULATION IN WOOD-FRAME CEILING: OR THE WEIGHTED AVERAGE U-FACTOR MUST NOT EXCEED 0.043. MINIMUM R-19 OR WEIGHTED AVERAGE U-FACTOR OF 0.054 OR LESS IN A RAFTER ROOF ALTERATION. ATTIC ACCESS DOORS MUST HAVE PERMANENTLY ATTACHED INSULATION USING ADHESIVE OR MECHANICAL FASTENERS. THE ATTIC ACCESS MUST BE GASKETED TO PREVENT AIR LEAKAGE. INSULATION MUST BE INSTALLED IN DIRECT CONTACT WITH A CONTINUOUS ROOF OR CEILING WHICH IS SEALED TO LIMIT INFILTRATION AND EXFILTRATION AS SPECIFIED IN § 110.7, INCLUDING BUT NOT LIMITED TO PLACING INSULATION EITHER ABOVE OR BELOW THE ROOF DECK OR ON TOP OF A DRYWALL CEILING.*

§ 150.0(B): LOOSE-FILL INSULATION. LOOSE FILL INSULATION MUST MEET THE MANUFACTURER'S REQUIRED DENSITY FOR THE LABELED R-VALUE.

§ 150.0(C): WALL INSULATION. MINIMUM R-13 INSULATION IN 2X4 INCH WOOD FRAMING WALL, R-19 INSULATION IN 2X6 INCH WOOD FRAMING WALL, OR HAVE A U-FACTOR OF 0.102 OR LESS (R-19 IN 2X6 OR U-FACTOR OF 0.074 OR LESS). OPAQUE NON-FRAMED ASSEMBLIES MUST HAVE AN OVERALL ASSEMBLY U-FACTOR NOT EXCEEDING 0.102, EQUIVALENT TO AN INSTALLED VALUE OF R-13 IN A WOOD FRAMED ASSEMBLY.*

§ 150.0(D): RAISED-FLOOR INSULATION. MINIMUM R-19 INSULATION IN RAISED WOOD FRAMED FLOOR OR 0.037 MAXIMUM U-FACTOR.*

§ 150.0(F): SLAB EDGE INSULATION. SLAB EDGE INSULATION MUST MEET ALL OF THE FOLLOWING: HAVE A WATER ABSORPTION RATE, FOR THE INSULATION MATERIAL ALONE WITHOUT FACINGS, NO GREATER THAN 0.3%; HAVE A WATER VAPOR PERMEANCE NO GREATER THAN 2.0 PERM/INCH; BE PROTECTED FROM PHYSICAL DAMAGE AND UV LIGHT DETERIORATION; AND, WHEN INSTALLED AS PART OF A HEATED SLAB FLOOR, MEET THE REQUIREMENTS OF § 110.8(G)

§ 150.0(G)1: VAPOR RETARDER. IN CLIMATE ZONES 1-16, THE EARTH FLOOR OF UNVENTED CRAWL SPACE MUST BE COVERED WITH A CLASS I OR CLASS II VAPOR RETARDER. THIS REQUIREMENT ALSO APPLIES TO CONTROLLED VENTILATION CRAWL SPACE FOR BUILDINGS COMPLYING WITH THE EXCEPTION TO § 150.0(D).

§ 150.0(G)2: VAPOR RETARDER. IN CLIMATE ZONES 14 AND 16, A CLASS I OR CLASS II VAPOR RETARDER MUST BE INSTALLED ON THE CONDITIONED SPACE SIDE OF ALL INSULATION IN ALL EXTERIOR WALLS, VENTED ATTICS, AND UNVENTED ATTICS WITH AIR-PERMEABLE INSULATION.

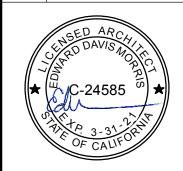
§ 150.0(Q): FENESTRATION PRODUCTS. FENESTRATION, INCLUDING SKYLIGHTS, SEPARATING CONDITIONED SPACE FROM UNCONDITIONED SPACE OR OUTDOORS MUST HAVE A MAXIMUM U-FACTOR OF 0.58; OR THE WEIGHTED AVERAGE U-FACTOR OF ALL FENESTRATION MUST NOT EXCEED 0.58.*

morris architects

San Francisco, C 415 749 030

139 Noe Stree

Revisions



34 STEINER STREET

ADDITIONS ALTERATIONS TO EXISTING UNITS DENSITY INCREASE

BPA# 2018-0912-9872

City and County of San Francisco **Department of Building Inspection**

Address of Building 34 - 44 STEINER ST

8502403

8818362

8900014

8902396

9509264

9907446



London N. Breed, Mayor Tom C. Hui, S.E., C.B.O., Director

Lot 013

Report of Residential Building Record (3R)

Block 0875

BEWARE: This report describes the current legal use of this property as compiled from records of City Departments. There has been no physical examination of the property itself. This record contains no history of any plumbing or electrical permits. The report makes no representation that the property is in compliance with the law. Any occupancy or use of the property other than that listed as authorized in this report may be illegal and subject to removal or abatement, and should be reviewed with the Planning Department and the Department of Building Inspection. Errors or omissions in this report shall not bind or stop the City from enforcing any and all building and zoning codes against the seller, buyer and any subsequent owner. The preparation or delivery of this report shall not impose any liability on the City for any errors or omissions contained in said report, nor shall the City bear any liability not otherwise imposed by law.

(Housing Code Section 351(a))

Other Addresses	379 HERM	IANN ST		
1. A. Present author	rized Occupanc	y or use: SEV	EN FAMILY DWELLING & COMMERCIAL	
B. Is this building	g classified as a	residential con-	dominium? Yes No ✓	
C. Does this buil	ding contain an	y Residential H	otel Guest Rooms as defined in Chap. 41, S.F. Admin. Code? Yes	No ·
2. Zoning district in	n which located	: RM-2	3. Building Code Occupancy Classification R-2/B	
 Do Records of the If Yes, what date 			an expiration date for any non-conforming use of this property? Yes Property may have changed. Call Planning Department, (415) 558-6377, for the	15000
5. Building Constr	uction Date (Co	mpleted Date):	UNKNOWN	
6. Original Occupa				
•			non-clina No-P-C foreigns	
7. Construction, co	nversion or alte	ration permits i	ssued, if any:	
Application #	Permit #	Issue Date	Type of Work Done	Status
285	285	Jun 02, 1906	PUT IN STORE IN CORNER - BUILDING IS THREE STORIES AND UNDERPINNING, FOUNDATION	N
163503	147104	Apr 09, 1954	REPLACE & RENEW ROOF AND OTHER PART DAMAGED. REPLACE WHEREVER PLUMBING & WIRING NECESSARY	\mathbf{C}
8310449	508887	Dec 05, 1983	THE RECENTLY OCCUPIED STORE AS A LAUNDERMAT IS TO BE CONVERTED TO AN APARTMENT WITH NO PARKING REQUIRED AS DISCUSSED WITH DAPARTMENTAN. NEW PARTITIONS TO BE INSTALLED, FLOOR TO BE RAISED NEW ENTRANCE DOOR AND NEW GLAZING TO BE INSTALLED AS WELL AS KITCHEN AND BATH.	X
8508467	539510	Nov 13, 1985	COMPLY WITH DIVISION OF APARTMENT & HOTEL INSPECTION CHECKLIST - CFC 7FD	C
8601390	544366	Mar 03, 1986	REBUILD REAR STAIRS AND LANDING DUE TO DRY ROT, DEMOLISH 2	X

Nov 18, 1988 TERMITE CONTROL

604228 Jan 11, 1989

607929 Feb 14, 1989

876637 Apr 19, 1999

Records Management Division 1660 Mission Street - San Francisco CA 94103 Office (415) 558-6080 - FAX (415) 558-6402 - www.sfdbi.org

THE SHOWER IN TOILET PLACE

771813 Jun 19, 1995 VOLUNTARY SEISMIC UPGRADE, INSTALL ALL PLATES, REINFORCE &

STAIRWAYS, REPLACE WITH ONE CENTRAL STAIRWAY

APT. #3 - SHEETROCK KITCHEN, RENOVATE TWO BATHROOMS, NO

APT. #4 - SHEETROCK KITCHEN, RENOVATE TWO BATHROOMS, IN FIRST

BATHROOM WERE GOING TO MOVE TOILET TO SHOWERS PLACE AND PUT

REMOVE EXISTING CABINETS, LATH, PLASTER FROM 2 KITCHEN WALLS,

SHEETROCK WITH 2 LAYERS 5/8" ROCK, HNAGE NEW CABINETS, GENERAL

COMPLETE WORK UNDER APPLICATION #8310449

Department of Building Inspection 1660 Mission Street - San Francisco CA 94103 - (415) 558-6080 Report of Residential Record (3R)

B. If yes, has the required upgrade work been completed? Yes No

Address of Building 34 - 44 STEINER ST Block 0875 Lot 013 Other Addresses 379 HERMANN ST Permit # Issue Date Type of Work Done Application # Status KITCHEN REMODEI 979197 Oct 17, 2002 REPLACE STAIR STRINGERS AT LOWER LEVEL. REPLACE FOUR UPRIGHTS C 200210179190 O TWO NEWEL POSTS. REPLACE EXISTING THREADS. HANDRAIL IS TO BE CODE, APPROX 10% OF STAIRS TO BE WORKED ONL, SAME SIZE, DRY ROT REPAIR ON REAR STAIRS, REPAIR REPLACE IN KIND LESS THAT 1108748 Jan 10, 2007 200701101443 50% NOT VISABEL FORM STREET ADDRESS COMPLAINT #200788836 (SEE ATTACHED FIRE ESCAPE ISSUE) 200703126026 1114034 Mar 12, 2007 REPAIR SIDING FROM FIRE DAMAGE. ALSO REPAIR WINDOW DUE TO FIRE 1276992 Oct 10, 2012 REPAIR DRY ROT ON 3 POSTS AT REAR EXTERIOR STAIRS OF BUILDING, 201210101763 REPAIR DRY ROT ON 2 LANDINGS, LANDING 3FT X 3FT. REPAIRS ARE LESS THAN 50% OF STAIR AND DECK. Yes No ✔ 8. A. Is there an active Franchise Tax Board Referral on file? B. Is this property currently under abatement proceedings for code violations? Yes No v 9. Number of residential structures on property? 1 10. A. Has an energy inspection been completed? Yes ✓ No B. If yes, has a proof of compliance been issued? Yes ✓ No 11. A. Is the building in the Mandatory Earthquake Retrofit of Wood-Frame Building Program? Yes ✓ No

Date of Issuance: 15 OCT 2018 Date of Expiration: 15 OCT 2019 By: MAY YU Patty Herrera, Manager **Records Management Division** Report No: 201810048154 THIS REPORT IS VALID FOR ONE YEAR ONLY. The law requires that, prior to the consummation of the sale or exchange

> **Records Management Division** 1660 Mission Street - San Francisco CA 94103 Office (415) 558-6080 - FAX (415) 558-6402 - www.sfdbi.org

(For Explanation of terminology, see attached)

Residential Building: A residential building is a building or a portion thereof containing one or more dwelling units but not including hotels containing 30 or nore guest rooms, or motels.			Building Code Occupancy Classification: Present classification of building in accordance with Building Code reference.		
			Class I	Institutional	
	nt Authorized Occupancy or Use: Number of units presently found		Class B	Business	
to esta	to be legal based on the building permits on file. If the Department is unable to establish the authorized occupancy of the building based on permits on file "UNKNOWN" will be indicated.		Class R-1 Class R-2	Residential – Transient Hotels & Motels Residential – Apartments and Condominiums with 3 or more units, Residential Hotels	
B. Condo	miniums: Refers to the type of ownership of the building.		Class R-3	1 or 2 family dwellings, including housekeeping rooms	
C Reside	ential Hotel Guest Rooms: Certain hotels are regulated as to use	4.	Non-conform	ning Use: When a use is located in a district	
and oc	cupancy if they contain Residential Guest Rooms. Call Housing tion Services at 558-6220 for information.		4. Non-conforming Use: When a use is located in a district preceding the one for which the use is first listed above, this may indicate illegal status or legal non-conforming status. Any date at which legal non-conforming status is scheduled to expire will be		
	p District: The main uses of property permitted by the Planning Code zoning district are as follows:		stated on the face of this report. You are advised to inq these cases and in any other questionable cases at the Division of the Planning Department at 558-6377.		
65	(Public Use) district				
H-1(D)	(House, One-Family, Detached Dwellings) district	5.		struction Date: The year the building was	
H-1	(House, One-Family) district		constructed.		
H-1(S) H-2	(House, One-Family with Minor Second Unit) district	6.	Original Occ	unaney or Heat. The number of recidential unit/e)	
n-2 H-3	(House, Two-Family) district (House, Three-Family) district	0.		upancy or Use: The number of residential unit(s) ding was constructed.	
п-3 М-1	(Mixed Residential, Low Density) district		when the built	uing was constructed.	
M-2	(Mixed Residential, Moderate Density) district	7.	D	1 - 41 This 41 11 41 11	
M-3	(Mixed Residential, Medium Density) district	7.	Permit Appi	ication: This section shows all issued building	
M-4	(Mixed Residential, High Density) district	ш	permit applic	ations for this property, the date issued and the	
C-1	(Residential-Commercial Combined, Low Density) district	ш	description o	f work. Status: It indicates the status of the	
C-2	(Residential-Commercial Combined, Moderate Density) district	ш			
C-3	(Residential-Commercial Combined, Medium Density) district	ш	permit applic	ation:	
C-4	(Residential-Commercial Combined, High Density) district	ш	Complete	d - the work has been completed	
-1	(Neighborhood Shopping) district	ш	Complete	a - the work has been completed	
-1 -2	(Community Business) district	ш	Issued -	permit has been issued	
-3-0	(Downtown Office) district	ш	100000	A CONTROL TIES DOON TOO GOOD	
-3-R	(Downtown Retail) district	ш	No Info -	no information available at DBI	
-3-G	(Downtown General Commercial) district	ш			
-3-S	(Downtown Support) district	ш	Expired -	the permit has expired (work not started or not	
-M	(Heavy-Commercial) district	ш	completed)		
-1	(Light Industrial) district		completed)		
-2	(Heavy Industrial) district	0.4	Franchise To	Beard Beforest: The City will advise the State	
C-1	(Neighborhood Commercial Cluster) district	8A.		x Board Referral: The City will advise the State	
C-2	(Small-Scale Neighborhood Commercial) district			x Board to deny all deductions being claimed on	
C-3	(Moderate-Scale Neighborhood Commercial) district			rty by an owner, when that owner fails to comply in r with a notice(s) of violation issued by the	
C-5	(Neighborhood Commercial Shopping Center) district			f Building Inspection. For additional information	
CB	Mixed Used Districts (Chinatown Community Business) district	l		busing Inspection Services at 558-6220.	
R/NC	(Chinatown Residential/Neighborhood Commercial) district		p.odoo dan Ti		
RV	(Chinatown Visitor Retail) district	8B.	Abatement P	roceedings: The legal action taken to have a	
	arket Mixed Use Districts	ON COLUMN		ght into code compliance. This includes holding	
UR	Mixed Use Residential district			ording orders of abatement against the property, and	
ED	(Residential Enclave) district		City Attorney		
PD	(South Park) district	l	- Merendermanning of the Salas		
SD	(Residential Service) district	l		also perform the work and place a lien against the	
_R	(Service/Light Industrial/Residential) district			Housing Inspection Services at 558-6220 or	
LI	(Service/Light Industrial) district	l	Code Enforce	ment at 558-6454 for additional information.	
SO	(Service/Secondary Office) district	(7)346	Herbitania (Proposition of the Control of the Contr		
ission Ba	y Districts	9.		esidential structures on property: The number of	
B-R-1	(Mission Bay Lower Density Residential) district	I	legal resident	ial structures on one lot.	
	(Mission Bay Lawer Bensity residential) district				

10. Energy Conservation Ordinance: Compliance with this

Bureau of Fire Prevention
Division of Apartment and Hotel Inspections

P:\FORMS\3R\Terms Used In 3R.doc Updated January .8, 2014

Federal Assisted Code Enforcement

Bureau of Building Inspection

Department of City Planning Emergency Work Only

Property Conservation Division

San Francisco Fire Department

ordinance is required before an owner sells a property. Que

should be directed to Housing Inspection Services at 558-6220

(Mission Bay moderate Density Residential) district

Mission Bay Small Scale Neighborhood Commercial) district

I buildings are subject to certain standards concerning dwelling unit density, lot

verage, off street parking, building height and bulk, etc., which vary according zoning district. Call the **Planning Department** at 558-6377 or go to their

Mission Bay Moderate Scale Neighborhood Commercial) district

Mission Bay Neighborhood Commercial Shopping Center) district

Mission Bay High Density Residential) district

Mission Bay Commercial-Industrial) district

(Mission Bay Community Facilities) district

(Mission Bay Office) district

Mission Bay Hotel) district

(Mission Bay Open Space) district

site at http://www.sf-planning.org/ for additional information

TITLE-24 **MANDATORY MEASURES**

DATE 07/17/2019 **SCALE** 1" = 1'-0' DRAWN BY Author CHECKED BY Checker

JOB NO.

Dec 14, 2018

Plan Review Supervisor for Pre-Application Meeting Department of Building Inspection 1660 Mission Street, 2nd Floor San Francisco, CA 94103

> PRE-APPLICATION MEETING REQUEST 34 Steiner Street. Alterations Existing: 7-Unit Residential Proposed: 9-Unit Residential 2016 California Building Code BPA #2018-0912-9872

MEETING INFORMATION

Meeting Date / Time 11 December 2018 / 11:00am

DBI Representative: Richard Tam (richard.w.tam@sfgov.org) SFFD Representative: Ketty Fedigan (ketty.fedigan@sfgov.org) KMA, LLP Rep.: **Toby Morris** Shirley Perez

PROJECT INFORMATION

34 Steiner Street, San Francisco, CA Block/Lot: 0875 / 013

Type of Construction:

Existing: TYPE-VB NON-SPRINKLERED (non-rated) Proposed renovated Floors 1-3: TYPE-VB fully sprinklered (NFPA 13-R sprinkler system per 903.3.1.2) Proposed newly excavated Basement: TYPE-VA fully sprinklered

Stories:

Existing: 3 stories over basement Proposed: 3 stories over basement

Existing: 7-Units (R-2) Occupancy: Proposed: 9-Units (R-2)

kerman

139 New Strant

415 749 0302

kermanmonds.com

architects up

morris

This work consists of alterations to an existing 3-story over basement, 7-unit, residential only building in an RTO zoning district and adding (2) new units. The additional units are being created by subdividing existing large units on the second and third floors. Additional scope of work includes excavating for a full basement and the installation of a roof deck over the existing roof. No vertical or horizontal expansions of the building envelope are proposed. The existing structure is not accessible.

(NFPA 13-R sprinkler system per 903.3.1.2)

Our Basic Code Assumptions to be Confirmed and Questions/ Code Ruling Requested:

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6. Single Exit (Residential Unit levels 1-3): The building is being renovated to incorporate a Single Exit (a 2-hour rated central interior exit stair for residential levels on the first, second and third floors) consistent with Section 1006.3.2 for this Group R-2 building equipped throughout with an automatic sprinkler system (per s. 903.3.1.2) and with emergency escape windows (per s. 1030). Please confirm that this single exit is sufficient, and that the existing exterior wood framed stair is no longer needed for exiting from the residential levels (the travel distance to the 2-hour rated exit enclosure will not exceed 125').

Confirmed Note: Provide a gate at the first floor to prevent occupants exiting from upper stories continuing to the basement. 2-Hour exit to be maintained to the exit discharge.

7. Occupancy Classification of and Exiting from proposed new Common Roof Deck: The building is proposed to have a new common roof deck over the third floor: Please confirm that the new roof deck will be classified as "R-2 Accessory Use"

space (in this privately held multi-unit building) and that the occupant load for this roof deck is 15 square feet per occupant. Confirmed: So long as less than 50 occupants at roof deck.,

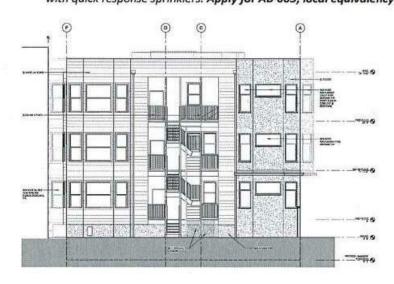
Occupant load to be confirmed at plancheck
As the roof deck is over the 3rd floor of occupancy, please confirm that section 1006.3.2 does not apply (as the R-2 Accessory Use is above the third floor) and that the roof deck needs two means of egress per section 1006.3.1.

Confirmed: For egress purposes, a roof deck over the third floor requires two (2) exits.

 Please confirm that the existing exterior staircase at the rear yard of the building can be used as the second means of egress. This existing stair has non-confirming risers (7 ¾").

Confirmed: Handrails and guardrails are to comply with code. Additional discussion:

1. Roof deck walking surface to be non-combustible 2. Existing wooden rear stair may remain as second exit off roof deck. It is an open stair and not a 2-hour enclosure. Note: Openings on exit path must comply with Section 1028.4.2, including 45-minute, self-closing windows with quick response sprinklers. Apply for AB-005, local equivalency.



GENERAL BUILDING HEIGHT AND AREA

1. Story Count:

Please confirm that the subject building based on provided grade plane information will be considered 3 stories over basement. Refer to AE2.01, AE7.01, A2.01, and A7.01.



This is based on Chapter 2 definition of "Story Above Grade Plan": More than 6 feet above grade plane, or more than 12 feet above the finished ground level at any point.

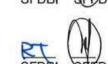
To be confirmed at Plan Check

FIRE-RESISTANCE CONSTRUCTION

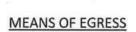
2. Type of Construction V-B to V-A: The existing structure is three stories (over basement) of Type V-B non-rated construction (no sprinklers). The scope of work proposes adding new dwelling units on the second and third floors and adding a roof deck. Please confirm that with a common roof deck proposed over the 3rd floor (at the 4th level) the building will need to be upgraded to Type V-A construction and fully sprinklered (without area increase) per Table 504.4 for this R-2 occupancy classification. Confirmed: To be sprinklered per NFPA 13-R.



3. Standpipes: Please confirm standpipes will not be required per section 905.3.1 as the floor of the highest story of this existing 3 story structure is less than 30 feet above the lowest level of the fire department vehicle access.



4. Fire Alarm: Please confirm that a manual fire alarm system will be required for this building of 6 or more dwelling units per CBC 907.2.9.1 and SFBC 907.2.9.1, item 3. Note: Include notification at roof deck; location to be determined at Plan Check.



5. Two Exits at Basement: The existing partially excavated basement is proposed for full excavation and new foundations (see A2.01) to provide for storage (occupant load 300). See G0.03 Exiting Plans. The basement is proposed to have 2 exits (serving approximately 13 occupants); the exits are separated by 1/3 the overall diagonal dimension of the basement area served per section 1007.1.1, exception #2 in this fully sprinklered building. Please confirm that the proposed 2 exits are sufficient.



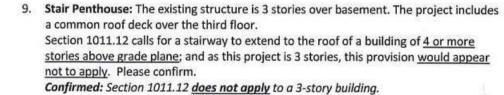
Confirmed: Subject to review at Plan Check.



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8. Stair Width: Please confirm that all exit stairs, serving an occupant load of less than 50 persons can be 36" wide per section 1011.2, Exception 1; and that doors in the exit path do not necessarily need to swing in the direction of egress travel per 1010.1.2.1. Confirmed: So long as there are less than 50 occupants at any level



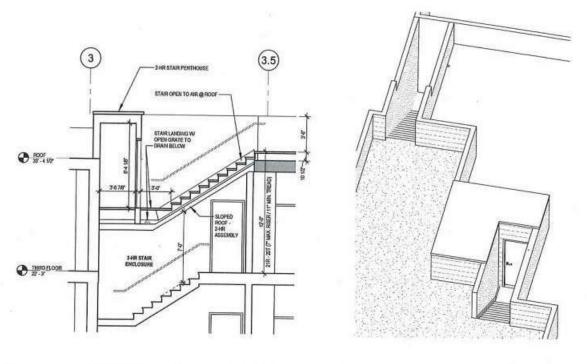
Section 1011.12.2 (a subsection of 1011.12, again pertaining to 4 story buildings) states "where a stairway is provided to a roof access to the roof shall be provided through a penthouse." The project proposes a stairway to the roof to access a common roof deck. Does Section 1011.12.2 apply (even though this is a 3-story building)? Confirmed: Section 1011.12.2 does not apply to a 3-story building.

Section 1011.12.2 requires a "penthouse," which is defined in Chapter 2 as "an enclosed, unoccupied rooftop structure used for...vertical shaft openings." Please confirm that the "depressed" penthouse proposed for this project (see our design shown on sheet G0.09) meets the definition and intent of a "penthouse" Not Applicable: Section 1011.12.2 does not apply, however, the proposed design with a depressed penthouse, a half story below the roof deck, is an acceptable exit access. Door to stair must remain unlocked.

Assuming Section 1011.12.2 does apply to this project, the code states the penthouse must comply with Section 1510.2. Please confirm our design meets the subsections of section 1510:

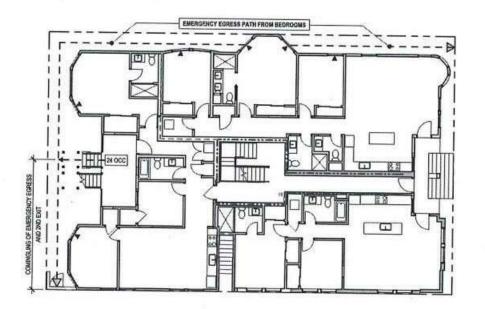
- 1510.2.1: the height of the proposed penthouse is under 18'. 1510.2.2: the aggregate area of penthouses is less than 1/3 of the roof
- 1510.2.3: the penthouse will only be used for a vertical shaft opening in the roof assembly.
- 1510.2.4: the penthouse will protect the building interior from the
- 1510.2.5: the penthouse shall be constructed with walls, roof and floors as required for Type-V construction of 2-hour assembly.

Confirmed - Not Applicable: Section 1011.12.2 does not apply to a 3-story building.



10. Emergency Escape and Rescue: The proposed new units have bedroom windows facing existing courts that leading to the public way. Every bedroom will contain at minimum one emergency escape and rescue window complying with section 1030. Please confirm that the emergency egress path is acceptable, open to the sky to the exit discharge at the sidewalk.

Confirmed: Emergency egress is provided to both Steiner & Hermann Streets. Comingling of the second, rear, exit from roof deck at street level is acceptable before discharge to Hermann Street.



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ACCESSIBILITY

11. Applicability: The proposed "project" consists of adding (2) units within the existing building envelope of an existing (7) unit non-accessible R-2 occupancy building. No building expansion is proposed besides basement level storage. Please confirm that the project is not subject to CBC Chapter 11-A. Confirmed: Project is not subject to accessibility and Chapter 11A.

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Reviewed and agreed by

PRE-APPLICATION **MEETING** SUMMARY

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Revisions

34 STEINER

STREET

ADDITIONS /

ALTERATIONS TO

EXISTING UNITS -

DENSITY INCREASE

0875 / 013

BPA# 2018-0912-9872

San Francisco, CA

morris

DATE 07/17/2019

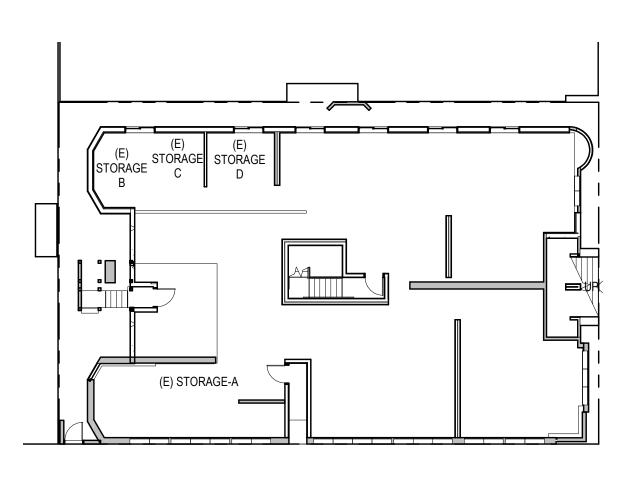
Author

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1 EXISTING - BASEMENT STORAGE



(E) STORAGE-B



(E) STORAGE-C



(E) STORAGE-D





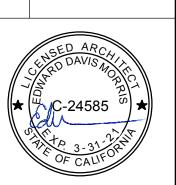


(E) STORAGE-A









34 STEINER STREET

ADDITIONS / ALTERATIONS TO EXISTING UNITS -DENSITY INCREASE

0875 / 013 **BPA# 2018-0912-9872**

SITE PHOTOS -EXISTING STORAGE ROOMS

DATE 07/17/2019

SCALE 1/16" = 1'-0"

DRAWN BY Author

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JOB NO. 1802

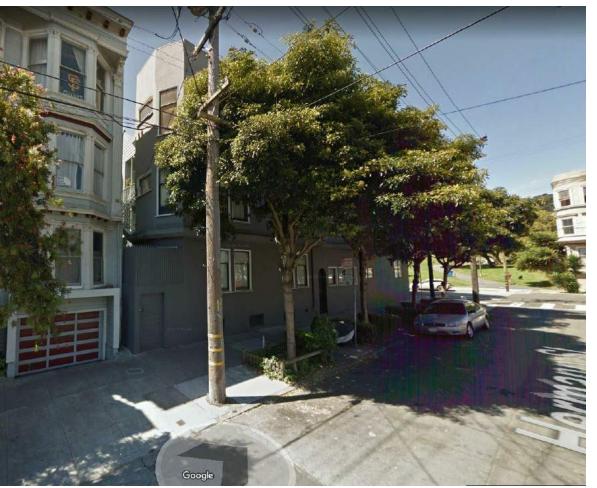
G0.07



EAST PROPERTY LINE - ADJACENT 373 HERMANN STREET (BLOCK / LOT: 0875 / 014)



SOUTH PROPERTY LINE - ADJACENT 26 / 28 /30 STEINER STREET (BLOCK / LOT: 0875 / 012)



PARTIAL EAST ELEVATION FROM HERMANN STREET







NORTH ELEVATION - HERMANN STREET

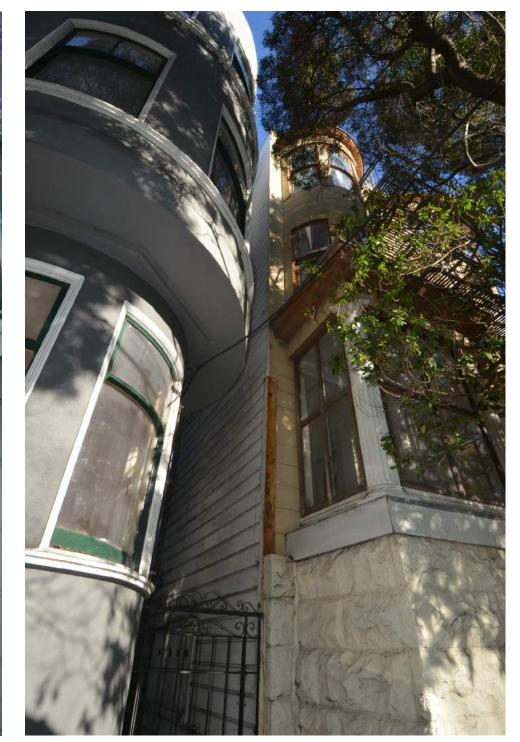


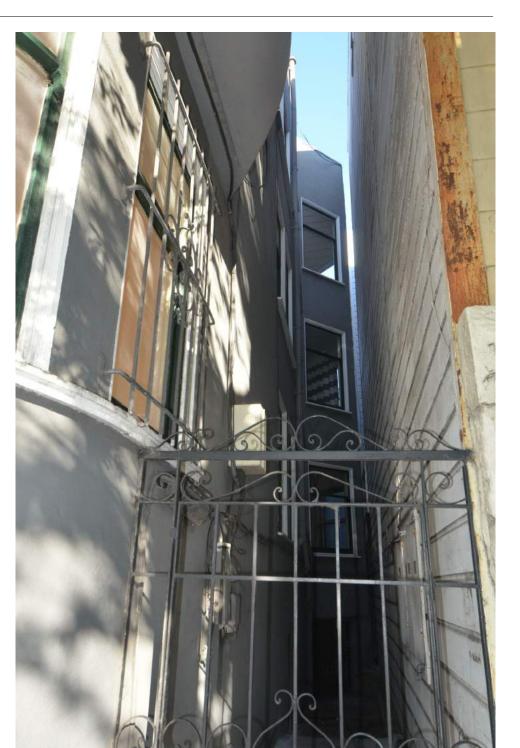




EAST ELEVATION - ADJACENT 373 HERMANN STREET (BLOCK / LOT: 0875 / 014)







SOUTH PROPERTY LINE - ADJACENT 26 / 28 /30 STEINER STREET (BLOCK / LOT: 0875 / 012)

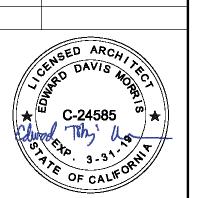




WEST ELEVATION - STEINER STREET



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34 STEINER STREET

ADDITIONS / ALTERATIONS TO EXISTING UNITS -DENSITY INCREASE

0875 / 013

SITE PHOTOS



GS5: San Francisco Green Building Submittal Form for Residential Alteration + Addition Projects **INSTRUCTIONS:** OTHER RESIDENTIAL **VERIFICATION** 1. Fill out the project information in the Verification box at the right. **ALTERATIONS +** Indicate below who is responsible for ensuring green 2. Submittal must be a minimum of 11" x 17". **ADDITIONS** building requirements are met. Projects that increase 3. This form is for permit applications submitted January 2017 through December 2019. The prior version total conditioned floor area by ≥1,000 sq. ft. are required may be submitted until January 1, 2018. adds any amount of conditioned SOURCE OF to have a Green Building Compliance Professional of area, volume, or size REQUIREMENT TITLE DESCRIPTION OF REQUIREMENT Record as described in Administrative Bulletin 93. For projects that increase total conditioned floor area by **GRADING & PAVING** CALGreen 4.106.3 Show how surface drainage (grading, swales, drains, retention areas) will keep surface water from entering the building. if applicable <1,000 sq. ft., the applicant or design professional may sign below, and no license or special qualifications are RODENT PROOFING CALGreen 4.406.1 Seal around pipe, cable, conduit, and other openings in exterior walls with cement mortar or DBI-approved similar method. required. FINAL COMPLIANCE VERIFICATION form FIREPLACES & will be required prior to Certificate of Completion CALGreen 4.503.1 Install only direct-vent or sealed-combustion, EPA Phase II-compliant appliances. WOODSTOVES 34 STEINER STREET CAPILLARY BREAK. Slab on grade foundation requiring vapor retarder also requires a capillary break such as: 4 inches of base 1/2-inch aggregate under retarder; slab design specified by licensed CALGreen 4.505.2 SLAB ON GRADE **PROJECT NAME** 0875 / 013 MOISTURE CONTENT CALGreen 4.505.3 Wall + floor <19% moisture content before enclosure. **BLOCK/LOT** BATHROOM EXHAUST CALGreen 4.506.1 Must be ENERGY STAR compliant, ducted to building exterior, and its humidistat shall be capable of adjusting between <50% to >80% (humidistat may be separate component). 34-44 STEINER STREET & 379 HERMANN STREET **ADDRESS** R-2 MULTI-FAMILY CALGreen 4.504.2.1-5. Use products that comply with the emission limit requirements of 4.504.2.1-5, 5.504.4.1-6 for adhesives, sealants, paints, coatings, carpet systems including cushions and adhesives, LOW-EMITTING MATERIALS PRIMARY OCCUPANCY resilient flooring (80% of area), and composite wood products. **GROSS BUILDING AREA** Meet flush/flow requirements for: toilets (1.28gpf); urinals (0.125gpf wall, 0.5gpf floor); showerheads (2.0gpm); lavatories (1.2gpm private, 0.5gpm public/common); kitchen faucets INDOOR WATER USE (1.8gpm); wash fountains (1.8gpm); metering faucets (0.2gpc); food waste disposers (1gpm/8gpm). Residential major improvement projects must upgrade all non-compliant fixtures per SF Housing Code REDUCTION INCREASE IN CONDITIONED FLOOR AREA sec.12A10 SF Housing Code sec.12A10. I have been retained by the project sponsor to verify that If modified landscape area is ≥1,000 sq.ft., use low water use plants or climate appropriate plants, restrict turf areas and comply with Model Water Efficient Landscape Ordinance WATER-EFFICIENT Administrative Code approved construction documents and construction fulfill restrictions by calculated ETAF of ≤.55 or by prescriptive compliance for projects with ≤2,500 sq.ft. of landscape area. **IRRIGATION** ch.63 the requirements of San Francisco Green Building Code. It is my professional opinion that the requirements of the San Francisco Green Building Code will be met. I will notify the **ENERGY EFFICIENCY** Comply with all provisions of the CA Energy Code. CA Energy Code Department of Building Inspection if the project will, for any reason, not substantially comply with these requirements, if I am no longer the Green Building Compliance Professional of Record for the project, or if I am otherwise no longer Planning Code **BICYCLE PARKING** Provide short- and long-term bike parking to meet requirements of SF Planning Code sec. 155.1-2. if applicable responsible for assuring the compliance of the project with sec.155.1-2 the San Francisco Green Building Code. SF Building Code RECYCLING BY OCCUPANTS Provide adequate space and equal access for storage, collection, and loading of compostable, recyclable and landfill materials. LICENSED PROFESSIONAL (sign & date) AB-088 May be signed by applicant when <1,000 sq. ft. is added CONSTRUCTION & DEMOLITION (C&D) SFGBC 4.103.2.3 For 100% of mixed C&D debris use registered transporters and registered processing facilities with a minimum of 65% diversion rate. **AFFIX STAMP BELOW:** WASTE MANAGEMENT HVAC INSTALLER QUALS CALGreen 4.702.1 Installers must be trained in best practices. **HVAC DESIGN** CALGreen 4.507.2 HVAC shall be designed to ACCA Manual J, D, and S. C-24585 Planning Code Glass facades and bird hazards facing and/or near Urban Bird Refuges may need to treat their glass for opacity. **BIRD-SAFE BUILDINGS** sec.139 Health Code art.19F TOBACCO SMOKE CONTROL Prohibit smoking within 10 feet of building entries, air intakes, and operable windows and enclosed common areas Projects disturbing ≥5,000 sq.ft. in combined or separate sewer areas, or replacing ≥2,500 impervious sq.ft. in separate sewer area, must implement a Stormwater Control Plan meeting STORMWATER Public Works Code if project extends Projects that increase total conditioned floor area by ≥1,000 sq.ft.: Green Building Compliance Professional of Record will verify compliance. CONTROL PLAN SFPUC Stormwater Management Requirements. art.4.2 sec.147 outside envelope Public Works Code CONSTRUCTION SITE if project extends Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices. RUNOFF art.4.2 sec.146 outside envelope GREEN BUILDING COMPLIANCE PROFESSIONAL (name & contact phone #) AIR FILTRATION Seal permanent HVAC ducts/equipment stored onsite before installation. (CONSTRUCTION) **Indoor Water Efficiency** Water Efficiency of Existing Non-Compliant Fixtures X I am a LEED Accredited Professional Each fixture must not exceed CALGreen 4.303 maximum flow rates: All fixtures that are not compliant with the San Francisco Commercial Water Conservation **FIXTURE TYPE** MAXIMUM FIXTURE FLOW RATE NOTES: Ordinance that serve or are located within the project area must be replaced with fixtures I am a GreenPoint Rater Showerheads² 2 gpm @ 80 psi 1. For dual flush toilets, effective flush volume or fittings meeting the maximum flow rates and standards referenced above. For more is defined as the composite, average flush information, see the Commercial Water Conservation Program Brochure, available at SFDBI. Lavatory Faucets: residential 1.2 gpm @ 60 psi volume of two reduced flushes and one full I am an ICC Certified CALGreen Inspector flush. The referenced standard is ASME Kitchen Faucets 1.8 gpm @ 60 psi default A112.19.14 and USEPA WaterSense Tank-NON-COMPLIANT PLUMBING FIXTURES INCLUDE: Wash Fountains Type High Efficiency Toilet Specification -1.8 gpm / 20 [rim space (inches) @ 60 psi] 1. Any toilet manufactured to use more than 1.6 gallons/flush 1.28 gal (4.8L) GREEN BUILDING COMPLIANCE PROFESSIONAL Metering Faucets .20 gallons per cycle 2. Any urinal manufactured to use more than 1 gallon/flush 2. The combined flow rate of all showerheads (sign & date) 3. Any showerhead manufactured to have a flow capacity of more than 2.5 gpm Tank-type water closets in one shower stall shall not exceed the 1.28 gallons / flush1 and EPA WaterSense Certified Signature by a professional holding at least one of the above certifications is required. If the Licensed maximum flow rate for one showerhead, or 4. Any interior faucet that emits more than 2.2 gpm Flushometer valve water closets 1.28 gallons / flush1 the shower shall be designed to allow only Professional does not hold a certification for green one showerhead to be in operation at a time design and/or inspection, this section may be completed by another party who will verify applicable green building Exceptions to this requirement are limited to situations where replacement of fixture(s) would Wall mount: 0.125 gallons / flush (CALGreen 5.303.2.1) detract from the historic integrity of the building, as determined by the Department of Building Inspection pursuant to San Francisco Building Code Chapter 13A. Floor mount: 0.5 gallons / flush requirements are met.

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Revisions

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34 STEINER STREET

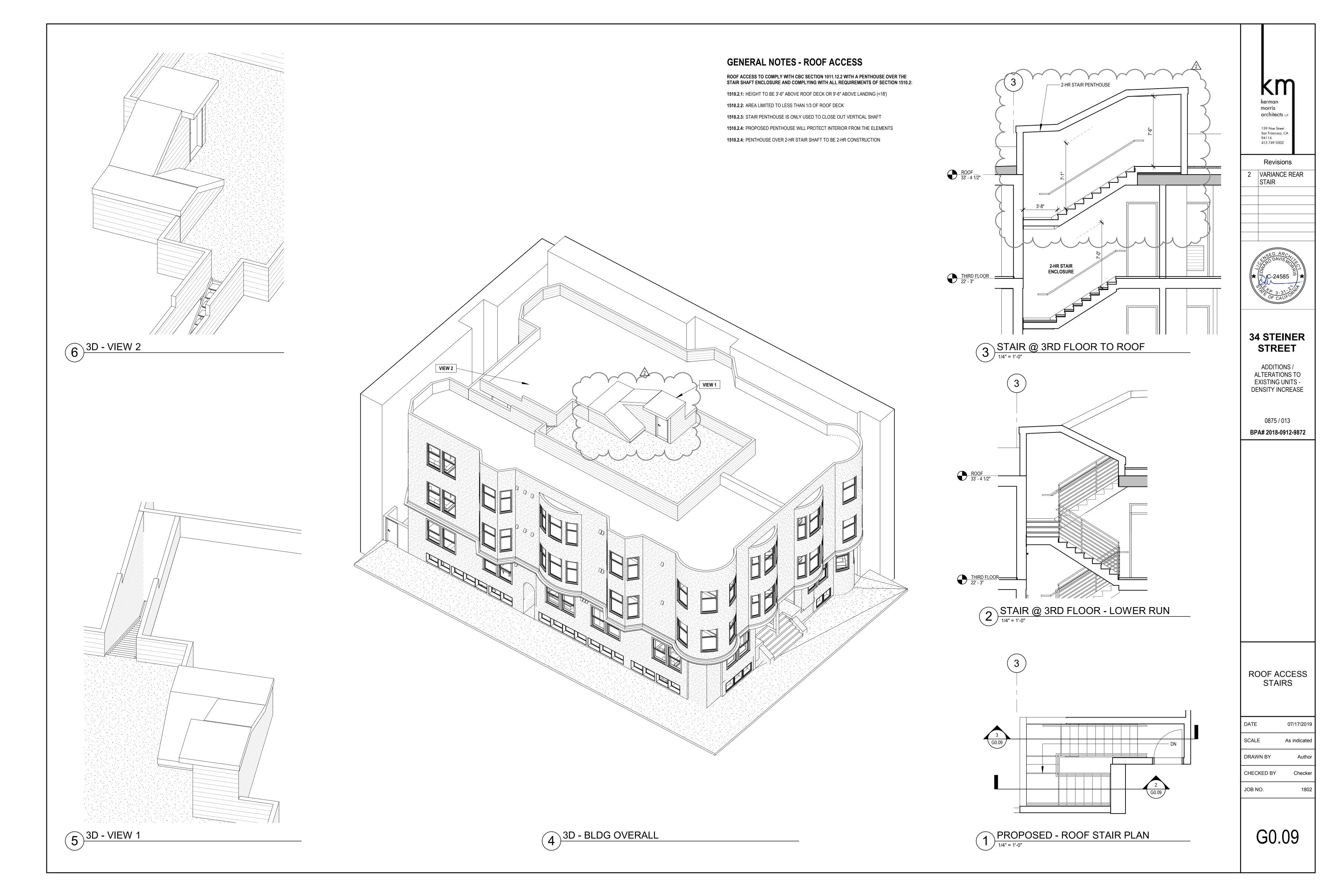
ADDITIONS / ALTERATIONS TO EXISTING UNITS -DENSITY INCREASE

0875 / 013 BPA# 2018-0912-9872

GREEN BUILDING CHECKLIST GS-5

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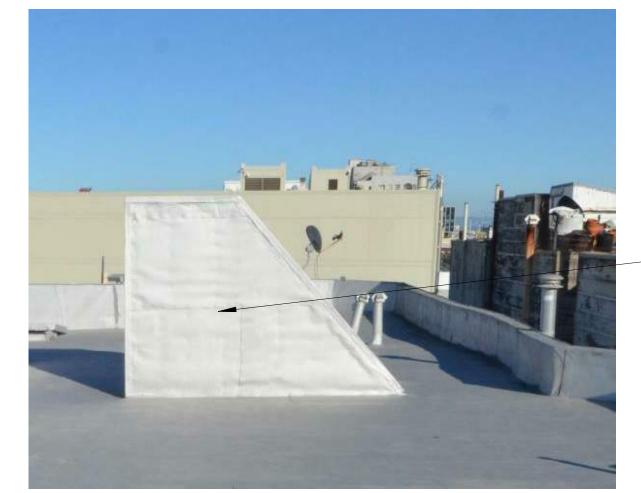
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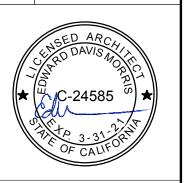


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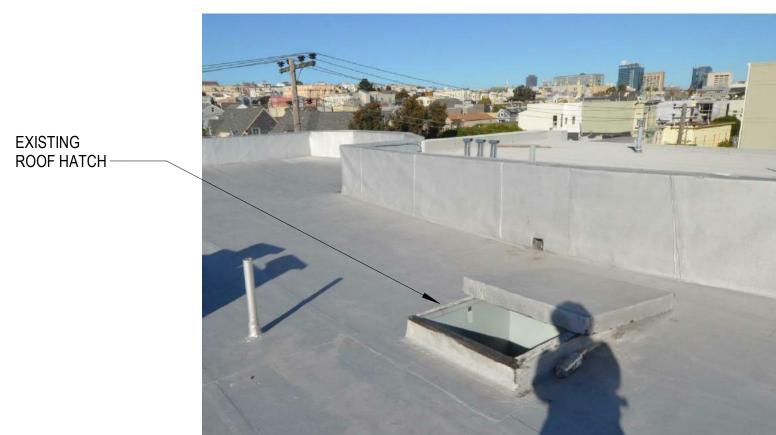
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34 STEINER STREET

ADDITIONS / ALTERATIONS TO **EXISTING UNITS -**DENSITY INCREASE

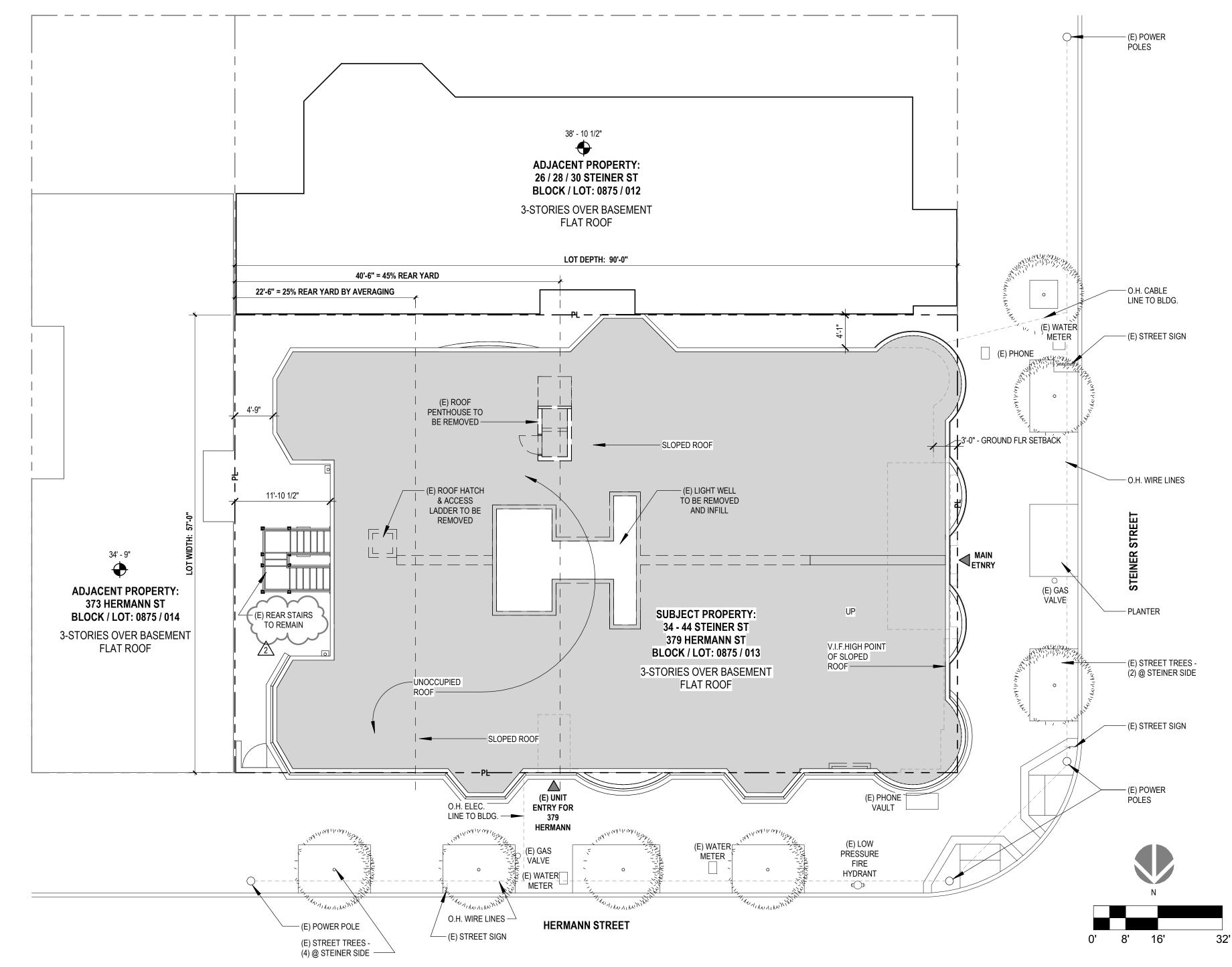
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34 STEINER FROM 1938 RUMSEY

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PLAN

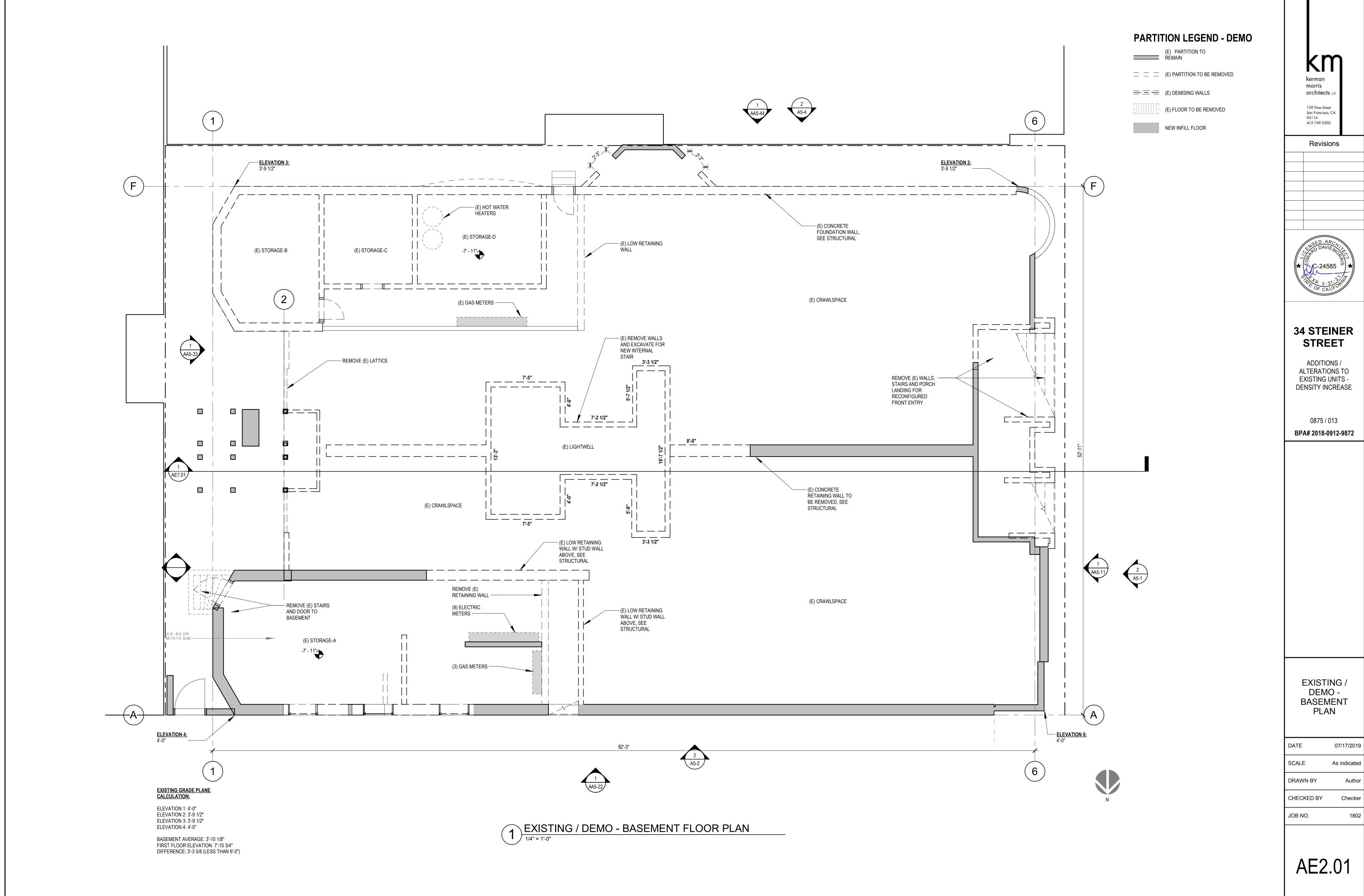
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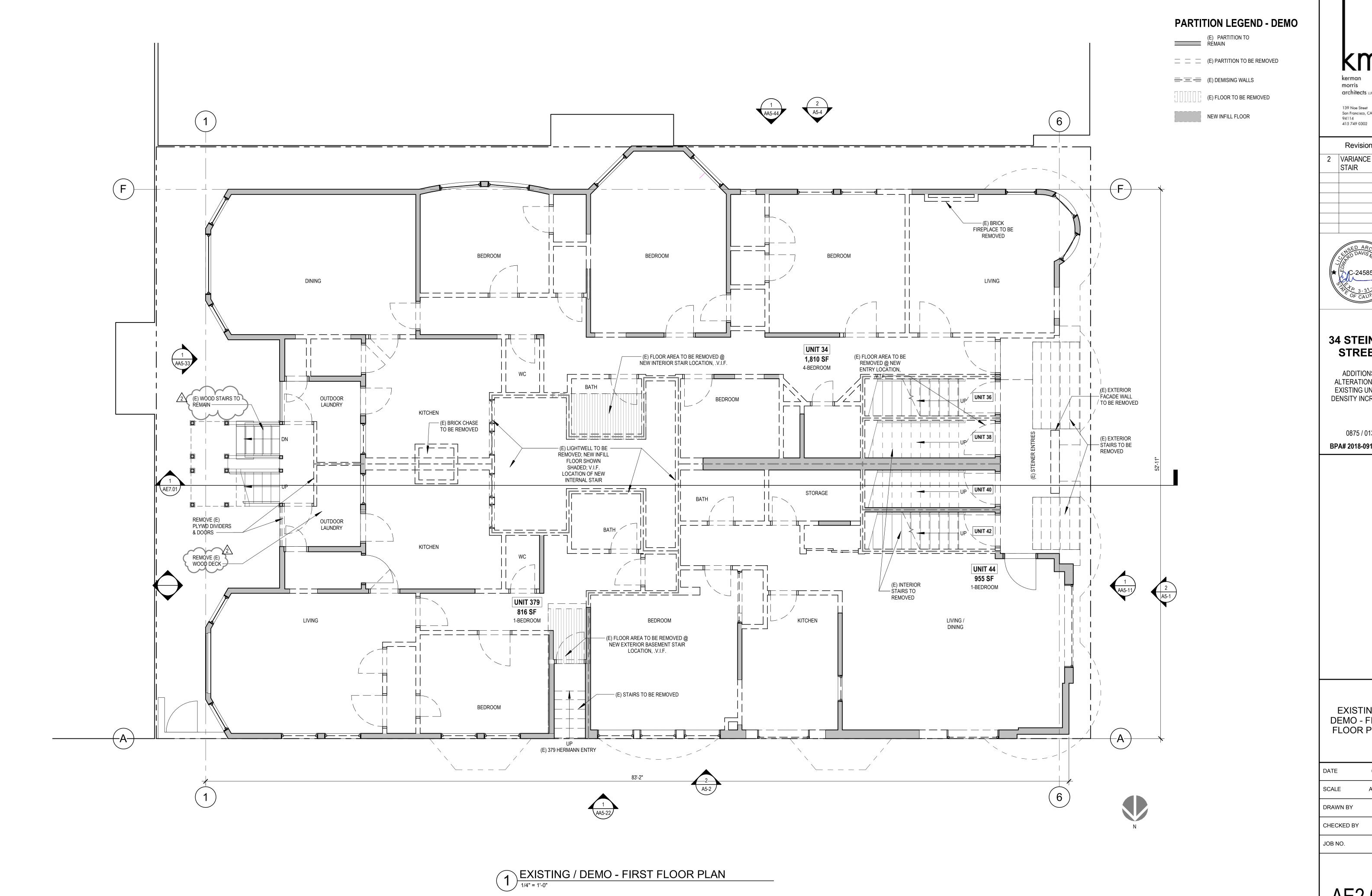
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34 STEINER STREET

ADDITIONS / **ALTERATIONS TO EXISTING UNITS -**DENSITY INCREASE

0875 / 013 BPA# 2018-0912-9872

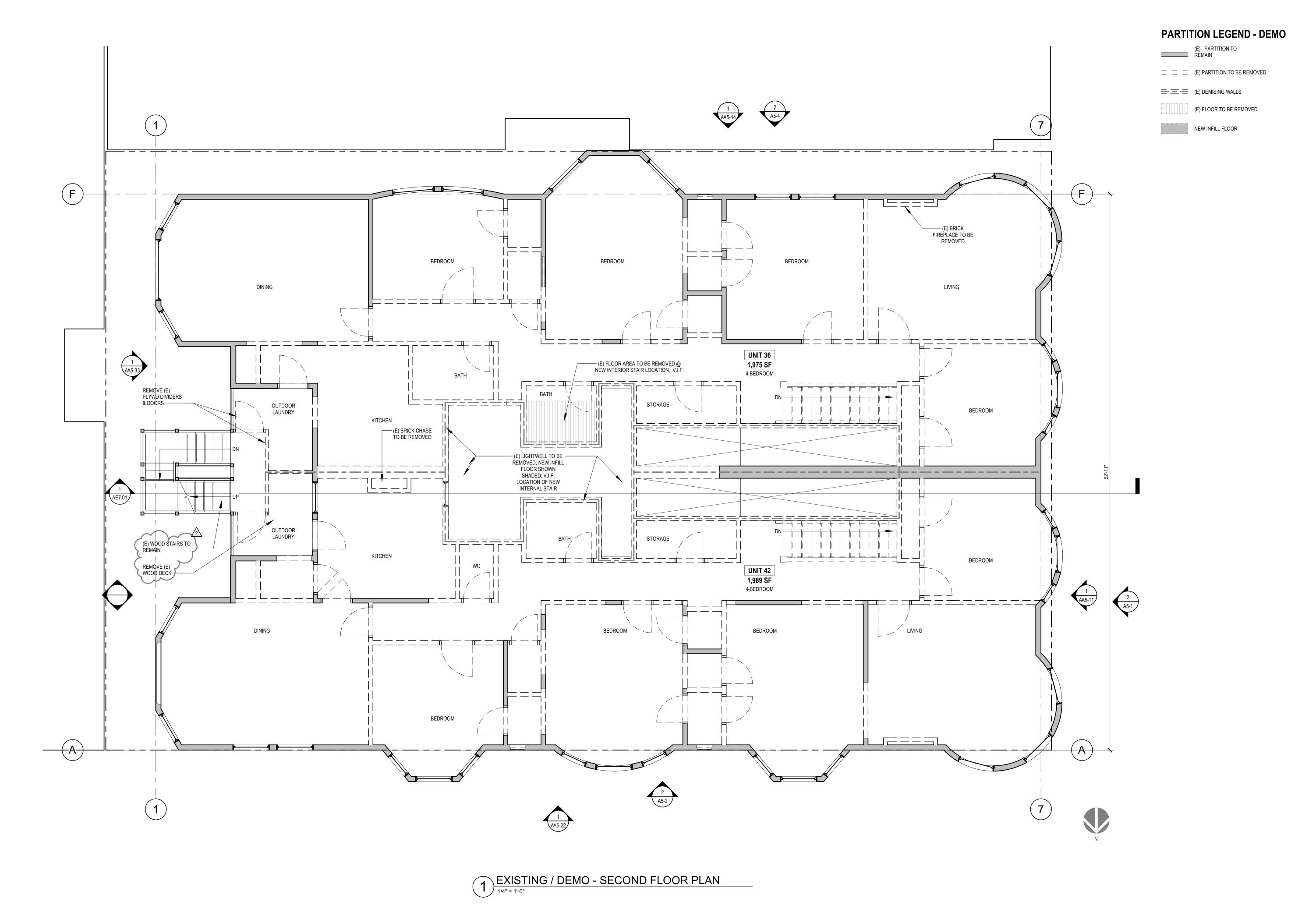
EXISTING / DEMO - FIRST FLOOR PLAN

07/17/2019 As indicated

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34 STEINER STREET

ADDITIONS / ALTERATIONS TO EXISTING UNITS -DENSITY INCREASE

0875 / 013 BPA# 2018-0912-9872

EXISTING / DEMO - SECOND FLOOR PLAN

DATE 07/17/2019

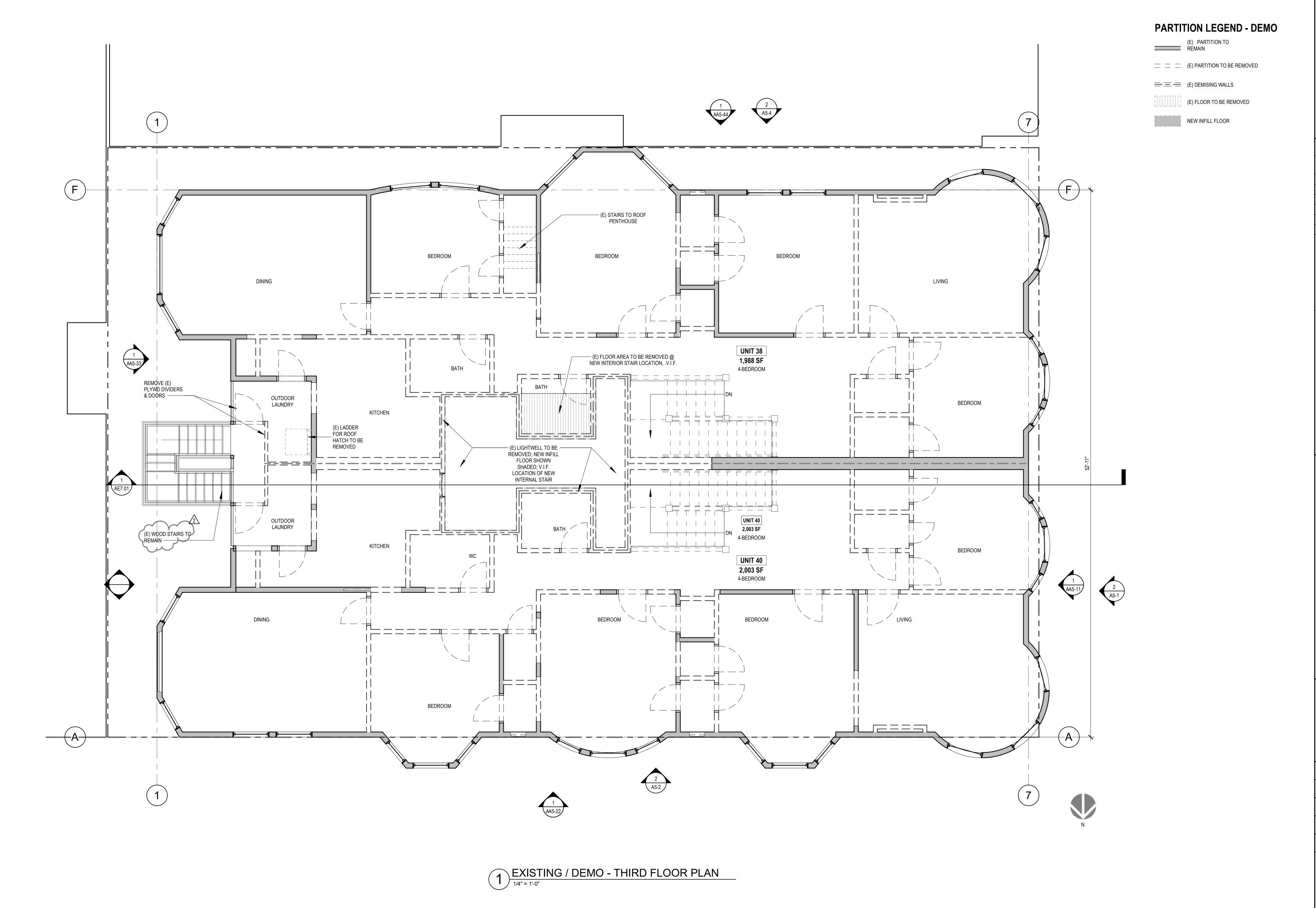
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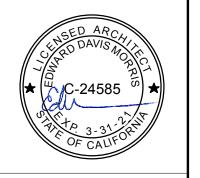
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94114 415 749 0302

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34 STEINER STREET

ADDITIONS / ALTERATIONS TO EXISTING UNITS -DENSITY INCREASE

0875 / 013 BPA# 2018-0912-9872

EXISTING / DEMO - THIRD FLOOR PLAN

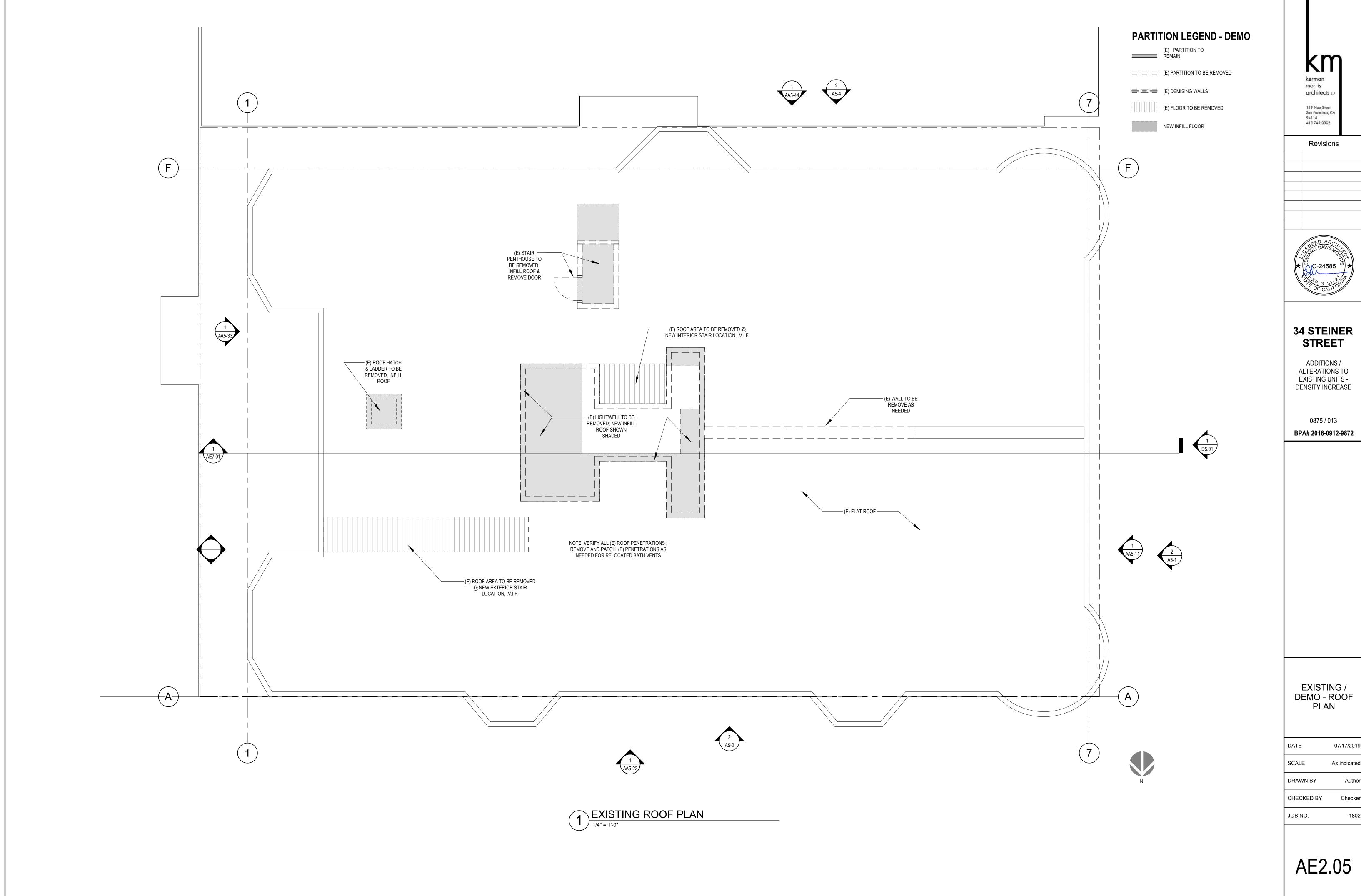
DATE 07/17/2019

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34 STEINER STREET

ADDITIONS / ALTERATIONS TO EXISTING UNITS -DENSITY INCREASE

0875 / 013 **BPA# 2018-0912-9872**

EXISTING EXTERIOR -WEST ELEVATION

DATE 07/17/2019

SCALE 1/4" = 1'-0"

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34 STEINER STREET

ADDITIONS / ALTERATIONS TO EXISTING UNITS -DENSITY INCREASE

0875 / 013 BPA# 2018-0912-9872

EXISTING EXTERIOR -NORTH ELEVATION

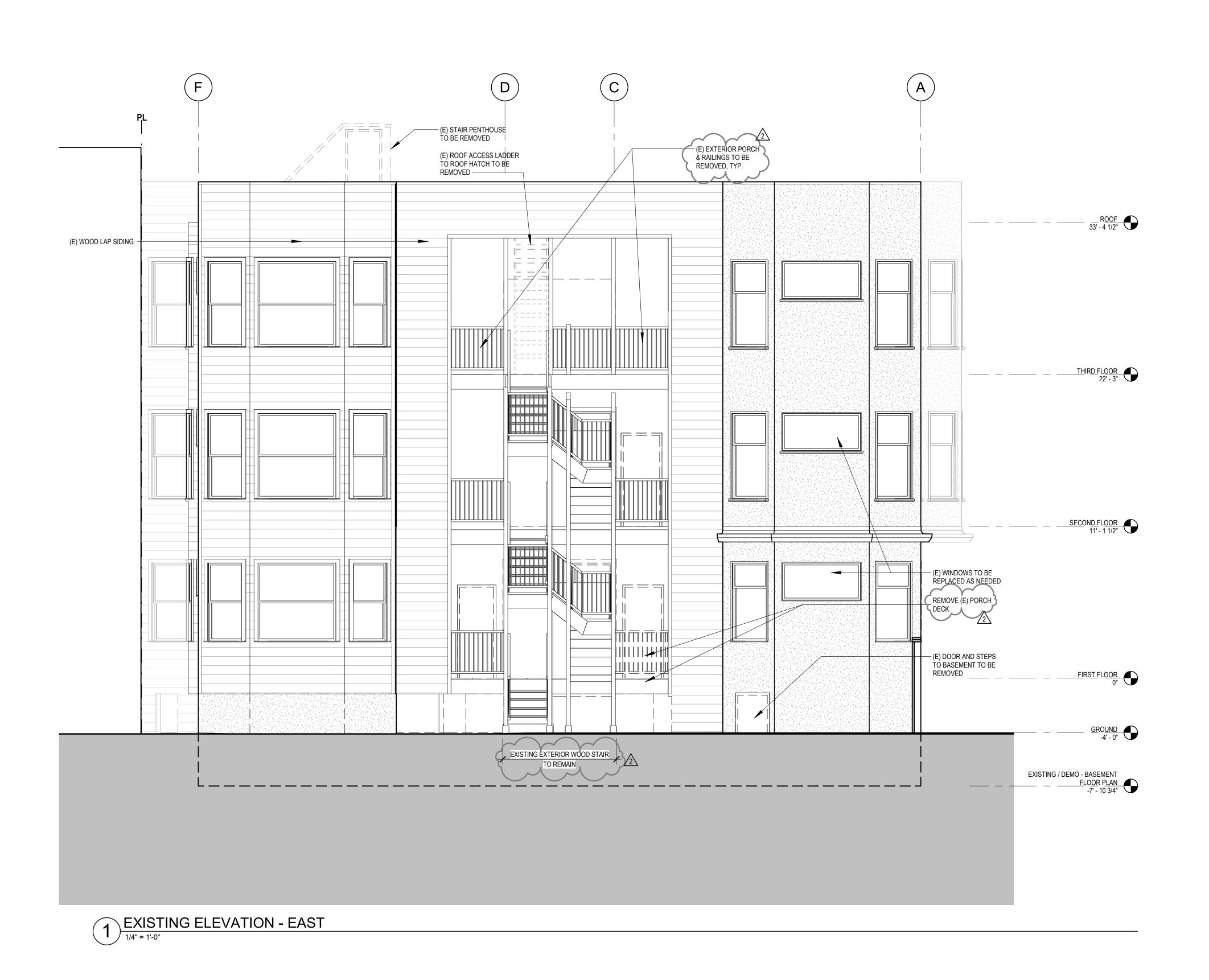
DATE 07/17/2019

SCALE 1/4" = 1'-0"

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34 STEINER STREET

ADDITIONS / ALTERATIONS TO EXISTING UNITS -DENSITY INCREASE

0875 / 013 **BPA# 2018-0912-9872**

EXISTING EXTERIOR -EAST ELEVATION

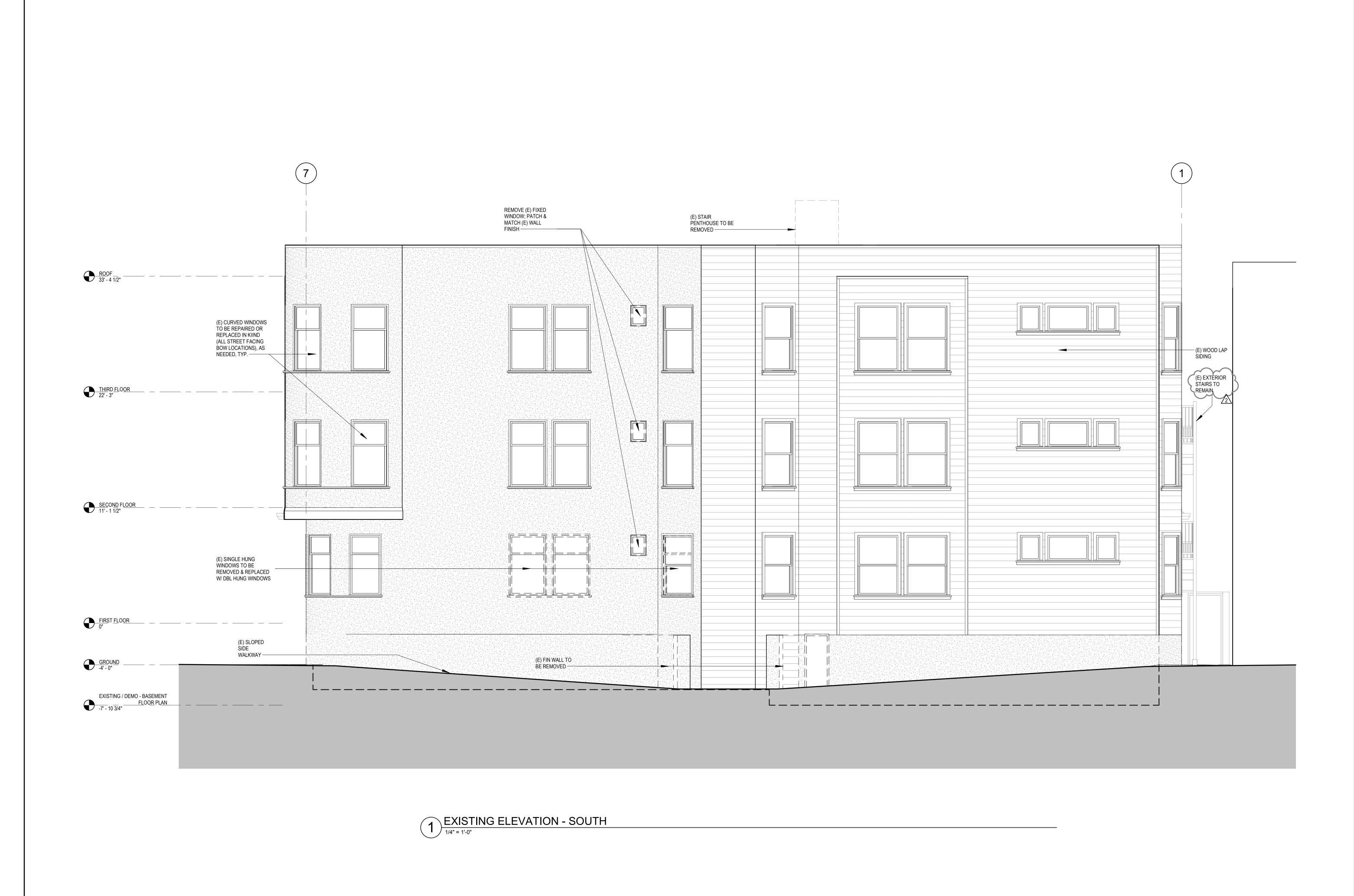
DATE 07/17/2019

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34 STEINER STREET

ADDITIONS / ALTERATIONS TO EXISTING UNITS -DENSITY INCREASE

0875 / 013 **BPA# 2018-0912-9872**

EXISTING EXTERIOR -SOUTH ELEVATION

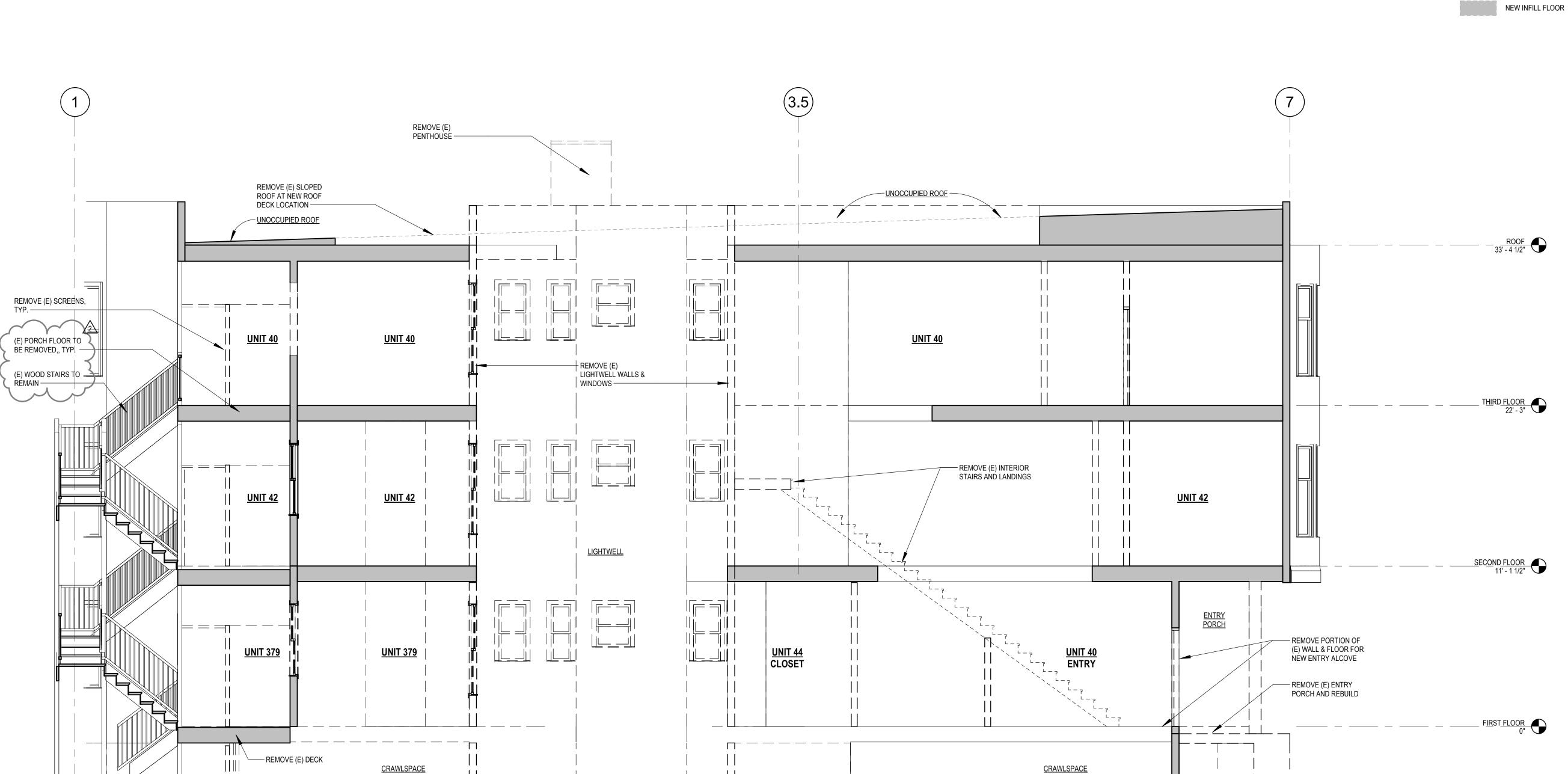
DATE 07/17/2019

SCALE 1/4" = 1'-0"

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1 EXISTING SECTION - EAST / WEST

PARTITION LEGEND - DEMO

(E) PARTITION TO REMAIN

__ _ _ (E) PARTITION TO BE REMOVED

 — ≡ — (E) DEMISING WALLS

EXISTING / DEMO - BASEMENT
- - FLOOR PLAN
-7' - 10 3/4"

(E) FLOOR TO BE REMOVED

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PLAN CK 1 2 VARIANCE REAR STAIR



34 STEINER STREET

ADDITIONS / **ALTERATIONS TO EXISTING UNITS -**DENSITY INCREASE

0875 / 013

BPA# 2018-0912-9872

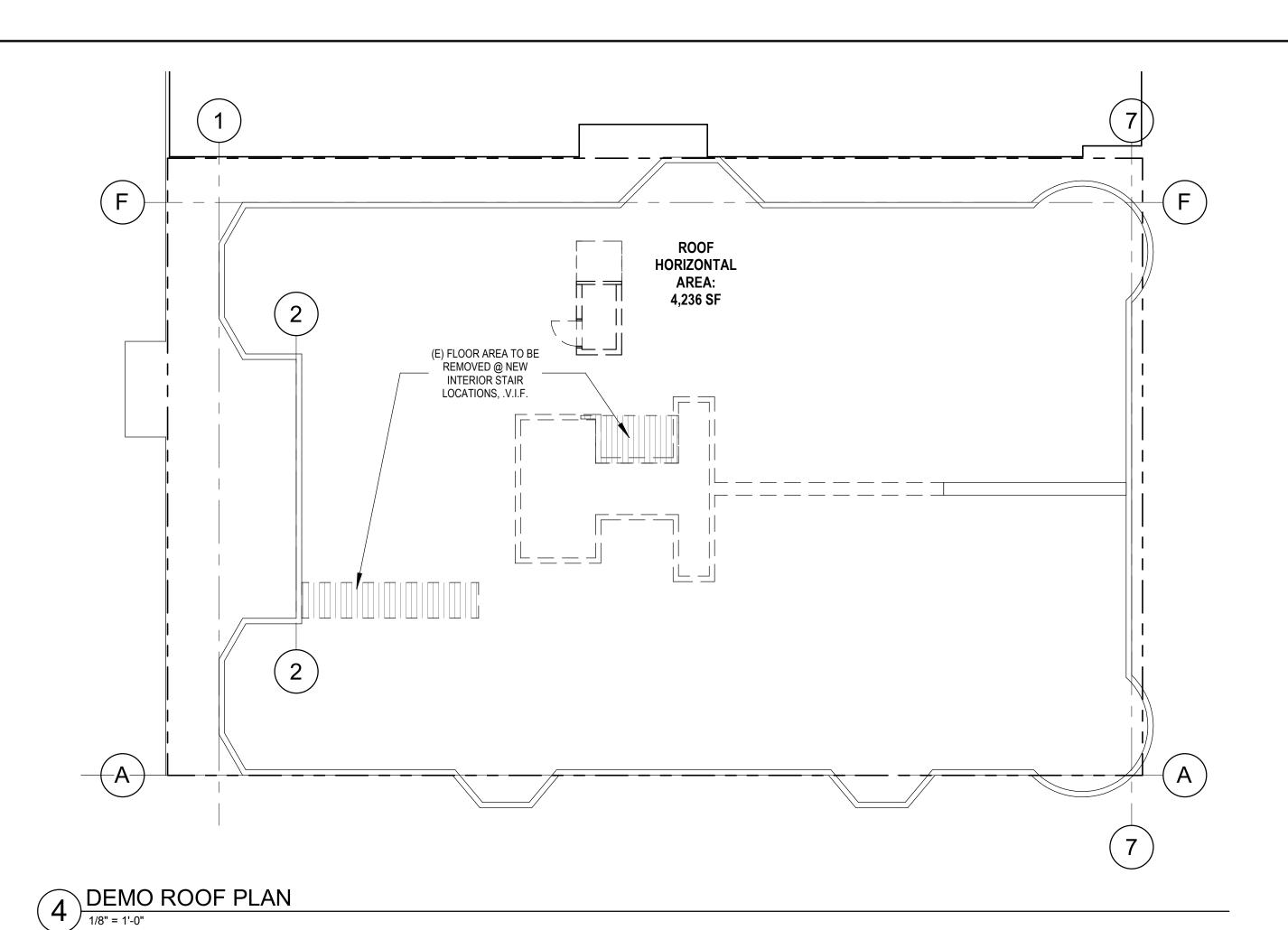
BUILDING SECTION EXISTING

DATE 07/17/2019 SCALE As indicated DRAWN BY

CHECKED BY Checker

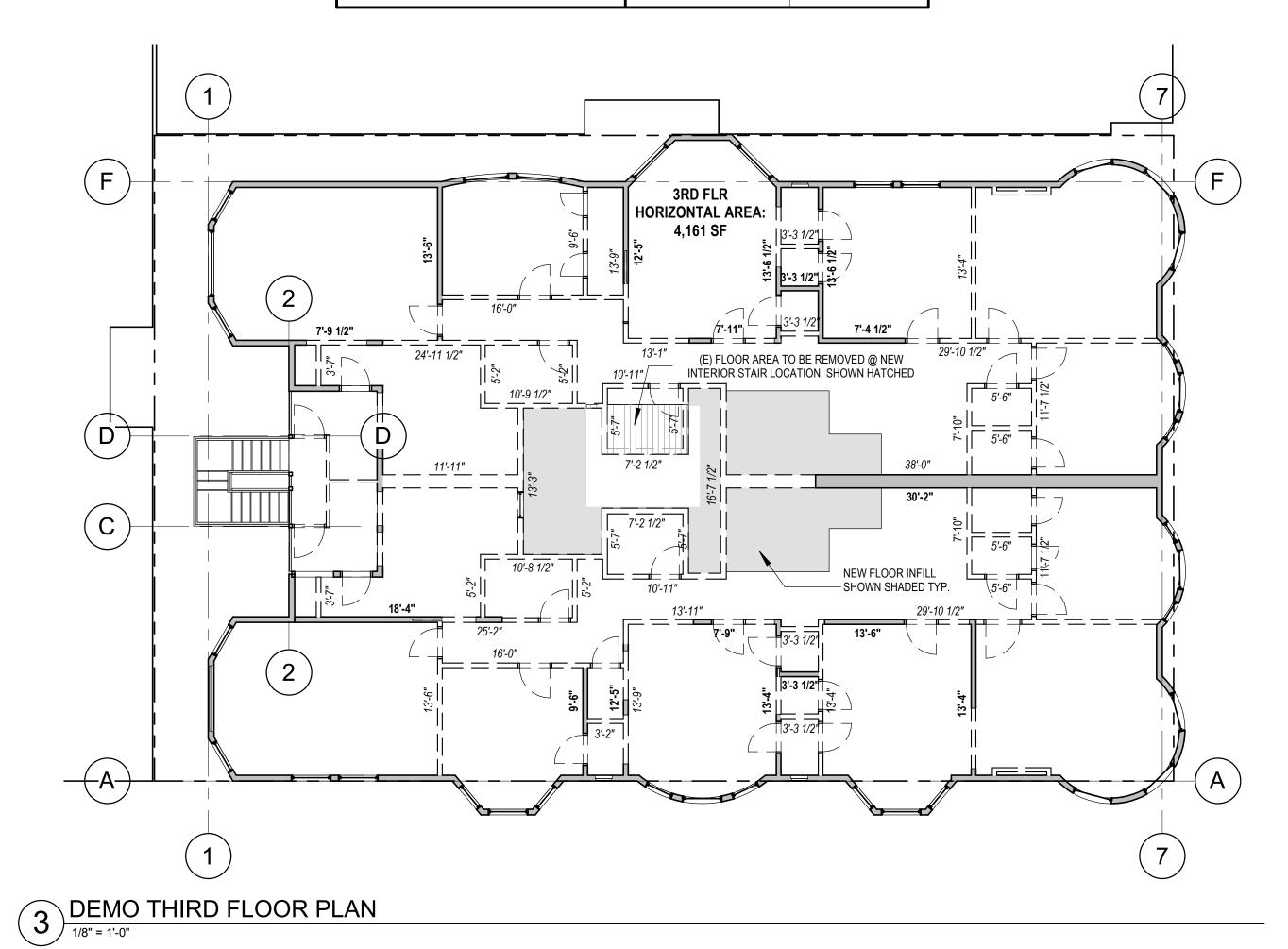
JOB NO.

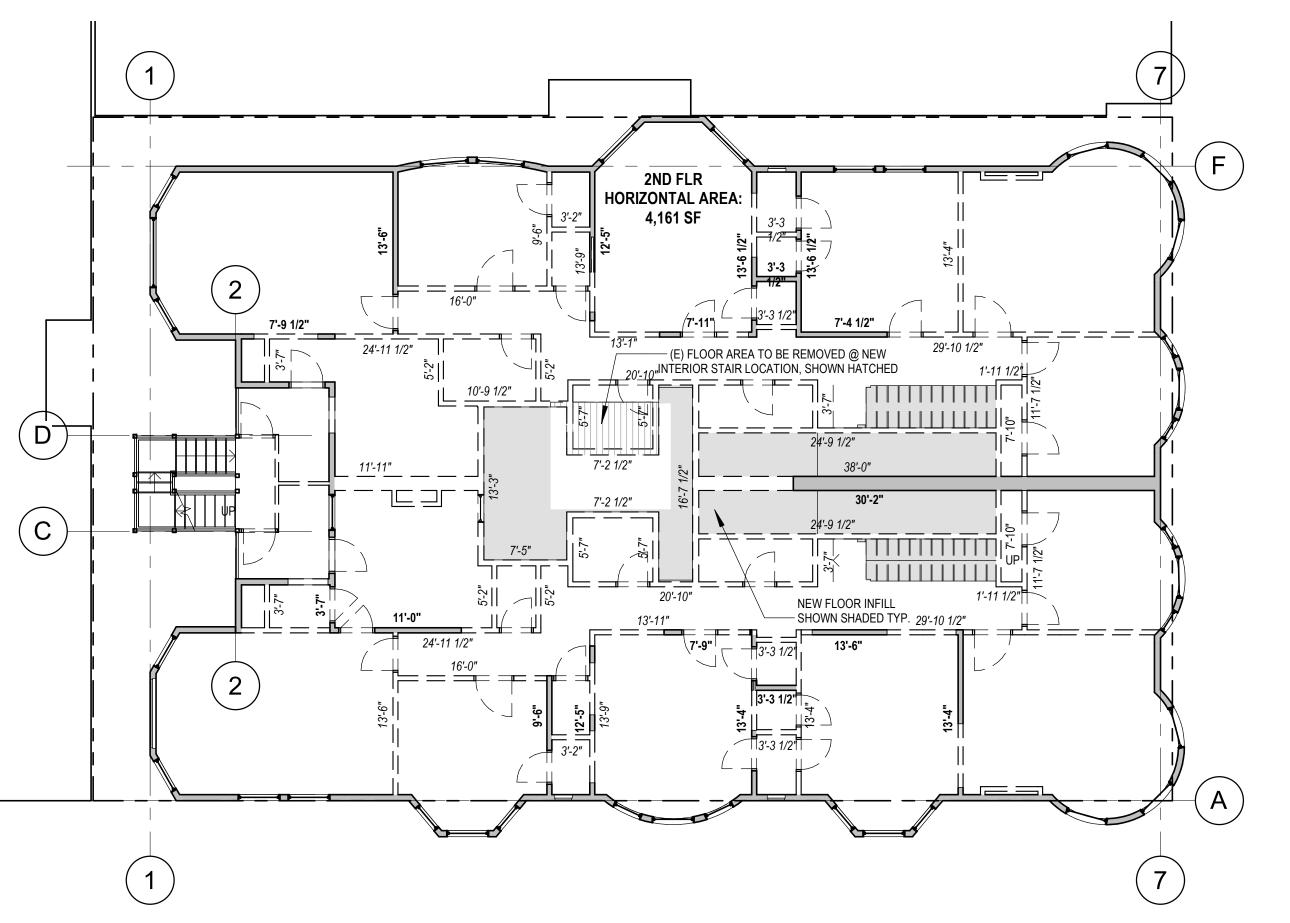
AE7.01



LINEAR FEET OF (E) EXTERNAL WALLS

ELEMENTS	PER FACADE	TOTAL
LINEAR FEET OF ALL (E) EXTERNAL WALLS, MEASURED AT THE FOUNDATION LEVEL	S 81'-8 5/8" E 65'-1 3/4" N 80'-11 7/8" W 66'-8 1/4"	294'-6 1/2"





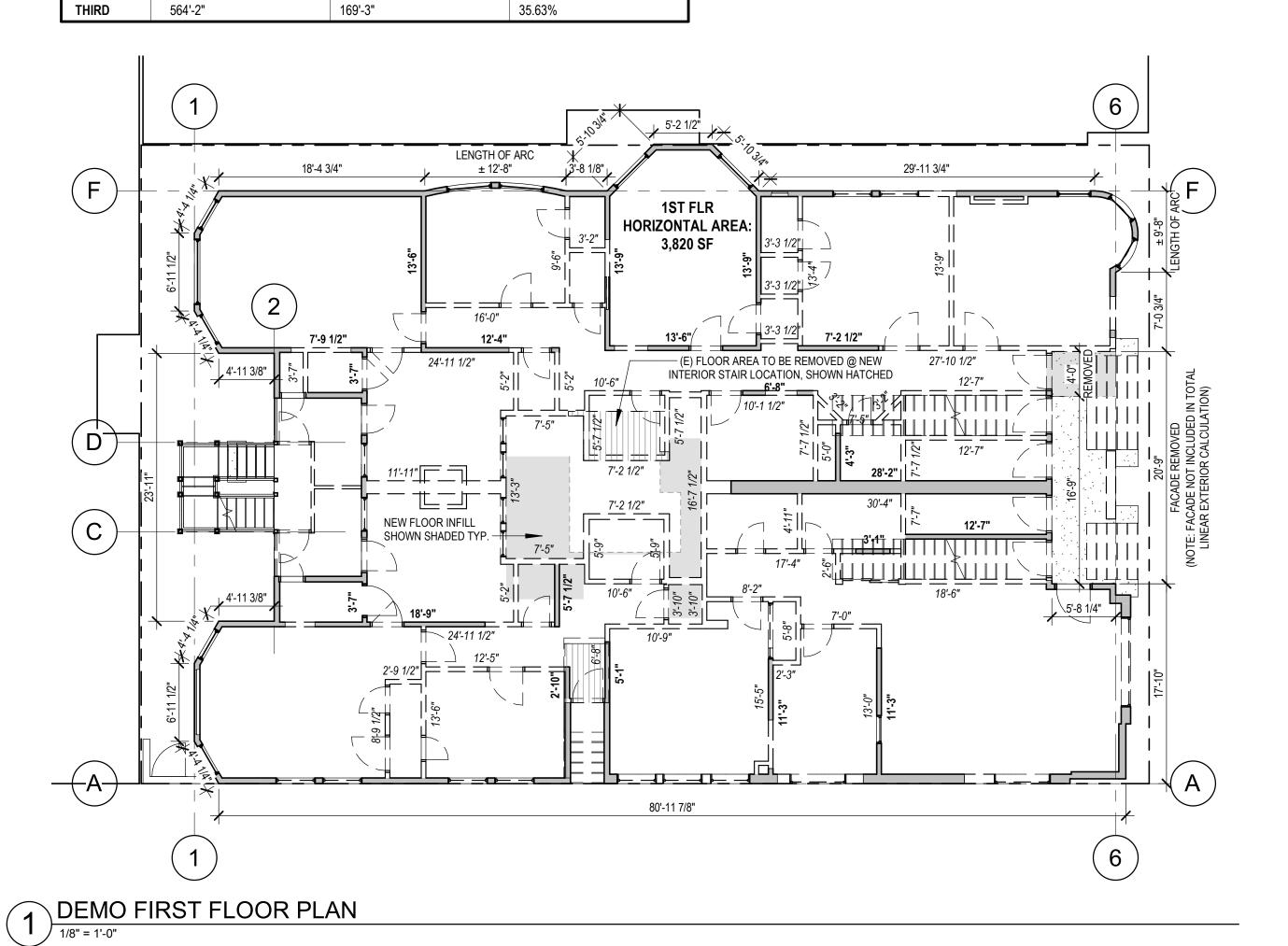
2 DEMO SECOND FLOOR PLAN

1/8" = 1'-0"

DEMOLITION PERCENTAGES:

LINEAR FEET OF (E) INTERNAL WALLS PER FLOOR LEVEL

LINEAR FEET OF (E) INTERNAL WALLS PER FLOOR LEVEL			
LEVEL	TOTAL (E) LINEAR FEET EXISTING WALLS	EXISTING WALLS LINEAR FEET TO REMAIN	PERCENTAGE TO REMAIN
FIRST	622'-4"	186'-8"	31.90%
SECOND	656'-2"	196'-10"	30.07%



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34 STEINER STREET

ADDITIONS / ALTERATIONS TO EXISTING UNITS -DENSITY INCREASE

0875 / 013 BPA# 2018-0912-9872

DEMO FLOOR PLANS

DATE 07/17/2019

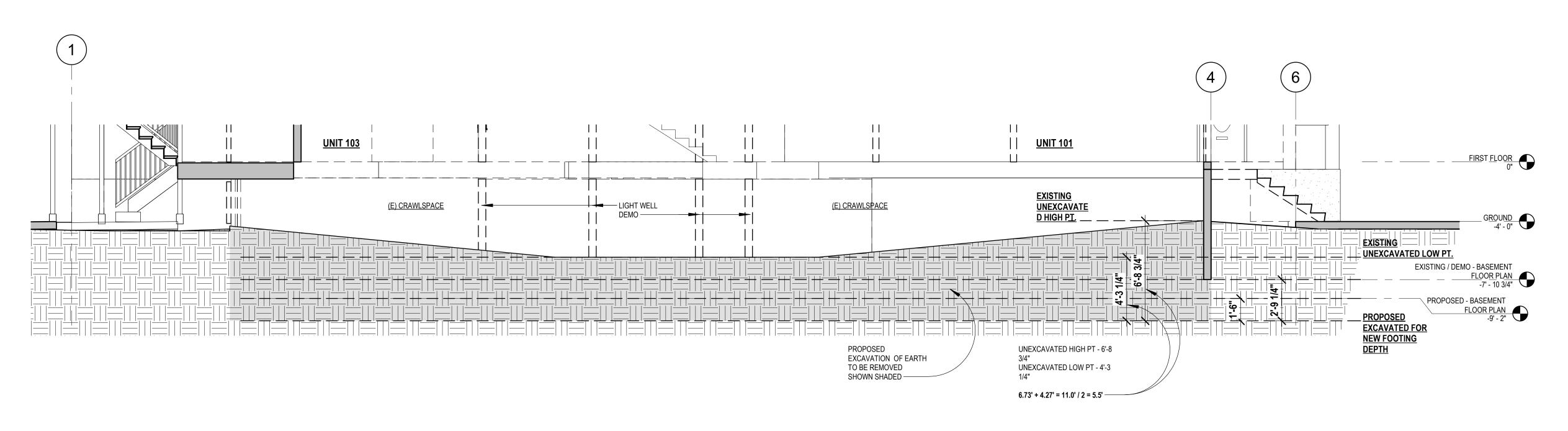
SCALE As indicated

DRAWN BY Author

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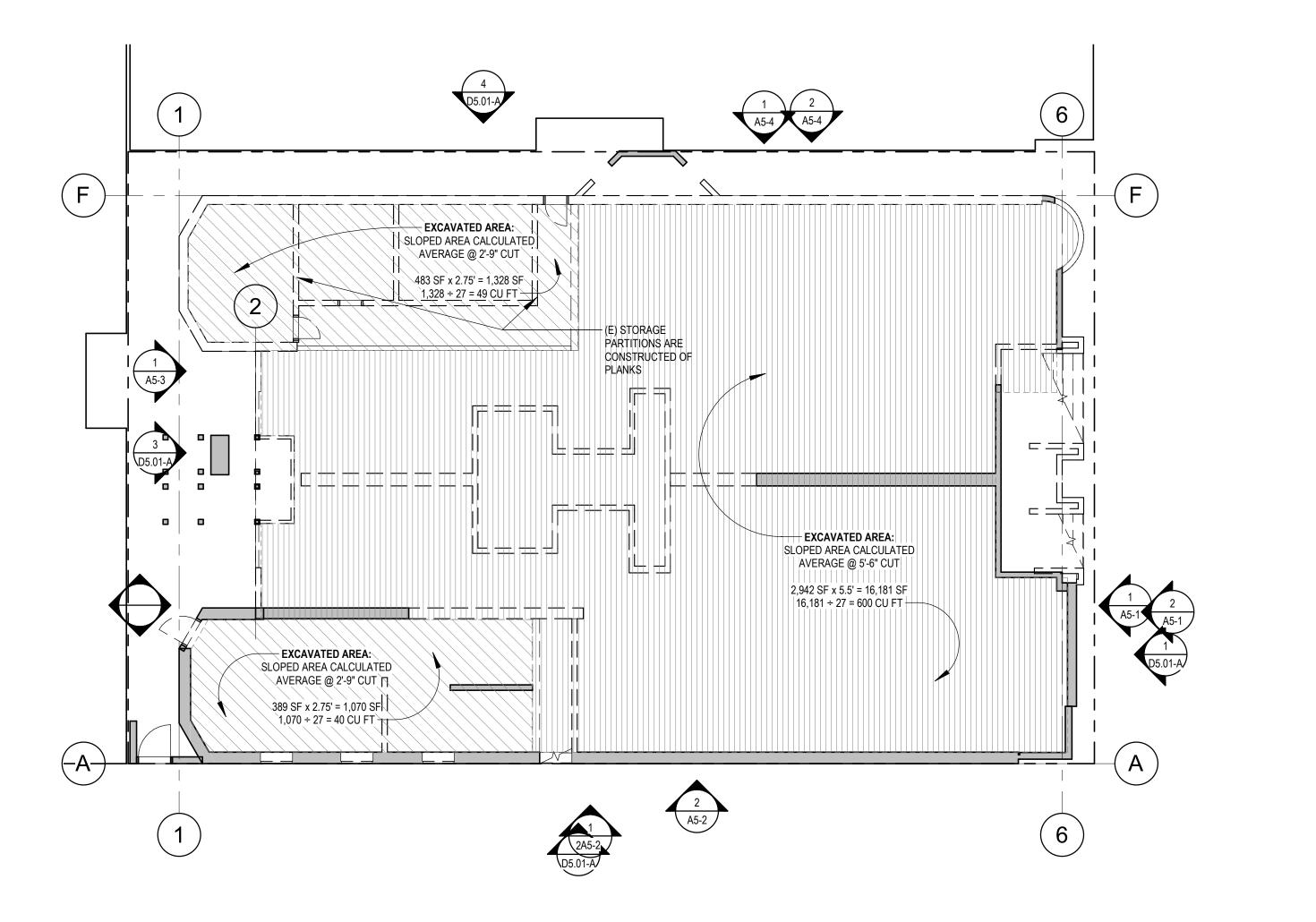
D2.01

JOB NO.



PROPOSED EXCAVATION

1/4" = 1'-0"



1 EXISTING / DEMO - BASEMENT EXCAVATION PLAN

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34 STEINER STREET

ADDITIONS / ALTERATIONS TO EXISTING UNITS -DENSITY INCREASE

0875 / 013 **BPA# 2018-0912-9872**

DEMO EXCAVATION PLAN -BASEMENT

DATE 07/17/2019

SCALE As indicated

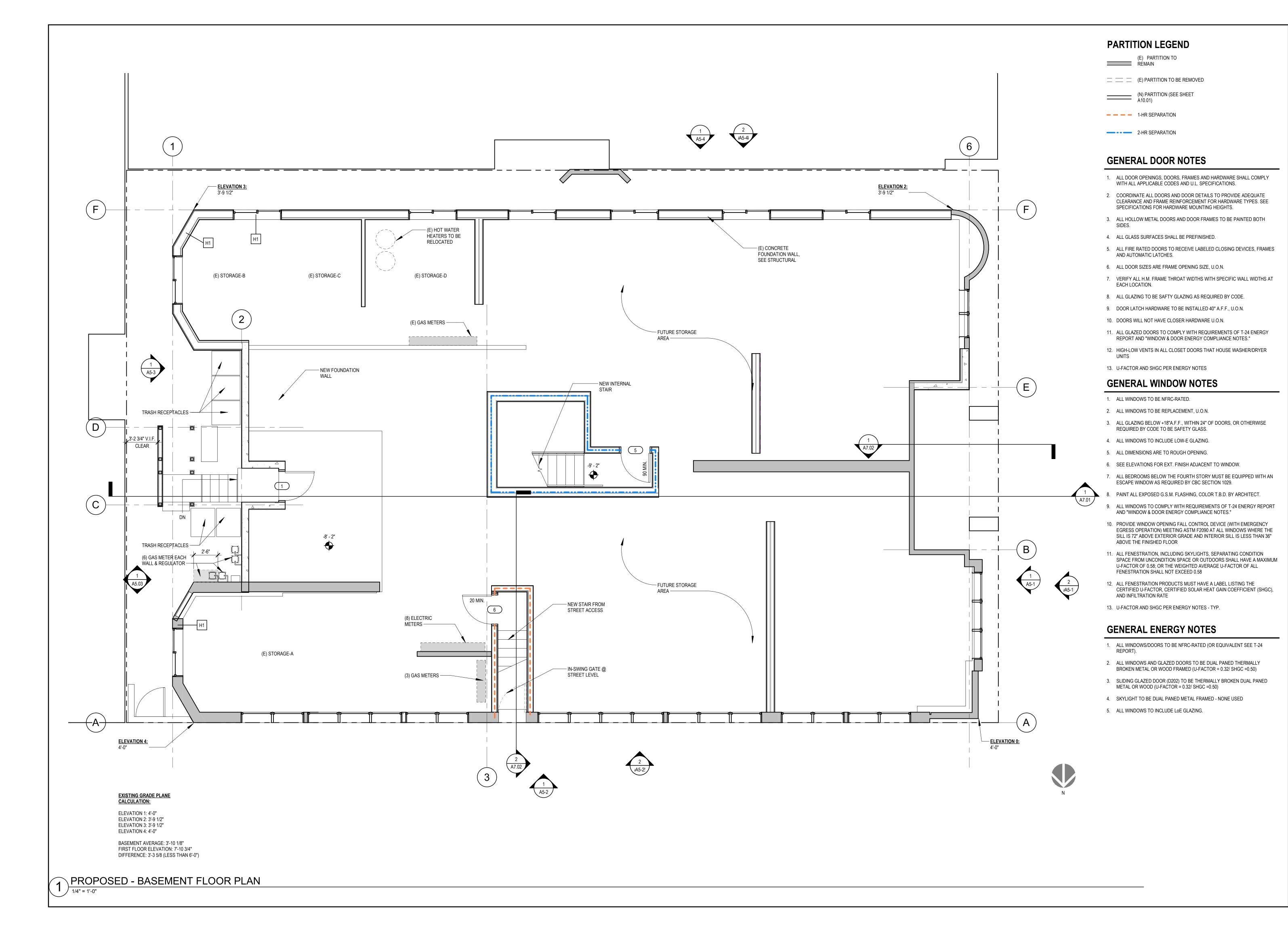
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JOB NO. 18

D2.02





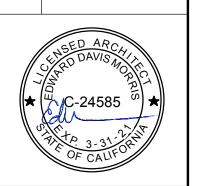
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Revisions

PLAN CK 1



34 STEINER STREET

ADDITIONS / ALTERATIONS TO EXISTING UNITS -DENSITY INCREASE

0875 / 013 BPA# 2018-0912-9872

PROPOSED -BASEMENT FLOOR PLAN

DATE 07/17/2019

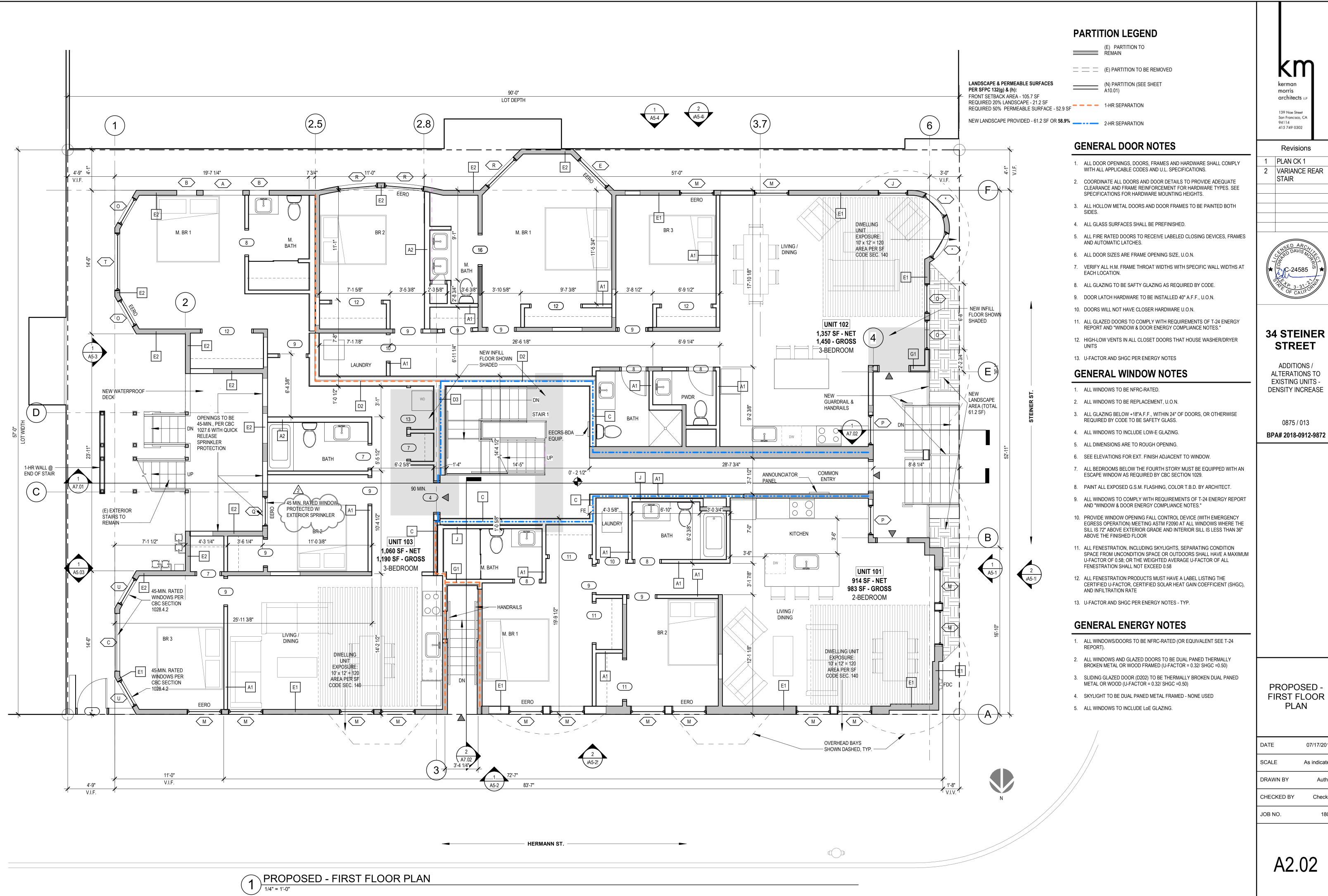
SCALE As indicated

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JOB NO. 180

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Revisions

PLAN CK 1

VARIANCE REAR

C-24585

34 STEINER STREET

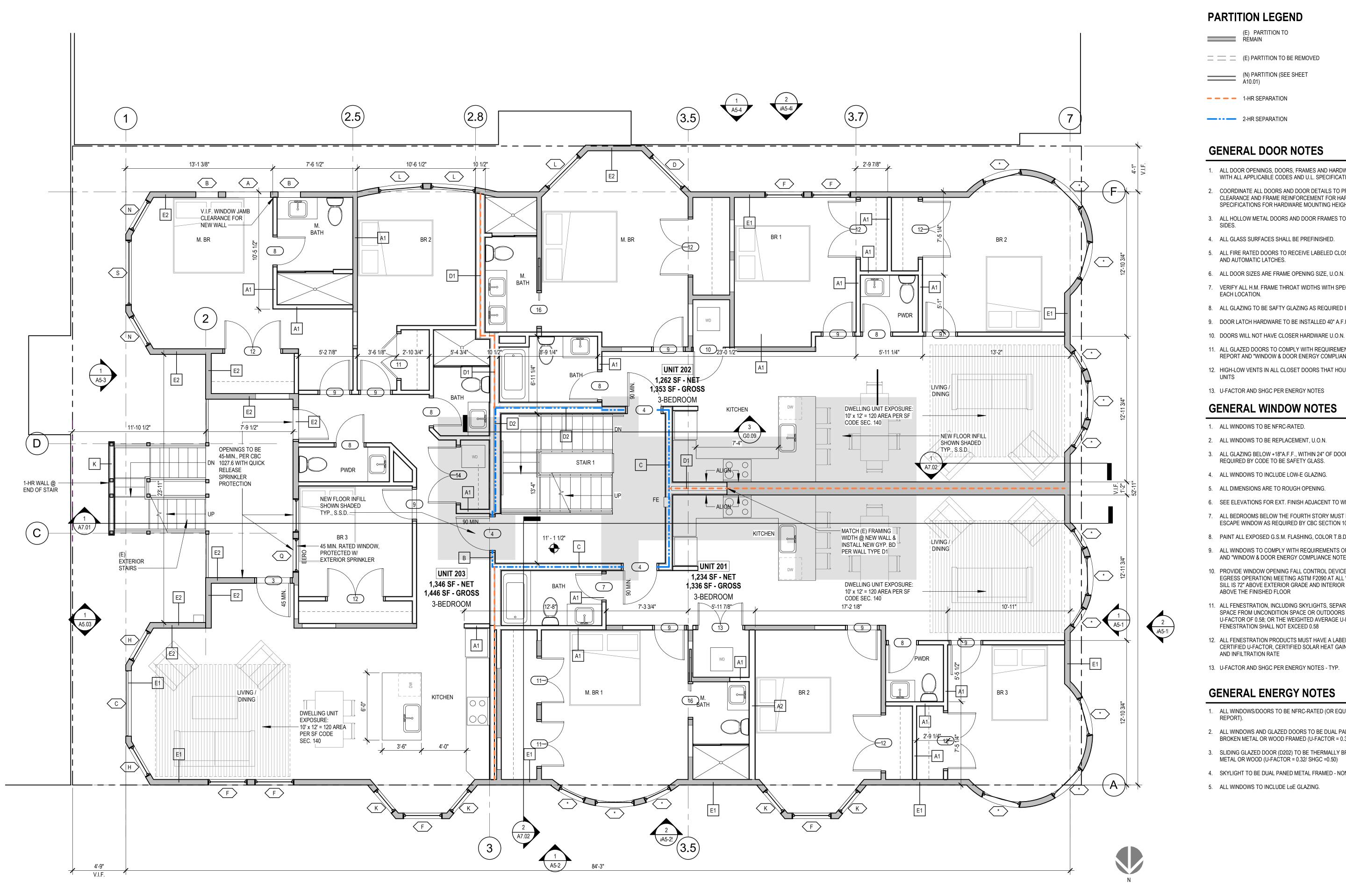
ADDITIONS / **ALTERATIONS TO EXISTING UNITS -**

0875 / 013

PROPOSED -FIRST FLOOR PLAN

07/17/2019 As indicated DRAWN BY Author

Checker



PARTITION LEGEND

(E) PARTITION TO RÉMAIN

__ __ (E) PARTITION TO BE REMOVED



- - - 1-HR SEPARATION

GENERAL DOOR NOTES

- 1. ALL DOOR OPENINGS, DOORS, FRAMES AND HARDWARE SHALL COMPLY WITH ALL APPLICABLE CODES AND U.L. SPECIFICATIONS.
- 2. COORDINATE ALL DOORS AND DOOR DETAILS TO PROVIDE ADEQUATE CLEARANCE AND FRAME REINFORCEMENT FOR HARDWARE TYPES. SEE SPECIFICATIONS FOR HARDWARE MOUNTING HEIGHTS.
- 3. ALL HOLLOW METAL DOORS AND DOOR FRAMES TO BE PAINTED BOTH
- 4. ALL GLASS SURFACES SHALL BE PREFINISHED.
- 5. ALL FIRE RATED DOORS TO RECEIVE LABELED CLOSING DEVICES, FRAMES AND AUTOMATIC LATCHES.
- 7. VERIFY ALL H.M. FRAME THROAT WIDTHS WITH SPECIFIC WALL WIDTHS AT EACH LOCATION.
- 8. ALL GLAZING TO BE SAFTY GLAZING AS REQUIRED BY CODE.
- 9. DOOR LATCH HARDWARE TO BE INSTALLED 40" A.F.F., U.O.N.
- 10. DOORS WILL NOT HAVE CLOSER HARDWARE U.O.N.
- 11. ALL GLAZED DOORS TO COMPLY WITH REQUIREMENTS OF T-24 ENERGY REPORT AND "WINDOW & DOOR ENERGY COMPLIANCE NOTES."
- 12. HIGH-LOW VENTS IN ALL CLOSET DOORS THAT HOUSE WASHER/DRYER
- 13. U-FACTOR AND SHGC PER ENERGY NOTES

GENERAL WINDOW NOTES

- ALL WINDOWS TO BE NFRC-RATED.
- 2. ALL WINDOWS TO BE REPLACEMENT, U.O.N.
- 3. ALL GLAZING BELOW +18"A.F.F., WITHIN 24" OF DOORS, OR OTHERWISE REQUIRED BY CODE TO BE SAFETY GLASS.
- 4. ALL WINDOWS TO INCLUDE LOW-E GLAZING.
- 5. ALL DIMENSIONS ARE TO ROUGH OPENING.
- 6. SEE ELEVATIONS FOR EXT. FINISH ADJACENT TO WINDOW.
- 7. ALL BEDROOMS BELOW THE FOURTH STORY MUST BE EQUIPPED WITH AN ESCAPE WINDOW AS REQUIRED BY CBC SECTION 1029.
- 8. PAINT ALL EXPOSED G.S.M. FLASHING, COLOR T.B.D. BY ARCHITECT.
- 9. ALL WINDOWS TO COMPLY WITH REQUIREMENTS OF T-24 ENERGY REPORT AND "WINDOW & DOOR ENERGY COMPLIANCE NOTES."
- 10. PROVIDE WINDOW OPENING FALL CONTROL DEVICE (WITH EMERGENCY EGRESS OPERATION) MEETING ASTM F2090 AT ALL WINDOWS WHERE THE SILL IS 72" ABOVE EXTERIOR GRADE AND INTERIOR SILL IS LESS THAN 36" ABOVE THE FINISHED FLOOR
- 11. ALL FENESTRATION, INCLUDING SKYLIGHTS, SEPARATING CONDITION SPACE FROM UNCONDITION SPACE OR OUTDOORS SHALL HAVE A MAXIMUM U-FACTOR OF 0.58; OR THE WEIGHTED AVERAGE U-FACTOR OF ALL FENESTRATION SHALL NOT EXCEED 0.58
- 12. ALL FENESTRATION PRODUCTS MUST HAVE A LABEL LISTING THE CERTIFIED U-FACTOR, CERTIFIED SOLAR HEAT GAIN COEFFICIENT (SHGC), AND INFILTRATION RATE
- 13. U-FACTOR AND SHGC PER ENERGY NOTES TYP.

GENERAL ENERGY NOTES

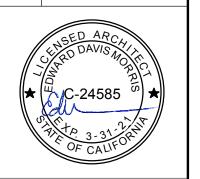
- 1. ALL WINDOWS/DOORS TO BE NFRC-RATED (OR EQUIVALENT SEE T-24
- 2. ALL WINDOWS AND GLAZED DOORS TO BE DUAL PANED THERMALLY BROKEN METAL OR WOOD FRAMED (U-FACTOR = 0.32/ SHGC =0.50)
- 3. SLIDING GLAZED DOOR (D202) TO BE THERMALLY BROKEN DUAL PANED METAL OR WOOD (U-FACTOR = 0.32/ SHGC =0.50)
- 4. SKYLIGHT TO BE DUAL PANED METAL FRAMED NONE USED
- 5. ALL WINDOWS TO INCLUDE LoE GLAZING.



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Revisions

PLAN CK 1



34 STEINER STREET

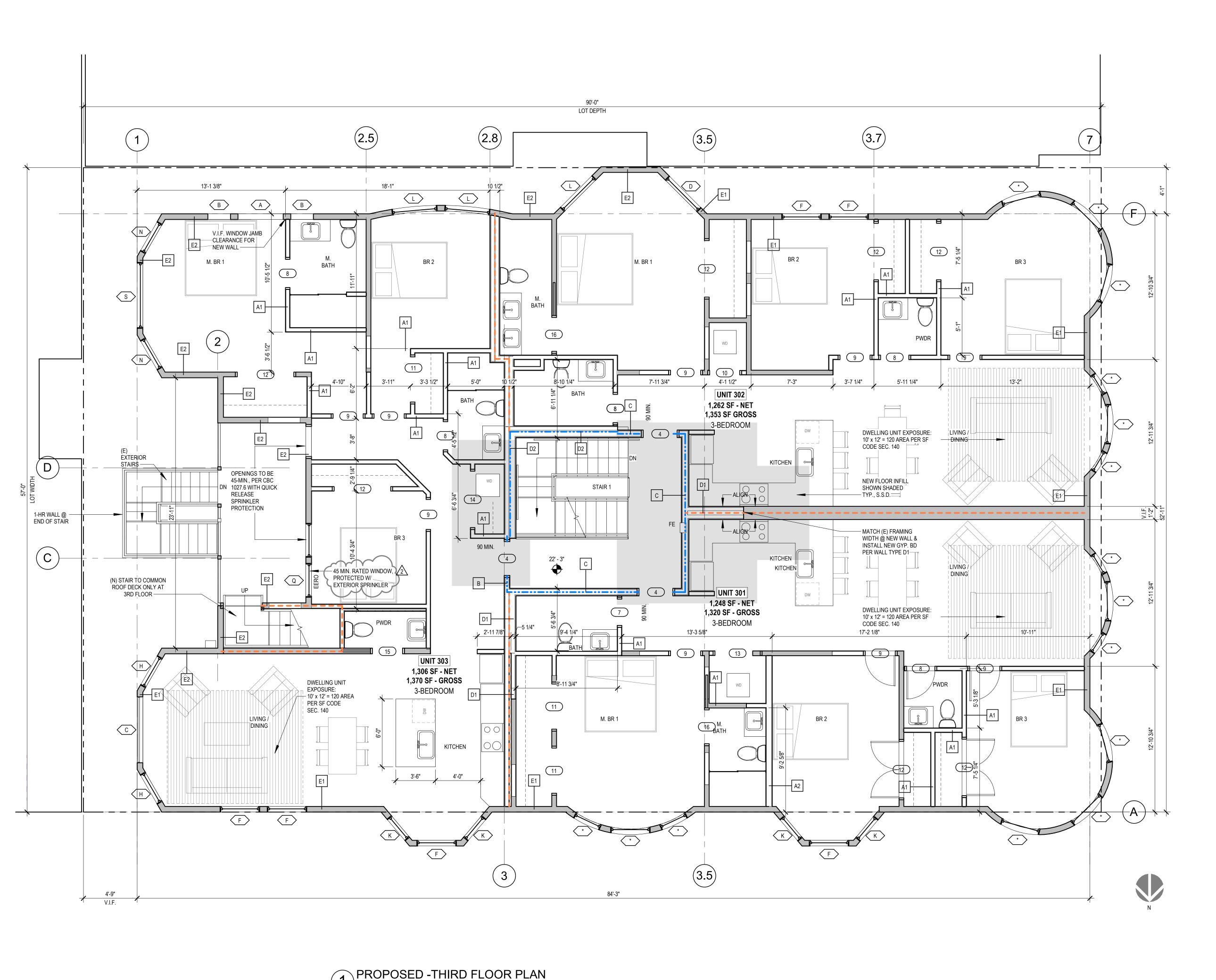
ADDITIONS / **ALTERATIONS TO EXISTING UNITS -**DENSITY INCREASE

0875 / 013 BPA# 2018-0912-9872

PROPOSED -SECOND FLOOR PLAN

DATE 07/17/2019 SCALE As indicated DRAWN BY CHECKED BY Checker

JOB NO.



PARTITION LEGEND

(E) PARTITION TO REMAIN

__ __ (E) PARTITION TO BE REMOVED

(N) PARTITION (SEE SHEET A10.01)

- - - 1-HR SEPARATION

2-HR SEPARATION

GENERAL DOOR NOTES

- 1. ALL DOOR OPENINGS, DOORS, FRAMES AND HARDWARE SHALL COMPLY WITH ALL APPLICABLE CODES AND U.L. SPECIFICATIONS.
- 2. COORDINATE ALL DOORS AND DOOR DETAILS TO PROVIDE ADEQUATE CLEARANCE AND FRAME REINFORCEMENT FOR HARDWARE TYPES. SEE SPECIFICATIONS FOR HARDWARE MOUNTING HEIGHTS.
- 3. ALL HOLLOW METAL DOORS AND DOOR FRAMES TO BE PAINTED BOTH
- 4. ALL GLASS SURFACES SHALL BE PREFINISHED.
- 5. ALL FIRE RATED DOORS TO RECEIVE LABELED CLOSING DEVICES, FRAMES AND AUTOMATIC LATCHES.
- 6. ALL DOOR SIZES ARE FRAME OPENING SIZE, U.O.N.
- 7. VERIFY ALL H.M. FRAME THROAT WIDTHS WITH SPECIFIC WALL WIDTHS AT EACH LOCATION.
- 8. ALL GLAZING TO BE SAFTY GLAZING AS REQUIRED BY CODE.
- 9. DOOR LATCH HARDWARE TO BE INSTALLED 40" A.F.F., U.O.N.
- 10. DOORS WILL NOT HAVE CLOSER HARDWARE U.O.N.
- 11. ALL GLAZED DOORS TO COMPLY WITH REQUIREMENTS OF T-24 ENERGY REPORT AND "WINDOW & DOOR ENERGY COMPLIANCE NOTES."
- 12. HIGH-LOW VENTS IN ALL CLOSET DOORS THAT HOUSE WASHER/DRYER UNITS
- 13. U-FACTOR AND SHGC PER ENERGY NOTES

GENERAL WINDOW NOTES

- 1. ALL WINDOWS TO BE NFRC-RATED.
- 2. ALL WINDOWS TO BE REPLACEMENT, U.O.N.
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- 4. ALL WINDOWS TO INCLUDE LOW-E GLAZING.
- 5. ALL DIMENSIONS ARE TO ROUGH OPENING.
- 6. SEE ELEVATIONS FOR EXT. FINISH ADJACENT TO WINDOW.
- 7. ALL BEDROOMS BELOW THE FOURTH STORY MUST BE EQUIPPED WITH AN ESCAPE WINDOW AS REQUIRED BY CBC SECTION 1029.
- 8. PAINT ALL EXPOSED G.S.M. FLASHING, COLOR T.B.D. BY ARCHITECT.
- 9. ALL WINDOWS TO COMPLY WITH REQUIREMENTS OF T-24 ENERGY REPORT AND "WINDOW & DOOR ENERGY COMPLIANCE NOTES."
- 10. PROVIDE WINDOW OPENING FALL CONTROL DEVICE (WITH EMERGENCY EGRESS OPERATION) MEETING ASTM F2090 AT ALL WINDOWS WHERE THE SILL IS 72" ABOVE EXTERIOR GRADE AND INTERIOR SILL IS LESS THAN 36" ABOVE THE FINISHED FLOOR
- 11. ALL FENESTRATION, INCLUDING SKYLIGHTS, SEPARATING CONDITION SPACE FROM UNCONDITION SPACE OR OUTDOORS SHALL HAVE A MAXIMUM U-FACTOR OF 0.58; OR THE WEIGHTED AVERAGE U-FACTOR OF ALL FENESTRATION SHALL NOT EXCEED 0.58
- 12. ALL FENESTRATION PRODUCTS MUST HAVE A LABEL LISTING THE CERTIFIED U-FACTOR, CERTIFIED SOLAR HEAT GAIN COEFFICIENT (SHGC), AND INFILTRATION RATE
- 13. U-FACTOR AND SHGC PER ENERGY NOTES TYP.

GENERAL ENERGY NOTES

- ALL WINDOWS/DOORS TO BE NFRC-RATED (OR EQUIVALENT SEE T-24 REPORT).
- 2. ALL WINDOWS AND GLAZED DOORS TO BE DUAL PANED THERMALLY BROKEN METAL OR WOOD FRAMED (U-FACTOR = 0.32/ SHGC =0.50)
- 3. SLIDING GLAZED DOOR (D202) TO BE THERMALLY BROKEN DUAL PANED METAL OR WOOD (U-FACTOR = 0.32/ SHGC =0.50)
- 4. SKYLIGHT TO BE DUAL PANED METAL FRAMED NONE USED
- 5. ALL WINDOWS TO INCLUDE LOE GLAZING.



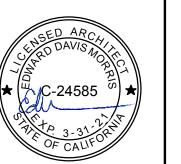
139 Noe Street San Francisco, CA 94114 415 749 0302

Revisions

PLAN CK 1

VARIANCE REAR

STAIR



34 STEINER STREET

ADDITIONS / ALTERATIONS TO EXISTING UNITS -DENSITY INCREASE

0875 / 013 BPA# 2018-0912-9872

PROPOSED -THIRD FLOOR PLAN

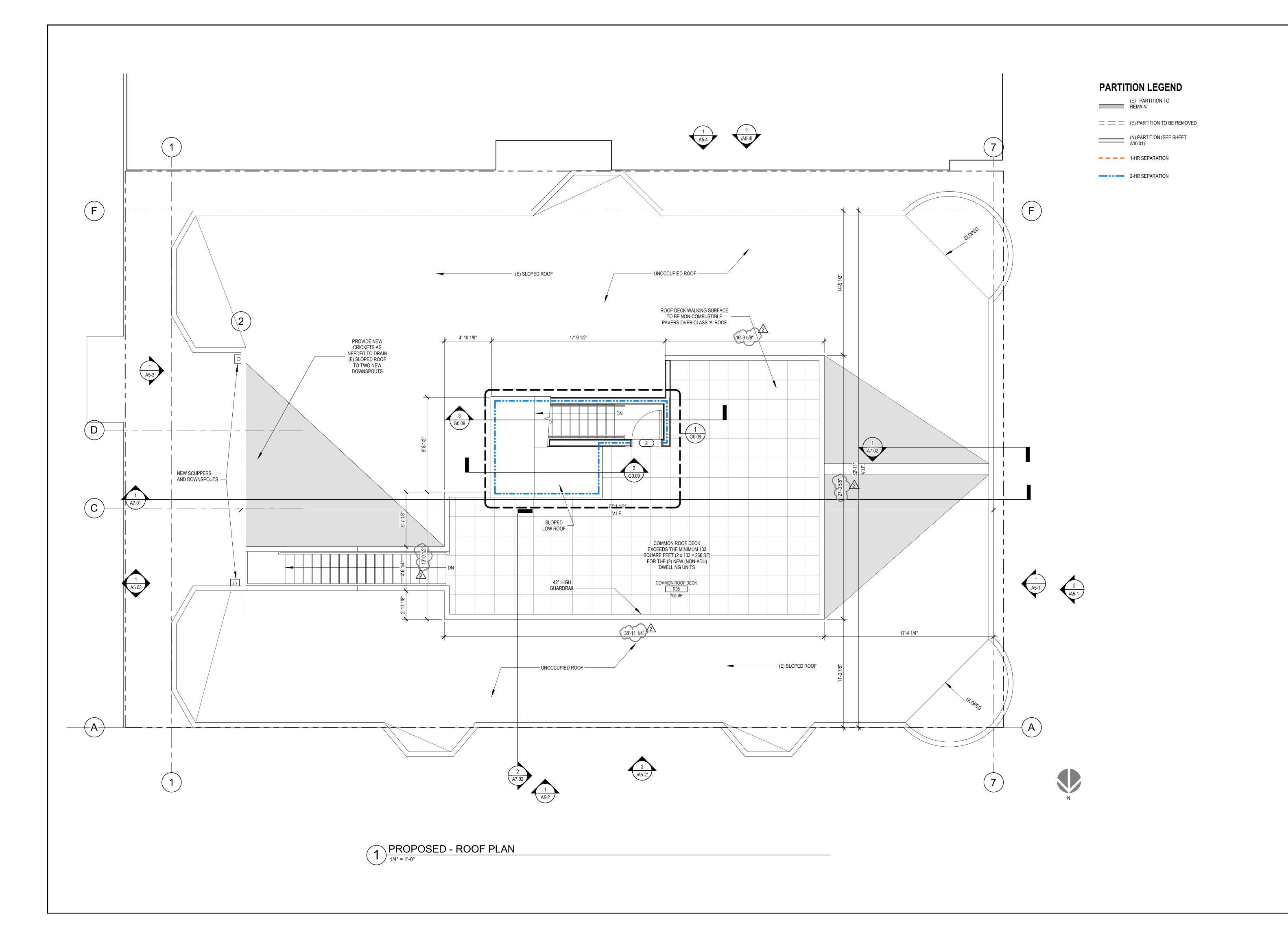
DATE 07/17/2019

SCALE As indicated

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JOB NO. 180



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Revisions

2 VARIANCE REAR STAIR

C-24585 CF CALIFORNIA

34 STEINER STREET

ADDITIONS / ALTERATIONS TO EXISTING UNITS -DENSITY INCREASE

0875 / 013 **BPA# 2018-0912-9872**

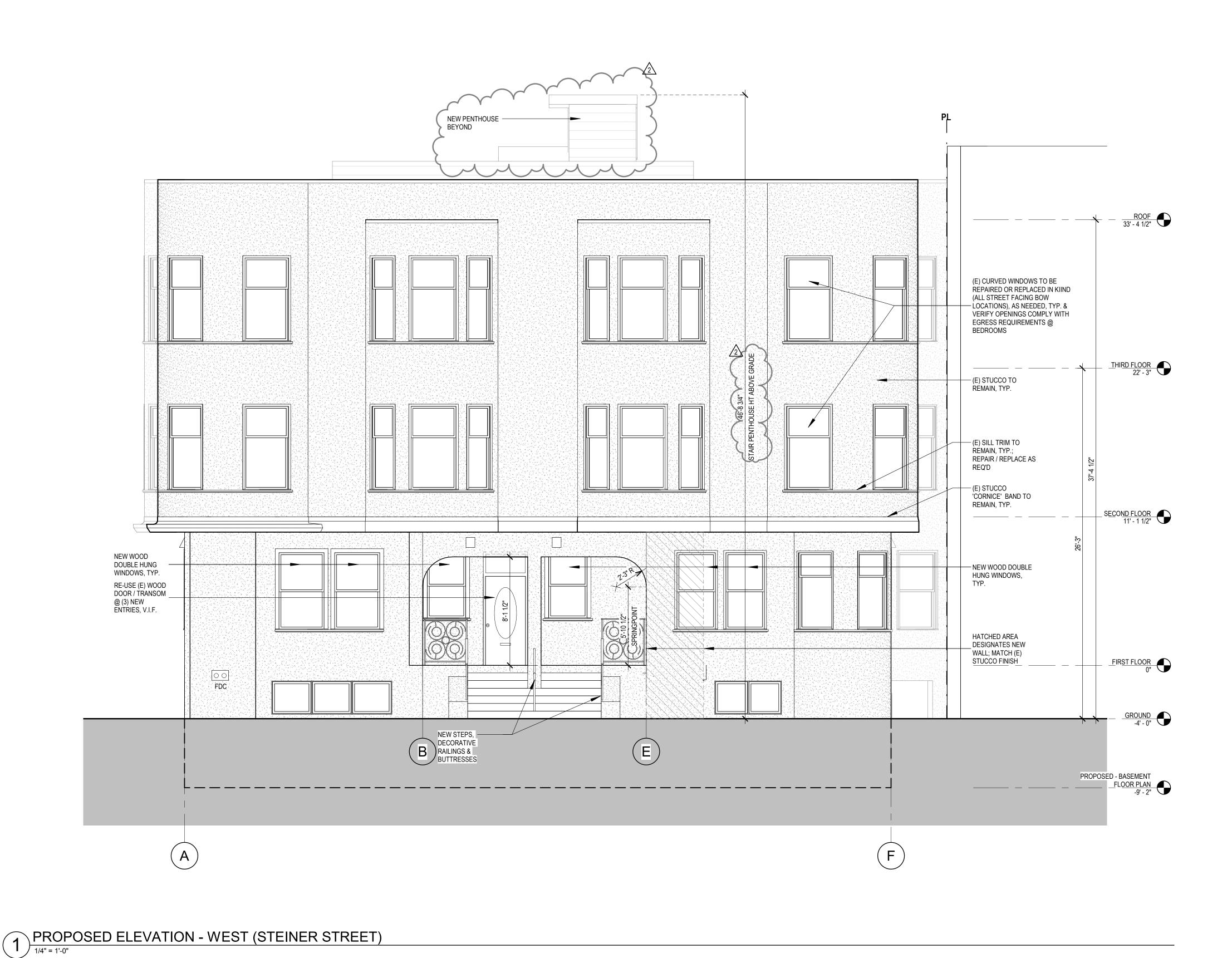
PROPOSED -ROOF PLAN

DATE 07/17/2019

SCALE As indicated

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2 VARIANCE REAR STAIR

34 STEINER STREET

ADDITIONS / ALTERATIONS TO **EXISTING UNITS -**DENSITY INCREASE

0875 / 013 BPA# 2018-0912-9872

PROPOSED -WEST **ELEVATION**

DATE 07/17/2019 1/4" = 1'-0" SCALE

DRAWN BY Checker CHECKED BY

JOB NO.



PROPOSED ELEVATION - NORTH (HERMANN STREET)

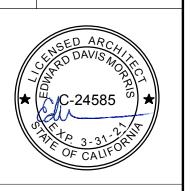
1/4" = 1'-0"

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Revisions

2 VARIANCE REAR STAIR

STAIR



34 STEINER STREET

ADDITIONS / ALTERATIONS TO EXISTING UNITS -DENSITY INCREASE

0875 / 013 BPA# 2018-0912-9872

PROPOSED -NORTH ELEVATION

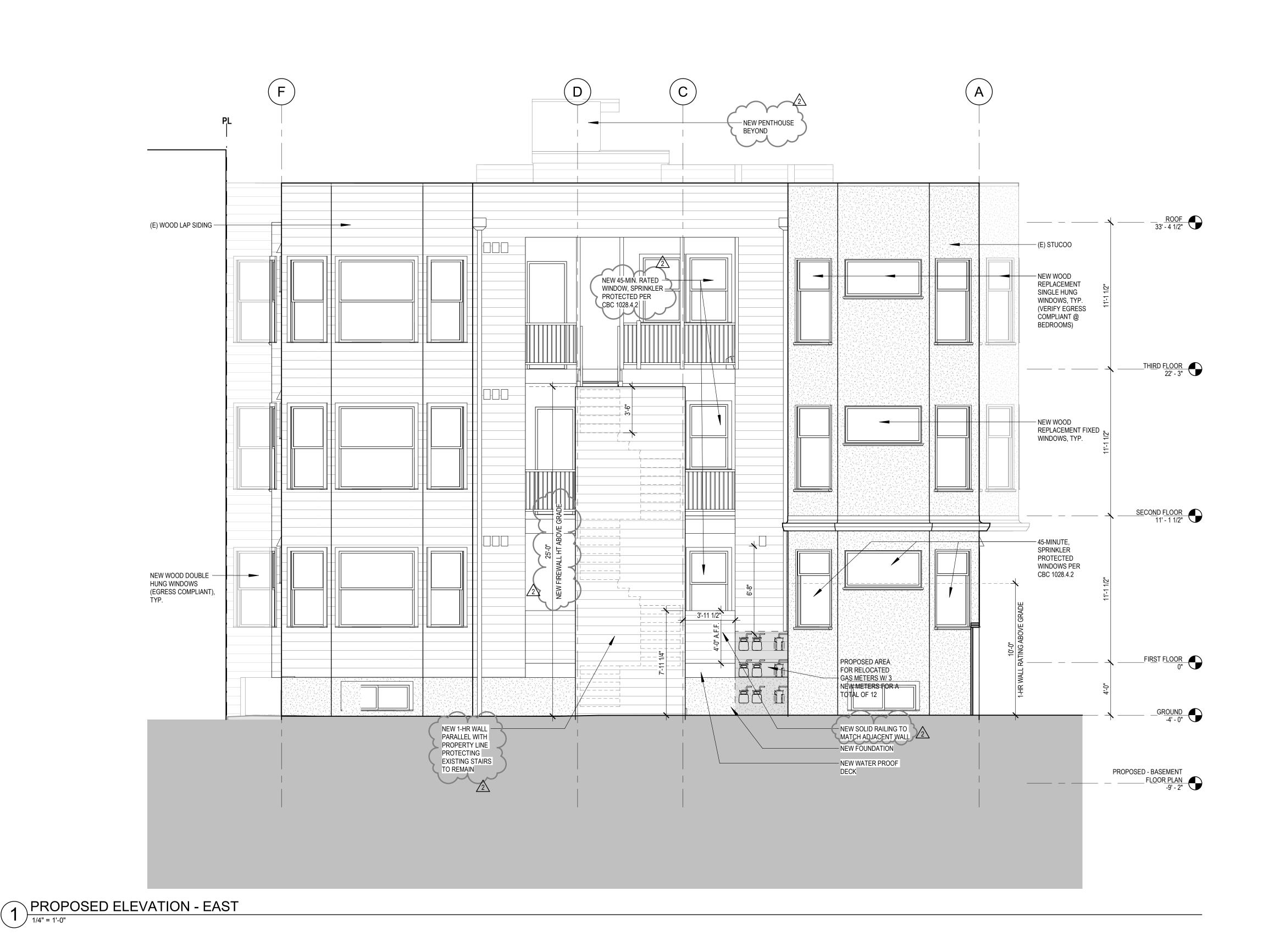
DATE 07/17/2019

SCALE 1/4" = 1'-0"

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CHECKED BY Checker

JOB NO. 1802



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1 PLAN CK 1

2 VARIANCE REAR STAIR

★ C-24585 TOF CALIFOR

34 STEINER STREET

ADDITIONS / ALTERATIONS TO EXISTING UNITS -DENSITY INCREASE

0875 / 013 **BPA# 2018-0912-9872**

PROPOSED -EAST ELEVATION

DATE 07/17/2019

SCALE 1/4" = 1'-0"

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JOB NO.



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Revisions

2 VARIANCE REAR STAIR

> SED ARCH CHAO DAVIS MORICA

★ C-24585 TOP CALIFORN

34 STEINER STREET

ADDITIONS / ALTERATIONS TO EXISTING UNITS -DENSITY INCREASE

0875 / 013 BPA# 2018-0912-9872

PROPOSED -SOUTH ELEVATION

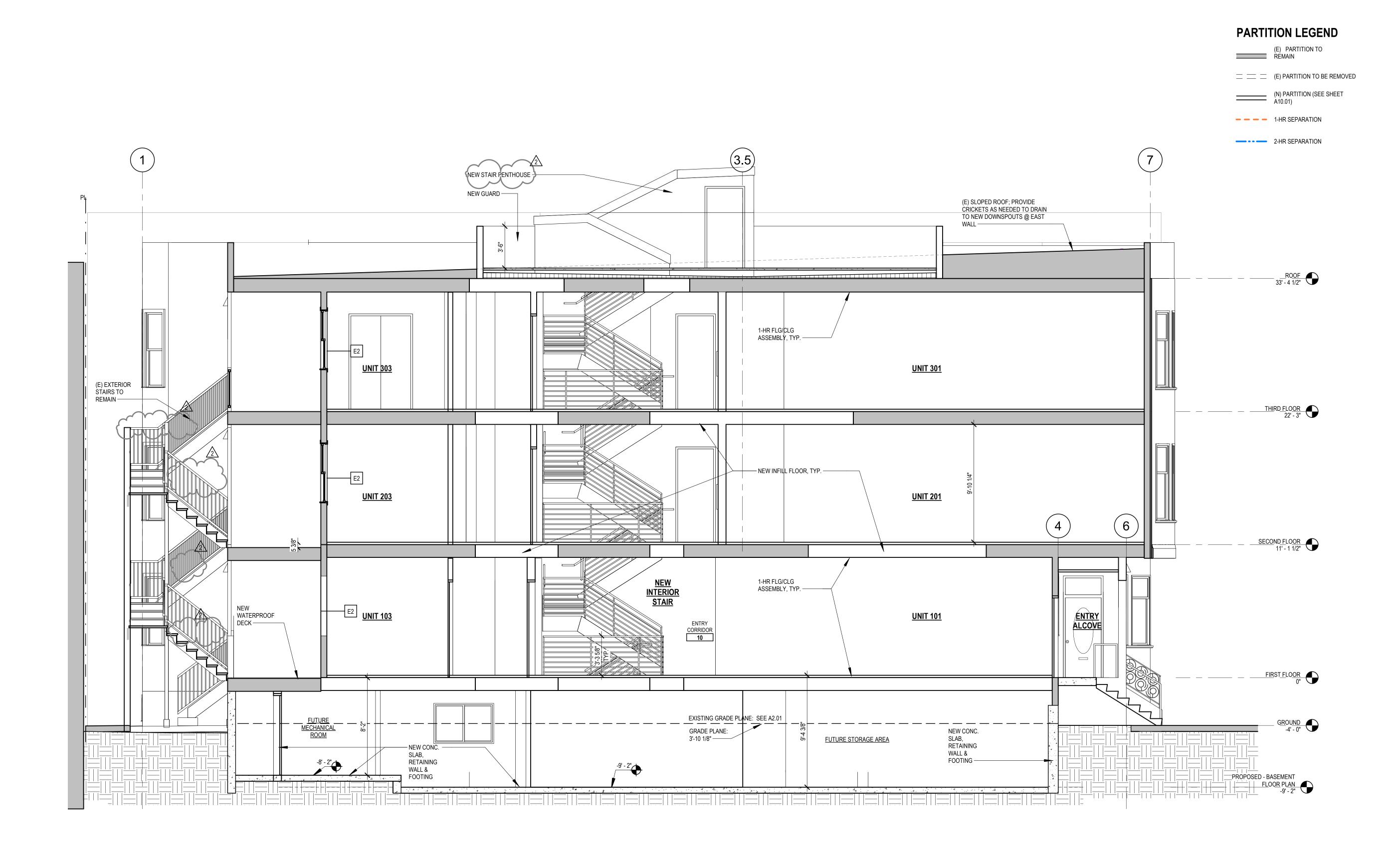
DATE 07/17/2019

SCALE 1/4" = 1'-0"

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JOB NO. 1802

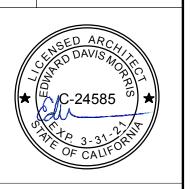


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Revisions

1 PLAN CK 12 VARIANCE REAR

STAIR



34 STEINER STREET

ADDITIONS / ALTERATIONS TO EXISTING UNITS -DENSITY INCREASE

0875 / 013 BPA# 2018-0912-9872

BUILDING SECTIONS

DATE 07/17/2019

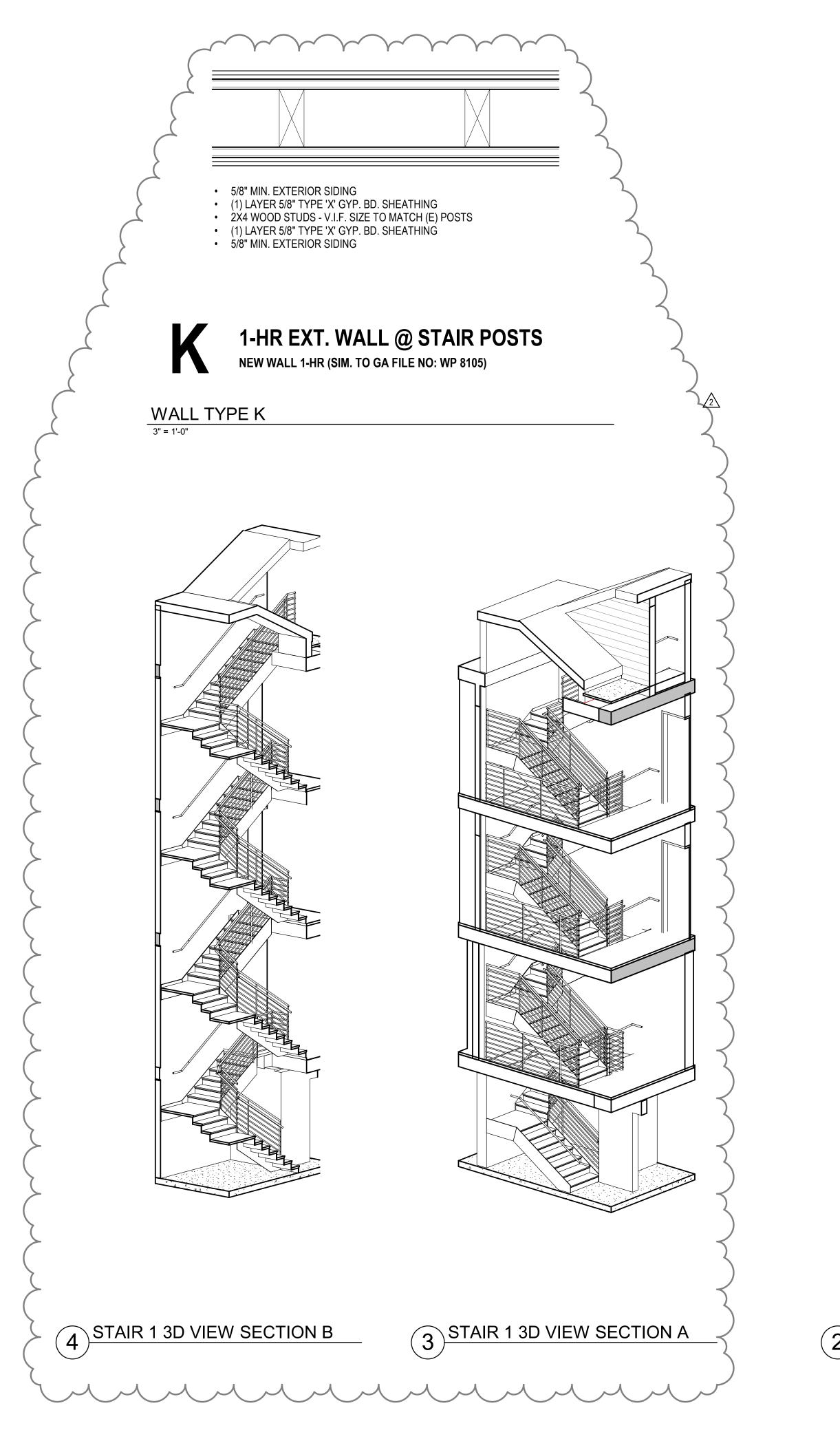
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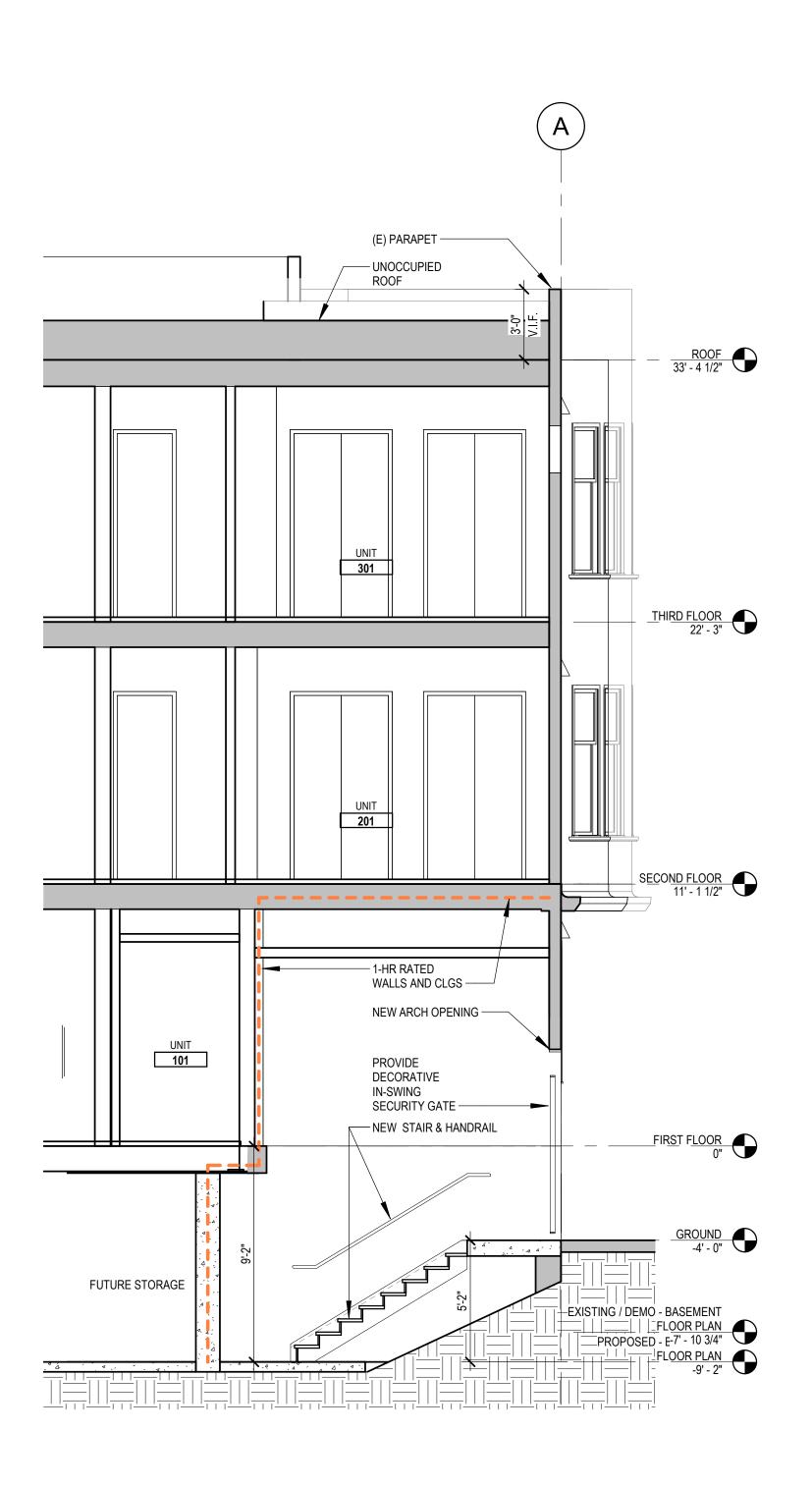
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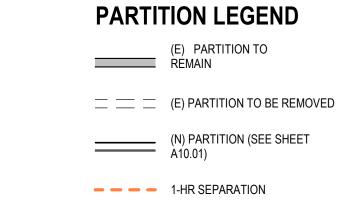
JOB NO. 1802

A7.01





2 SECTION @ NEW BASEMENT STAIR



2-HR SEPARATION

NEW DROPPED -CEILING

RE-USE (E) WOOD DOOR / TRANSOM @ (3) NEW ENTRIES, V.I.F. ADDRESSES TO BE USED

1) SECTION @ NEW ENTRY

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- ROOF 33' - 4 1/2"

THIRD FLOOR 22' - 3"

FIRST FLOOR 0"

PROPOSED - BASEMENT

FLOOR PLAN
-9' - 2"

UNIT **102**

Revisions

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1 PLAN CK 1 2 VARIANCE REAR STAIR

34 STEINER STREET

ADDITIONS / ALTERATIONS TO **EXISTING UNITS -**DENSITY INCREASE

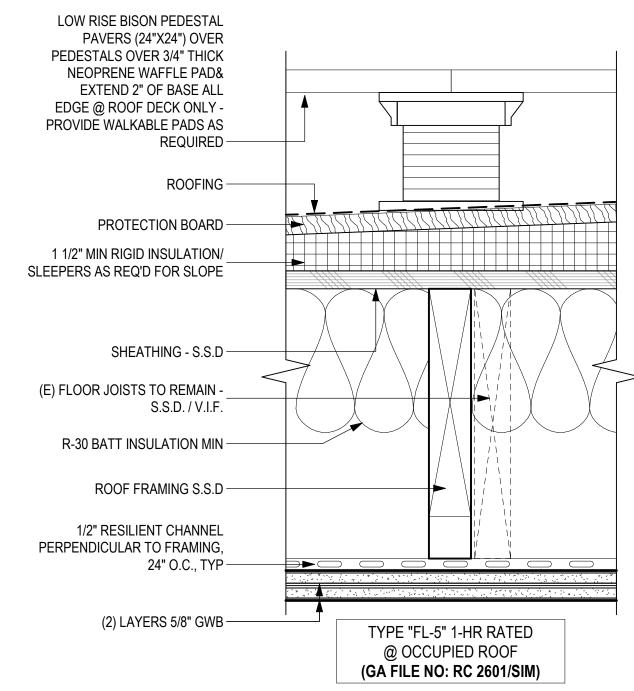
0875 / 013 BPA# 2018-0912-9872

BUILDING SECTIONS

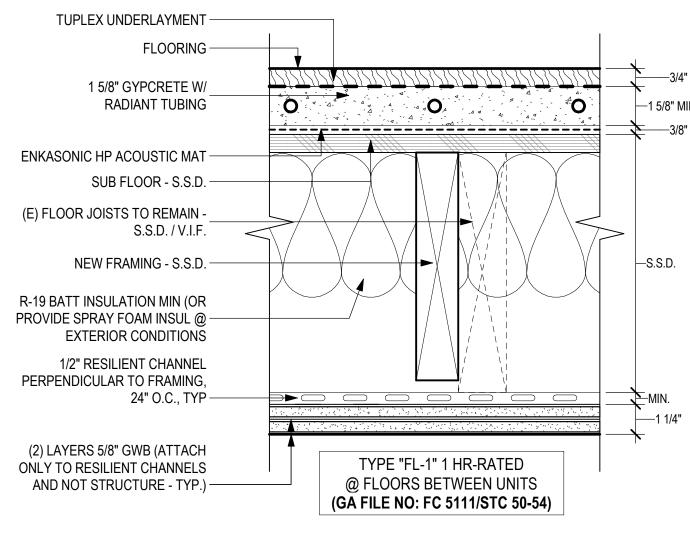
DATE 07/17/2019 As indicated DRAWN BY CHECKED BY

JOB NO.

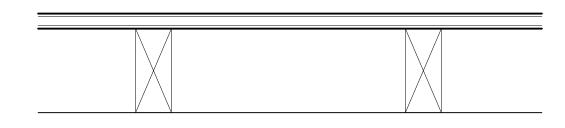
A7.02



PLOOR / CLG. @ ROOF DECK PAVERS



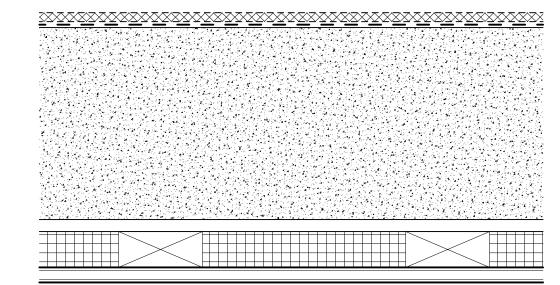
FLOOR / CEILING, TYP.



- (1) LAYER 5/8" TYPE 'X' MOISTURE RESISTANT GYP.
- BD. (INSTALLED PER GA FILE NO.)

2X4 WOOD STUDS

FURRING WALL NON-RATED



DRAINAGE MAT

 WRB CONCRETE FOUNDATION WALL, S.S.D. 2x4 FLAT FRAMED, TYP. - NO FLAT FRAMING @

• (1) LAYER 5/8" TYPE 'X' GYP. BD.

PLUMBING WALLS 1 1/2" RIGID INSULATION

H1 2X4 FLAT FRAMED **H2** 2X4 **PLUMBING**

STUD SIZES:

GYP. BD LAYERS:

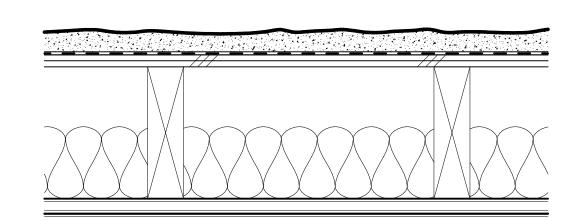
G1 1-LAYER

G2 2-LAYER

STUD SIZES:

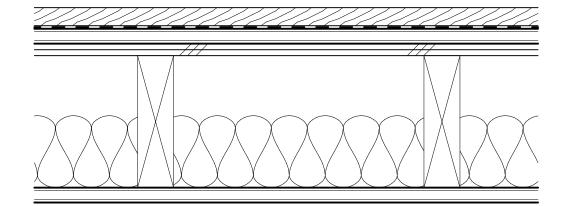
F 2x6

EXT. WALL - FOUNDATION WALL @ BASEMENT UNITS



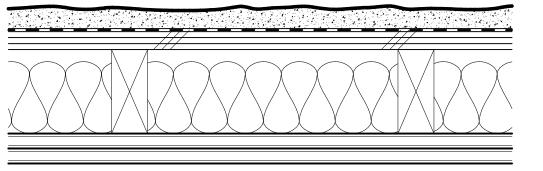
- CEMENT PLASTER
- PLYWOOD SHEATHTING S.S.D.
- 2X6 WOOD STUDS
- INSULATION R19 MIN.
- (1) LAYER 5/8" TYPE 'X' GYP. BD. (2) LAYERS TO
- FLUSH OUT WITH 2-HR WALLS

EXT. WALL - CEMENT PLASTER NEW WALL 1-HR (SIM. TO GA FILE NO: WP 8105)



- LAP SIDING (MATCH EXISTING) WRB
- (1) LAYER 5/8" TYPE 'X' GYP. SHEATHING
- PLYWOOD SHEATHTING S.S.D. 2X WOOD STUDS
- INSULATION R19 MIN.
- (1) LAYER 5/8" TYPE 'X' GYP. BD.

EXT. WALL - LAP SIDING NEW 1-HR WALL (GA FILE NO: WP 8105)



SIDING: **E1** CEMENT

E2 LAP

STUD SIZES:

<u>STUD</u>

SIZES:

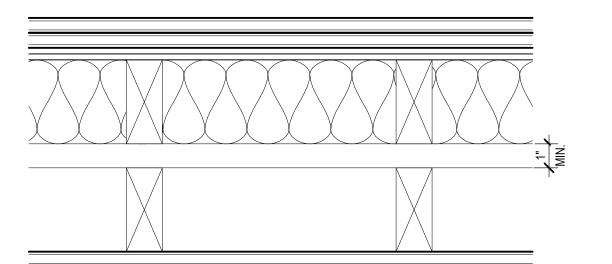
C 2x4

PLASTER

- (E) CEMENT PLASTER (OR LAP SIDING)
- (E) BLDG PAPER
- (E) SHEATHTING
- (E) WOOD STUDS NEW INSULATION - R19 MIN.
- (2) LAYERS 5/8" TYPE 'X' GYP. BD.

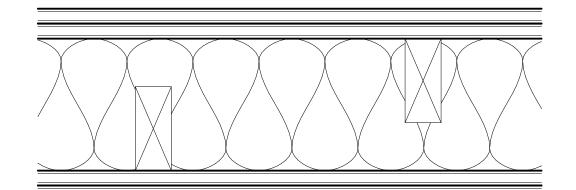
TO MAINTAIN WALL THICKNESS; FEATHER EDGE OF CEMENT PLASTER

EXT. WALL - CEMENT PLASTER (E) WALL UPGRADE TO 1-HR (SIM. TO GA FILE NO: WP 8105)



- (2) LAYERS OF 5/8" TYPE 'X' GYP. BD. (INSTALLED
- PER GA FILE NO.)
- 1/2" MIN. PLYWD SHEATH PANEL AS OCCURS,
- **D1** 2x4 **D2** 2x4/ S.S.D. 2X WOOD STUDS ON SEPARATE PLATES 1" **D3** 2x6 APART
- 3 1/2" GLASS FIBER INSULATION IN STUD CAVITY
- NOTE: TYPICAL 1-HOUR REQUIRED DEMISING WALLS, 2-HOUR SHOWN TO MEET REQUIRED ACOUSTICAL STC RATING

DEMISING WALL 2-HR STC 55 TO 59 (GA FILE NO: WP 3820)

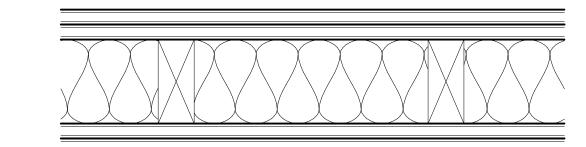


- (2) LAYER OF 5/8" TYPE 'X' GYP. BD. (INSTALLED PER GA FILE NO.) - 2X4 STAGGERED WOOD STUDS ON 2X6 PLATE - CONTINUOUS 3 1/2" GLASS FIBER INSULATION IN STUD CAVITY - (2) LAYER OF 5/8" TYPE 'X' GYP. BD.(INSTALLED PER

GA FILE NO.)



DEMISING WALL 2-HR STC 50 TO 54 (GA FILE NO: WP 5530)



(2) LAYERS 5/8" TYPE 'X' GYP. BD.

FURRING WALL

2-HR STC 55 TO 59 (GA FILE NO. WP 4135)

- 2X4 WOOD STUDS
- ACOUSTICAL INSULATION • (2) LAYERS 5/8" TYPE 'X' GYP. BD.

NOTE: MATCH NEW INFILL WALLS ADJACENT TO EXISTING CONDITIONS

• (1) LAYER 5/8" TYPE 'X' GYP. BD.

 2X WOOD STUDS @ 24" O.C. (U.O.N. S.S.D.) ACOUSTICAL INSULATION @ BATHROOMS ONLY • (1) LAYER 5/8" TYPE 'X' GYP. BD.

STUD SIZES: **A1** 2x4 **A2** 2x6



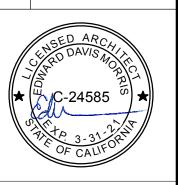
PARTITION TYPES - GENERAL NOTES

- 1. ALL STANDARD STUD FRAMING SHALL BE 16" O.C. U.O.N. ALL SHAFT WALL STUD FRAMING SHALL BE 24"
- 2. ALL GYP. BD. TO BE 5/8" THICK TYPE 'X' U.O.N. PAINT ALL EXPOSED FACES.
- 3. PROVIDE TYPE 'X' GLASS-MAT WATER-RESISTANT BACKING BOARD IN LIEU OF FINAL LAYER OF GYP.BD. INDICATED ON SCHEDULED WALL TYPES AT INTERIOR FRAMED WET WALLS, INCLUDING JANITOR'S
- 4. PROVIDE MOISTURE AND MOLD-RESISTANT TYPE X GYP BOARD AT ALL INTERIOR "HUMID" LOCATIONS INCLUDING BATHROOMS.
- 5. THE WALL TYPE ABOVE OR BELOW ANY OPENING IS TO BE THE SAME AS THAT SCHEDULED FOR EITHER SIDE OF THE OPENING. 6. DIFFERING WALL TYPES SHALL ALIGN SO THAT WALL PLANES CONTINUE UNBROKEN IN ROOMS,
- UNLESS OTHERWISE NOTED. 7. DIMENSION LOCATION FOR ALL INTERIOR WALLS IS TO THE FACE OF GYPSUM BOARD PANELS.
- 8. WALLS INDICATED AS FIRE-RATED FORM A SEPARATION THAT SHALL BE CONTINUOUS FROM FLOOR TO FLOOR ABOVE WITH NO BREAKS AT COLUMNS, BEAMS, WALL TRANSITIONS, OR OTHER OBSTRUCTIONS. AT RATED CONDITIONS PENETRATIONS SHALL BE FIRE CAULKED.
- 9. ALL INSULATION SHALL BE UNFACED R-19 AT INTERIOR FURRING ADJACENT TO UNINSULATED EXTERIOR WALLS, SUCH AS CONCRETE, CMU, AND SPANDREL PANELS IN WINDOW/CURTAIN WALLS, TYP. U.O.N. FOR CLARITY, INSULATION IS NOT SHOWN ON MANY DETAILS. INSULATION IS TO RUN CONTINUOUS AROUND FURRED COLUMNS AND OTHER OBSTRUCTIONS TO FORM A CONTINUOUS ACOUSTIC OR THERMAL BARRIER.
- 10. ACOUSTICAL WALLS SHALL INCLUDE BATT INSULATION FULL WIDTH OF STUDS AND BE SEALED AIR TIGHT, WITH ACOUSTICAL SEALANT BETWEEN GYPSUM BOARD AND CONCRETE SLABS, BEAM, COLUMNS, AND WALLS, OR STRUCTURAL STEEL MEMBERS, AROUND ALL PENETRATIONS, AND AT DISSIMILAR MATERIALS. SEE WALL TYPES THIS SHEET INDICATING A NOISE-SENSITIVE SIDE - THE NOISE-SENSITIVE SIDE
- 11. WALLS SUPPORTING CASEWORK, SHELVING, GRAB BARS, EQUIPMENT AND OTHER WALL-MOUNTED FIXTURES SHALL BE REINFORCED PER THE FIXTURE MANUFACTURER'S REQUIREMENTS AND THE REQUIREMENTS OF THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE, WHICHEVER IS GREATER.



139 Noe Street San Francisco, C 94114 415 749 0302

Revisions



34 STEINER STREET

ADDITIONS / **ALTERATIONS TO EXISTING UNITS -**DENSITY INCREASE

> 0875 / 013 BPA# 2018-0912-9872

WALL **PARTITIONS**

DATE 07/17/2019 **SCALE** 3" = 1'-0' DRAWN BY Author

Checker CHECKED BY JOB NO.

A10.01