



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377



**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, August 28, 2019**
 Time: **Not before 9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance**
 Hearing Body: **Zoning Administrator**

PROJECT INFORMATION	APPLICANT INFORMATION
Project Address: 34 Steiner Street Cross Street(s): Hermann Street Block /Lot No.: 0875 / 013 Zoning District(s): RTO / 40-X Area Plan: Market and Octavia Record Number: 2019-0002272VAR	Applicant: Toby Morris Company: Kerman Morris Architects Applicant Address: 139 Noe Street City, State: San Francisco, CA 94114 Telephone: (415) 749-0302 E-Mail: toby@kermanmorris.com

PROJECT DESCRIPTION

The proposal is to add 2 new dwelling units to the existing 7-unit building, excavate the basement level to create storage space, construct a new roof deck, add new open stairs and a separate stair penthouse to access the roof deck, and to add a firewall to the rear stairs.

Planning Code Section 134 requires the subject property to maintain a rear yard of approximately 22 feet 6 inches. The existing building projects approximately 17 feet 9 inches into the required rear yard. The proposed firewall will be located completely within the required rear yard. Therefore, a rear yard variance is required.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: To view the plans and related documents for the proposed project, visit sf-planning.org/notices and search the Project Address listed above. The plans will also be available one week prior to the hearing through the hearing agenda at: sf-planning.org/hearings or by request at the Planning Department office located at 1650 Mission Street, 4th Floor.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **David Weissglass** Telephone: **415-575-9177** E-Mail: david.weissglass@sfgov.org

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident near the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to comment on the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice to the Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

BUILDING PERMIT APPLICATION INFORMATION

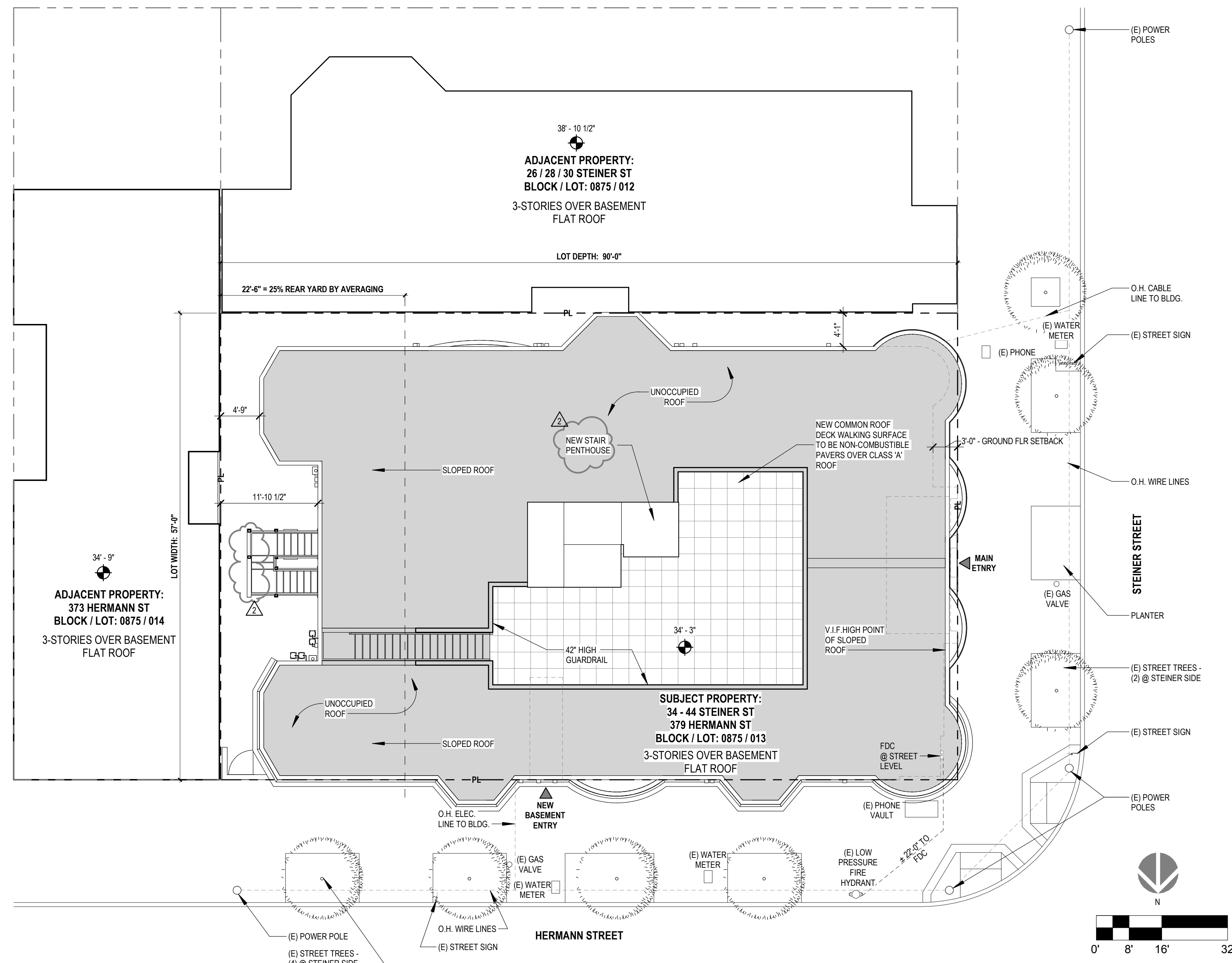
Pursuant to Planning Code Section 311, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **On July 22, 2019, the Department issued the required Section 311 notification for this project, which expires on August 21, 2019.**

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

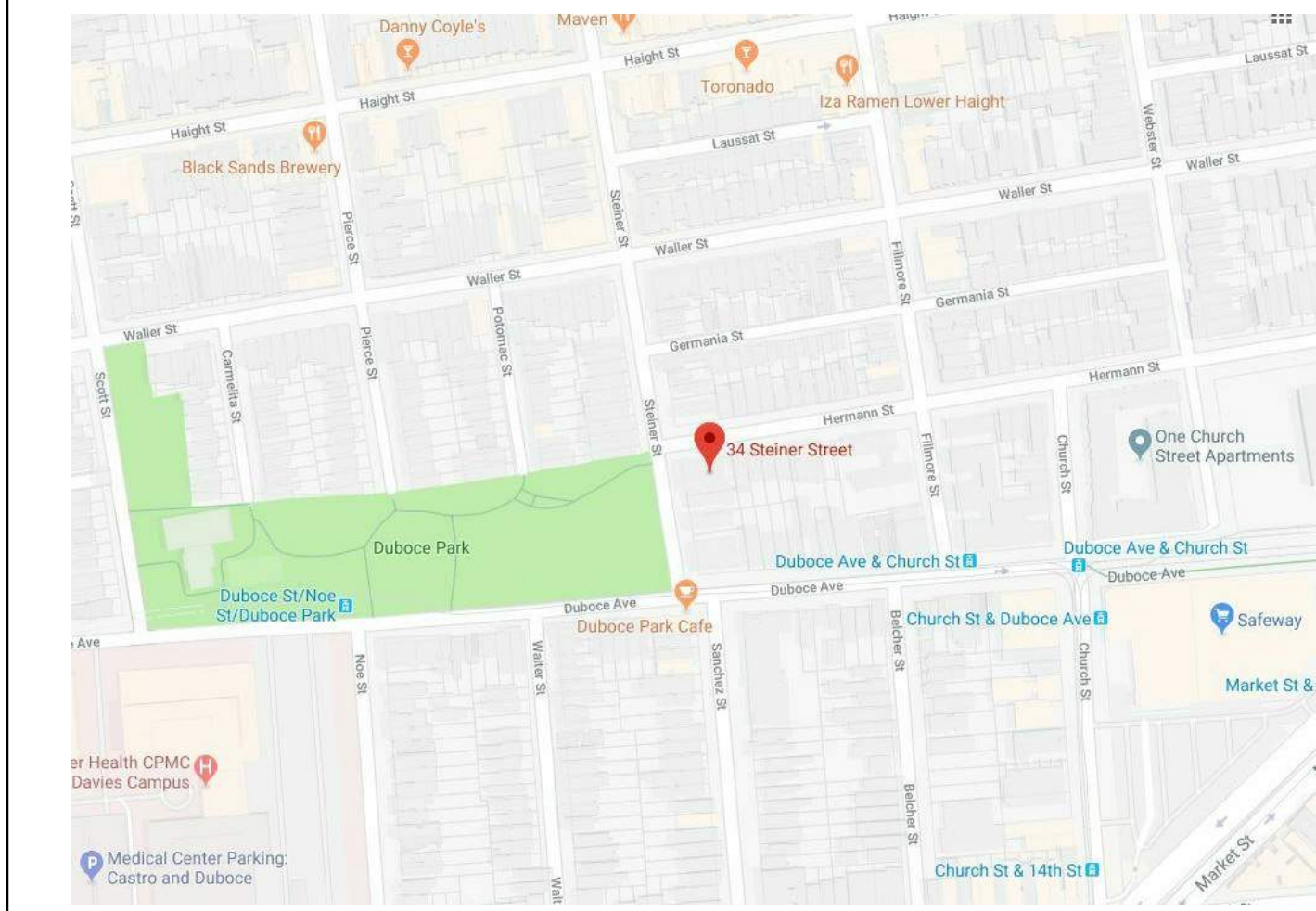
An appeal of the approval (or denial) of a **building permit application** by the Planning Department or Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.



1 SITE PLAN
1/8" = 1'-0"

LOCATION MAP:



DESCRIPTION OF WORK:

THE PROJECT PROPOSES ALTERATION OF UNITS WITH AN ADDITIONAL ONE (1) UNIT ON EACH EXISTING SECOND AND THIRD FLOORS FOR A TOTAL OF NINE (9) UNITS. BASEMENT TO BE EXCAVATED FOR STORAGE.

ALL WORK TO COMPLY WITH CURRENT LOCAL AND STATE CODES INCLUDING BUT NOT LIMITED TO: THE 2016 EDITION OF THE CALIFORNIA BUILDING CODE, THE CALIFORNIA PLUMBING CODE, THE CALIFORNIA MECHANICAL CODE, THE CALIFORNIA ELECTRICAL CODE AND THE CALIFORNIA FIRE CODE, THE CURRENT EDITIONS OF THE SAN FRANCISCO BUILDING AND PLANNING CODES, TITLE-24 ENERGY STANDARDS, ETC...

BUILDING TO BE FULLY SPRINKLERED UNDER SEPARATE PERMIT PER NFPA13 WITH 1-HOUR LID/TYPICAL W/ FIRE ALARMS & FDC. NO VARIANCES ARE REQUIRED.

THERE WILL BE NO TENANTS DISPLACED BY THE SCOPE OF THE PERMITS FOR THE REMODEL OF THE PROPERTY.

BUILDING DATA

OWNER(S): 34 - 44 STEINER LLC
T: 415 . 407 . 9400

PROJECT ADDRESS: 34 - 44 STEINER STREET / 379 HERMANN STREET
SAN FRANCISCO, CA 94117

BLOCK/LOT: 0875 / 013

ZONING DISTRICT: RTO - RESIDENTIAL TRANSIT ORIENTED DISTRICT

HEIGHT AND BULK DISTRICT: 40-X (ADDITIONAL HEIGHT PER SEC 263.20 & 145.1(b)(2))

LOT SIZE: 5,127 SQUARE FEET (90' X 57')

CONSTRUCTION TYPE: (E) TYPE-V B

OCCUPANCY(S): R-2

BUILDING AREA: EXISTING - 13,164 SF
PROPOSED - 16,733 SF

PROJECT TEAM

ARCHITECT: KERMAN MORRIS ARCHITECTS
139 NOE STREET
SAN FRANCISCO, CA 94114
CONTACT: TOBY MORRIS
T: (415) 749-0302
E: toby@kermanmorris.com

STRUCTURAL: SANTOS & URRUTIA STRUCTURAL ENGINEERS, INC.
2451 HARRISON STREET
SAN FRANCISCO, CA 94103
CONTACT: RODRIGO SANTOS
T: (415) 642-7722
E: rsantos@santossurruia.com

MEP: ACIES ENGINEERING
3371 OLCOTT STREET
SANTA CLARA, CA 95054
T: (408) 522-5255
E:



Revisions

1	PLAN CK 1
2	VARIANCE REAR STAIR

34 STEINER STREET

ADDITIONS / ALTERATIONS TO EXISTING UNITS - DENSITY INCREASE

0875 / 013
BPA# 2018-0912-9872

LEGEND:

- BLDG / WALL SECTION
- EXTERIOR ELEVATION
- COLUMN LINE
- ELEVATION MARKER
- CENTER LINE
- PROPERTY LINE
- WALL TYPE PARTITION

SHEET INDEX:

A1-1	EXISTING SITE PLAN	AE5.02	EXISTING EXTERIOR - NORTH ELEVATION
A1-2	PROPOSED SITE PLAN	AE5.03	EXISTING EXTERIOR - EAST ELEVATION
A2-1	EXISTING FLOOR PLANS	AE5.04	EXISTING EXTERIOR - SOUTH ELEVATION
A2-2	PROPOSED FLOOR PLANS	AE7.01	BUILDING SECTION EXISTING
A5-2	EXISTING / PROPOSED ELEVATIONS	D2.01	DEMO FLOOR PLANS
A5-3	EXISTING / PROPOSED ELEVATIONS	D2.02	DEMO EXCAVATION PLAN - BASEMENT
A5-4	EXISTING / PROPOSED ELEVATIONS	D5.01	DEMO EXTERIOR ELEVATIONS & CALCULATIONS
G0.01	COVER SHEET	A2.01	PROPOSED - BASEMENT FLOOR PLAN
G0.02	ABBREVIATIONS, SYMBOLS, & GENERAL NOTES	A2.02	PROPOSED - FIRST FLOOR PLAN
G0.03	EGRESS / PATH OF TRAVEL SITE PLAN	A2.03	PROPOSED - SECOND FLOOR PLAN
G0.04	TITLE-24 MANDATORY MEASURES	A2.04	PROPOSED - THIRD FLOOR PLAN
G0.06	DBI PRE-APPLICATION MEETING SUMMARY	A2.05	PROPOSED - ROOF PLAN
G0.07	SITE PHOTOS - EXISTING STORAGE ROOMS	A5.01	PROPOSED - WEST ELEVATION
G0.07.1	SITE PHOTOS	A5.02	PROPOSED - NORTH ELEVATION
G0.08	GREEN BUILDING CHECKLIST GS-5	A5.03	PROPOSED - EAST ELEVATION
G0.09	ROOF ACCESS STAIRS	A5.04	PROPOSED - SOUTH ELEVATION
AE1.01	EXISTING SITE PLAN	A7.01	BUILDING SECTIONS
AE2.01	EXISTING / DEMO - BASEMENT PLAN	A7.02	BUILDING SECTIONS
AE2.02	EXISTING / DEMO - FIRST FLOOR PLAN	A10.01	WALL PARTITIONS
AE2.03	EXISTING / DEMO - SECOND FLOOR PLAN		
AE2.04	EXISTING / DEMO - THIRD FLOOR PLAN		
AE2.05	EXISTING / DEMO - ROOF PLAN		
AE5.01	EXISTING EXTERIOR - WEST ELEVATION		

PREVAILING CODES & REGULATIONS

- 2016 CALIFORNIA BUILDING CODE WITH SAN FRANCISCO AMENDMENTS
- 2016 CALIFORNIA ELECTRICAL CODE WITH SAN FRANCISCO AMENDMENTS
- 2016 CALIFORNIA MECHANICAL CODE WITH SAN FRANCISCO AMENDMENTS
- 2016 CALIFORNIA PLUMBING CODE WITH SAN FRANCISCO AMENDMENTS
- 2016 GREEN BUILDING CODE WITH SAN FRANCISCO AMENDMENTS
- 2016 CALIFORNIA ENERGY CODE
- SAN FRANCISCO PLANNING CODE

34 STEINER STREET

ADDITIONS / ALTERATIONS TO EXISTING UNITS - DENSITY INCREASE

06/18/2019

SPRINKLERS UNDER SEPARATE PERMIT

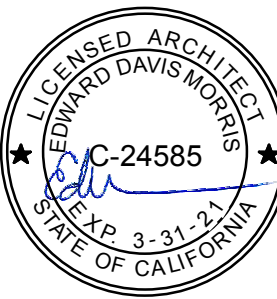
COVER SHEET

DATE	07/17/2019
SCALE	As indicated
DRAWN BY	Author
CHECKED BY	Checker
JOB NO.	1802

G0.01

Revisions

1	PLAN CK 1
2	VARIANCE REAR STAIR



34 STEINER STREET

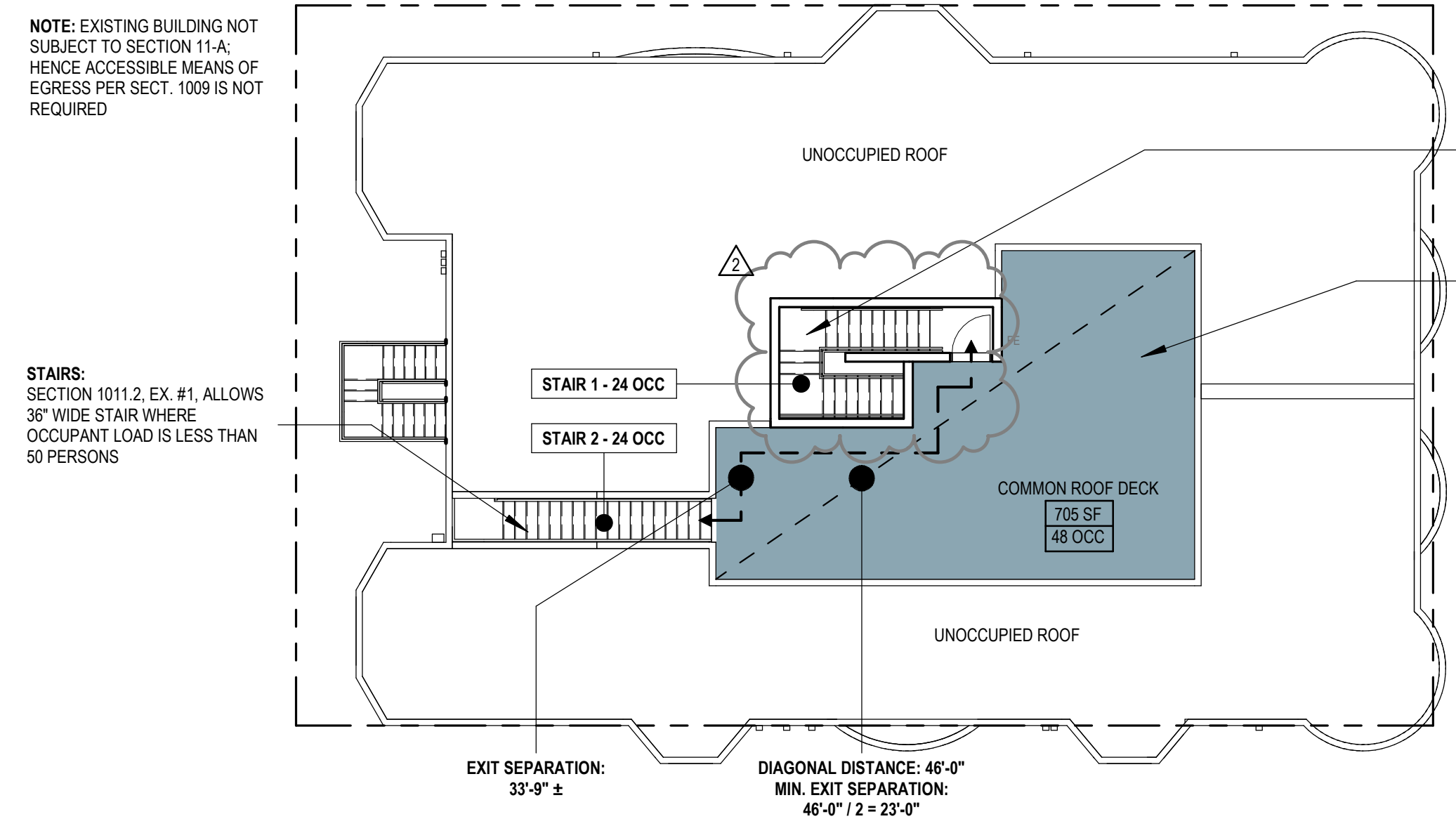
ADDITIONS / ALTERATIONS TO EXISTING UNITS - DENSITY INCREASE

0875 / 013
BPA# 2018-0912-9872

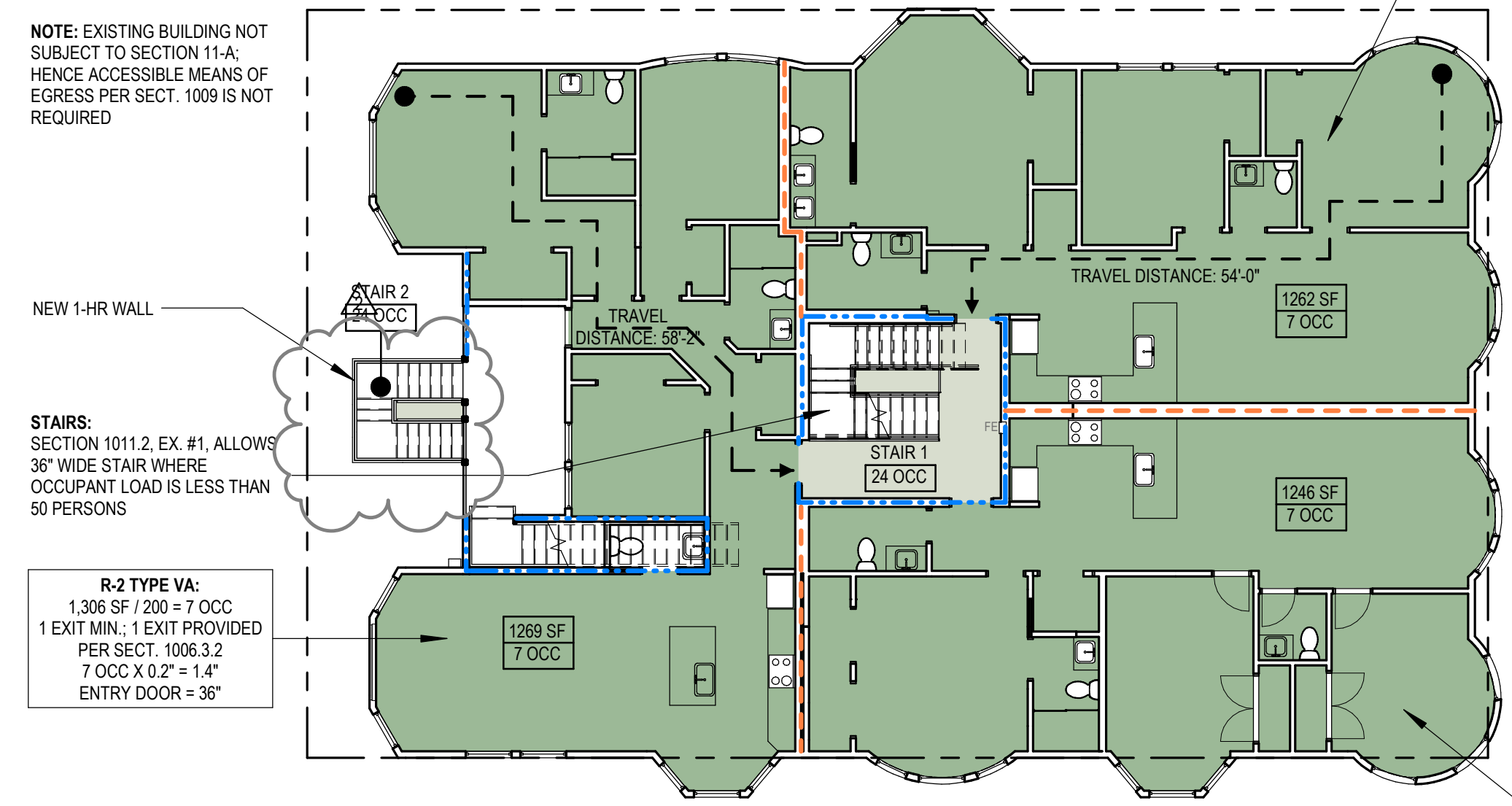
EGRESS / PATH OF TRAVEL SITE PLAN

DATE	07/17/2019
SCALE	As indicated
DRAWN BY	Author
CHECKED BY	Checker
JOB NO.	1802

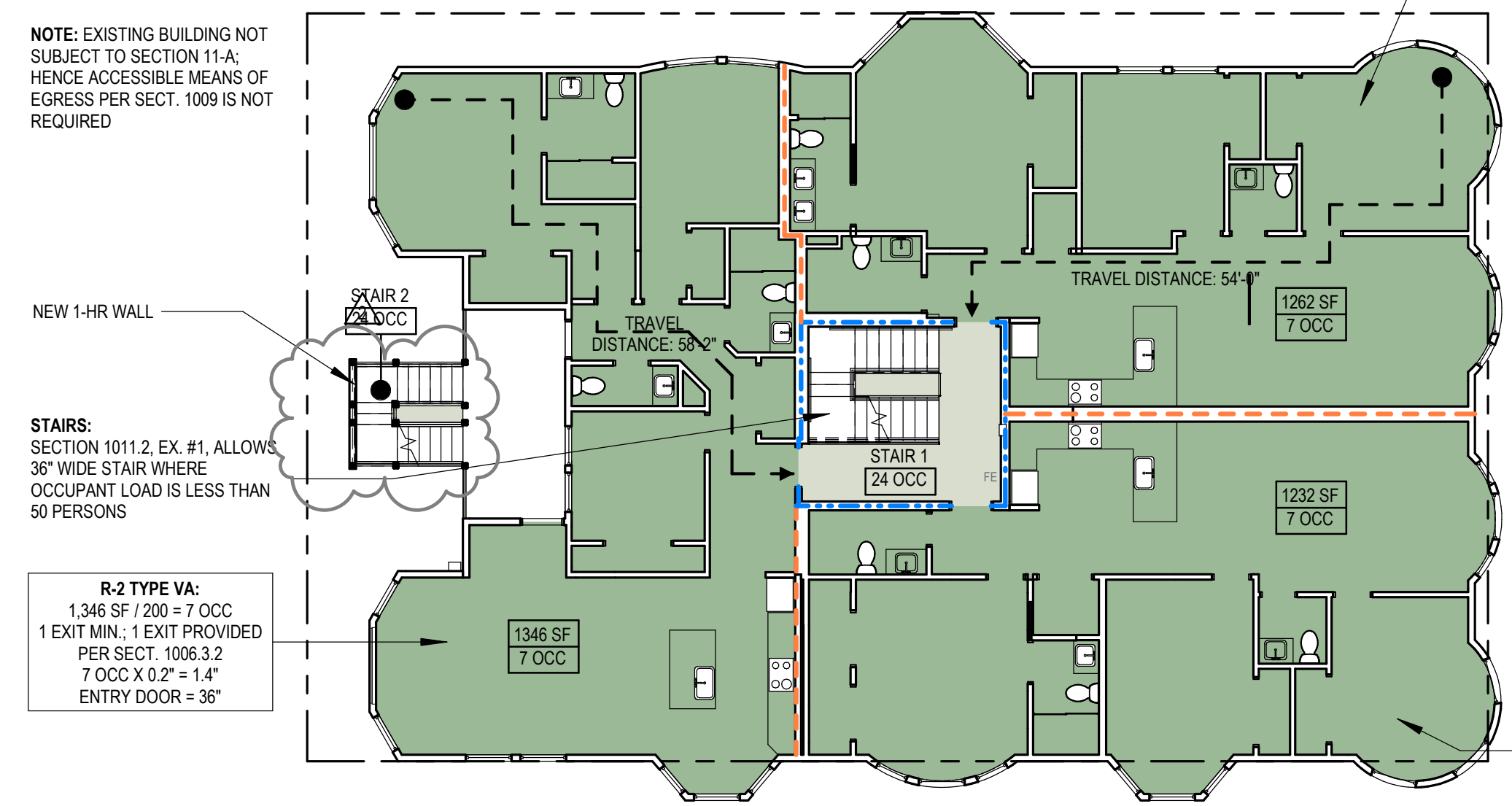
G0.03



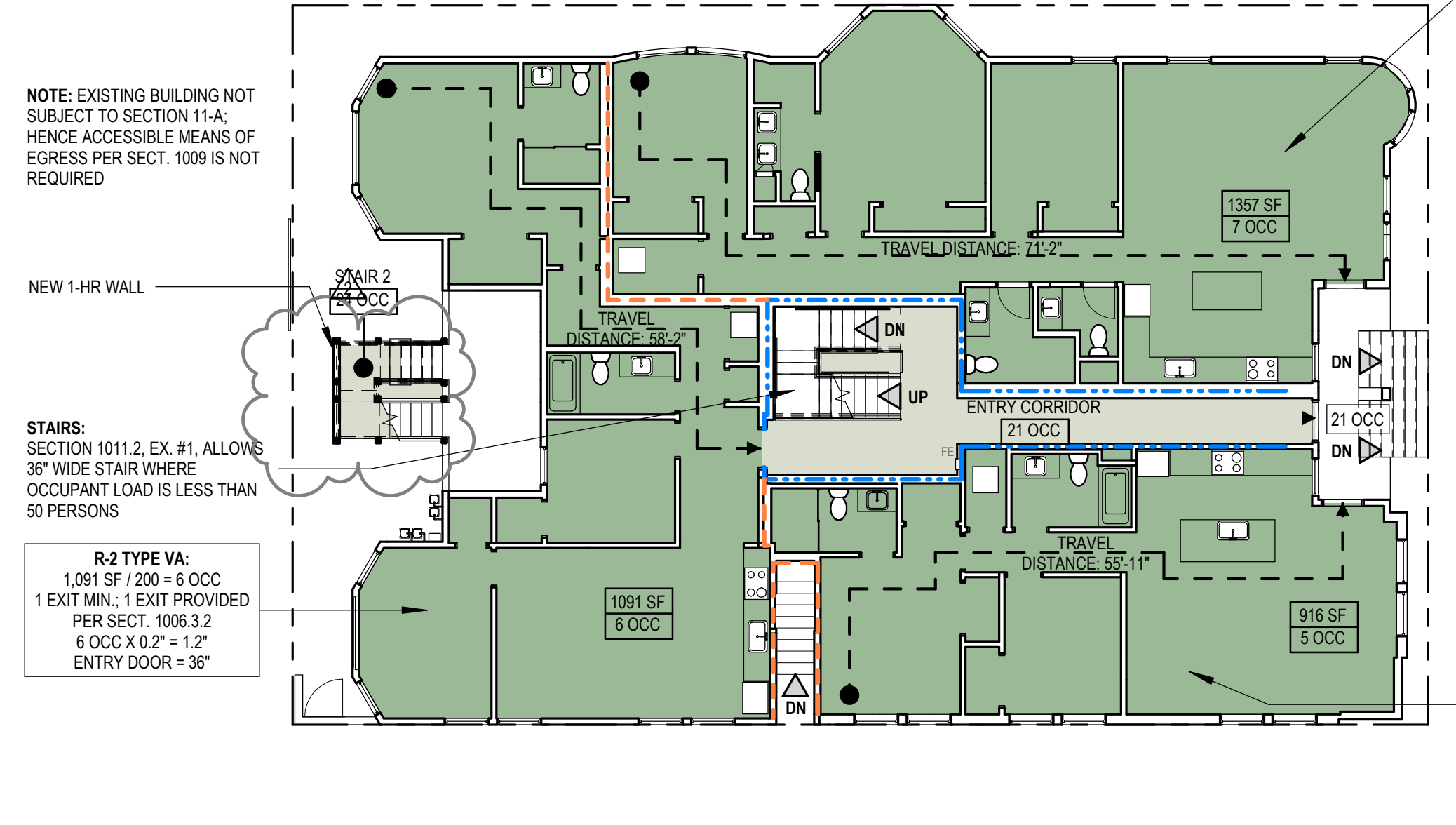
5 ROOF PLAN - LIFE SAFETY PLAN (48 OCCUPANTS)
3/32" = 1'-0"



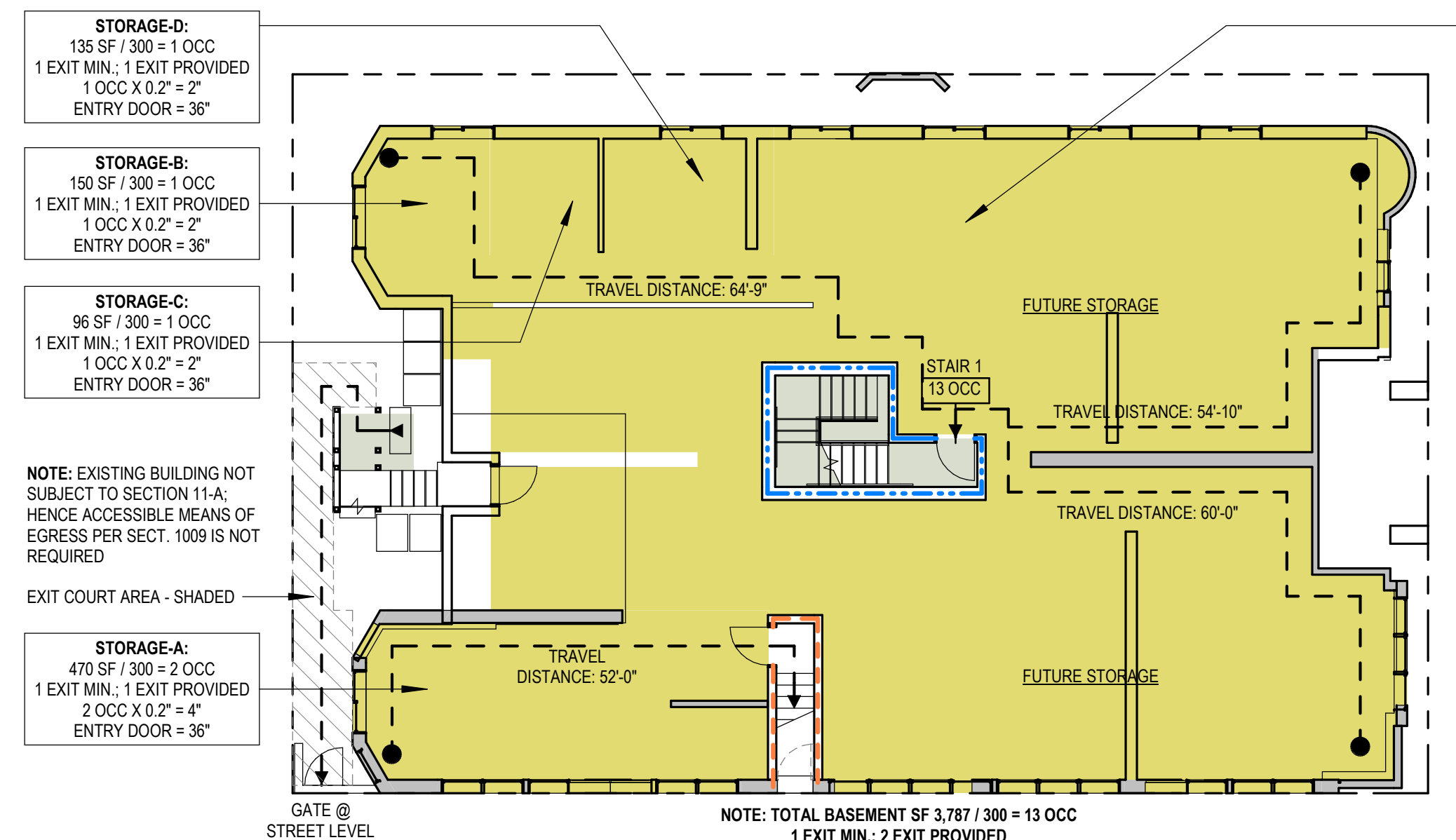
4 THIRD FLOOR - LIFE SAFETY PLAN (24 OCCUPANTS)
3/32" = 1'-0"



3 SECOND FLOOR - LIFE SAFETY PLAN (24 OCCUPANTS)
3/32" = 1'-0"



2 FIRST FLOOR - LIFE SAFETY PLAN (24 OCCUPANTS)
3/32" = 1'-0"



1 BASEMENT - LIFE SAFETY PLAN
3/32" = 1'-0"

EGRESS PLAN LEGEND

- 2-HR RATED WALL
- - - 1-HR RATED WALL
- EGRESS PATH OF TRAVEL
- FE FIRE EXTINGUISHER CABINET

USE AND MIN. OCCUPANT LOAD

- ASSEMBLY (15 NET SF PER OCCUPANT)
- RESIDENTIAL (200 GROSS SF PER OCCUPANT)
- UTILITY (300 GROSS SF PER OCCUPANT)
- CIRCULATION

EGRESS PLAN GENERAL NOTES

- CORRIDORS AND ACCESSIBLE ROUTES SHALL COMPLY WITH:
 - ENTRANCE SIGNAGE PER CBC SECTION 1110A.2
 - GLUE-DOWN CARPET PER CBC SECTION 1110A.3 & SECTION 804.4.2
 - LEVEL CHANGES SHALL NOT EXCEED PER CBC SECTIONS 1111A & 1121A
 - SLOPES SHALL NOT EXCEED 5% PER CBC SECTION 1111A
 - MINIMUM WIDTH PER CBC SECTIONS 1119A.3
 - EXIT DISCHARGE SHALL COMPLY WITH CBC SECTION 1028.1
 - EXIT ENCLOSURES TO COMPLY WITH CBC SECTIONS 1022.1 & 1023.1 - NO FURNISHING WILL BE ALLOWED
- STAIRWAYS SHALL COMPLY WITH:
 - ENCLOSURES PER CBC SECTION 1022
 - SIGNAGE PER CBC SECTION 1023.8 & 1023.9
 - TREADS, RISERS AND NOSING PER CBC SECTIONS 1123A
 - STRIPING PER CBC SECTIONS 1123A.5
 - BUILDING TO BE EQUIPPED WITH EMERGENCY VOICE ALARM SYSTEM.
- AREAS OF REFUGE **NOT** REQUIRED PER CBC 1009.3, EXCEPTION 5 & 1009.3, EXCEPTION 8
- DOOR FIRE RATING:
 - AT 1-HOUR WALLS:
 - 20-MINUTE FIRE-RATED DOORS - CORRIDORS
 - 45-MINUTE FIRE-RATED DOORS - PROTECTED OPENINGS
 - AT 2-HOUR WALLS:
 - 90-MINUTE FIRE-RATED DOORS - STAIR ENCLOSURES

SECTION 1006.3.2 SINGLE EXIT:

NOTE REGARDING EXITING: THE EXISTING R-2 BUILDING OF TYPE V-B CONSTRUCTION CONSISTING OF 3 STORIES OVER BASEMENT HAS TWO EXITS. THE PROPOSAL IS TO EQUIP THIS R-2 OCCUPANCY STRUCTURE WITH AN AUTOMATIC SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2 AND TO PROVIDE EMERGENCY ESCAPE AND RESCUE OPENINGS IN ACCORDANCE WITH SECTION 1030. SO THIS BUILDING CAN HAVE A SINGLE EXIT PER SECTION 1006.3.2. THE PROPOSAL IS CONSISTENT WITH TABLE 1006.3.2(1) WITH NO MORE THAN 4 DWELLING UNITS ON THE FIRST, SECOND AND THIRD STORIES ABOVE GRADE PLANE AND WITH A MAXIMUM COMMON PATH OF EGRESS TRAVEL DISTANCE OF 125 FEET.

NOTE: EXISTING BUILDING NOT SUBJECT TO SECTION 11-A; HENCE ACCESSIBLE MEANS OF EGRESS PER SECT. 1009 IS NOT REQUIRED

NOTE: EXISTING BUILDING NOT SUBJECT TO SECTION 11-A; HENCE ACCESSIBLE MEANS OF EGRESS PER SECT. 1009 IS NOT REQUIRED

NOTE: EXISTING BUILDING NOT SUBJECT TO SECTION 11-A; HENCE ACCESSIBLE MEANS OF EGRESS PER SECT. 1009 IS NOT REQUIRED

STAIRS:
SECTION 1011.2, EX. #1, ALLOWS 36" WIDE STAIR WHERE OCCUPANT LOAD IS LESS THAN 50 PERSONS

COMMON OPEN SPACE:
R2 ASSEMBLY USE (FOR TENANT USE)
705 SF / 15 = 48 OCC
MIN. 2 EXITS PROVIDED

EXIT LOAD:
705 / 15 = 48 OCC
48 / 2 = 24 OCC
24 x 2 = 48"

STAIR WIDTH PROVIDED 36" @ STAIR 1
36" @ STAIR 2 - MATCH NEW EXTERIOR STAIR WIDTH

COMMON OPEN SPACE:
R-2 OCCUPANCY (RES. USE ONLY)
ASSEMBLY USE - PROVIDE MAXIMUM OCCUPANCY SIGNAGE PROMINENTLY DISPLAYED PER NUMBER OF ABOVE OCCUPANCY

NOTE: FOR THIS BLDG. THE MAX. OL AT ANY ONE STORY IS FOUND AT THE ROOF LEVEL; THEREFORE, IT GOVERNS THE SIZE OF ALL EXITS

NOTE: EXISTING BUILDING NOT SUBJECT TO SECTION 11-A; HENCE ACCESSIBLE MEANS OF EGRESS PER SECT. 1009 IS NOT REQUIRED

STAIRS:
SECTION 1011.2, EX. #1, ALLOWS 36" WIDE STAIR WHERE OCCUPANT LOAD IS LESS THAN 50 PERSONS

R-2 TYPE VA:
1,091 SF / 200 = 5 OCC
1 EXIT MIN.; 1 EXIT PROVIDED
PER SECT. 1006.3.2
6 OCC X 0.2' = 1.2'
ENTRY DOOR = 36"

R-2 TYPE VA:
1,357 SF / 200 = 7 OCC
1 EXIT MIN.; 1 EXIT PROVIDED
PER SECT. 1006.3.2
7 OCC X 0.2' = 1.4'
ENTRY DOOR = 36"

TRAVEL DISTANCE NOTES: BUILDING

- EXIT ACCESS TRAVEL DISTANCE FROM MOST REMOTE POINT OF ANY OCCUPANCY IN BUILDING = 70' < 250' PROJECT COMPLIES
- COMMON PATH OF EGRESS TRAVEL FROM MOST REMOTE POINT (CPET) 52' < 125' PROJECT COMPLIES

OCCUPANCY WIDTH NOTES: BUILDING

- LOBBY WIDTH REQUIREMENT: 25 OCC. X 2 = 3' FRONT DOOR WIDTH EXCEEDS REQUIREMENT
- STAIR 1 WIDTH REQUIREMENT: SET BY GREATEST OCCUPANCY
- STAIR 2 WIDTH REQUIREMENT: SET BY GREATEST OCCUPANCY
- ONLY THE GREATEST OCCUPANT LOAD IS SHOWN FOR EGRESS PURPOSES

EXIT NOTES: BUILDING

- 1 EXIT REQUIRED BASED ON OCCUPANCY AND TRAVEL DISTANCE
- ONE EXIT DIRECTLY TO EXTERIOR VIA RATED CORRIDOR

R-2 TYPE VA:
916 SF / 200 = 5 OCC
1 EXIT MIN.; 1 EXIT PROVIDED
PER SECT. 1006.3.2
5 OCC X 0.2' = 1'
ENTRY DOOR = 36"

R-2 TYPE VA:
1,262 SF / 200 = 7 OCC
1 EXIT MIN.; 1 EXIT PROVIDED
PER SECT. 1006.3.2
7 OCC X 0.2' = 1.4'
ENTRY DOOR = 36"

TRAVEL DISTANCE NOTES: BUILDING

- EXIT ACCESS TRAVEL DISTANCE FROM MOST REMOTE POINT OF ANY OCCUPANCY IN BUILDING = 70' < 250' PROJECT COMPLIES
- COMMON PATH OF EGRESS TRAVEL FROM MOST REMOTE POINT (CPET) 52' < 125' PROJECT COMPLIES

OCCUPANCY WIDTH NOTES: BUILDING

- LOBBY WIDTH REQUIREMENT: 25 OCC. X 2 = 3' FRONT DOOR WIDTH EXCEEDS REQUIREMENT
- STAIR 1 WIDTH REQUIREMENT: SET BY GREATEST OCCUPANCY
- STAIR 2 WIDTH REQUIREMENT: SET BY GREATEST OCCUPANCY
- ONLY THE GREATEST OCCUPANT LOAD IS SHOWN FOR EGRESS PURPOSES

EXIT NOTES: BUILDING

- 1 EXIT REQUIRED BASED ON OCCUPANCY AND TRAVEL DISTANCE
- ONE EXIT DIRECTLY TO EXTERIOR VIA RATED CORRIDOR

R-2 TYPE VA:
1,246 SF / 200 = 7 OCC
1 EXIT MIN.; 1 EXIT PROVIDED
PER SECT. 1006.3.2
7 OCC X 0.2' = 1.4'
ENTRY DOOR = 36"

STORAGE-D:
135 SF / 300 = 1 OCC
1 EXIT MIN.; 1 EXIT PROVIDED
1 OCC X 0.2' = 2"
ENTRY DOOR = 36"

STORAGE-B:
150 SF / 300 = 1 OCC
1 EXIT MIN.; 1 EXIT PROVIDED
1 OCC X 0.2' = 2"
ENTRY DOOR = 36"

STORAGE-C:
96 SF / 300 = 1 OCC
1 EXIT MIN.; 1 EXIT PROVIDED
1 OCC X 0.2' = 2"
ENTRY DOOR = 36"

NOTE: EXISTING BUILDING NOT SUBJECT TO SECTION 11-A; HENCE ACCESSIBLE MEANS OF EGRESS PER SECT. 1009 IS NOT REQUIRED

EXIT COURT AREA - SHADED

STORAGE-A:
470 SF / 300 = 2 OCC
1 EXIT MIN.; 1 EXIT PROVIDED
2 OCC X 0.2' = 4"
ENTRY DOOR = 36"

FUTURE STORAGE:
2,936 SF / 300 = 10 OCC
1 EXIT MIN.; 1 EXIT PROVIDED
10 OCC X 0.2' = 20"
ENTRY DOOR = 36"

TRAVEL DISTANCE NOTES: BUILDING

- EXIT ACCESS TRAVEL DISTANCE FROM MOST REMOTE POINT OF ANY OCCUPANCY IN BUILDING = 70' < 250' PROJECT COMPLIES
- COMMON PATH OF EGRESS TRAVEL FROM MOST REMOTE POINT (CPET) 52' < 125' PROJECT COMPLIES

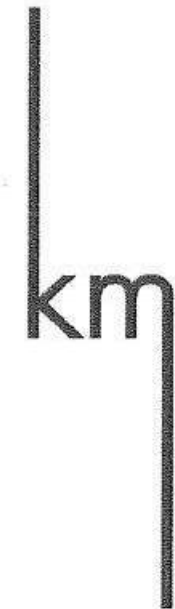
OCCUPANCY WIDTH NOTES: BUILDING

- LOBBY WIDTH REQUIREMENT: 25 OCC. X 2 = 3' FRONT DOOR WIDTH EXCEEDS REQUIREMENT
- STAIR 1 WIDTH REQUIREMENT: SET BY GREATEST OCCUPANCY
- STAIR 2 WIDTH REQUIREMENT: SET BY GREATEST OCCUPANCY
- ONLY THE GREATEST OCCUPANT LOAD IS SHOWN FOR EGRESS PURPOSES

EXIT NOTES: BUILDING

- 1 EXIT REQUIRED BASED ON OCCUPANCY AND TRAVEL DISTANCE
- ONE EXIT DIRECTLY TO EXTERIOR VIA RATED CORRIDOR

NOTE: TOTAL BASEMENT SF 3,787 / 300 = 13 OCC
1 EXIT MIN.; 2 EXIT PROVIDED



Dec 14, 2018

Plan Review Supervisor for Pre-Application Meeting
Department of Building Inspection
1660 Mission Street, 2nd Floor
San Francisco, CA 94103

PRE-APPLICATION MEETING REQUEST
34 Steiner Street.
Alterations
Existing: 7-Unit Residential
Proposed: 9-Unit Residential
2016 California Building Code
BPA #2018-0912-9872

MEETING INFORMATION

Meeting Date / Time: 11 December 2018 / 11:00am

DBI Representative: Richard Tam (richard.w.tam@sfgov.org)
SFFD Representative: Ketty Fedigan (ketty.fedigan@sfgov.org)
KMA, LLP Rep.: Toby Morris
Shirley Perez

PROJECT INFORMATION

Address: 34 Steiner Street, San Francisco, CA
Block/ Lot: 0875 / 013

Type of Construction:

Existing: TYPE-VB NON-SPRINKLERED (non-rated)
Proposed renovated Floors 1-3: TYPE-VB fully sprinklered (NFPA 13-R sprinkler system per 903.3.1.2)
Proposed newly excavated Basement: TYPE-VA fully sprinklered (NFPA 13-R sprinkler system per 903.3.1.2)

Stories:

Existing: 3 stories over basement
Proposed: 3 stories over basement

Occupancy:

Existing: 7-Units (R-2)
Proposed: 9-Units (R-2)

PROJECT SCOPE

This work consists of alterations to an existing 3-story over basement, 7-unit, residential only building in an RTO zoning district and adding (2) new units. The additional units are being created by subdividing existing large units on the second and third floors. Additional scope of work includes excavating for a full basement and the installation of a roof deck over the existing roof. No vertical or horizontal expansions of the building envelope are proposed. The existing structure is not accessible.

Our Basic Code Assumptions to be Confirmed and Questions/ Code Ruling Requested:

GENERAL BUILDING HEIGHT AND AREA

1. Story Count:

Please confirm that the subject building based on provided grade plane information will be considered 3 stories over basement. Refer to AE2.01, AE7.01, A2.01, and A7.01.

This is based on Chapter 2 definition of "Story Above Grade Plane": More than 6 feet above grade plane, or more than 12 feet above the finished ground level at any point.

OK

To be confirmed at Plan Check

FIRE-RESISTANCE CONSTRUCTION

2. Type of Construction V-B to V-A:

The existing structure is three stories (over basement) of Type V-B non-rated construction (no sprinklers). The scope of work proposes adding new dwelling units on the second and third floors and adding a roof deck. Please confirm that with a common roof deck proposed over the 3rd floor (at the 4th level) the building will need to be upgraded to Type V-A construction and fully sprinklered (without area increase) per Table S04.4 for this R-2 occupancy classification.

Confirmed: To be sprinklered per NFPA 13-R.

3. Standpipes:

Please confirm standpipes will not be required per section 905.3.1 as the floor of the highest story of this existing 3 story structure is less than 30 feet above the lowest level of the fire department vehicle access.

Confirmed

4. Fire Alarm:

Please confirm that a manual fire alarm system will be required for this building of 6 or more dwelling units per CBC 907.2.9.1 and SFBC 907.2.9.1, Item 3.

Confirmed

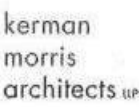
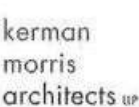
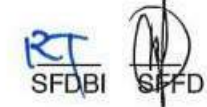
Note: Include notification at roof deck; location to be determined at Plan Check.

MEANS OF EGRESS

5. Two Exits at Basement:

The existing partially excavated basement is proposed for full excavation and new foundations (see A2.01) to provide for storage (occupant load 300). See G0.03 Existing Plans. The basement is proposed to have 2 exits (serving approximately 13 occupants); the exits are separated by 1/3 the overall diagonal dimension of the basement area served per section 1007.1.1, exception #2 in this fully sprinklered building. Please confirm that the proposed 2 exits are sufficient.

Confirmed: Subject to review at Plan Check.



6. **Single Exit (Residential Unit levels 1-3):** The building is being renovated to incorporate a Single Exit (a 2-hour rated central interior exit stair for residential levels on the first, second and third floors) consistent with Section 1006.3.2 for this Group R-2 building equipped throughout with an automatic sprinkler system (per s. 903.3.1.2) and with emergency escape windows (per s. 1030). Please confirm that this single exit is sufficient, and that the existing exterior wood framed stair is no longer needed for exiting from the residential levels (the travel distance to the 2-hour rated exit enclosure will not exceed 125').

Confirmed

Note: Provide a gate at the first floor to prevent occupants exiting from upper stories continuing to the basement. 2-Hour exit to be maintained to the exit discharge.

7. **Occupancy Classification and Exiting from proposed new Common Roof Deck:** The building is proposed to have a new common roof deck over the third floor:
• Please confirm that the new roof deck will be classified as "R-2 Accessory Use" space (in this privately held multi-unit building) and that the occupant load for this roof deck is 15 square feet per occupant.

Confirmed: So long as less than 50 occupants at roof deck.
Occupant load to be confirmed at plan check
As the roof deck is over the 3rd floor of occupancy, please confirm that section 1006.3.2 does not apply (as the R-2 Accessory Use is above the third floor) and that the roof deck needs two means of egress per section 1006.3.1.

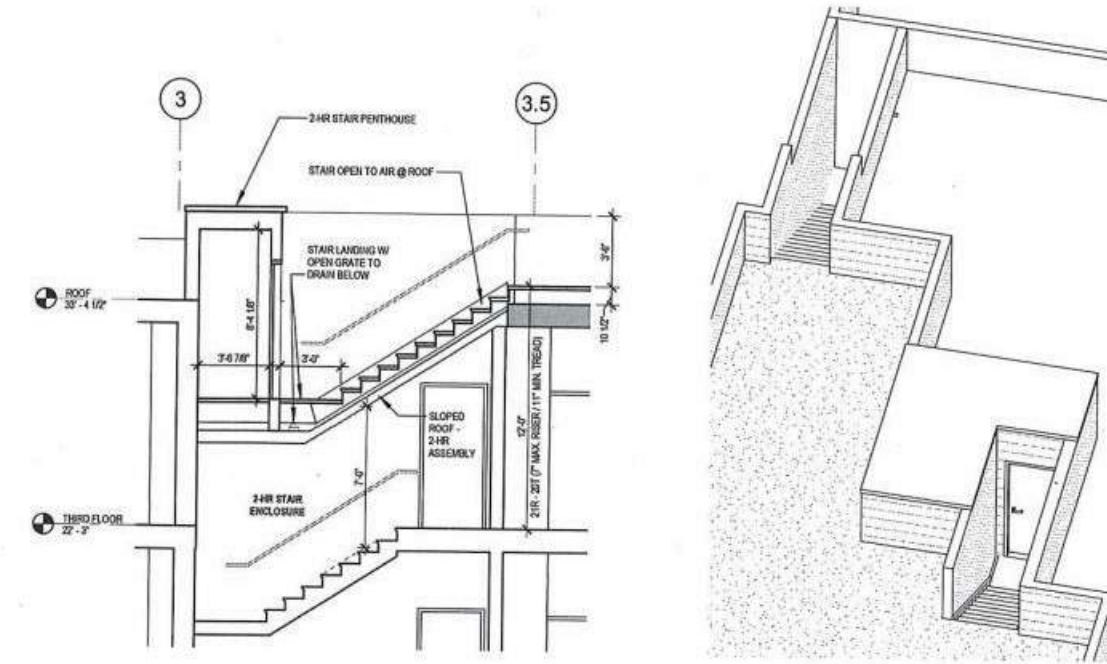
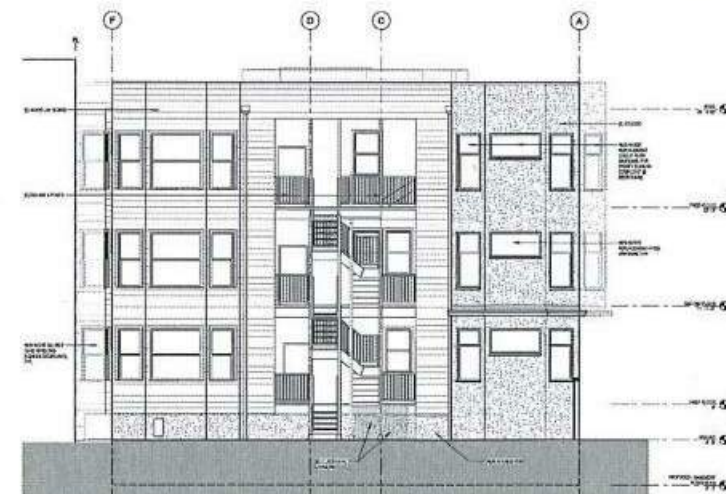
Confirmed: For egress purposes, a roof deck over the third floor requires two (2) exits.

• Please confirm that the existing exterior staircase at the rear yard of the building can be used as the second means of egress. This existing stair has non-confirming risers (7 1/2").

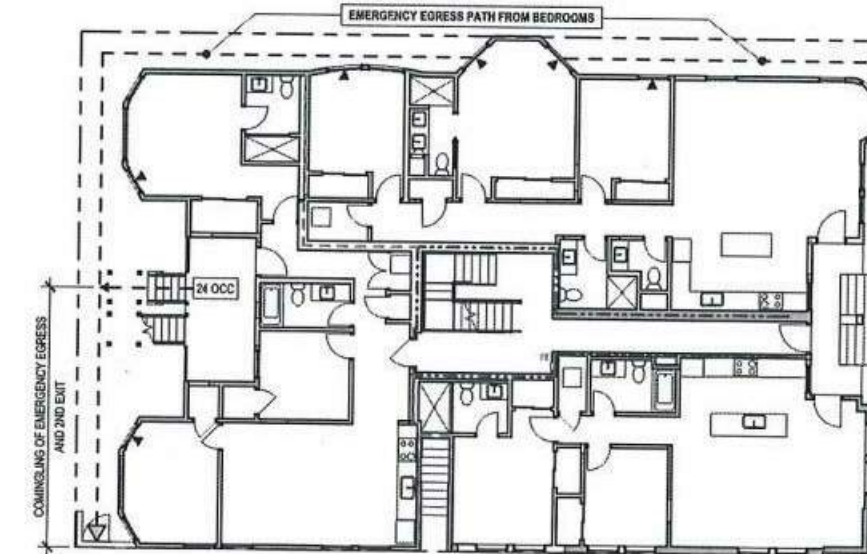
Confirmed: Handrails and guardrails are to comply with code.

Additional discussion:

- 1. Roof deck walking surface to be non-combustible
- 2. Existing wooden rear stair may remain as second exit off roof deck. It is an open stair and not a 2-hour enclosure. Note: Openings on exit path must comply with Section 1028.4.2, including 45-minute, self-closing windows with quick response sprinklers. Apply for AB-005, local equivalency.



10. **Emergency Escape and Rescue:** The proposed new units have bedroom windows facing existing courts that leading to the public way. Every bedroom will contain at minimum one emergency escape and rescue window complying with section 1030. Please confirm that the emergency egress path is acceptable, open to the sky to the exit discharge at the sidewalk.
Confirmed: Emergency egress is provided to both Steiner & Hermann Streets. Comingling of the second, rear, exit from roof deck at street level is acceptable before discharge to Hermann Street.



ACCESSIBILITY

11. **Applicability:** The proposed "project" consists of adding (2) units within the existing building envelope of an existing (7) unit non-accessible R-2 occupancy building. No building expansion is proposed besides basement level storage. Please confirm that the project is not subject to CBC Chapter 11-A.
Confirmed: Project is not subject to accessibility and Chapter 11A.

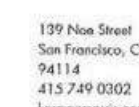
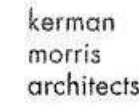
Reviewed and agreed by

SFDBI RICHARD TAM

12/19/18
Date

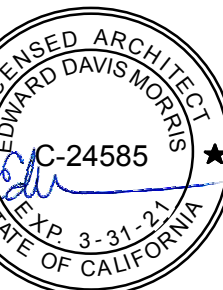
SFFD KETTY FEDIGAN

12-17-18
Date



139 New Street
San Francisco, CA
94114
415.749.0302

Revisions



34 STEINER STREET

ADDITIONS /
ALTERATIONS TO
EXISTING UNITS -
DENSITY INCREASE

0875 / 013

BPA# 2018-0912-9872

**DBI
PRE-APPLICATION
MEETING
SUMMARY**

DATE 07/17/2019

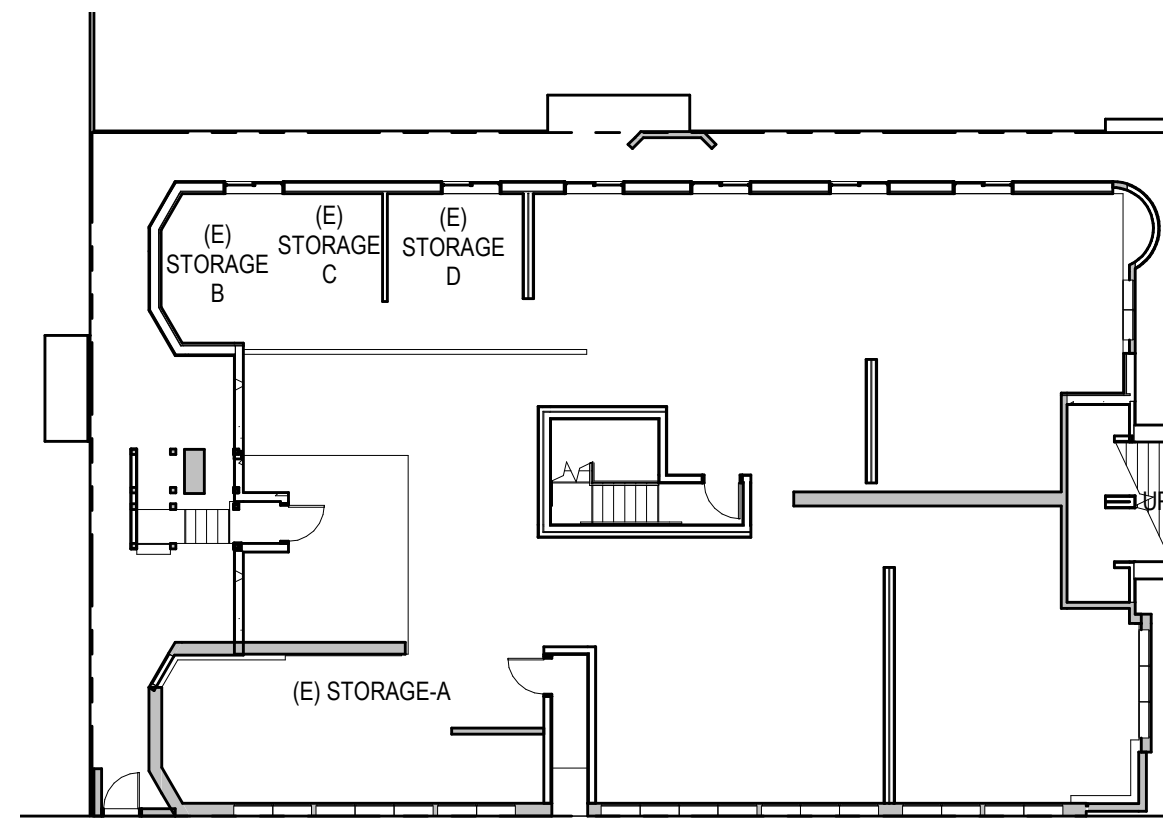
SCALE

DRAWN BY Author

CHECKED BY Checker

JOB NO. 1802

G0.06



(E) STORAGE-D

1 EXISTING - BASEMENT STORAGE
1/16" = 1'-0"



(E) STORAGE-B



(E) STORAGE-A



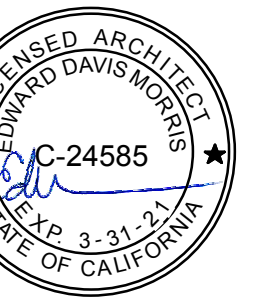
(E) STORAGE-C



(E) STORAGE-A



Revisions



34 STEINER STREET

ADDITIONS /
ALTERATIONS TO
EXISTING UNITS -
DENSITY INCREASE

0875 / 013
BPA# 2018-0912-9872

SITE PHOTOS -
EXISTING
STORAGE
ROOMS

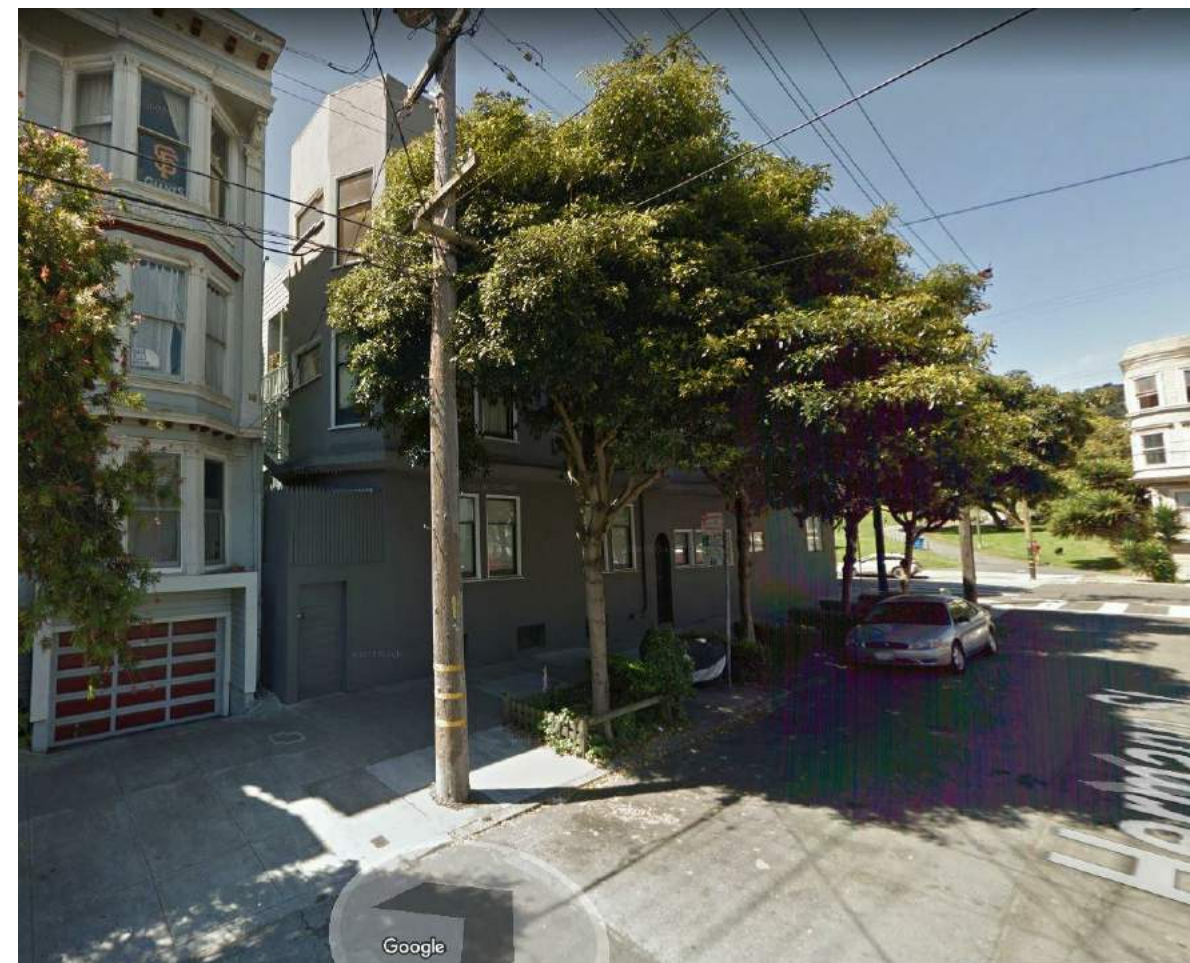
DATE	07/17/2019
SCALE	1/16" = 1'-0"
DRAWN BY	Author
CHECKED BY	Checker
JOB NO.	1802



EAST PROPERTY LINE - ADJACENT
373 HERMANN STREET (BLOCK / LOT: 0875 / 014)



SOUTH PROPERTY LINE - ADJACENT
26 / 28 /30 STEINER STREET (BLOCK / LOT: 0875 / 012)



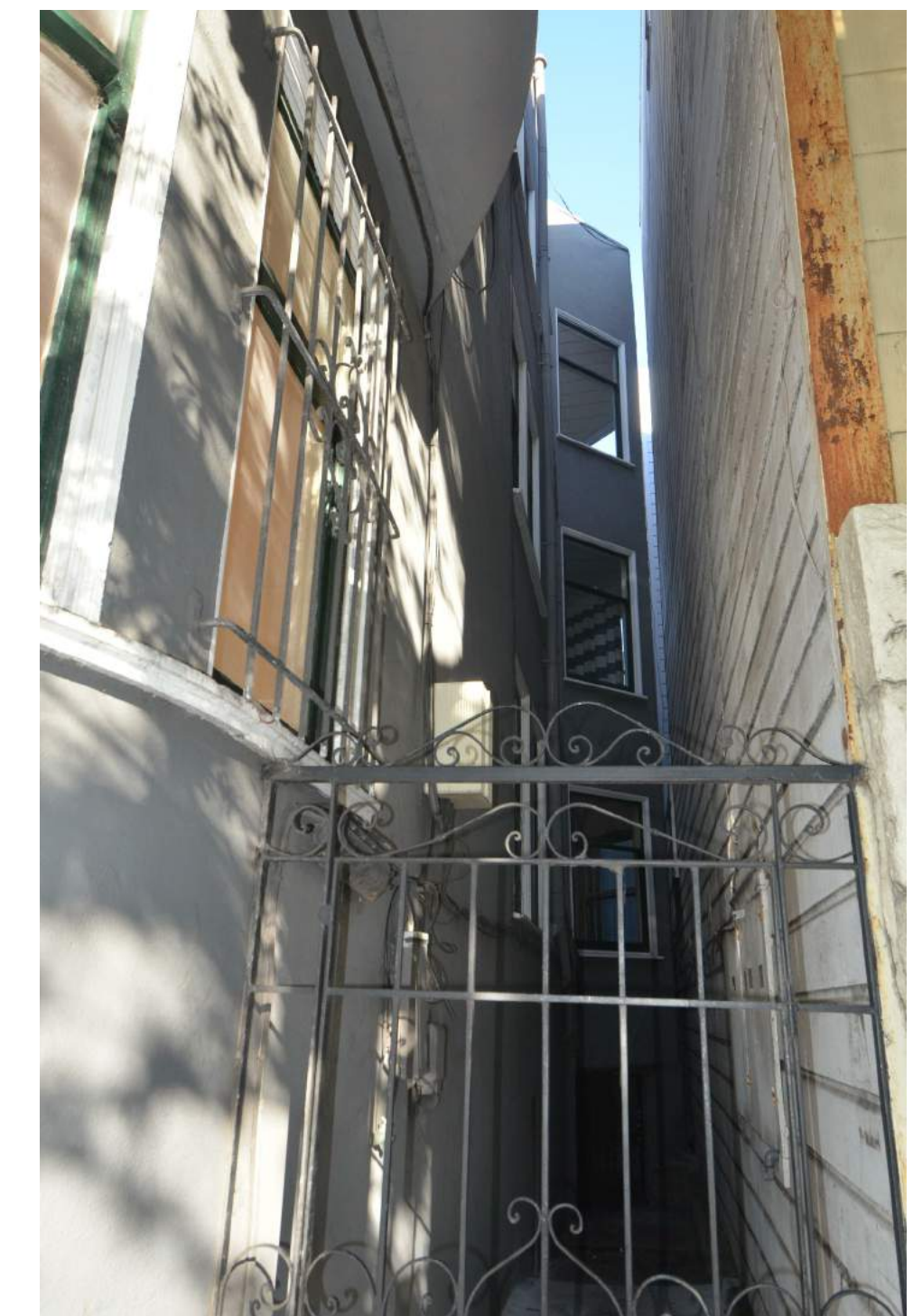
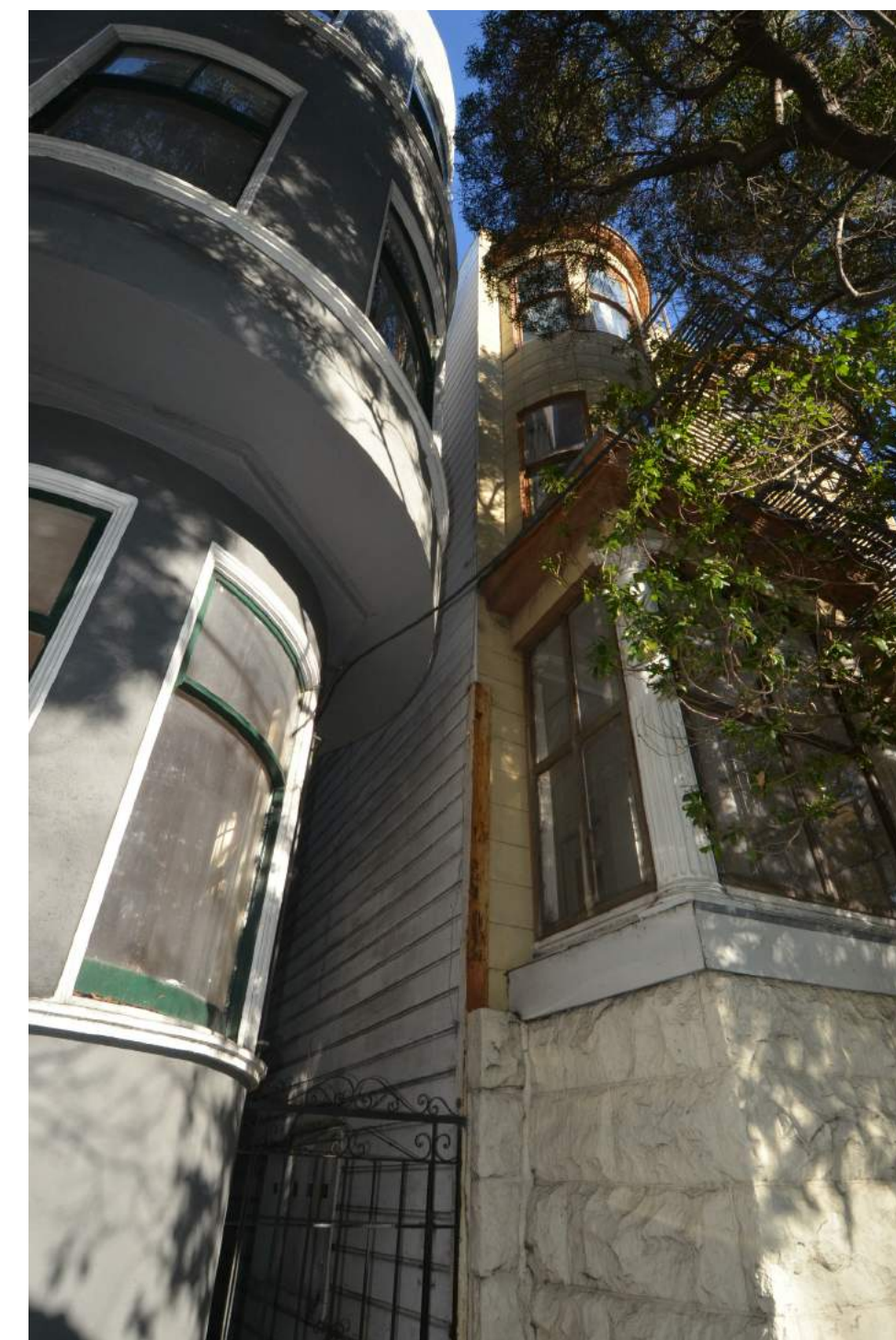
PARTIAL EAST ELEVATION FROM HERMANN STREET



EAST ELEVATION - ADJACENT 373 HERMANN STREET (BLOCK / LOT: 0875 / 014)



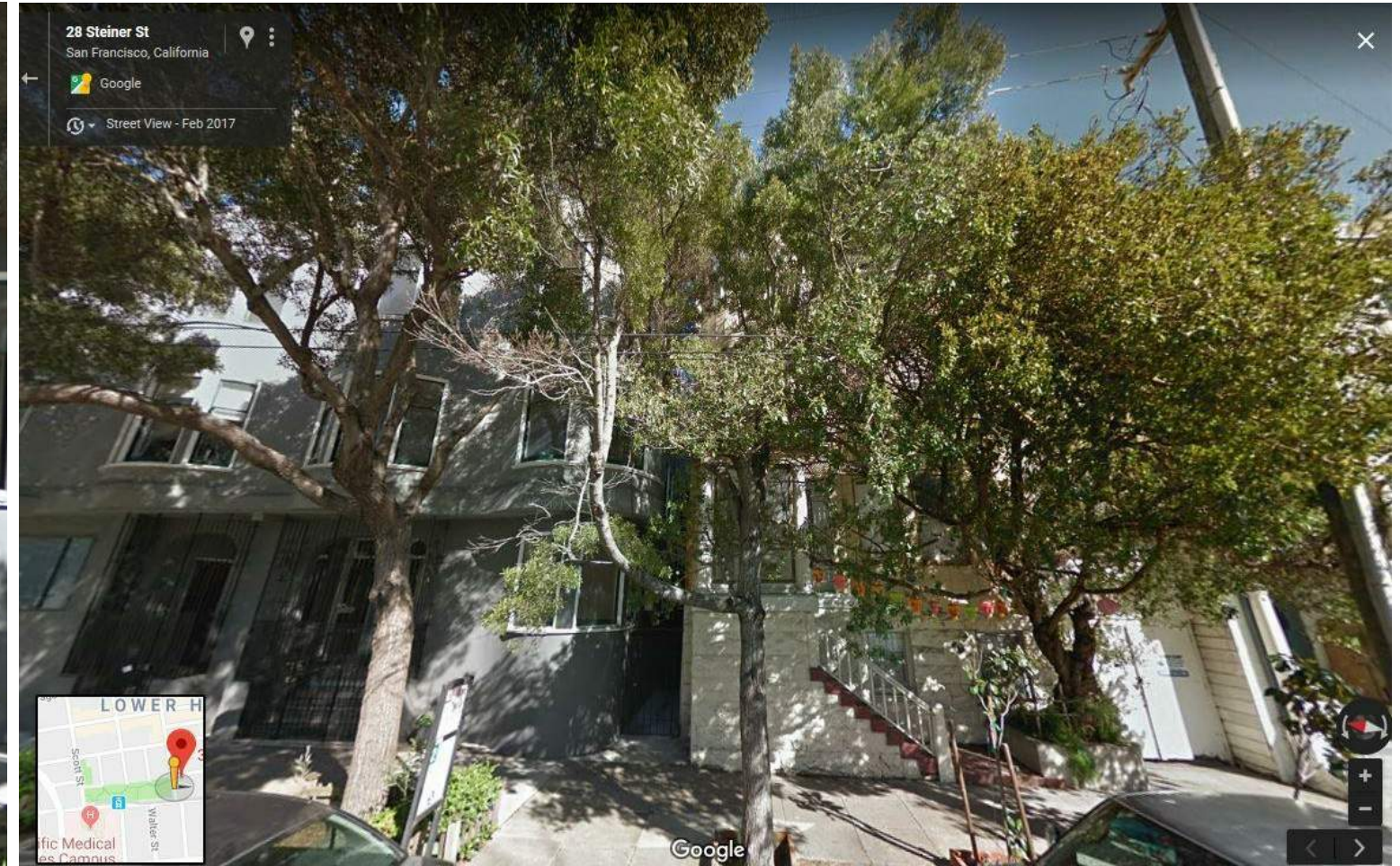
SOUTH PROPERTY LINE - ADJACENT 26 / 28 /30 STEINER STREET (BLOCK / LOT: 0875 / 012)



NORTH ELEVATION - HERMANN STREET



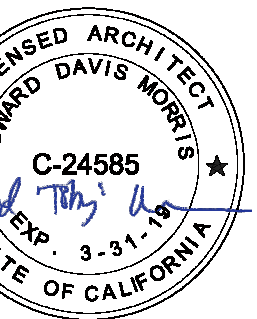
WEST ELEVATION - STEINER STREET



km
kerman
morris
architects llp
139 Hove Street
San Francisco, CA
94114
415.749.0302

Revisions

2 VARIANCE REAR
STAIR



34 STEINER
STREET

ADDITIONS /
ALTERATIONS TO
EXISTING UNITS -
DENSITY INCREASE

0875 / 013

SITE PHOTOS

DATE 07/17/2019

SCALE

DRAWN BY Author

CHECKED BY Checker

JOB NO. 1802

GO.07.1

GS5: San Francisco Green Building Submittal Form for Residential Alteration + Addition Projects

Form version: October 11, 2017 (For permit applications January 2017 - December 2019)



INSTRUCTIONS:				OTHER RESIDENTIAL ALTERATIONS + ADDITIONS	VERIFICATION
1. Fill out the project information in the Verification box at the right. 2. Submittal must be a minimum of 11" x 17". 3. This form is for permit applications submitted January 2017 through December 2019. The prior version may be submitted until January 1, 2018.				adds any amount of conditioned area, volume, or size if applicable • • • • •	Indicate below who is responsible for ensuring green building requirements are met. Projects that increase total conditioned floor area by ≥1,000 sq. ft. are required to have a Green Building Compliance Professional of Record as described in Administrative Bulletin 93. For projects that increase total conditioned floor area by <1,000 sq. ft., the applicant or design professional may sign below, and no license or special qualifications are required. FINAL COMPLIANCE VERIFICATION form will be required prior to Certificate of Completion 34 STEINER STREET PROJECT NAME 0875 / 013 BLOCK/LOT 34-44 STEINER STREET & 379 HERMANN STREET ADDRESS R-2 MULTI-FAMILY PRIMARY OCCUPANCY 16,733 SF GROSS BUILDING AREA 3,525 SF INCREASE IN CONDITIONED FLOOR AREA I have been retained by the project sponsor to verify that approved construction documents and construction fulfill the requirements of San Francisco Green Building Code. It is my professional opinion that the requirements of the San Francisco Green Building Code will be met. I will notify the Department of Building Inspection if the project will, for any reason, not substantially comply with these requirements, if I am no longer the Green Building Compliance Professional of Record for the project, or if I am otherwise no longer responsible for assuring the compliance of the project with the San Francisco Green Building Code.
RESIDENTIAL	TITLE	SOURCE OF REQUIREMENT	DESCRIPTION OF REQUIREMENT		
	GRADING & PAVING	CALGreen 4.106.3	Show how surface drainage (grading, swales, drains, retention areas) will keep surface water from entering the building.	if applicable	
	RODENT PROOFING	CALGreen 4.406.1	Seal around pipe, cable, conduit, and other openings in exterior walls with cement mortar or DBI-approved similar method.	•	
	FIREPLACES & WOODSTOVES	CALGreen 4.503.1	Install only direct-vent or sealed-combustion, EPA Phase II-compliant appliances.	•	
	CAPILLARY BREAK, SLAB ON GRADE	CALGreen 4.505.2	Slab on grade foundation requiring vapor retarder also requires a capillary break such as: 4 inches of base 1/2-inch aggregate under retarder; slab design specified by licensed professional.	•	
	MOISTURE CONTENT	CALGreen 4.505.3	Wall + floor <19% moisture content before enclosure.	•	
	BATHROOM EXHAUST	CALGreen 4.506.1	Must be ENERGY STAR compliant, ducted to building exterior, and its humidistat shall be capable of adjusting between <50% to >80% (humidistat may be separate component).	•	
MATERIALS	LOW-EMITTING MATERIALS	CALGreen 4.504.2.1-5, SFGBC 4.103.3.2	Use products that comply with the emission limit requirements of 4.504.2.1-5, 5.504.4.1-6 for adhesives, sealants, paints, coatings, carpet systems including cushions and adhesives, resilient flooring (80% of area), and composite wood products.	•	
WATER	INDOOR WATER USE REDUCTION	CALGreen 4.303.1, SF Housing Code sec.12A10	Meet flush/flow requirements for: toilets (1.28gpf); urinals (0.125gpf wall, 0.5gpf floor); showerheads (2.0gpm); lavatories (1.2gpm private, 0.5gpm public/common); kitchen faucets (1.8gpm); wash fountains (1.8gpm); metering faucets (0.2gpc); food waste disposers (1gpm/8gpm). Residential major improvement projects must upgrade all non-compliant fixtures per SF Housing Code sec.12A10.	•	
	WATER-EFFICIENT IRRIGATION	Administrative Code ch.63	If modified landscape area is ≥1,000 sq.ft., use low water use plants or climate appropriate plants, restrict turf areas and comply with Model Water Efficient Landscape Ordinance restrictions by calculated ETAF of ≤.55 or by prescriptive compliance for projects with ≤2,500 sq.ft. of landscape area.	•	
ENERGY	ENERGY EFFICIENCY	CA Energy Code	Comply with all provisions of the CA Energy Code.	•	
PARKING	BICYCLE PARKING	Planning Code sec.155.1-2	Provide short- and long-term bike parking to meet requirements of SF Planning Code sec.155.1-2.	if applicable	
WASTE DIVERSION	RECYCLING BY OCCUPANTS	SF Building Code AB-088	Provide adequate space and equal access for storage, collection, and loading of compostable, recyclable and landfill materials.	•	
	CONSTRUCTION & DEMOLITION (C&D) WASTE MANAGEMENT	SFGBC 4.103.2.3	For 100% of mixed C&D debris use registered transporters and registered processing facilities with a minimum of 65% diversion rate.	•	
HVAC	HVAC INSTALLER QUALS	CALGreen 4.702.1	Installers must be trained in best practices.	•	
	HVAC DESIGN	CALGreen 4.507.2	HVAC shall be designed to ACCA Manual J, D, and S.	•	
GOOD NEIGHBOR	BIRD-SAFE BUILDINGS	Planning Code sec.139	Glass facades and bird hazards facing and/or near Urban Bird Refuges may need to treat their glass for opacity.	•	
	TOBACCO SMOKE CONTROL	Health Code art.19F	Prohibit smoking within 10 feet of building entries, air intakes, and operable windows and enclosed common areas.	•	
POLLUTION PREVENTION	STORMWATER CONTROL PLAN	Public Works Code art.4.2 sec.147	Projects disturbing ≥5,000 sq.ft. in combined or separate sewer areas, or replacing ≥2,500 impervious sq.ft. in separate sewer area, must implement a Stormwater Control Plan meeting SFPUC Stormwater Management Requirements.	if project extends outside envelope	
	CONSTRUCTION SITE RUNOFF	Public Works Code art.4.2 sec.146	Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices.	if project extends outside envelope	
INDOOR ENVIRONMENTAL QUALITY	AIR FILTRATION (CONSTRUCTION)	CALGreen 4.504.1	Seal permanent HVAC ducts/equipment stored onsite before installation.	•	

Indicate below who is responsible for ensuring green building requirements are met. Projects that increase total conditioned floor area by ≥1,000 sq. ft. are required to have a Green Building Compliance Professional of Record as described in Administrative Bulletin 93. For projects that increase total conditioned floor area by <1,000 sq. ft., the applicant or design professional may sign below, and no license or special qualifications are required. FINAL COMPLIANCE VERIFICATION form will be required prior to Certificate of Completion

34 STEINER STREET

PROJECT NAME
0875 / 013

BLOCK/LOT
34-44 STEINER STREET & 379 HERMANN STREET

ADDRESS
R-2 MULTI-FAMILY

PRIMARY OCCUPANCY
16,733 SF

GROSS BUILDING AREA
3,525 SF

INCREASE IN CONDITIONED FLOOR AREA

I have been retained by the project sponsor to verify that approved construction documents and construction fulfill the requirements of San Francisco Green Building Code. It is my professional opinion that the requirements of the San Francisco Green Building Code will be met. I will notify the Department of Building Inspection if the project will, for any reason, not substantially comply with these requirements, if I am no longer the Green Building Compliance Professional of Record for the project, or if I am otherwise no longer responsible for assuring the compliance of the project with the San Francisco Green Building Code.

LICENSED PROFESSIONAL (sign & date)
May be signed by applicant when <1,000 sq. ft. is added.

AFFIX STAMP BELOW:

Projects that increase total conditioned floor area by ≥1,000 sq.ft.: Green Building Compliance Professional of Record will verify compliance.

GREEN BUILDING COMPLIANCE PROFESSIONAL (name & contact phone #)

FIRM

I am a LEED Accredited Professional

I am a GreenPoint Rater

I am an ICC Certified CALGreen Inspector

GREEN BUILDING COMPLIANCE PROFESSIONAL (sign & date)

Signature by a professional holding at least one of the above certifications is required. If the Licensed Professional does not hold a certification for green design and/or inspection, this section may be completed by another party who will verify applicable green building requirements are met.

FOR YOUR INFORMATION: INDOOR WATER EFFICIENCY	Indoor Water Efficiency <small>Each fixture must not exceed CALGreen 4.303 maximum flow rates:</small>	Water Efficiency of Existing Non-Compliant Fixtures																		
<table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th style="text-align: left;">FIXTURE TYPE</th> <th style="text-align: left;">MAXIMUM FIXTURE FLOW RATE</th> </tr> </thead> <tbody> <tr> <td>Showerheads²</td> <td>2 gpm @ 80 psi</td> </tr> <tr> <td>Lavatory Faucets: residential</td> <td>1.2 gpm @ 60 psi</td> </tr> <tr> <td>Kitchen Faucets</td> <td>1.8 gpm @ 60 psi default</td> </tr> <tr> <td>Wash Fountains</td> <td>1.8 gpm / 20 [rim space (inches) @ 60 psi]</td> </tr> <tr> <td>Metering Faucets</td> <td>.20 gallons per cycle</td> </tr> <tr> <td>Tank-type water closets</td> <td>1.28 gallons / flush¹ and EPA WaterSense Certified</td> </tr> <tr> <td>Flushometer valve water closets</td> <td>1.28 gallons / flush¹</td> </tr> <tr> <td>Urinals</td> <td>Wall mount: 0.125 gallons / flush Floor mount: 0.5 gallons / flush</td> </tr> </tbody> </table>	FIXTURE TYPE	MAXIMUM FIXTURE FLOW RATE	Showerheads ²	2 gpm @ 80 psi	Lavatory Faucets: residential	1.2 gpm @ 60 psi	Kitchen Faucets	1.8 gpm @ 60 psi default	Wash Fountains	1.8 gpm / 20 [rim space (inches) @ 60 psi]	Metering Faucets	.20 gallons per cycle	Tank-type water closets	1.28 gallons / flush ¹ and EPA WaterSense Certified	Flushometer valve water closets	1.28 gallons / flush ¹	Urinals	Wall mount: 0.125 gallons / flush Floor mount: 0.5 gallons / flush	<p>NOTES:</p> <p>1. For dual flush toilets, effective flush volume is defined as the composite, average flush volume of two reduced flushes and one full flush. The referenced standard is ASME A112.19.14 and USEPA WaterSense Tank-Type High Efficiency Toilet Specification – 1.28 gal (4.8L)</p> <p>2. The combined flow rate of all showerheads in one shower stall shall not exceed the maximum flow rate for one showerhead, or the shower shall be designed to allow only one showerhead to be in operation at a time (CALGreen 5.303.2.1)</p>	<p>All fixtures that are not compliant with the San Francisco Commercial Water Conservation Ordinance that serve or are located within the project area must be replaced with fixtures or fittings meeting the maximum flow rates and standards referenced above. For more information, see the Commercial Water Conservation Program Brochure, available at SFDBI.org.</p> <p>NON-COMPLIANT PLUMBING FIXTURES INCLUDE:</p> <ol style="list-style-type: none"> Any toilet manufactured to use more than 1.6 gallons/flush Any urinal manufactured to use more than 1 gallon/flush Any showerhead manufactured to have a flow capacity of more than 2.5 gpm Any interior faucet that emits more than 2.2 gpm <p><small>Exceptions to this requirement are limited to situations where replacement of fixture(s) would detract from the historic integrity of the building, as determined by the Department of Building Inspection pursuant to San Francisco Building Code Chapter 13A.</small></p>
FIXTURE TYPE	MAXIMUM FIXTURE FLOW RATE																			
Showerheads ²	2 gpm @ 80 psi																			
Lavatory Faucets: residential	1.2 gpm @ 60 psi																			
Kitchen Faucets	1.8 gpm @ 60 psi default																			
Wash Fountains	1.8 gpm / 20 [rim space (inches) @ 60 psi]																			
Metering Faucets	.20 gallons per cycle																			
Tank-type water closets	1.28 gallons / flush ¹ and EPA WaterSense Certified																			
Flushometer valve water closets	1.28 gallons / flush ¹																			
Urinals	Wall mount: 0.125 gallons / flush Floor mount: 0.5 gallons / flush																			

NOTE: ABOVE MEASURES WILL BE ANNOTATED IN THE ADDENDA

Revisions



34 STEINER STREET

ADDITIONS / ALTERATIONS TO EXISTING UNITS - DENSITY INCREASE

0875 / 013
BPA# 2018-0912-9872

GREEN BUILDING CHECKLIST GS-5

DATE 07/17/2019

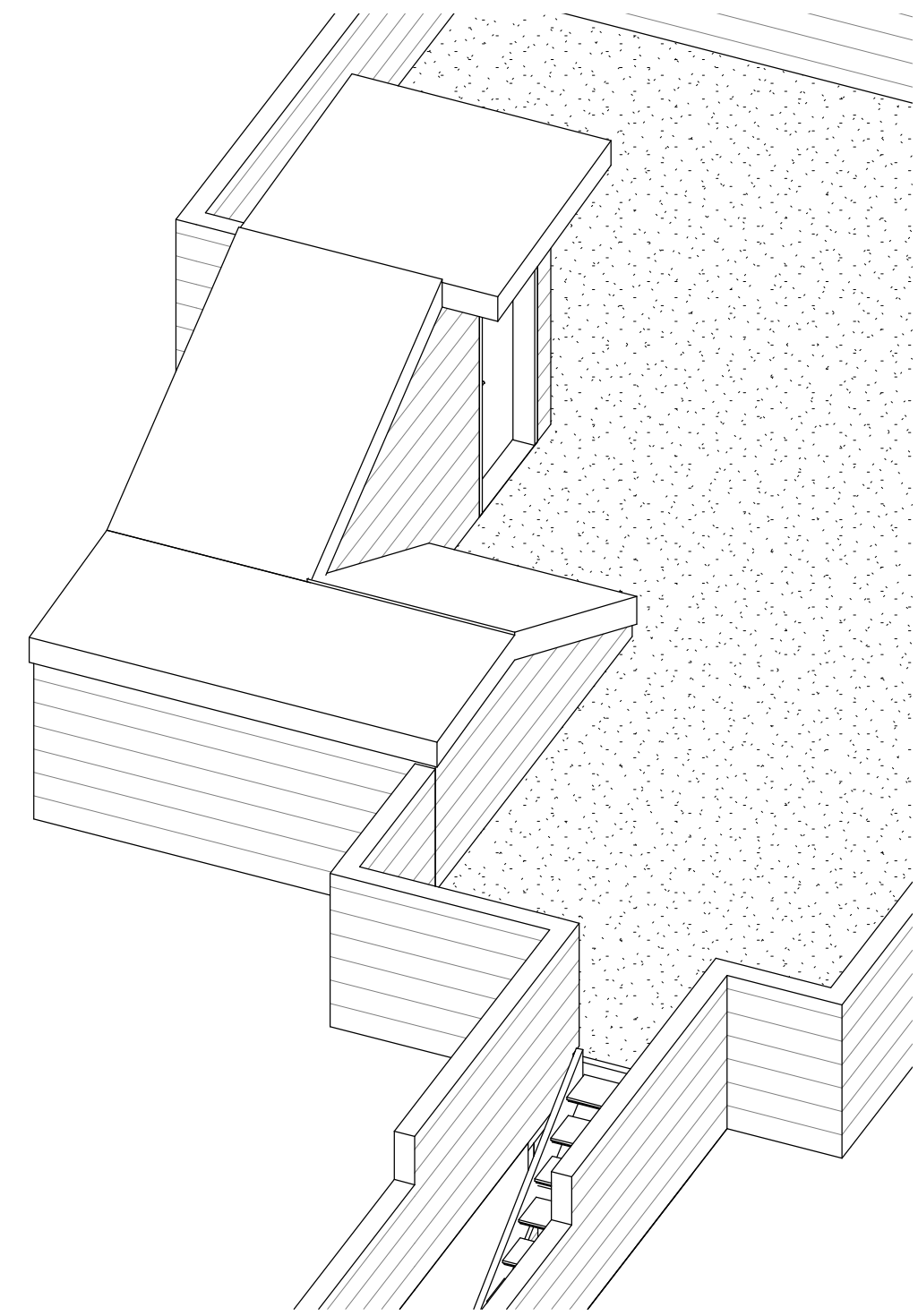
SCALE

DRAWN BY Author

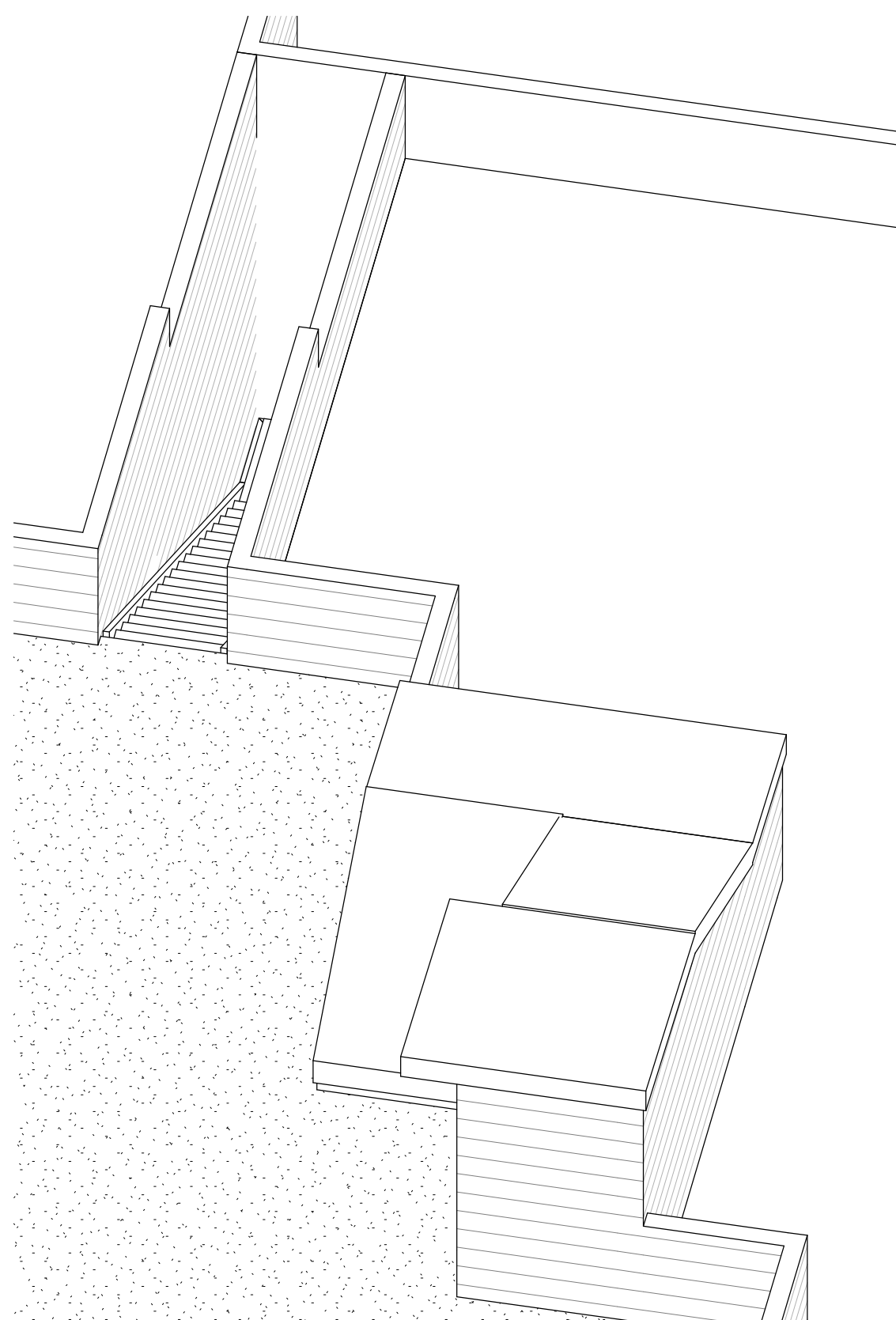
CHECKED BY Checker

JOB NO. 1802

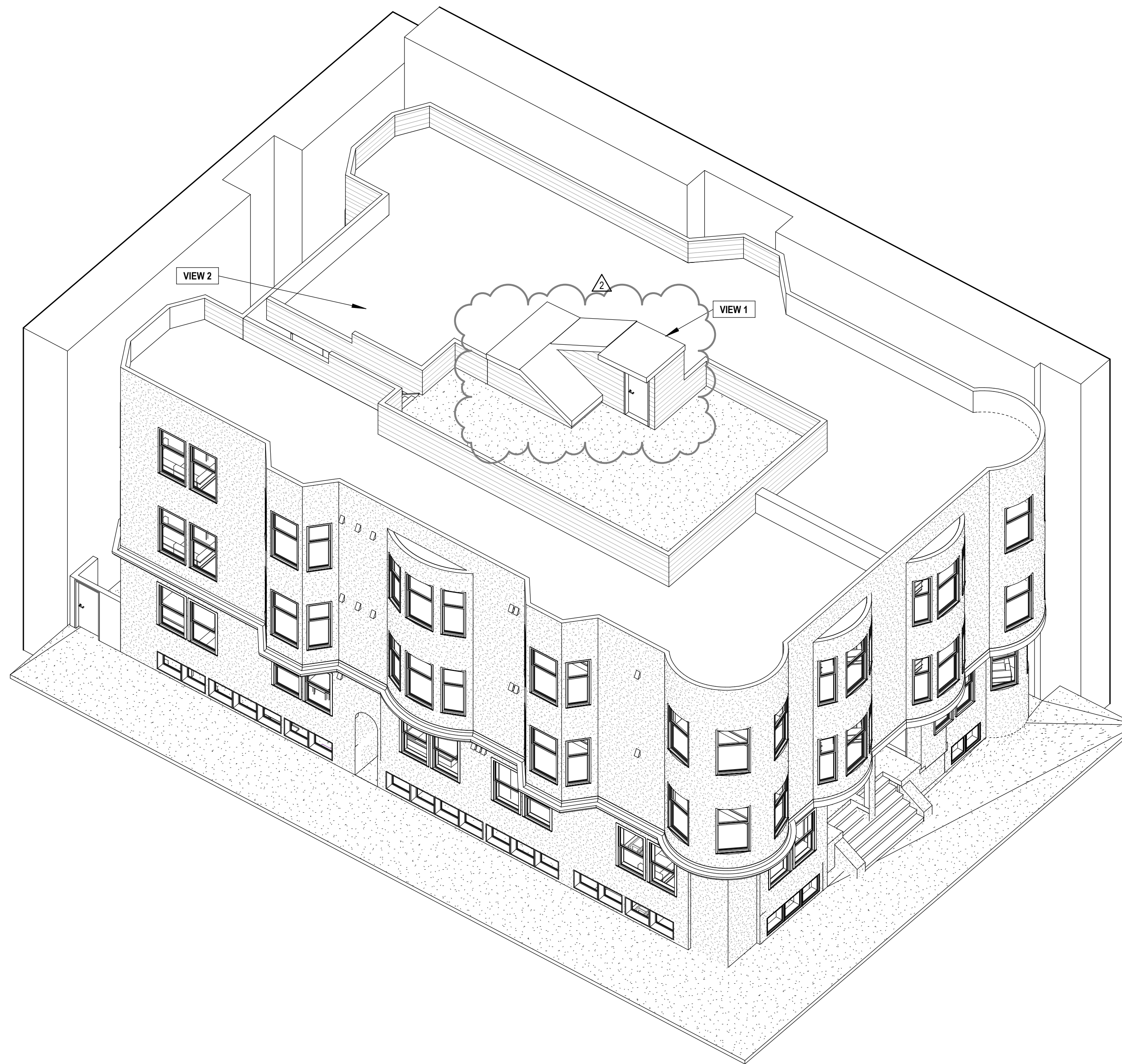
G0.08



6 3D - VIEW 2



5 3D - VIEW 1

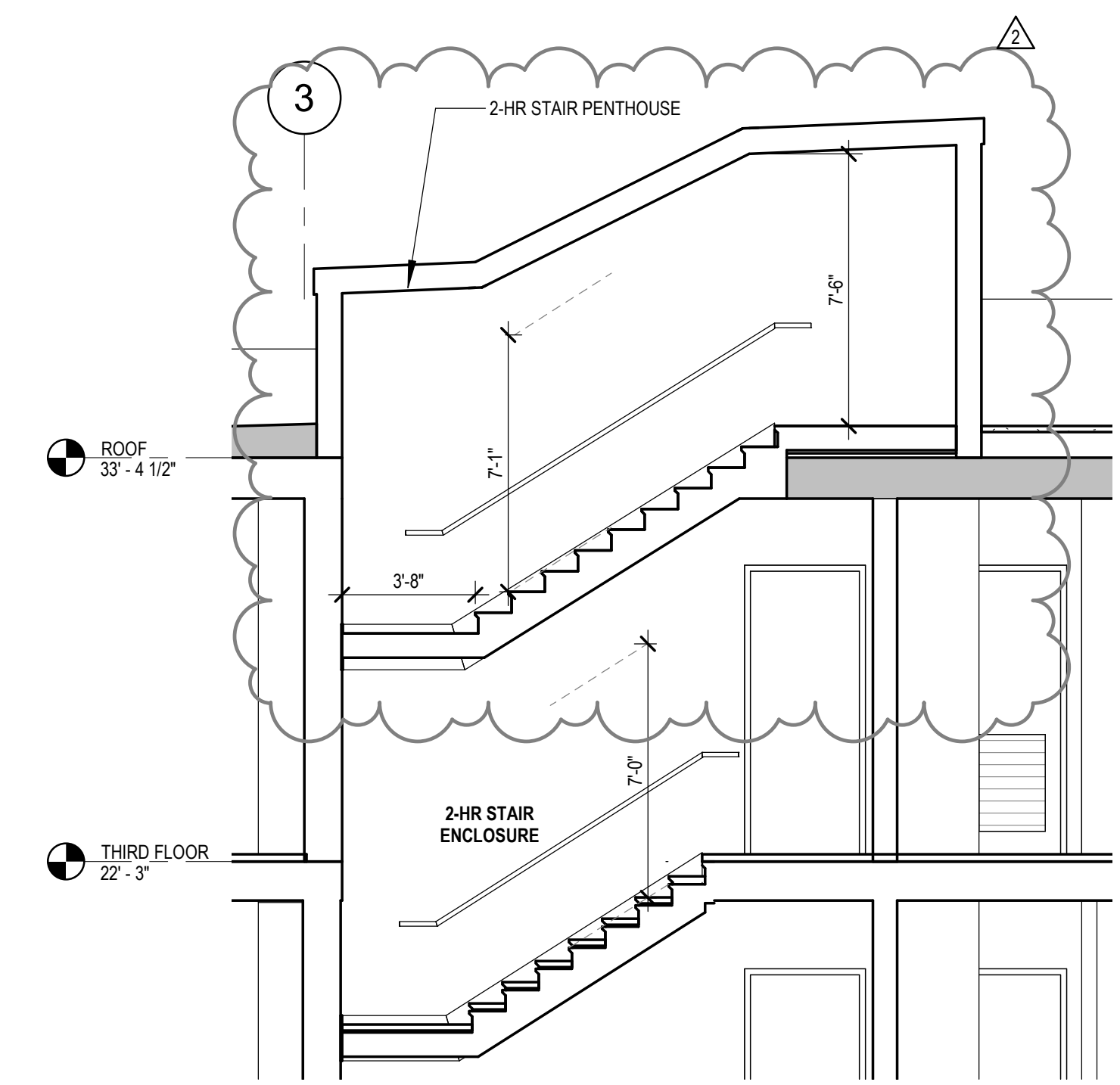


4 3D - BLDG OVERALL

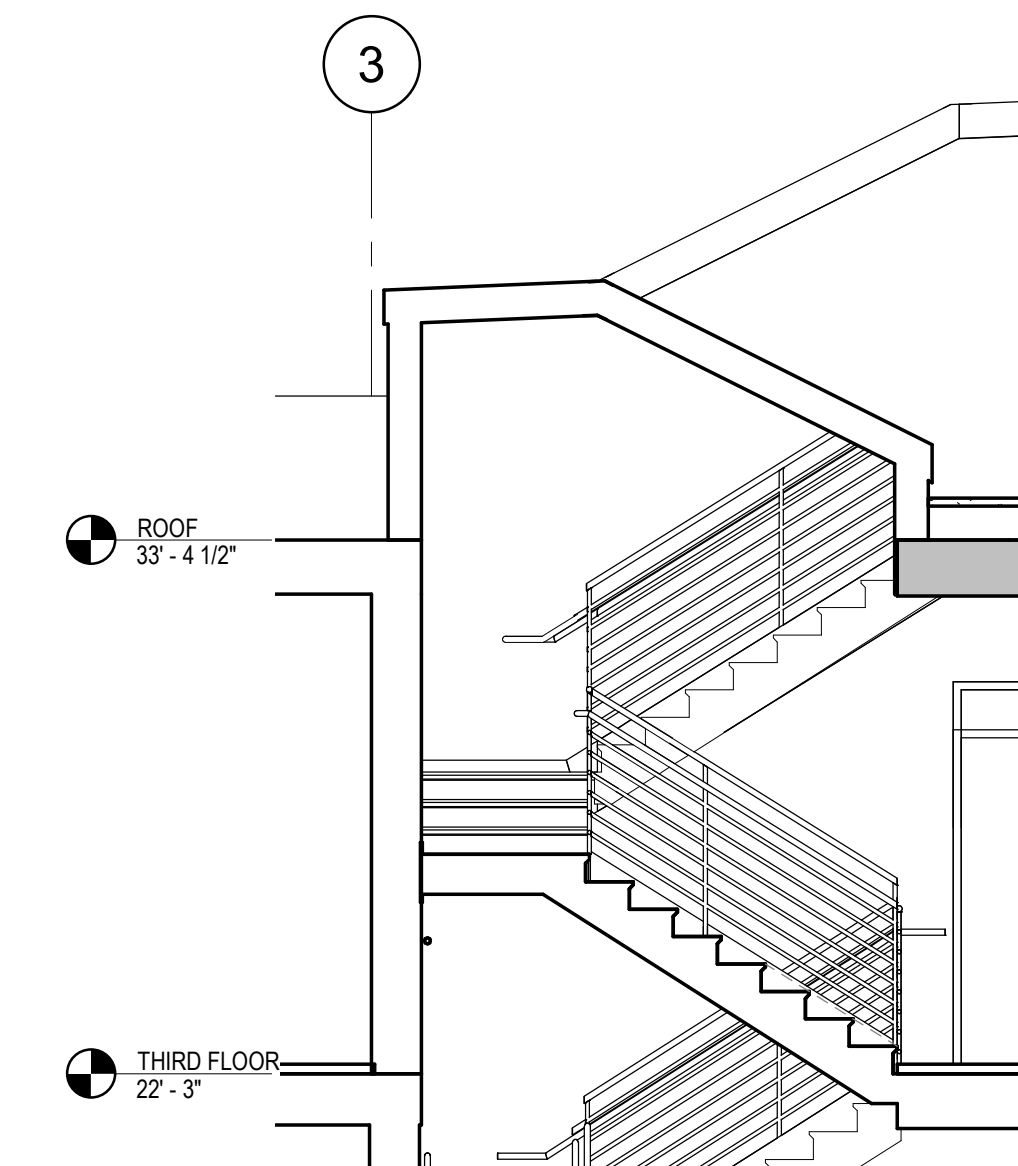
GENERAL NOTES - ROOF ACCESS

ROOF ACCESS TO COMPLY WITH CBC SECTION 1011.12.2 WITH A PENTHOUSE OVER THE STAIR SHAFT ENCLOSURE AND COMPLYING WITH ALL REQUIREMENTS OF SECTION 1510.2:

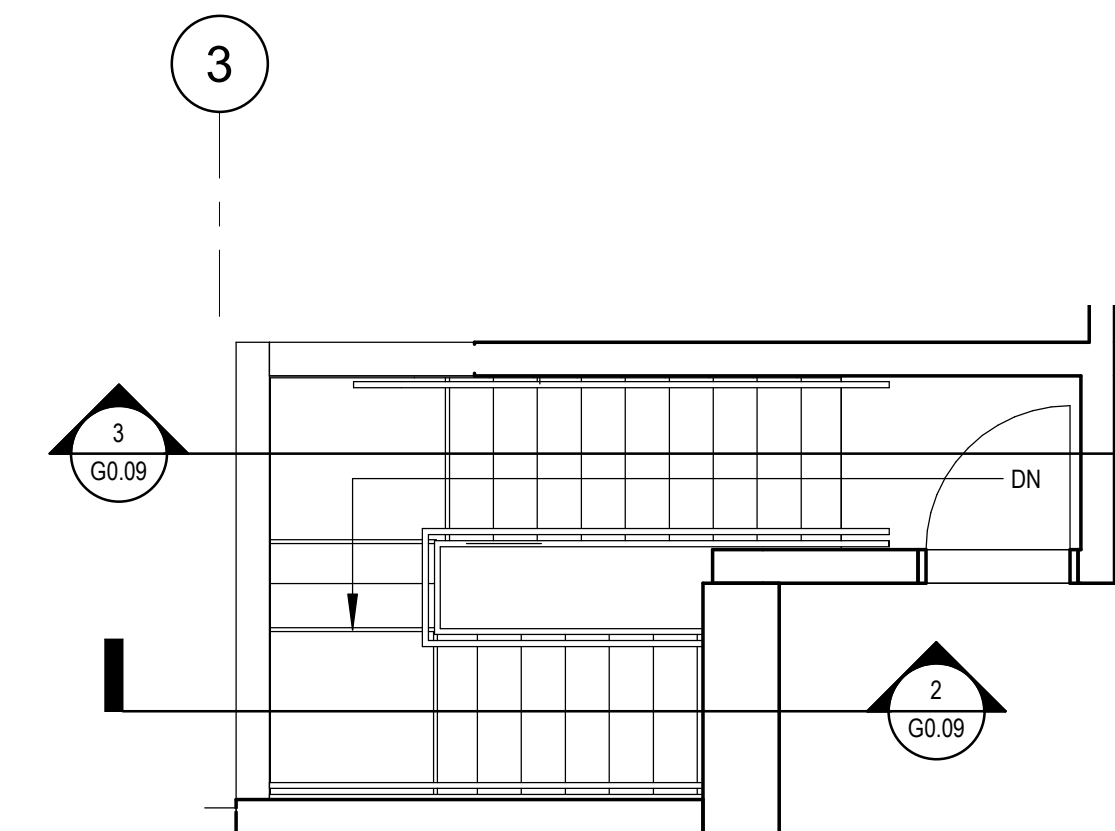
- 1510.2.1: HEIGHT TO BE 3'-6" ABOVE ROOF DECK OR 9'-6" ABOVE LANDING (<18')
- 1510.2.2: AREA LIMITED TO LESS THAN 1/3 OF ROOF DECK
- 1510.2.3: STAIR PENTHOUSE IS ONLY USED TO CLOSE OUT VERTICAL SHAFT
- 1510.2.4: PROPOSED PENTHOUSE WILL PROTECT INTERIOR FROM THE ELEMENTS
- 1510.2.4: PENTHOUSE OVER 2-HR STAIR SHAFT TO BE 2-HR CONSTRUCTION



3 STAIR @ 3RD FLOOR TO ROOF
1/4" = 1'-0"



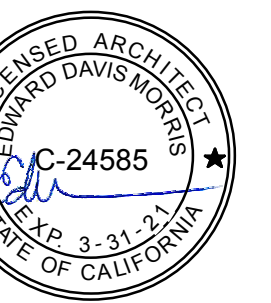
2 STAIR @ 3RD FLOOR - LOWER RUN
1/4" = 1'-0"



1 PROPOSED - ROOF STAIR PLAN
1/4" = 1'-0"

Revisions

2	VARIANCE REAR STAIR
---	---------------------



34 STEINER STREET

ADDITIONS /
ALTERATIONS TO
EXISTING UNITS -
DENSITY INCREASE

0875 / 013
BPA# 2018-0912-9872

ROOF ACCESS
STAIRS

DATE	07/17/2019
SCALE	As indicated
DRAWN BY	Author
CHECKED BY	Checker
JOB NO.	1802

G0.09



EXISTING ROOF HATCH ACCESS LADDER FROM DECK BELOW



EXISTING ROOF HATCH



EXISTING ROOF HATCH



EXISTING ROOF PENTHOUSE



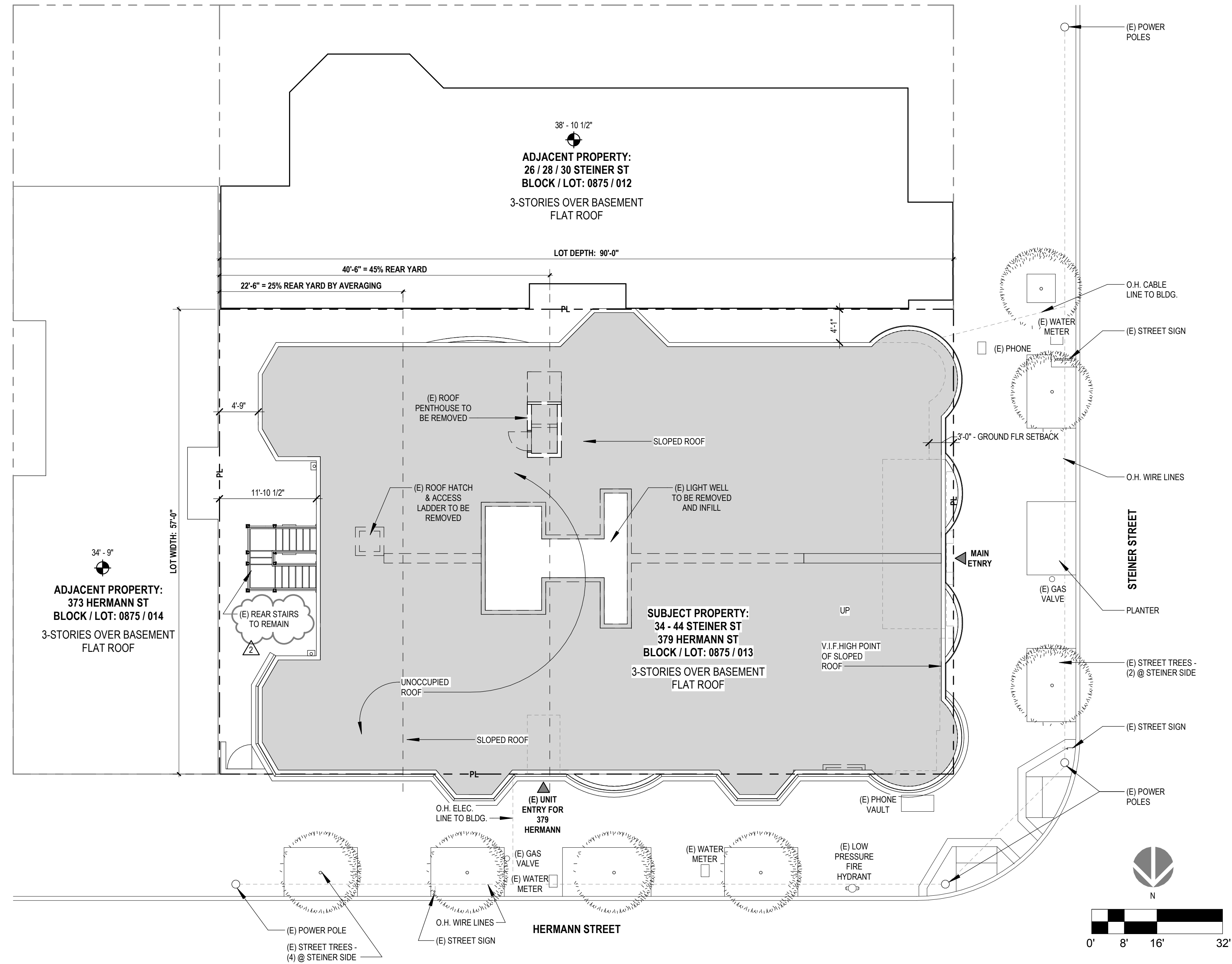
EXISTING ROOF HATCH

EXISTING ROOF PENTHOUSE

SITE

34 STEINER FROM 1938 RUMSEY

https://www.davidrumsey.com/luna/servlet/detail/RUMSEY--8-1-217219-5504219-E2%80%90Composite%2%80%90Image%2%80%9020of%2%80%90E2%80%90Views%2%80%901%2%80%90164%2%80%9020Sa?sort=Pub_List_No_InitialSort%2CPub_Date%2CPub_List_No%2CSeries_No&qvq=1938:sort:Pub_List_No_InitialSort%2CPub_Date%2CPub_List_No%2CSeries_No;lc:RUMSEY--8-1mi=0&trs=232#



1 SITE PLAN - EXISTING
1/8" = 1'-0"

Revisions

2	VARIANCE REAR STAIR
---	---------------------



34 STEINER STREET

ADDITIONS / ALTERATIONS TO EXISTING UNITS - DENSITY INCREASE

0875 / 013
BPA# 2018-0912-9872

EXISTING SITE PLAN

DATE 07/17/2019

SCALE 1/8" = 1'-0"

DRAWN BY Author

CHECKED BY Checker

JOB NO. 1802

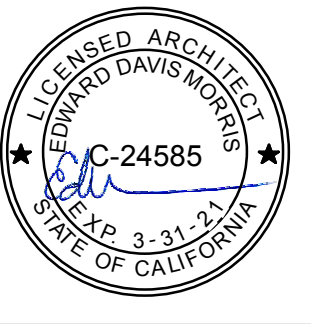
AE1.01

PARTITION LEGEND - DEMO

- (E) PARTITION TO REMAIN
- (E) PARTITION TO BE REMOVED
- (E) DEMISING WALLS
- (E) FLOOR TO BE REMOVED
- NEW INFILL FLOOR

Revisions

NO.	DESCRIPTION



34 STEINER STREET

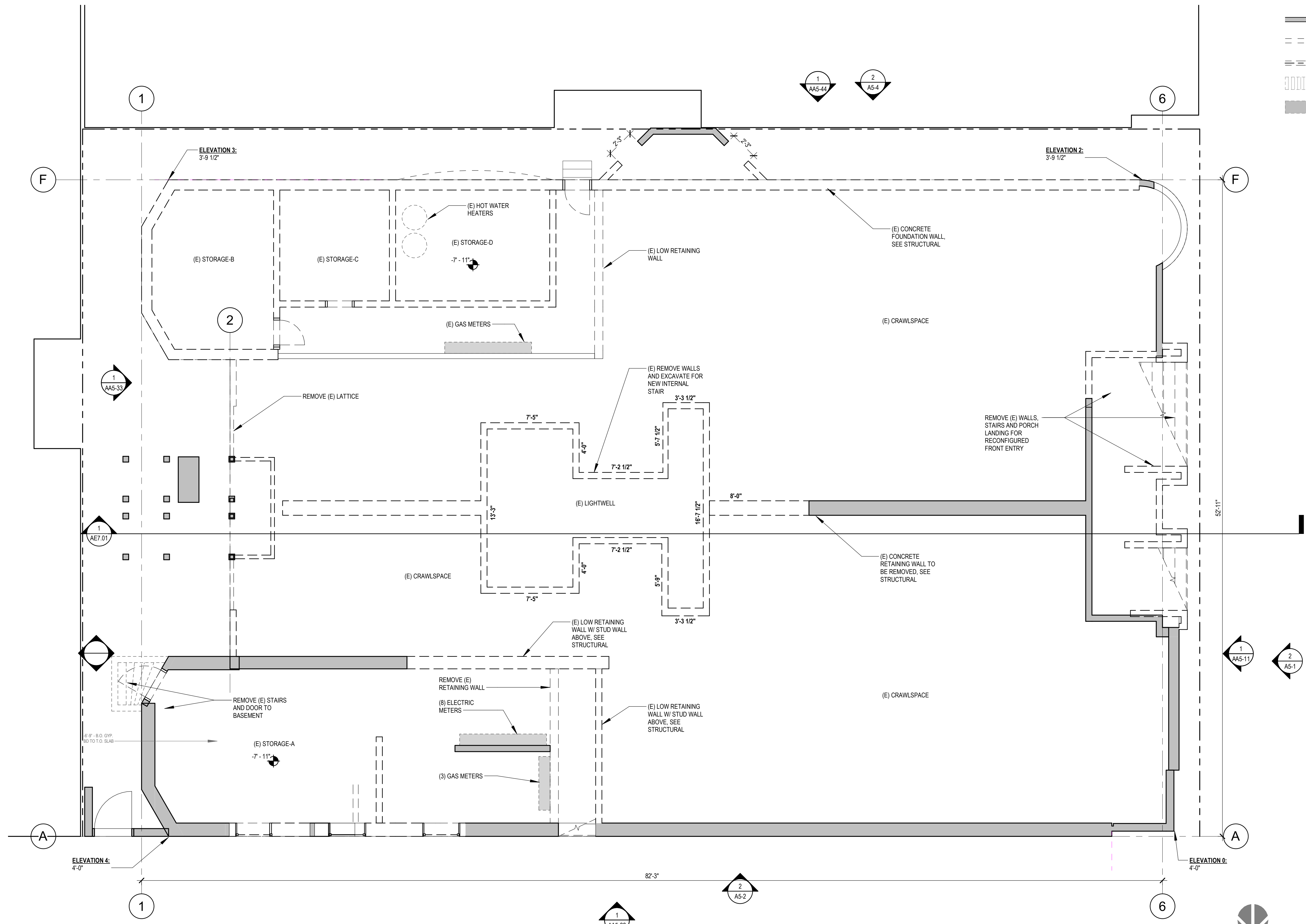
ADDITIONS /
 ALTERATIONS TO
 EXISTING UNITS -
 DENSITY INCREASE

0875 / 013
 BPA# 2018-0912-9872

EXISTING /
 DEMO -
 BASEMENT
 PLAN

DATE	07/17/2019
SCALE	As indicated
DRAWN BY	Author
CHECKED BY	Checker
JOB NO.	1802

AE2.01



EXISTING GRADE PLANE CALCULATION:
 ELEVATION 1: 4'-0"
 ELEVATION 2: 3'-9 1/2"
 ELEVATION 3: 3'-9 1/2"
 ELEVATION 4: 4'-0"
 BASEMENT AVERAGE: 3'-10 1/8"
 FIRST FLOOR ELEVATION: 7'-10 3/4"
 DIFFERENCE: 3'-3 5/8" (LESS THAN 6'-0")

1 EXISTING / DEMO - BASEMENT FLOOR PLAN
 1/4" = 1'-0"

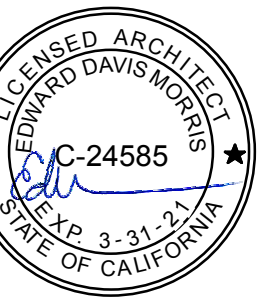
PARTITION LEGEND - DEMO

- (E) PARTITION TO REMAIN
- (E) PARTITION TO BE REMOVED
- (E) DEMISING WALLS
- (E) FLOOR TO BE REMOVED
- NEW INFILL FLOOR



Revisions

2	VARIANCE REAR STAIR
---	---------------------



34 STEINER STREET

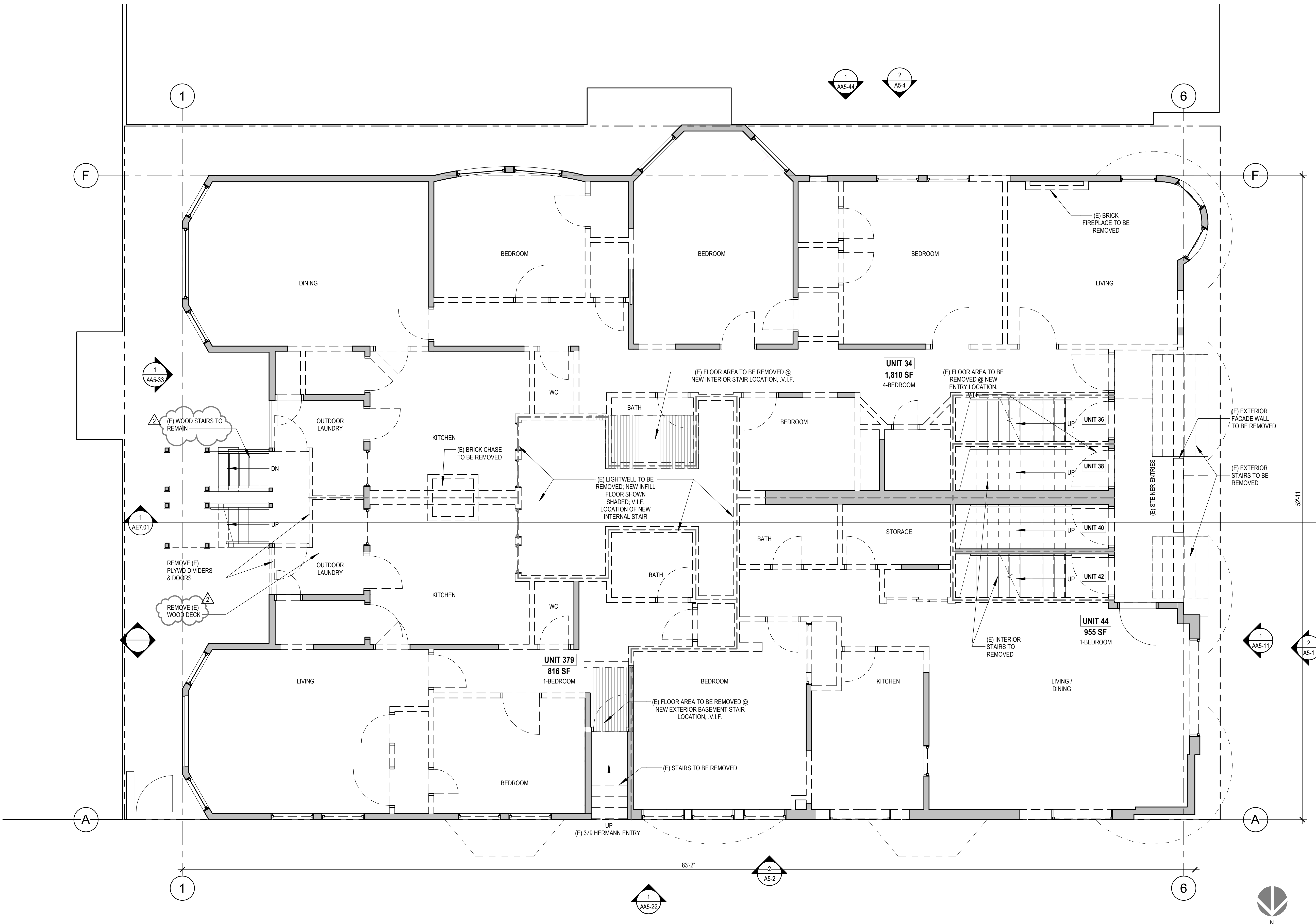
ADDITIONS / ALTERATIONS TO EXISTING UNITS - DENSITY INCREASE

0875 / 013
BPA# 2018-0912-9872

EXISTING / DEMO - FIRST FLOOR PLAN


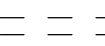
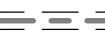


DATE	07/17/2019
SCALE	As indicated
DRAWN BY	Author
CHECKED BY	Checker
JOB NO.	1802

AE2.02



1 EXISTING / DEMO - FIRST FLOOR PLAN
1/4" = 1'-0"

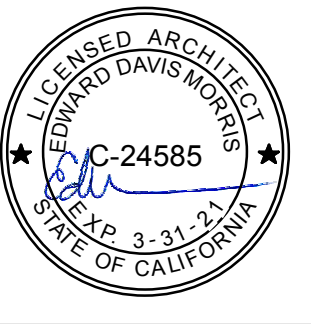
PARTITION LEGEND - DEMO

-  (E) PARTITION TO REMAIN
-  (E) PARTITION TO BE REMOVED
-  (E) DEMISING WALLS
-  (E) FLOOR TO BE REMOVED
-  NEW INFILL FLOOR

km
 kerman
 morris
 architects llp
 139 New Street
 San Francisco, CA
 94114
 415 749 0302

Revisions

2	VARIANCE REAR STAIR



34 STEINER STREET

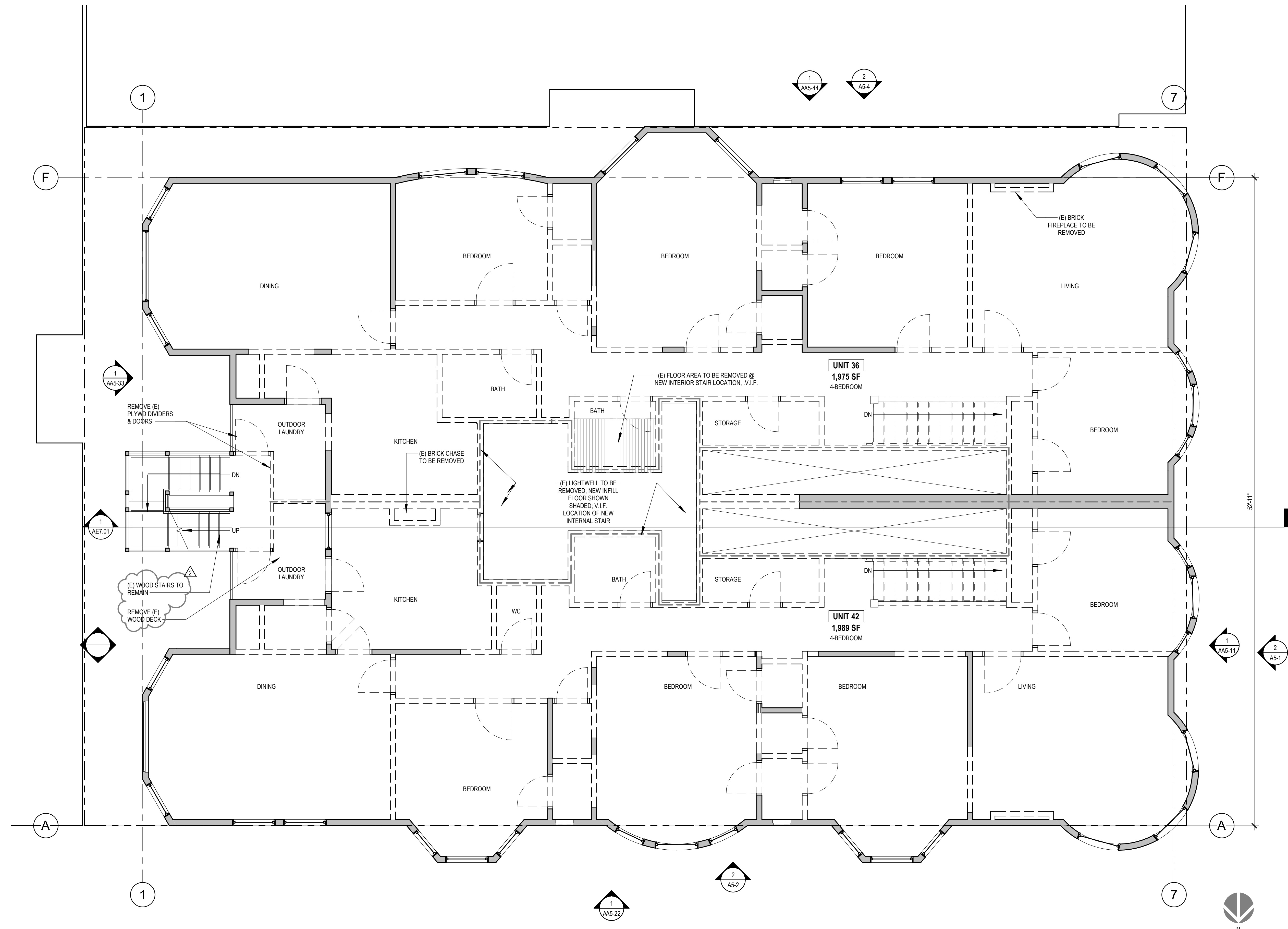
ADDITIONS /
 ALTERATIONS TO
 EXISTING UNITS -
 DENSITY INCREASE

0875 / 013
 BPA# 2018-0912-9872

**EXISTING /
 DEMO - SECOND
 FLOOR PLAN**

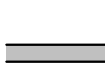
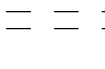



DATE	07/17/2019
SCALE	As indicated
DRAWN BY	Author
CHECKED BY	Checker
JOB NO.	1802

AE2.03



1 EXISTING / DEMO - SECOND FLOOR PLAN
 1/4" = 1'-0"

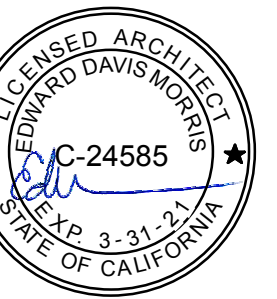
PARTITION LEGEND - DEMO

-  (E) PARTITION TO REMAIN
-  (E) PARTITION TO BE REMOVED
-  (E) DEMISING WALLS
-  (E) FLOOR TO BE REMOVED
-  NEW INFILL FLOOR

km
 kerman
 morris
 architects llp
 139 New Street
 San Francisco, CA
 94114
 415 749 0302

Revisions

2	VARIANCE REAR STAIR



34 STEINER STREET

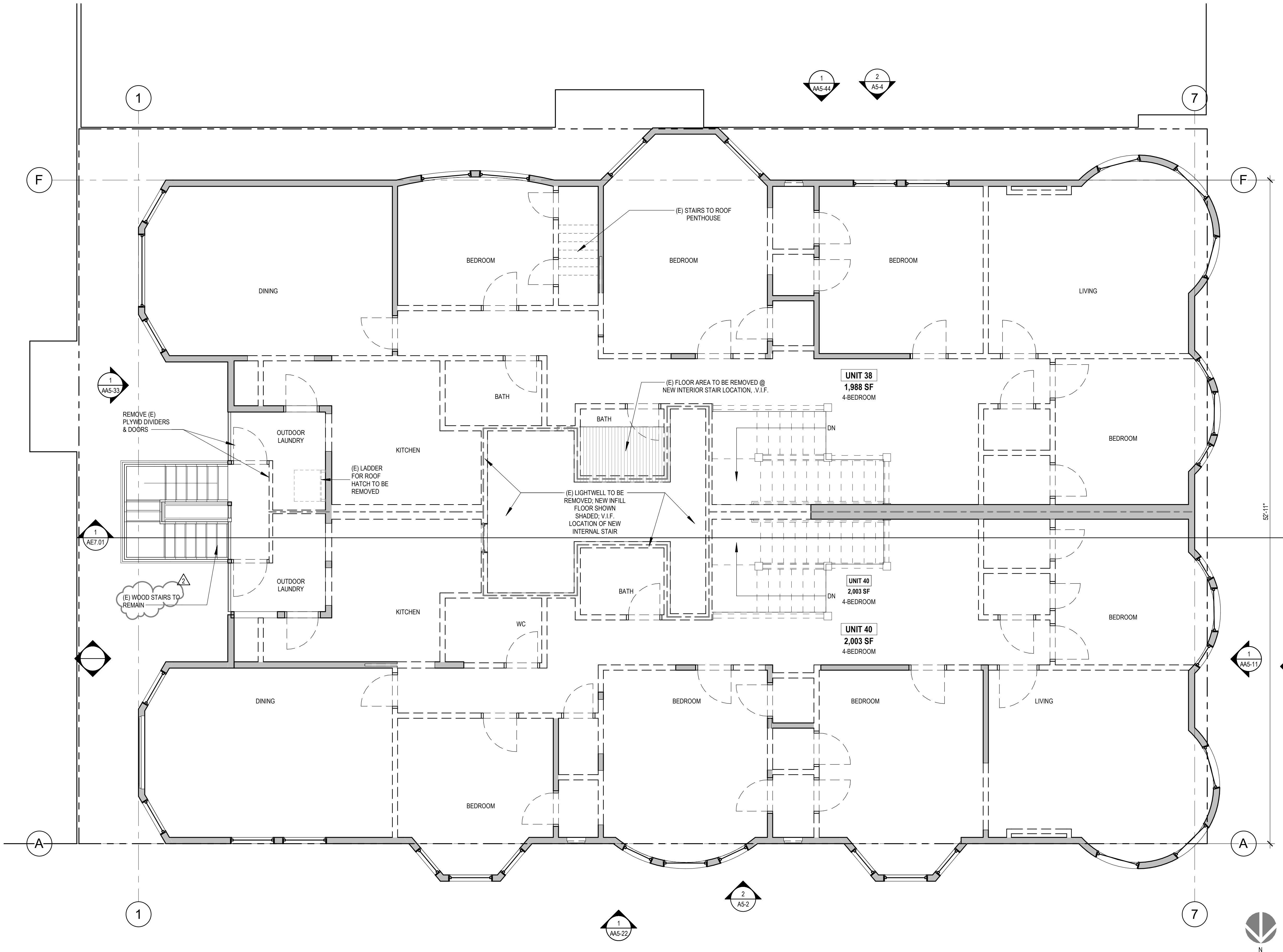
ADDITIONS /
 ALTERATIONS TO
 EXISTING UNITS -
 DENSITY INCREASE

0875 / 013
 BPA# 2018-0912-9872

**EXISTING /
 DEMO - THIRD
 FLOOR PLAN**

DATE	07/17/2019
SCALE	As indicated
DRAWN BY	Author
CHECKED BY	Checker
JOB NO.	1802

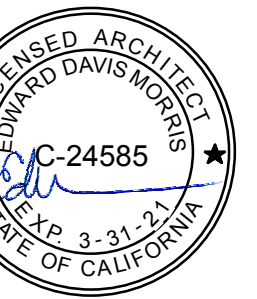
AE2.04



1 EXISTING / DEMO - THIRD FLOOR PLAN
 1/4" = 1'-0"

Revisions

NO.	DESCRIPTION



34 STEINER STREET

ADDITIONS /
 ALTERATIONS TO
 EXISTING UNITS -
 DENSITY INCREASE

0875 / 013
 BPA# 2018-0912-9872

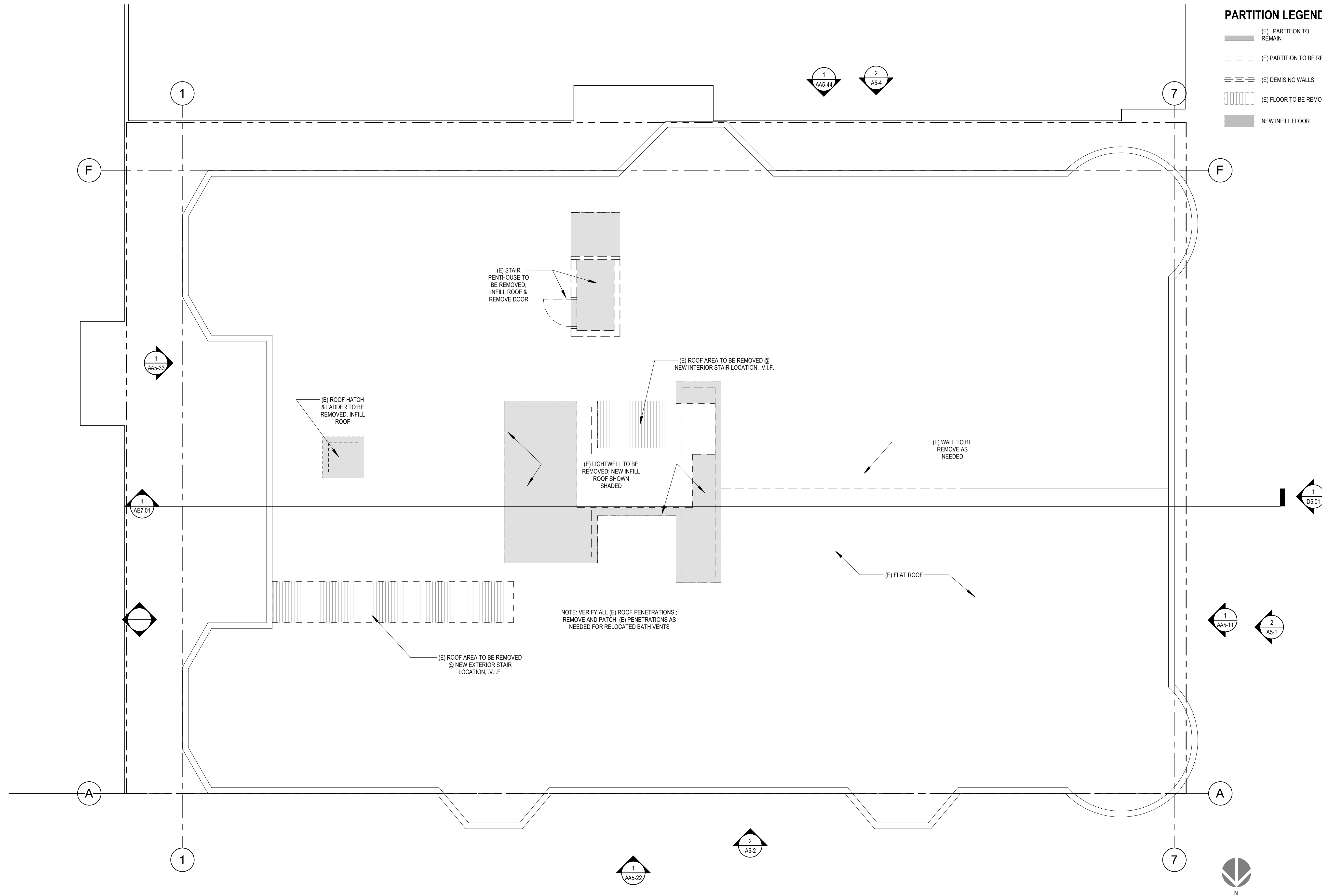
EXISTING /
 DEMO - ROOF
 PLAN

DATE	07/17/2019
SCALE	As indicated
DRAWN BY	Author
CHECKED BY	Checker
JOB NO.	1802

AE2.05

PARTITION LEGEND - DEMO

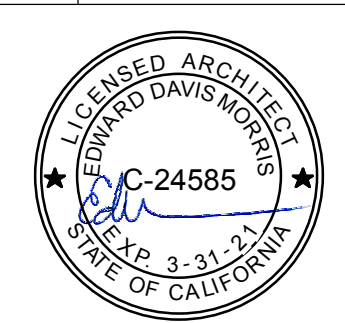
- (E) PARTITION TO REMAIN
- (E) PARTITION TO BE REMOVED
- (E) DEMISING WALLS
- (E) FLOOR TO BE REMOVED
- NEW INFILL FLOOR



1 EXISTING ROOF PLAN
 1/4" = 1'-0"

NOTE: VERIFY ALL (E) ROOF PENETRATIONS;
 REMOVE AND PATCH (E) PENETRATIONS AS
 NEEDED FOR RELOCATED BATH VENTS

Revisions



34 STEINER STREET

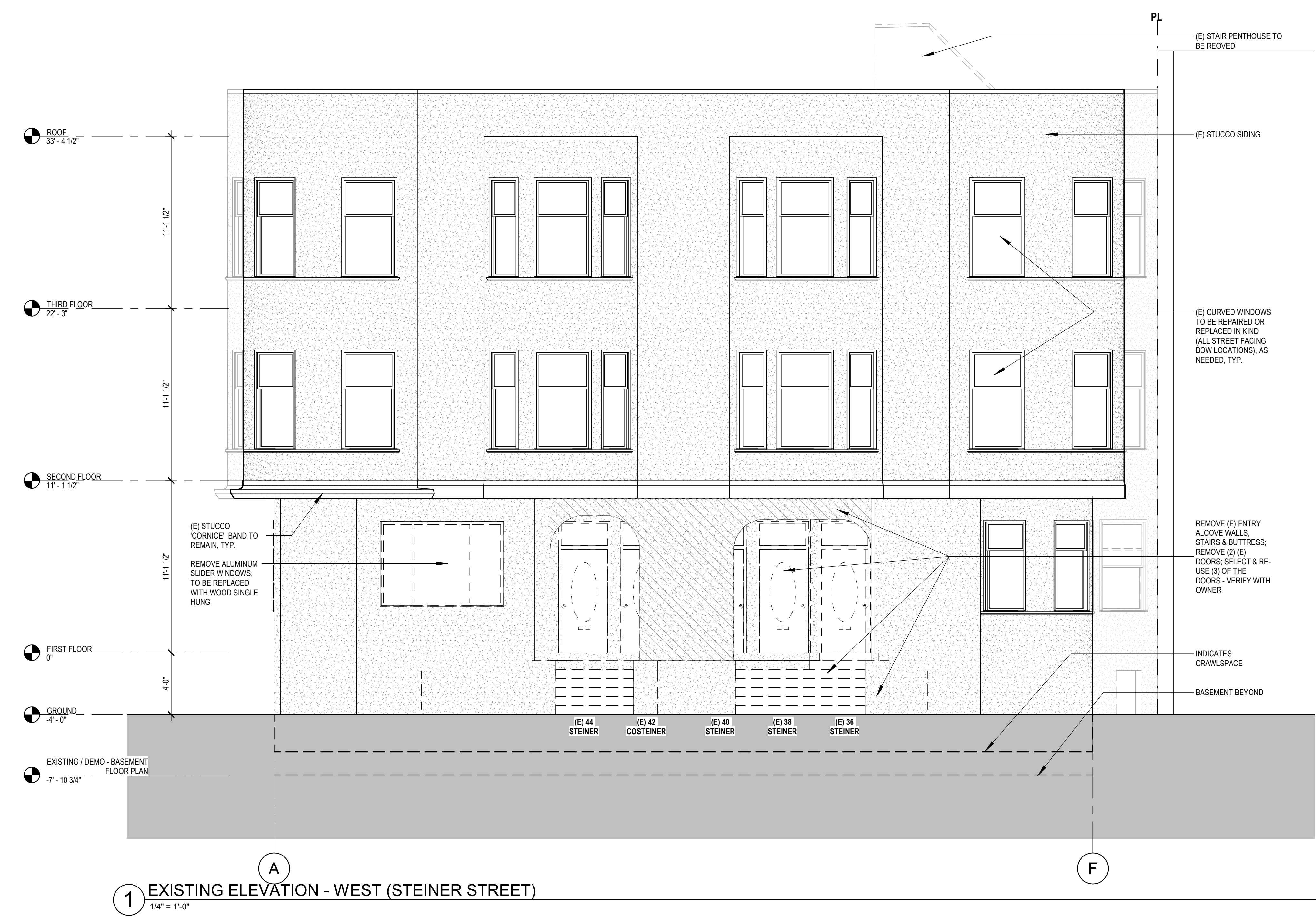
ADDITIONS /
 ALTERATIONS TO
 EXISTING UNITS -
 DENSITY INCREASE

0875 / 013
 BPA# 2018-0912-9872

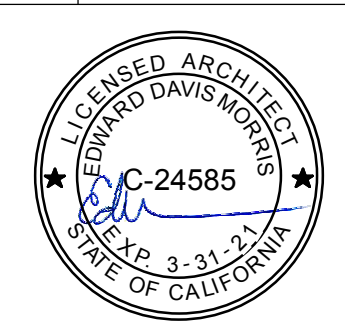
EXISTING EXTERIOR - WEST ELEVATION

DATE	07/17/2019
SCALE	1/4" = 1'-0"
DRAWN BY	Author
CHECKED BY	Checker
JOB NO.	1802

AE5.01



Revisions



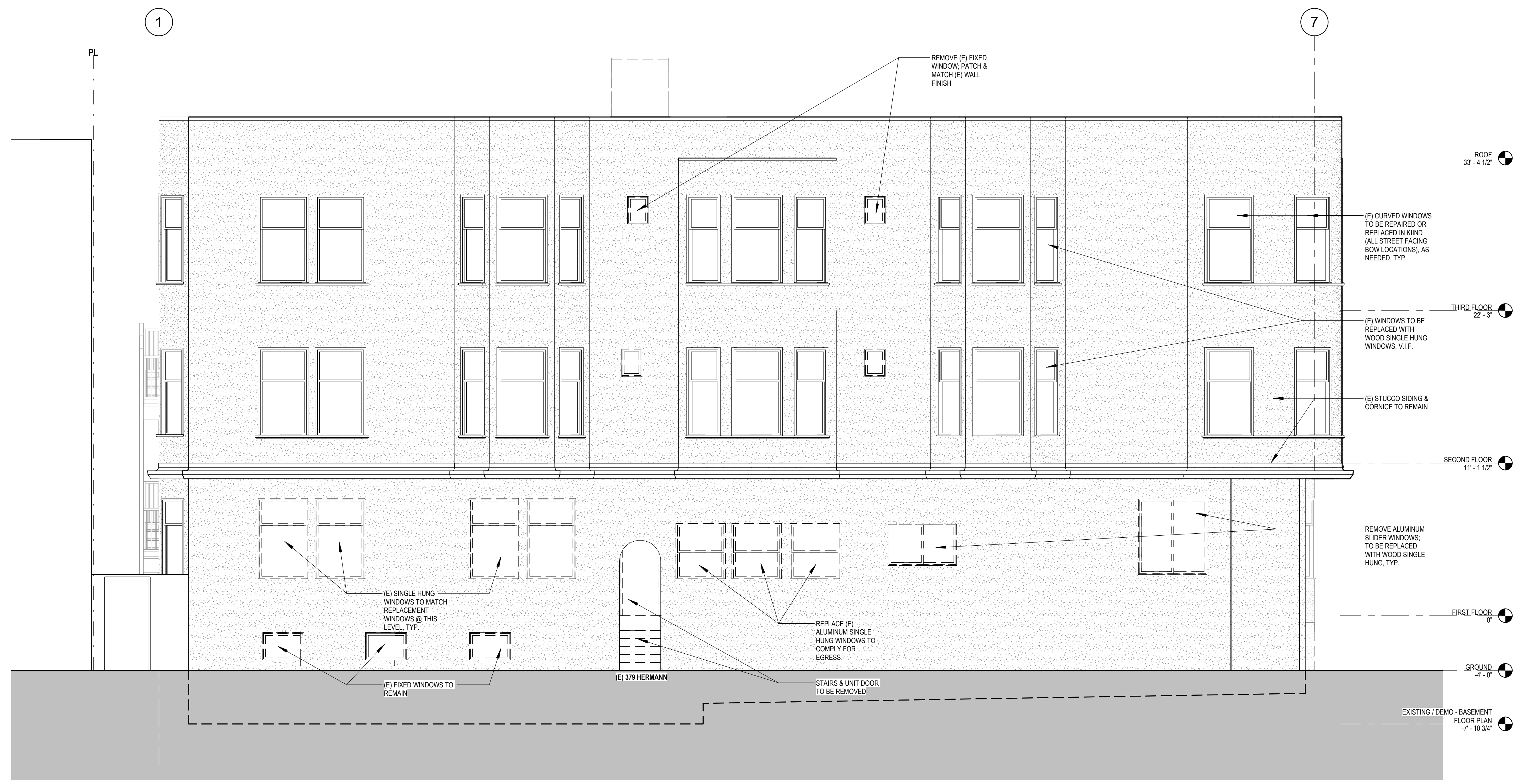
34 STEINER STREET
 ADDITIONS /
 ALTERATIONS TO
 EXISTING UNITS -
 DENSITY INCREASE

0875 / 013
 BPA# 2018-0912-9872

EXISTING
 EXTERIOR -
 NORTH
 ELEVATION

DATE	07/17/2019
SCALE	1/4" = 1'-0"
DRAWN BY	Author
CHECKED BY	Checker
JOB NO.	1802

AE5.02



1 EXISTING ELEVATION - NORTH (HERMANN STREET)
 1/4" = 1'-0"

Revisions	
2	VARIANCE REAR STAIR



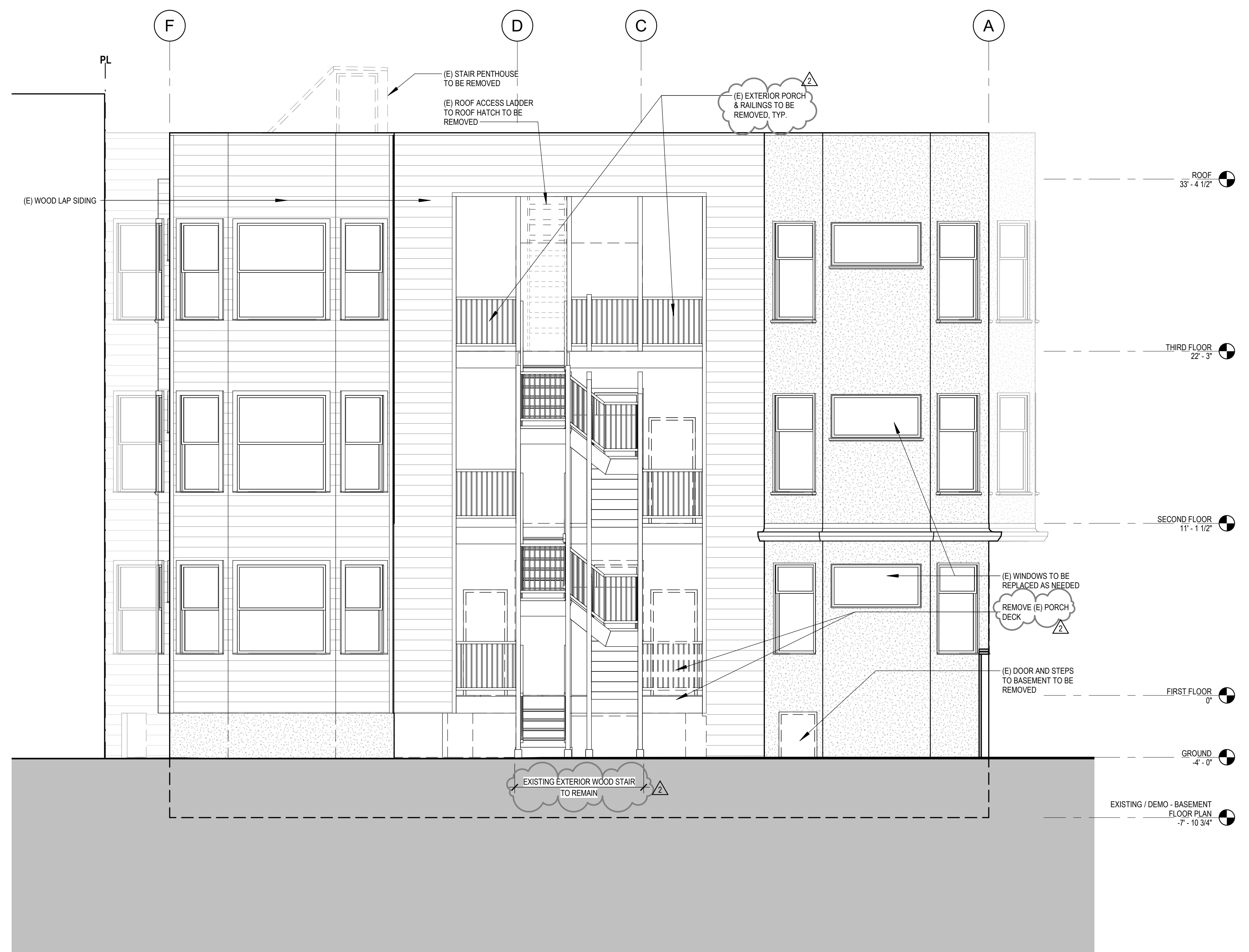
34 STEINER STREET
 ADDITIONS /
 ALTERATIONS TO
 EXISTING UNITS -
 DENSITY INCREASE

0875 / 013
 BPA# 2018-0912-9872

EXISTING
 EXTERIOR -
 EAST
 ELEVATION

DATE	07/17/2019
SCALE	1/4" = 1'-0"
DRAWN BY	Author
CHECKED BY	Checker
JOB NO.	1802

AE5.03



Revisions	
2	VARIANCE REAR STAIR



34 STEINER STREET
 ADDITIONS /
 ALTERATIONS TO
 EXISTING UNITS -
 DENSITY INCREASE

0875 / 013
 BPA# 2018-0912-9872

EXISTING
 EXTERIOR -
 SOUTH
 ELEVATION

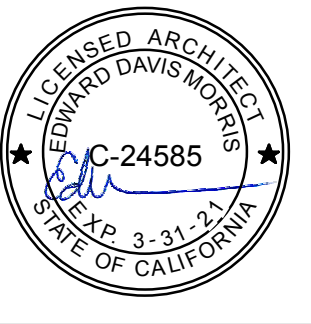
DATE	07/17/2019
SCALE	1/4" = 1'-0"
DRAWN BY	Author
CHECKED BY	Checker
JOB NO.	1802

AE5.04



1 EXISTING ELEVATION - SOUTH
 1/4" = 1'-0"

Revisions	
1	PLAN CK 1
2	VARIANCE REAR STAIR



34 STEINER STREET
 ADDITIONS / ALTERATIONS TO EXISTING UNITS - DENSITY INCREASE

0875 / 013
 BPA# 2018-0912-9872

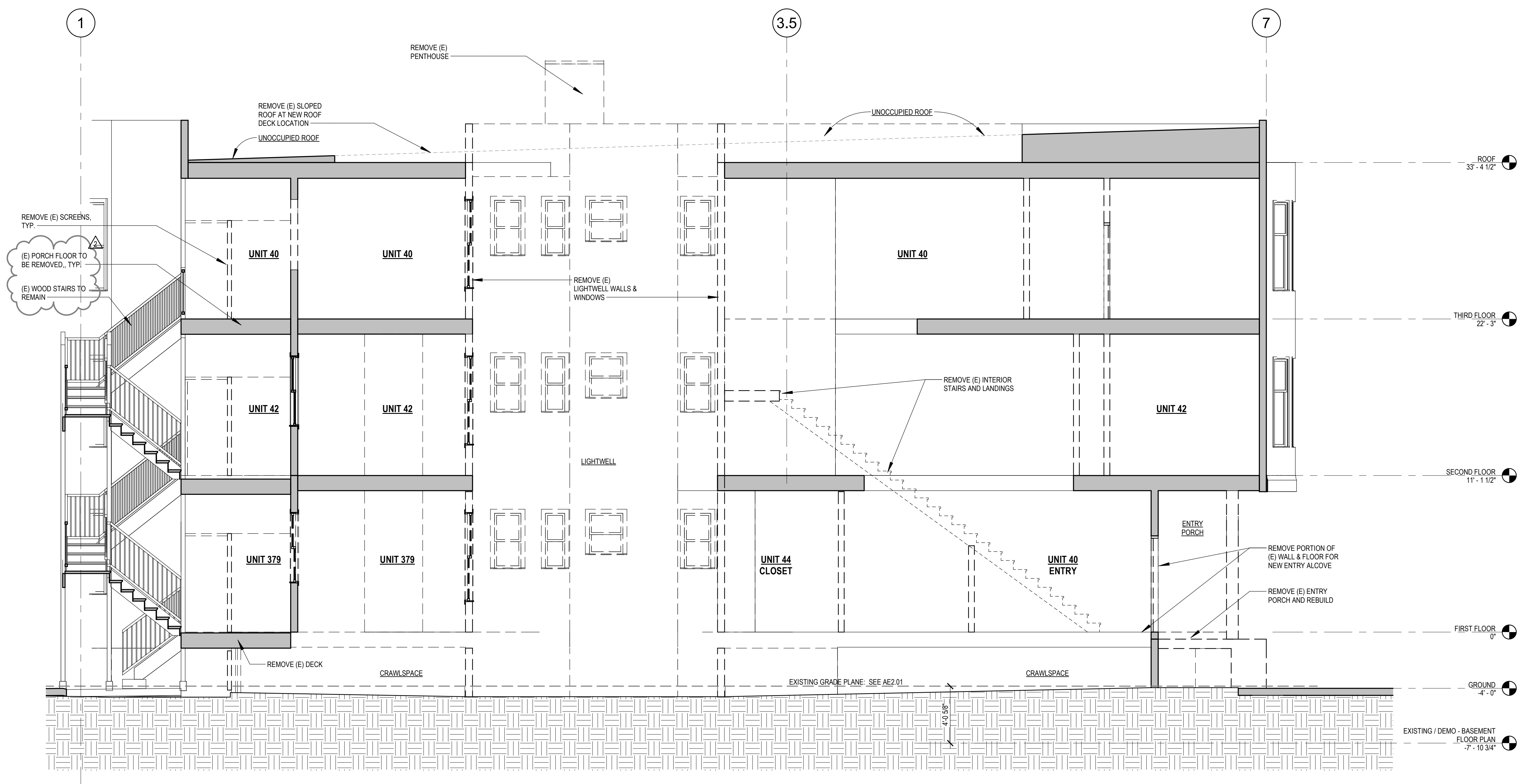
BUILDING SECTION EXISTING

DATE	07/17/2019
SCALE	As indicated
DRAWN BY	Author
CHECKED BY	Checker
JOB NO.	1802

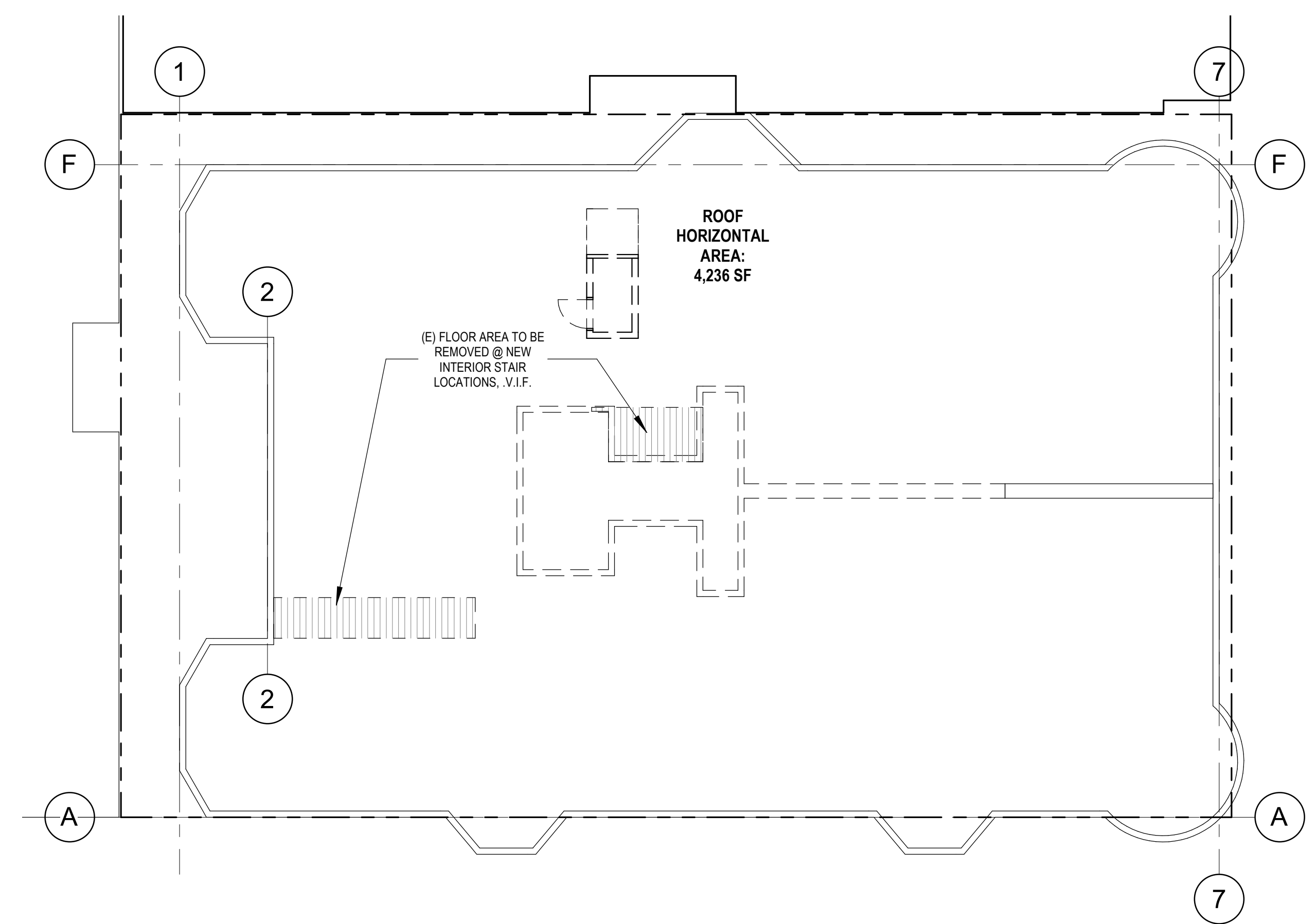
AE7.01

PARTITION LEGEND - DEMO

- (E) PARTITION TO REMAIN
- (E) PARTITION TO BE REMOVED
- (E) DEMISING WALLS
- (E) FLOOR TO BE REMOVED
- NEW INFILL FLOOR



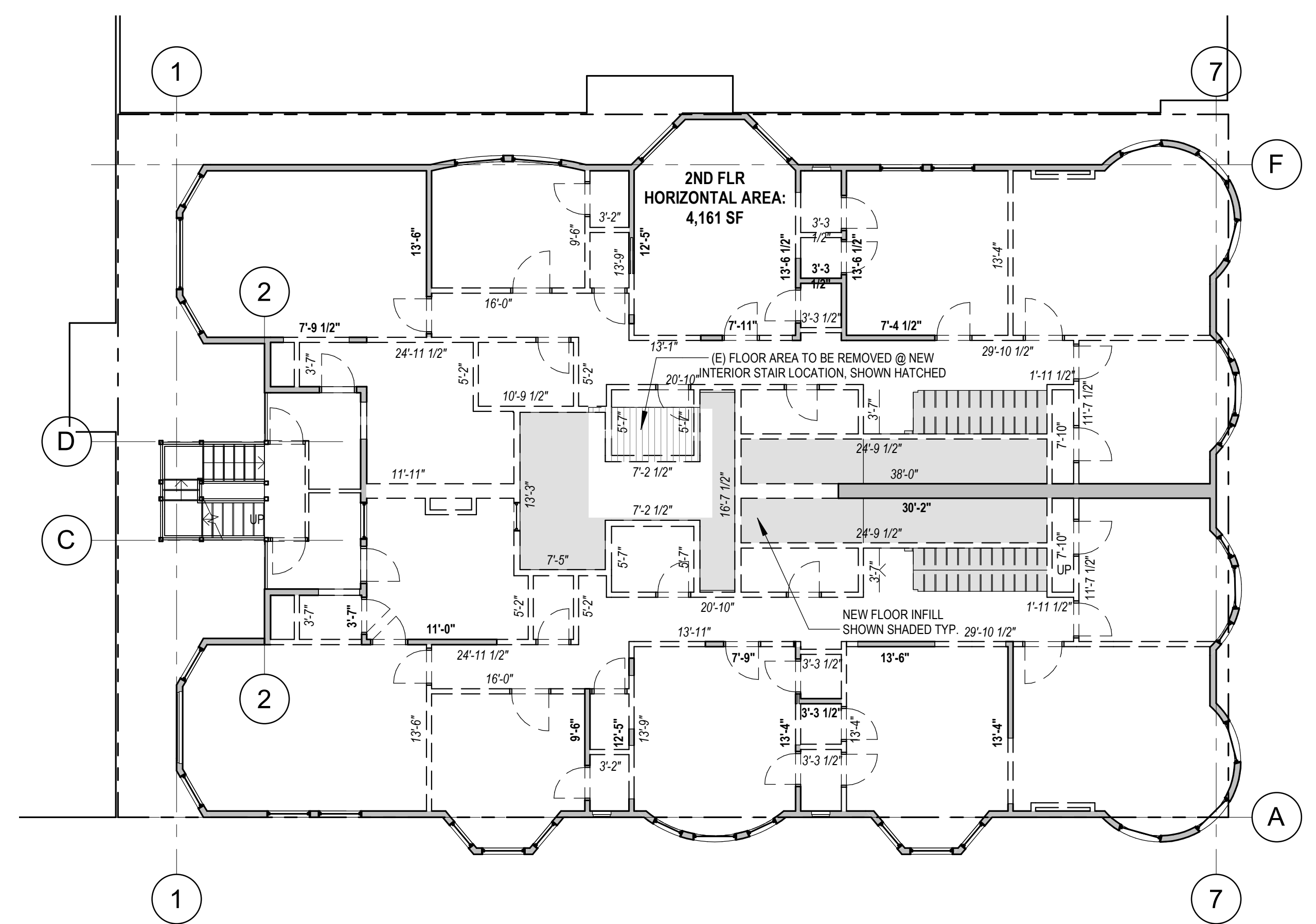
1 EXISTING SECTION - EAST / WEST
 1/4" = 1'-0"



4 DEMO ROOF PLAN
1/8" = 1'-0"

LINEAR FEET OF (E) EXTERNAL WALLS

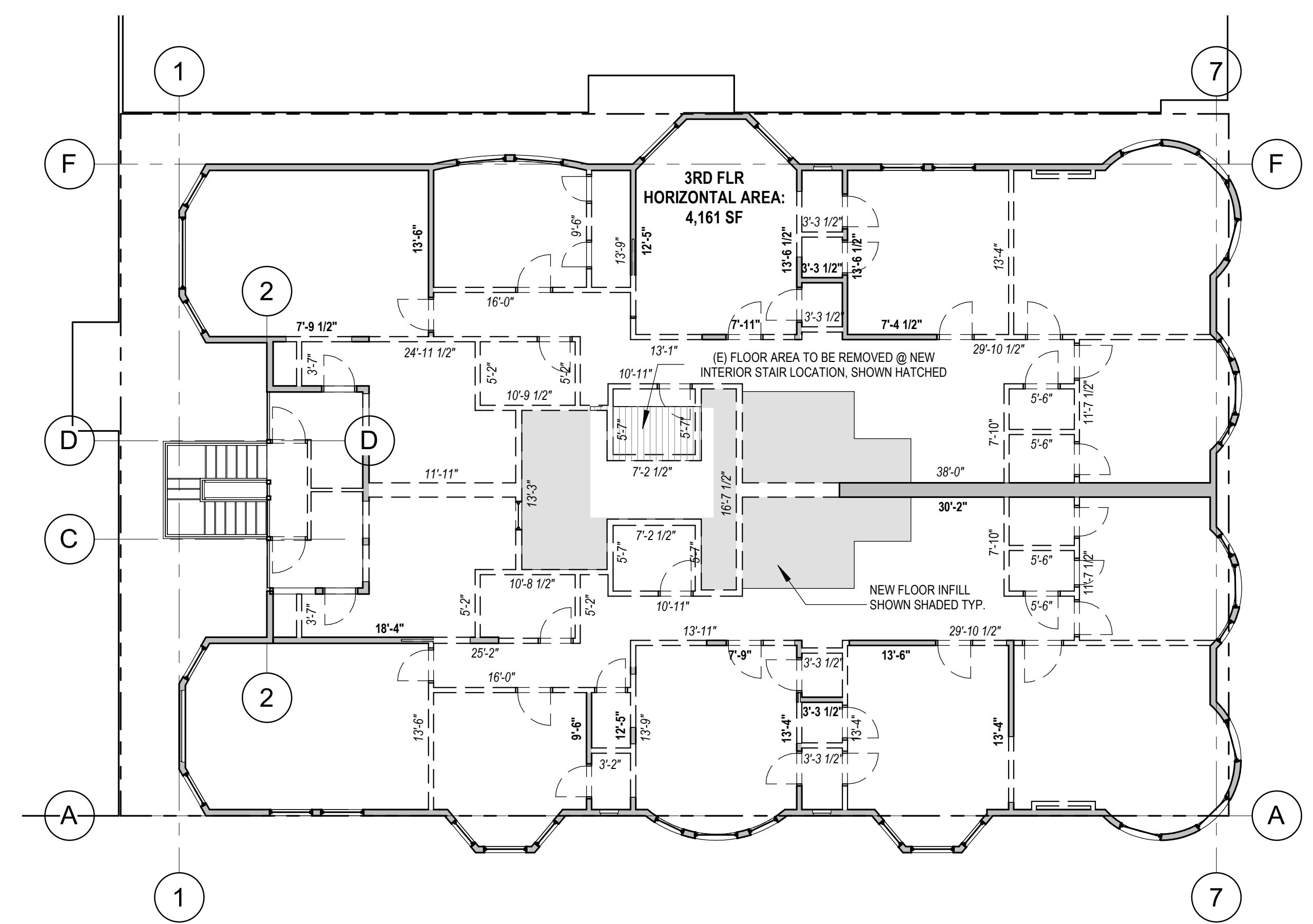
ELEMENTS	PER FACADE	TOTAL
LINEAR FEET OF ALL (E) EXTERNAL WALLS, MEASURED AT THE FOUNDATION LEVEL	S 81'-8 5/8" E 65'-1 3/4" N 80'-11 7/8" W 66'-8 1/4"	294'-6 1/2"



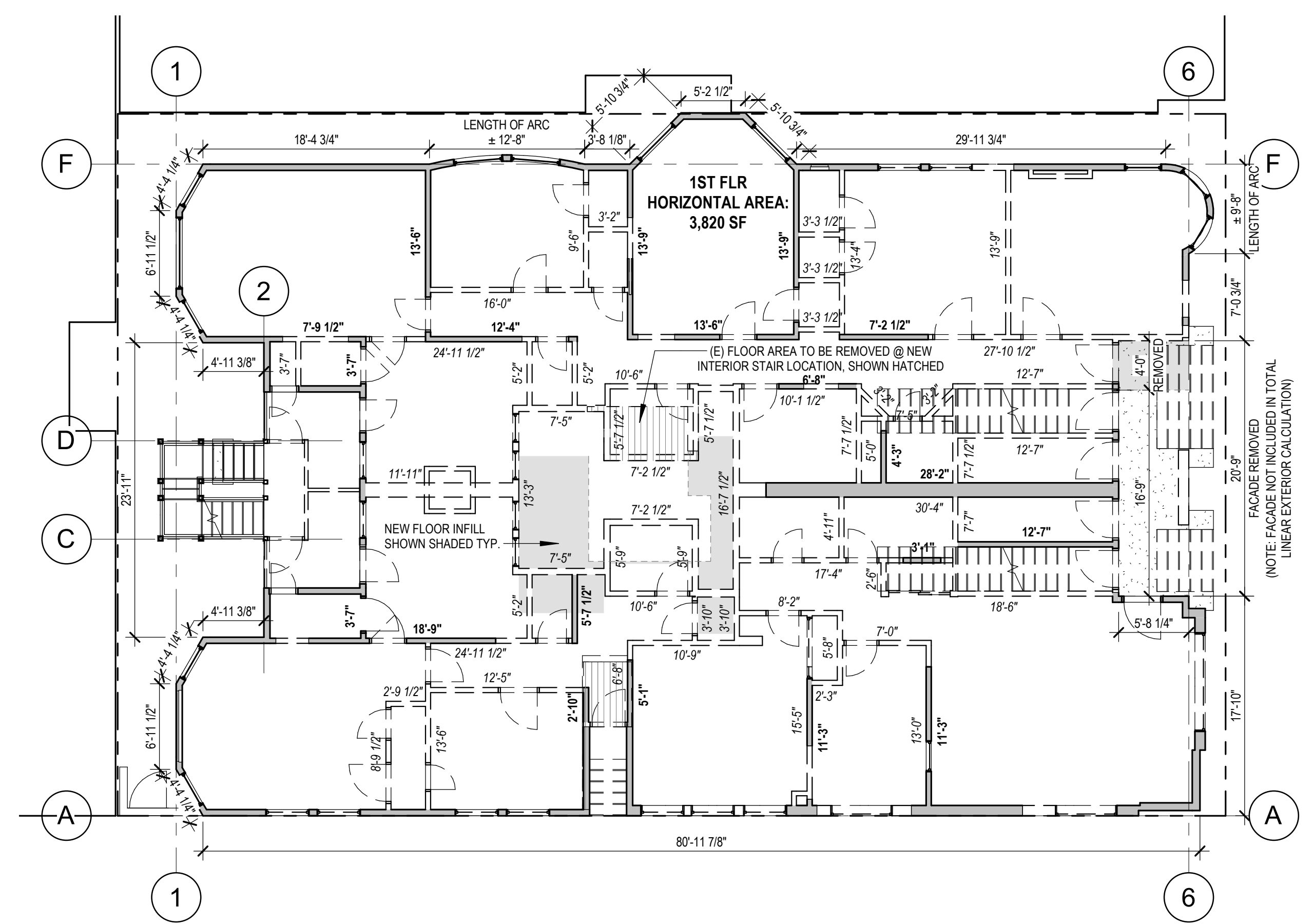
2 DEMO SECOND FLOOR PLAN
1/8" = 1'-0"

**DEMOLITION PERCENTAGES:
LINEAR FEET OF (E) INTERNAL WALLS PER FLOOR LEVEL**

LEVEL	TOTAL (E) LINEAR FEET EXISTING WALLS	EXISTING WALLS LINEAR FEET TO REMAIN	PERCENTAGE TO REMAIN
FIRST	622'-4"	186'-8"	31.90%
SECOND	656'-2"	196'-10"	30.07%
THIRD	564'-2"	169'-3"	35.63%



3 DEMO THIRD FLOOR PLAN
1/8" = 1'-0"



1 DEMO FIRST FLOOR PLAN
1/8" = 1'-0"

Revisions



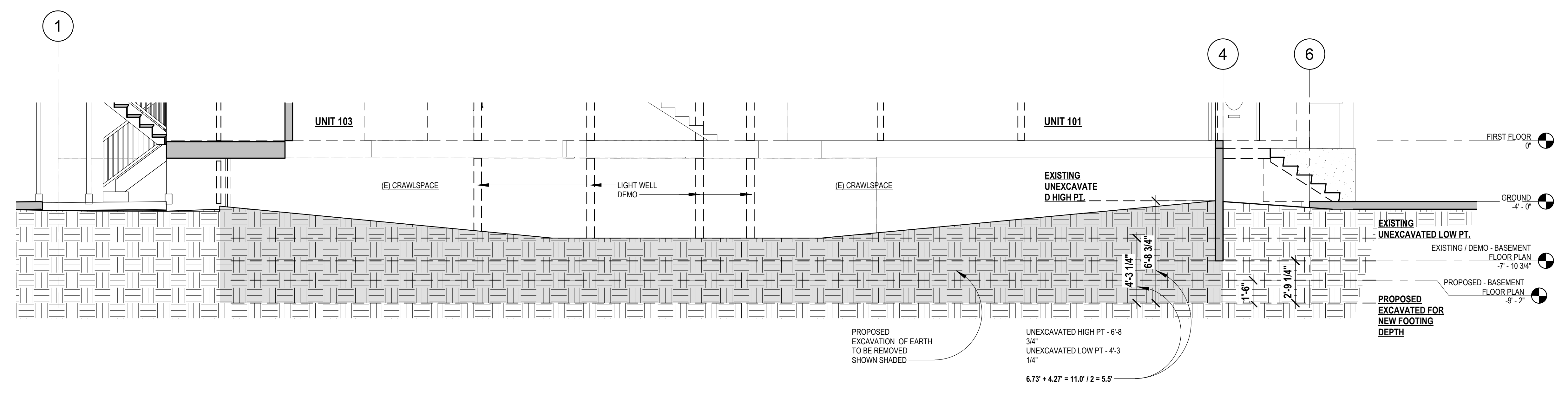
34 STEINER STREET
 ADDITIONS /
 ALTERATIONS TO
 EXISTING UNITS -
 DENSITY INCREASE

0875 / 013
 BPA# 2018-0912-9872

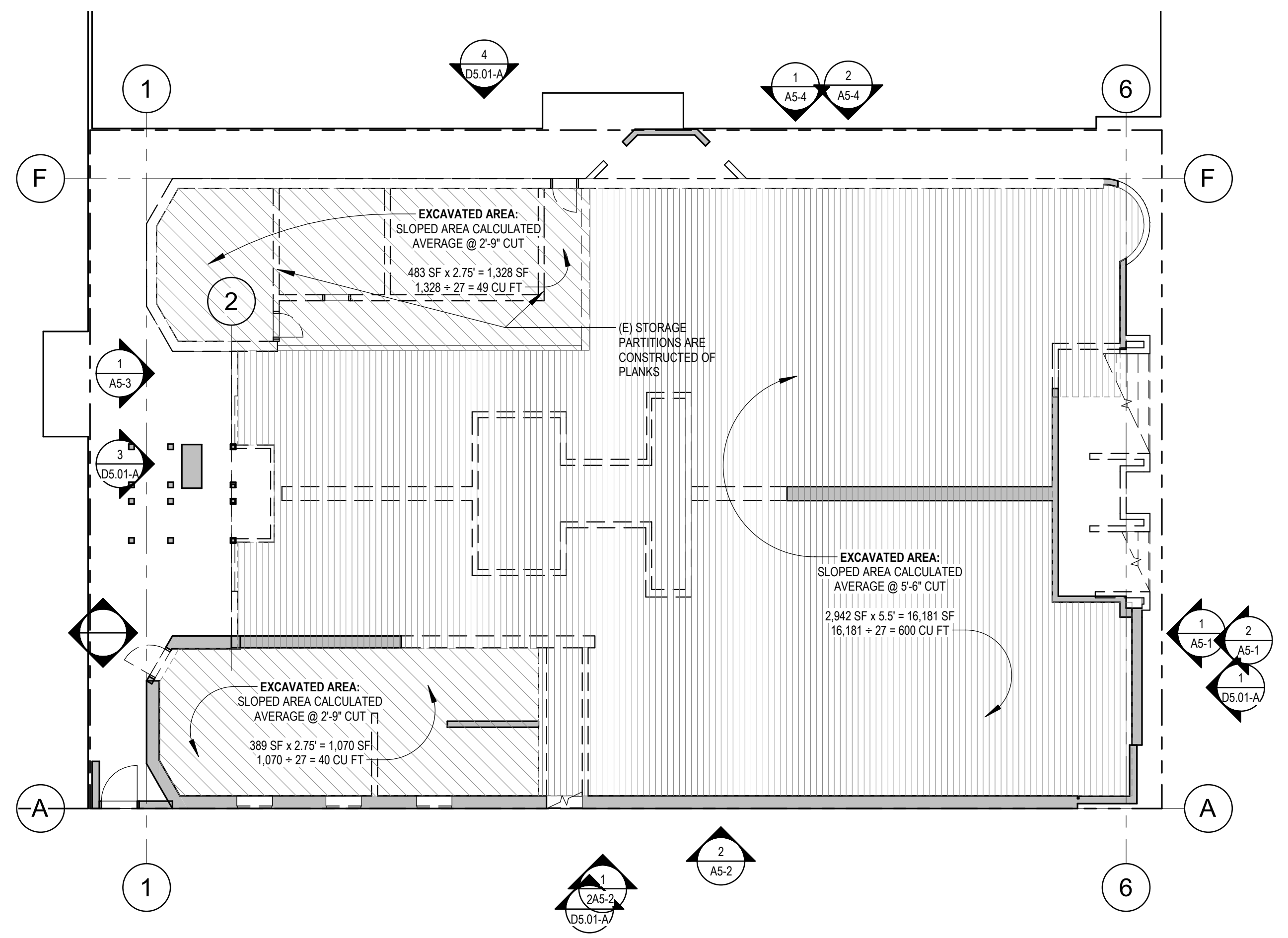
**DEMO
 EXCAVATION
 PLAN -
 BASEMENT**

DATE	07/17/2019
SCALE	As indicated
DRAWN BY	Author
CHECKED BY	Checker
JOB NO.	1802

D2.02



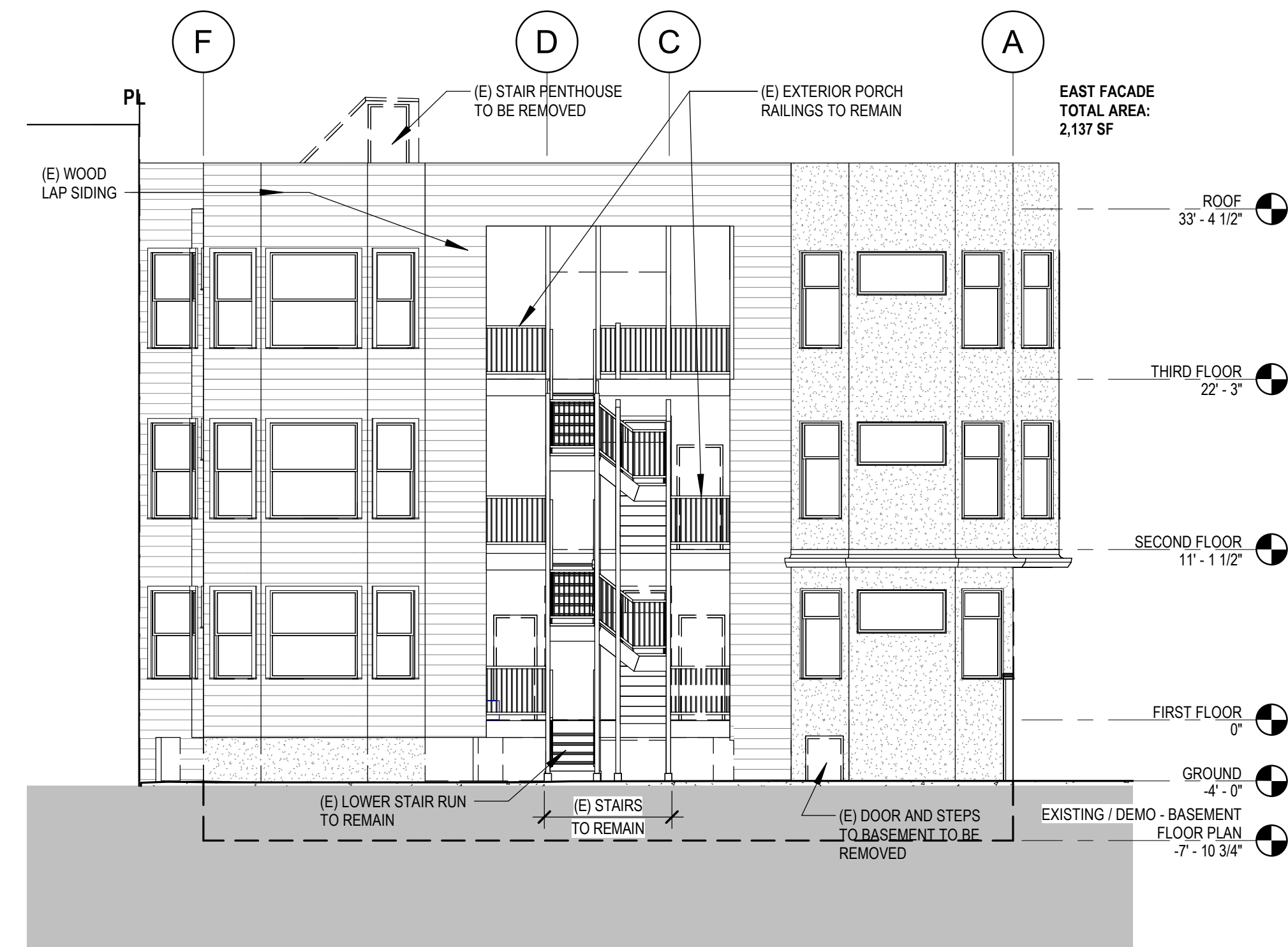
2 PROPOSED EXCAVATION
 1/4" = 1'-0"



1 EXISTING / DEMO - BASEMENT EXCAVATION PLAN
 1/8" = 1'-0"



4 DEMO ELEVATION - SOUTH
1/8" = 1'-0"



3 DEMO ELEVATION - EAST
1/8" = 1'-0"

DEMOLITION CALCULATION
(PER SF PLANNING CODE SECTION 317)

REMOVAL OF ELEMENTS	PROPOSED PROJECT	PROPOSED (TOTAL)	PLANNING LIMITS & COMPLIANCE
REMOVAL OF FRONT FACADE AND REAR FACADE, MEASURED IN LINEAR FEET AT THE FOUNDATION LEVEL AND	E (0'-0" / 65'-1 3/4") W (9'-8 1/4" / 66'-8 1/4")	7% (9'-8 1/4" / 131'-10") SHEET D2.01	50% OR MORE
REMOVAL OF ALL EXTERNAL WALLS, MEASURED IN LINEAR FEET AT THE FOUNDATION LEVEL AND	S (0'-0" / 81'-8 5/8") E (0'-0" / 65'-1 3/4") N (0'-0" / 80'-11 7/8") W (9'-8 1/4" / 66'-8 1/4")	3% (56'-1/2" / 294'-6 1/2") SHEET - D5.01	65% OR MORE
REMOVAL OF VERTICAL ENVELOPE ELEMENTS, MEASURED IN SQ. FEET OF ACTUAL SURFACE AREA AND	S (19 SF / 3,366 SF) E (0 SF / 2,137 SF) N (68 SF / 3,357 SF) W (124 SF / 2,242 SF)	2% (201 SF / 11,102 SF) SHEET D5.01	50% OR MORE
REMOVAL OF THE HORIZONTAL ELEMENTS, MEASURED IN SQ. FEET OF ACTUAL SURFACE AREA	1ST (59 SF / 3,820 SF) 2ND (34 SF / 4,161 SF) 3RD (34 SF / 4,161 SF) ROOF (89 SF / 4,236 SF)	1% (216 SF / 16,378 SF) SHEET D2.01	50% OR MORE

ACCORDING TO THE PLANNING CODE, SECTION 317(b)(2)(B) REQUIRES AN ALTERATION OF A RESIDENTIAL BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN 50% OF THE SUM OF THE FRONT FACADE AND REAR FACADE AND ALSO PROPOSES THE REMOVAL OF MORE THAN 65% OF THE SUM OF ALL EXTERIOR WALLS, MEASURED IN LINEAR FEET AT THE FOUNDATION LEVEL TO BE CONSIDERED AS DEMOLITION. IN THIS CASE, THE ALTERATION OF THE RESIDENTIAL BUILDING PROPOSES THE REMOVAL OF 19% OF THE SUM OF ALL EXTERIOR WALLS AND 43% OF THE THE SUM OF THE FRONT FACADE AND REAR FACADE. BOTH THRESHOLDS HAVE BEEN MET, THEREFORE **BUILDING COMPLIES**.

ACCORDING TO PLANNING CODE SEC.317(b)(2)(C) REQUIRES ALTERATION OF A RESIDENTIAL BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN 50% OF THE VERTICAL ENVELOPE ELEMENTS AND MORE THAN 50% OF THE HORIZONTAL ELEMENTS OF THE EXISTING BUILDING, AS MEASURED IN SQUARE FEET OF ACTUAL SURFACE AREA TO BE CONSIDERED AS DEMOLITION. IN THIS CASE, THE ALTERATION OF THE RESIDENTIAL BUILDING(S) PROPOSES THE REMOVAL OF 3% OF THE VERTICAL ENVELOPE ELEMENTS AND 1% OF THE HORIZONTAL ELEMENTS OF THE EXISTING BUILDING. BOTH THRESHOLDS HAVE BEEN MET, THEREFORE, **BUILDING COMPLIES**.



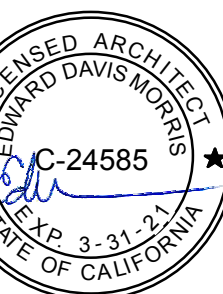
2 DEMO ELEVATION - NORTH (HERMANN STREET)
1/8" = 1'-0"



1 DEMO ELEVATION - WEST (STEINER STREET)
1/8" = 1'-0"

Revisions

1 PLAN CK 1



34 STEINER STREET

ADDITIONS /
ALTERATIONS TO
EXISTING UNITS -
DENSITY INCREASE

0875 / 013

BPA# 2018-0912-9872

DEMO
EXTERIOR
ELEVATIONS &
CALCULATIONS

DATE 07/17/2019

SCALE As indicated

DRAWN BY Author

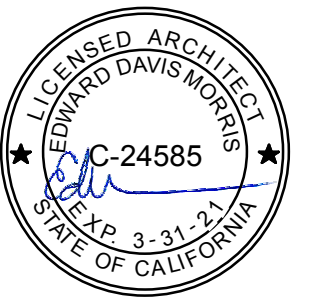
CHECKED BY Checker

JOB NO. 1802

D5.01

Revisions

1	PLAN CK 1



34 STEINER STREET

ADDITIONS /
 ALTERATIONS TO
 EXISTING UNITS -
 DENSITY INCREASE

0875 / 013
 BPA# 2018-0912-9872

**PROPOSED -
 BASEMENT
 FLOOR PLAN**

DATE	07/17/2019
SCALE	As indicated
DRAWN BY	Author
CHECKED BY	Checker
JOB NO.	1802

A2.01

PARTITION LEGEND

- (E) PARTITION TO REMAIN
- (E) PARTITION TO BE REMOVED
- (N) PARTITION (SEE SHEET A10.01)
- 1-HR SEPARATION
- 2-HR SEPARATION

GENERAL DOOR NOTES

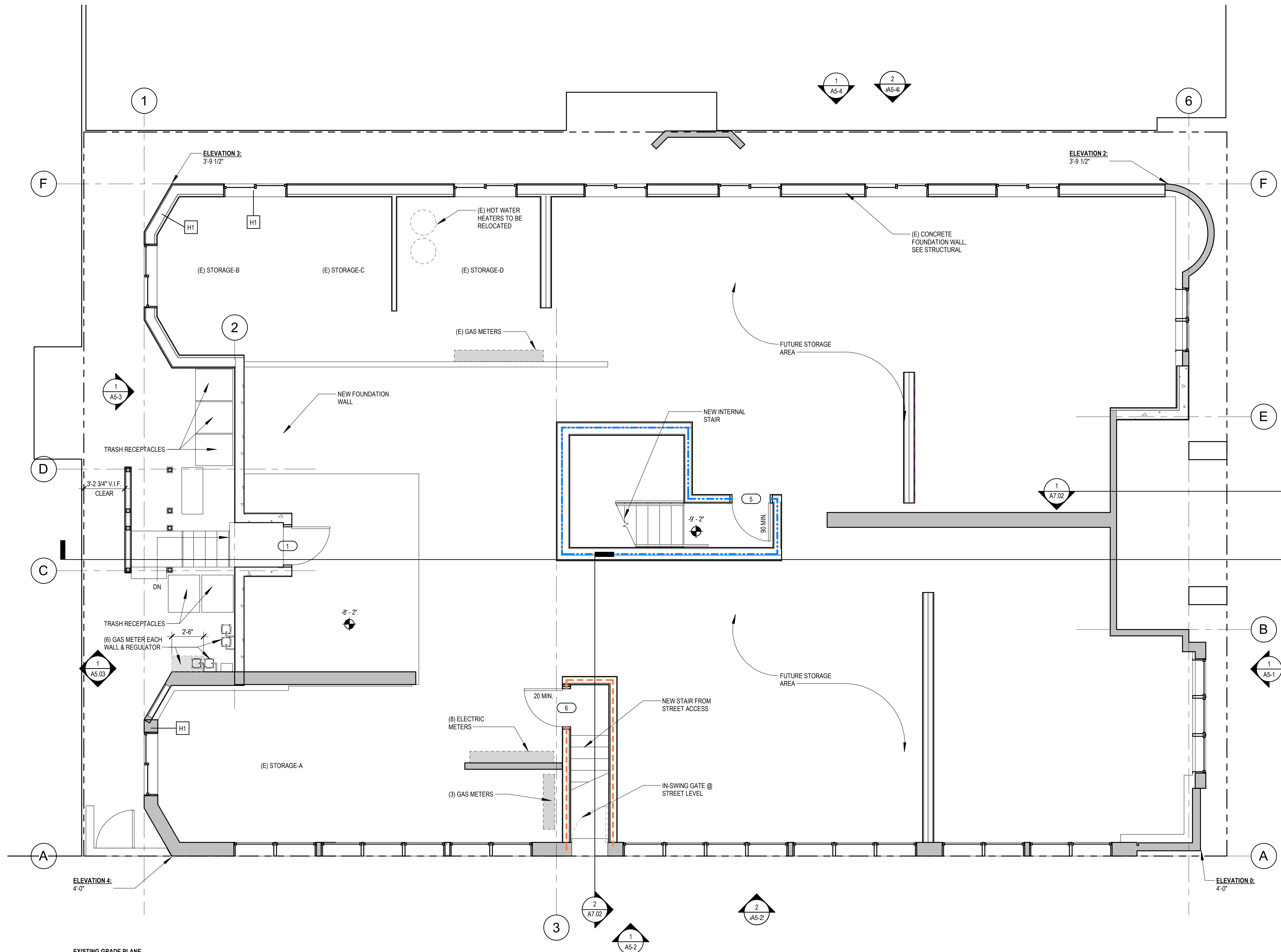
1. ALL DOOR OPENINGS, DOORS, FRAMES AND HARDWARE SHALL COMPLY WITH ALL APPLICABLE CODES AND U.L. SPECIFICATIONS.
2. COORDINATE ALL DOORS AND DOOR DETAILS TO PROVIDE ADEQUATE CLEARANCE AND FRAME REINFORCEMENT FOR HARDWARE TYPES. SEE SPECIFICATIONS FOR HARDWARE MOUNTING HEIGHTS.
3. ALL HOLLOW METAL DOORS AND DOOR FRAMES TO BE PAINTED BOTH SIDES.
4. ALL GLASS SURFACES SHALL BE PREFINISHED.
5. ALL FIRE RATED DOORS TO RECEIVE LABELED CLOSING DEVICES, FRAMES AND AUTOMATIC LATCHES.
6. ALL DOOR SIZES ARE FRAME OPENING SIZE, U.O.N.
7. VERIFY ALL H.M. FRAME THROAT WIDTHS WITH SPECIFIC WALL WIDTHS AT EACH LOCATION.
8. ALL GLAZING TO BE SAFETY GLAZING AS REQUIRED BY CODE.
9. DOOR LATCH HARDWARE TO BE INSTALLED 40" A.F.F., U.O.N.
10. DOORS WILL NOT HAVE CLOSER HARDWARE U.O.N.
11. ALL GLAZED DOORS TO COMPLY WITH REQUIREMENTS OF T-24 ENERGY REPORT AND "WINDOW & DOOR ENERGY COMPLIANCE NOTES."
12. HIGH-LOW VENTS IN ALL CLOSET DOORS THAT HOUSE WASHER/DRYER UNITS
13. U-FACTOR AND SHGC PER ENERGY NOTES

GENERAL WINDOW NOTES

1. ALL WINDOWS TO BE NFRC-RATED.
2. ALL WINDOWS TO BE REPLACEMENT, U.O.N.
3. ALL GLAZING BELOW +18" A.F.F., WITHIN 24" OF DOORS, OR OTHERWISE REQUIRED BY CODE TO BE SAFETY GLASS.
4. ALL WINDOWS TO INCLUDE LOW-E GLAZING.
5. ALL DIMENSIONS ARE TO ROUGH OPENING.
6. SEE ELEVATIONS FOR EXT. FINISH ADJACENT TO WINDOW.
7. ALL BEDROOMS BELOW THE FOURTH STORY MUST BE EQUIPPED WITH AN ESCAPE WINDOW AS REQUIRED BY CBC SECTION 1029.
8. PAINT ALL EXPOSED G.S.M. FLASHING, COLOR T.B.D. BY ARCHITECT.
9. ALL WINDOWS TO COMPLY WITH REQUIREMENTS OF T-24 ENERGY REPORT AND "WINDOW & DOOR ENERGY COMPLIANCE NOTES."
10. PROVIDE WINDOW OPENING FALL CONTROL DEVICE (WITH EMERGENCY EGRESS OPERATION) MEETING ASTM F2090 AT ALL WINDOWS WHERE THE SILL IS 72" ABOVE EXTERIOR GRADE AND INTERIOR SILL IS LESS THAN 36" ABOVE THE FINISHED FLOOR
11. ALL FENESTRATION, INCLUDING SKYLIGHTS, SEPARATING CONDITION SPACE FROM UNCONDITION SPACE OR OUTDOORS SHALL HAVE A MAXIMUM U-FACTOR OF 0.58; OR THE WEIGHTED AVERAGE U-FACTOR OF ALL FENESTRATION SHALL NOT EXCEED 0.58
12. ALL FENESTRATION PRODUCTS MUST HAVE A LABEL LISTING THE CERTIFIED U-FACTOR, CERTIFIED SOLAR HEAT GAIN COEFFICIENT (SHGC), AND INFILTRATION RATE
13. U-FACTOR AND SHGC PER ENERGY NOTES - TYP.

GENERAL ENERGY NOTES

1. ALL WINDOWS/DOORS TO BE NFRC-RATED (OR EQUIVALENT SEE T-24 REPORT).
2. ALL WINDOWS AND GLAZED DOORS TO BE DUAL PANED THERMALLY BROKEN METAL OR WOOD FRAMED (U-FACTOR = 0.32/ SHGC = 0.50)
3. SLIDING GLAZED DOOR (D202) TO BE THERMALLY BROKEN DUAL PANED METAL OR WOOD (U-FACTOR = 0.32/ SHGC = 0.50)
4. SKYLIGHT TO BE DUAL PANED METAL FRAMED - NONE USED
5. ALL WINDOWS TO INCLUDE LoE GLAZING.



**EXISTING GRADE PLANE
 CALCULATION:**
 ELEVATION 1: 4'-0"
 ELEVATION 2: 3'-9 1/2"
 ELEVATION 3: 3'-9 1/2"
 ELEVATION 4: 4'-0"
 BASEMENT AVERAGE: 3'-10 1/8"
 FIRST FLOOR ELEVATION: 7'-10 3/4"
 DIFFERENCE: 3'-3 5/8" (LESS THAN 6'-0")

1 PROPOSED - BASEMENT FLOOR PLAN
 1/4" = 1'-0"

PARTITION LEGEND

- (E) PARTITION TO REMAIN
- (E) PARTITION TO BE REMOVED
- (N) PARTITION (SEE SHEET A10.01)
- 1-HR SEPARATION
- 2-HR SEPARATION

LANDSCAPE & PERMEABLE SURFACES
PER SFPC 132(g) & (h):
FRONT SETBACK AREA - 105.7 SF
REQUIRED 20% LANDSCAPE - 21.2 SF
REQUIRED 50% PERMEABLE SURFACE - 52.9 SF
NEW LANDSCAPE PROVIDED - 61.2 SF OR 58.9%

GENERAL DOOR NOTES

1. ALL DOOR OPENINGS, DOORS, FRAMES AND HARDWARE SHALL COMPLY WITH ALL APPLICABLE CODES AND U.L. SPECIFICATIONS.
2. COORDINATE ALL DOORS AND DOOR DETAILS TO PROVIDE ADEQUATE CLEARANCE AND FRAME REINFORCEMENT FOR HARDWARE TYPES. SEE SPECIFICATIONS FOR HARDWARE MOUNTING HEIGHTS.
3. ALL HOLLOW METAL DOORS AND DOOR FRAMES TO BE PAINTED BOTH SIDES.
4. ALL GLASS SURFACES SHALL BE PREFINISHED.
5. ALL FIRE RATED DOORS TO RECEIVE LABELED CLOSING DEVICES, FRAMES AND AUTOMATIC LATCHES.
6. ALL DOOR SIZES ARE FRAME OPENING SIZE, U.O.N.
7. VERIFY ALL H.M. FRAME THROAT WIDTHS WITH SPECIFIC WALL WIDTHS AT EACH LOCATION.
8. ALL GLAZING TO BE SAFTY GLAZING AS REQUIRED BY CODE.
9. DOOR LATCH HARDWARE TO BE INSTALLED 40" A.F.F., U.O.N.
10. DOORS WILL NOT HAVE CLOSER HARDWARE U.O.N.
11. ALL GLAZED DOORS TO COMPLY WITH REQUIREMENTS OF T-24 ENERGY REPORT AND "WINDOW & DOOR ENERGY COMPLIANCE NOTES."
12. HIGH-LOW VENTS IN ALL CLOSET DOORS THAT HOUSE WASHER/DRYER UNITS
13. U-FACTOR AND SHGC PER ENERGY NOTES

GENERAL WINDOW NOTES

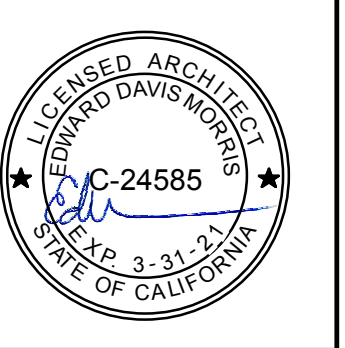
1. ALL WINDOWS TO BE NFRC-RATED.
2. ALL WINDOWS TO BE REPLACEMENT, U.O.N.
3. ALL GLAZING BELOW +18" A.F.F., WITHIN 24" OF DOORS, OR OTHERWISE REQUIRED BY CODE TO BE SAFETY GLASS.
4. ALL WINDOWS TO INCLUDE LOW-E GLAZING.
5. ALL DIMENSIONS ARE TO ROUGH OPENING.
6. SEE ELEVATIONS FOR EXT. FINISH ADJACENT TO WINDOW.
7. ALL BEDROOMS BELOW THE FOURTH STORY MUST BE EQUIPPED WITH AN ESCAPE WINDOW AS REQUIRED BY CBC SECTION 1029.
8. PAINT ALL EXPOSED G.S.M. FLASHING, COLOR T.B.D. BY ARCHITECT.
9. ALL WINDOWS TO COMPLY WITH REQUIREMENTS OF T-24 ENERGY REPORT AND "WINDOW & DOOR ENERGY COMPLIANCE NOTES."
10. PROVIDE WINDOW OPENING FALL CONTROL DEVICE (WITH EMERGENCY EGRESS OPERATION) MEETING ASTM F2090 AT ALL WINDOWS WHERE THE SILL IS 72" ABOVE EXTERIOR GRADE AND INTERIOR SILL IS LESS THAN 36" ABOVE THE FINISHED FLOOR
11. ALL FENESTRATION, INCLUDING SKYLIGHTS, SEPARATING CONDITION SPACE FROM UNCONDITION SPACE OR OUTDOORS SHALL HAVE A MAXIMUM U-FACTOR OF 0.58; OR THE WEIGHTED AVERAGE U-FACTOR OF ALL FENESTRATION SHALL NOT EXCEED 0.58
12. ALL FENESTRATION PRODUCTS MUST HAVE A LABEL LISTING THE CERTIFIED U-FACTOR, CERTIFIED SOLAR HEAT GAIN COEFFICIENT (SHGC), AND INFILTRATION RATE
13. U-FACTOR AND SHGC PER ENERGY NOTES - TYP.

GENERAL ENERGY NOTES

1. ALL WINDOWS/DOORS TO BE NFRC-RATED (OR EQUIVALENT SEE T-24 REPORT).
2. ALL WINDOWS AND GLAZED DOORS TO BE DUAL PANED THERMALLY BROKEN METAL OR WOOD FRAMED (U-FACTOR = 0.32/ SHGC = 0.50)
3. SLIDING GLAZED DOOR (D202) TO BE THERMALLY BROKEN DUAL PANED METAL OR WOOD (U-FACTOR = 0.32/ SHGC = 0.50)
4. SKYLIGHT TO BE DUAL PANED METAL FRAMED - NONE USED
5. ALL WINDOWS TO INCLUDE LOW-E GLAZING.

Revisions

1	PLAN CK 1
2	VARIANCE REAR STAIR



34 STEINER STREET

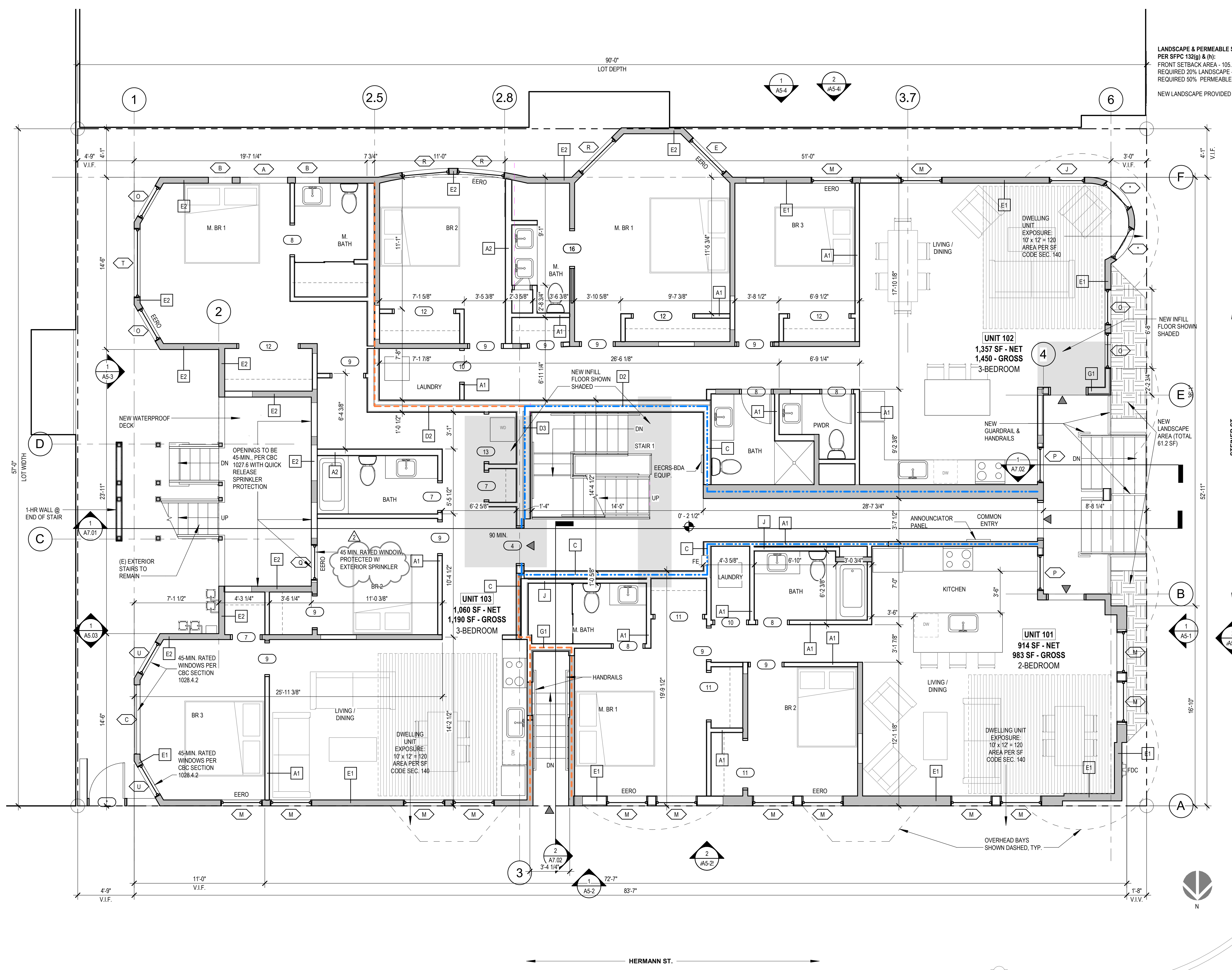
ADDITIONS / ALTERATIONS TO EXISTING UNITS - DENSITY INCREASE

0875 / 013
BPA# 2018-0912-9872

PROPOSED - FIRST FLOOR PLAN

DATE	07/17/2019
SCALE	As indicated
DRAWN BY	Author
CHECKED BY	Checker
JOB NO.	1802

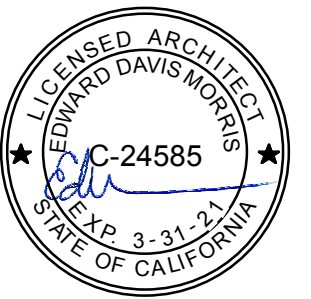
A2.02



1 PROPOSED - FIRST FLOOR PLAN
1/4" = 1'-0"

Revisions

1	PLAN CK 1
---	-----------



34 STEINER STREET

ADDITIONS /
ALTERATIONS TO
EXISTING UNITS -
DENSITY INCREASE

0875 / 013
BPA# 2018-0912-9872

PROPOSED -
SECOND FLOOR
PLAN

DATE 07/17/2019

SCALE As indicated

DRAWN BY Author

CHECKED BY Checker

JOB NO. 1802

A2.03

PARTITION LEGEND

- (E) PARTITION TO REMAIN
- (E) PARTITION TO BE REMOVED
- (N) PARTITION (SEE SHEET A10.01)
- 1-HR SEPARATION
- 2-HR SEPARATION

GENERAL DOOR NOTES

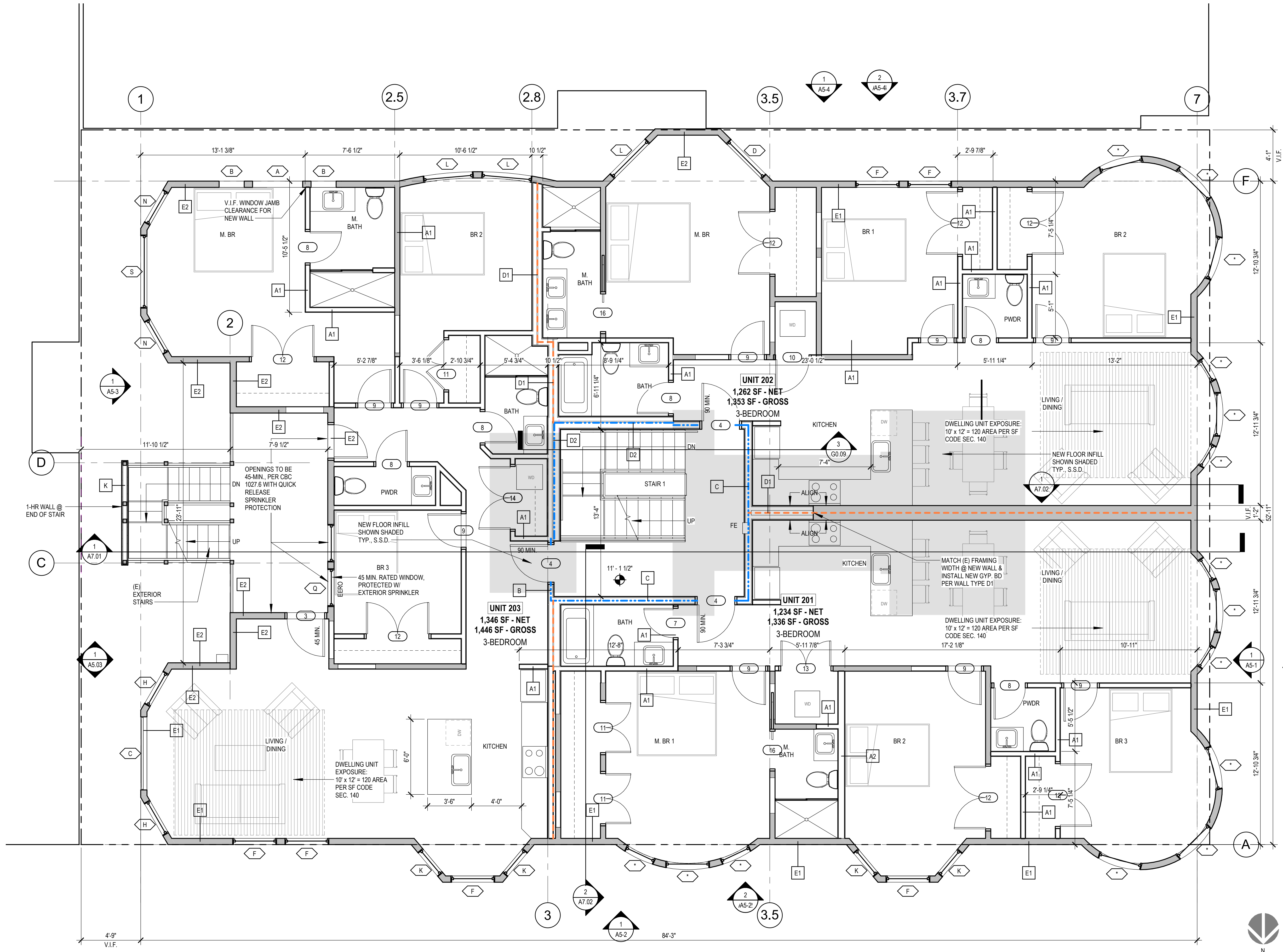
1. ALL DOOR OPENINGS, DOORS, FRAMES AND HARDWARE SHALL COMPLY WITH ALL APPLICABLE CODES AND U.L. SPECIFICATIONS.
2. COORDINATE ALL DOORS AND DOOR DETAILS TO PROVIDE ADEQUATE CLEARANCE AND FRAME REINFORCEMENT FOR HARDWARE TYPES. SEE SPECIFICATIONS FOR HARDWARE MOUNTING HEIGHTS.
3. ALL HOLLOW METAL DOORS AND DOOR FRAMES TO BE PAINTED BOTH SIDES.
4. ALL GLASS SURFACES SHALL BE PREFINISHED.
5. ALL FIRE RATED DOORS TO RECEIVE LABELED CLOSING DEVICES, FRAMES AND AUTOMATIC LATCHES.
6. ALL DOOR SIZES ARE FRAME OPENING SIZE, U.O.N.
7. VERIFY ALL H.M. FRAME THROAT WIDTHS WITH SPECIFIC WALL WIDTHS AT EACH LOCATION.
8. ALL GLAZING TO BE SAFETY GLAZING AS REQUIRED BY CODE.
9. DOOR LATCH HARDWARE TO BE INSTALLED 40" A.F.F., U.O.N.
10. DOORS WILL NOT HAVE CLOSER HARDWARE U.O.N.
11. ALL GLAZED DOORS TO COMPLY WITH REQUIREMENTS OF T-24 ENERGY REPORT AND "WINDOW & DOOR ENERGY COMPLIANCE NOTES."
12. HIGH-LOW VENTS IN ALL CLOSET DOORS THAT HOUSE WASHER/DRYER UNITS
13. U-FACTOR AND SHGC PER ENERGY NOTES

GENERAL WINDOW NOTES

1. ALL WINDOWS TO BE NFRC-RATED.
2. ALL WINDOWS TO BE REPLACEMENT, U.O.N.
3. ALL GLAZING BELOW +18" A.F.F., WITHIN 24" OF DOORS, OR OTHERWISE REQUIRED BY CODE TO BE SAFETY GLAZING.
4. ALL WINDOWS TO INCLUDE LOW-E GLAZING.
5. ALL DIMENSIONS ARE TO ROUGH OPENING.
6. SEE ELEVATIONS FOR EXT. FINISH ADJACENT TO WINDOW.
7. ALL BEDROOMS BELOW THE FOURTH STORY MUST BE EQUIPPED WITH AN ESCAPE WINDOW AS REQUIRED BY CBC SECTION 1029.
8. PAINT ALL EXPOSED G.S.M. FLASHING, COLOR T.B.D. BY ARCHITECT.
9. ALL WINDOWS TO COMPLY WITH REQUIREMENTS OF T-24 ENERGY REPORT AND "WINDOW & DOOR ENERGY COMPLIANCE NOTES."
10. PROVIDE WINDOW OPENING FALL CONTROL DEVICE (WITH EMERGENCY EGRESS OPERATION) MEETING ASTM F2090 AT ALL WINDOWS WHERE THE SILL IS 72" ABOVE EXTERIOR GRADE AND INTERIOR SILL IS LESS THAN 36" ABOVE THE FINISHED FLOOR
11. ALL FENESTRATION, INCLUDING SKYLIGHTS, SEPARATING CONDITION SPACE FROM UNCONDITION SPACE OR OUTDOORS SHALL HAVE A MAXIMUM U-FACTOR OF 0.58, OR THE WEIGHTED AVERAGE U-FACTOR OF ALL FENESTRATION SHALL NOT EXCEED 0.58
12. ALL FENESTRATION PRODUCTS MUST HAVE A LABEL LISTING THE CERTIFIED U-FACTOR, CERTIFIED SOLAR HEAT GAIN COEFFICIENT (SHGC), AND INFILTRATION RATE
13. U-FACTOR AND SHGC PER ENERGY NOTES - TYP.

GENERAL ENERGY NOTES

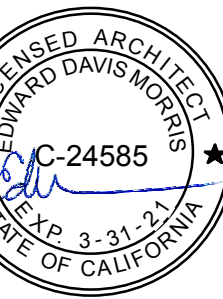
1. ALL WINDOWS/DOORS TO BE NFRC-RATED (OR EQUIVALENT SEE T-24 REPORT)
2. ALL WINDOWS AND GLAZED DOORS TO BE DUAL PANED THERMALLY BROKEN METAL OR WOOD FRAMED (U-FACTOR = 0.32/ SHGC = 0.50)
3. SLIDING GLAZED DOOR (D202) TO BE THERMALLY BROKEN DUAL PANED METAL OR WOOD (U-FACTOR = 0.32/ SHGC = 0.50)
4. SKYLIGHT TO BE DUAL PANED METAL FRAMED - NONE USED
5. ALL WINDOWS TO INCLUDE LoE GLAZING.



1 PROPOSED - SECOND FLOOR PLAN
1/4" = 1'-0"

Revisions

1	PLAN CK 1
2	VARIANCE REAR STAIR



34 STEINER STREET

ADDITIONS / ALTERATIONS TO EXISTING UNITS - DENSITY INCREASE

0875 / 013
BPA# 2018-0912-9872

PROPOSED - THIRD FLOOR PLAN

DATE 07/17/2019

SCALE As indicated

DRAWN BY Author

CHECKED BY Checker

JOB NO. 1802

A2.04

PARTITION LEGEND

- (E) PARTITION TO REMAIN
- (E) PARTITION TO BE REMOVED
- (N) PARTITION (SEE SHEET A10.01)
- 1-HR SEPARATION
- 2-HR SEPARATION

GENERAL DOOR NOTES

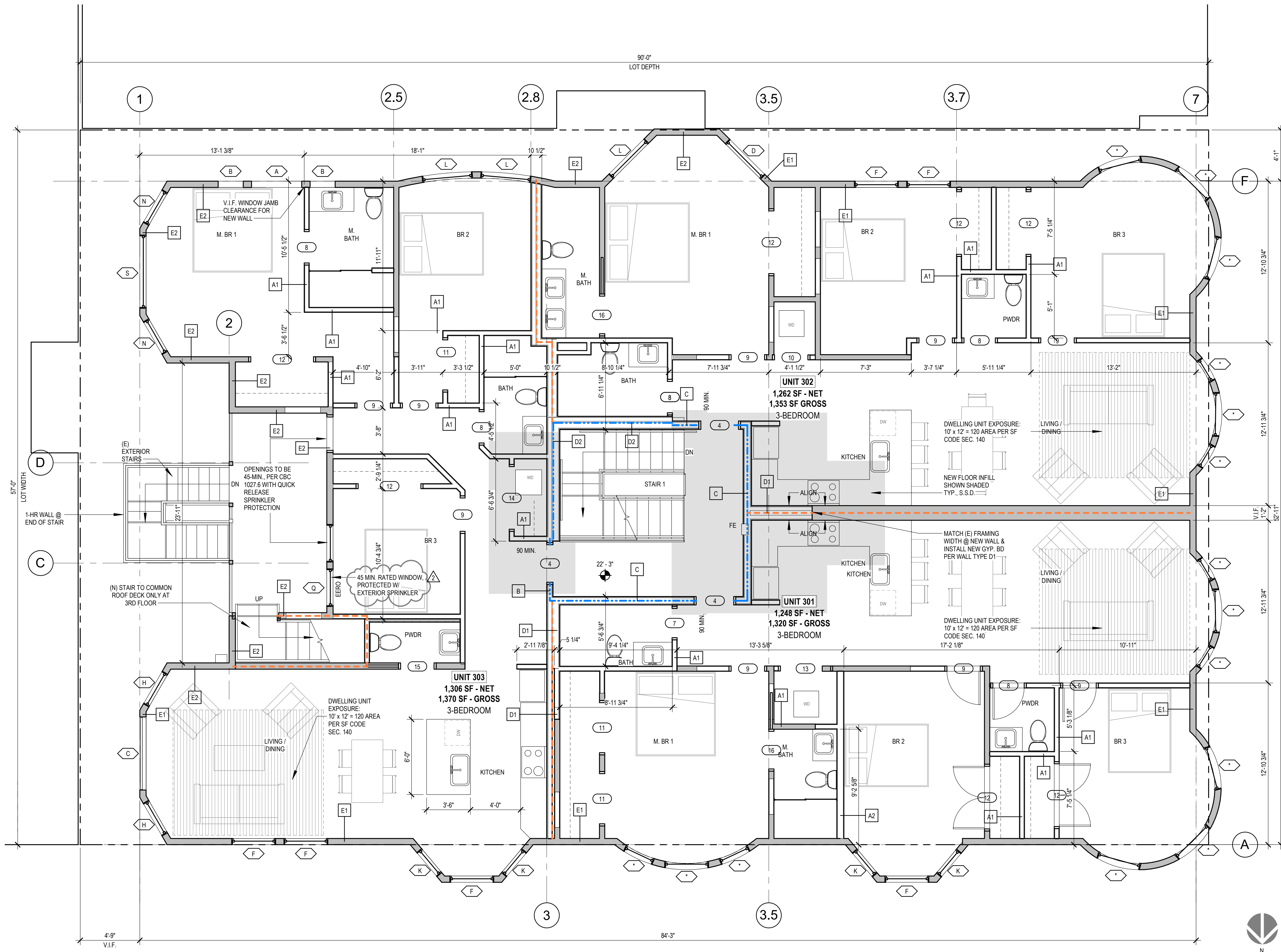
- ALL DOOR OPENINGS, DOORS, FRAMES AND HARDWARE SHALL COMPLY WITH ALL APPLICABLE CODES AND U.L. SPECIFICATIONS.
- COORDINATE ALL DOORS AND DOOR DETAILS TO PROVIDE ADEQUATE CLEARANCE AND FRAME REINFORCEMENT FOR HARDWARE TYPES. SEE SPECIFICATIONS FOR HARDWARE MOUNTING HEIGHTS.
- ALL HOLLOW METAL DOORS AND DOOR FRAMES TO BE PAINTED BOTH SIDES.
- ALL GLASS SURFACES SHALL BE PREFINISHED.
- ALL FIRE RATED DOORS TO RECEIVE LABELED CLOSING DEVICES, FRAMES AND AUTOMATIC LATCHES.
- ALL DOOR SIZES ARE FRAME OPENING SIZE, U.O.N.
- VERIFY ALL H.M. FRAME THROAT WIDTHS WITH SPECIFIC WALL WIDTHS AT EACH LOCATION.
- ALL GLAZING TO BE SAFTY GLAZING AS REQUIRED BY CODE.
- DOOR LATCH HARDWARE TO BE INSTALLED 40" A.F.F., U.O.N.
- DOORS WILL NOT HAVE CLOSER HARDWARE U.O.N.
- ALL GLAZED DOORS TO COMPLY WITH REQUIREMENTS OF T-24 ENERGY REPORT AND "WINDOW & DOOR ENERGY COMPLIANCE NOTES."
- HIGH-LOW VENTS IN ALL CLOSET DOORS THAT HOUSE WASHER/DRYER UNITS
- U-FACTOR AND SHGC PER ENERGY NOTES

GENERAL WINDOW NOTES

- ALL WINDOWS TO BE NFRC-RATED.
- ALL WINDOWS TO BE REPLACEMENT, U.O.N.
- ALL GLAZING BELOW +18" A.F.F., WITHIN 24" OF DOORS, OR OTHERWISE REQUIRED BY CODE TO BE SAFETY GLASS.
- ALL WINDOWS TO INCLUDE LOW-E GLAZING.
- ALL DIMENSIONS ARE TO ROUGH OPENING.
- SEE ELEVATIONS FOR EXT. FINISH ADJACENT TO WINDOW.
- ALL BEDROOMS BELOW THE FOURTH STORY MUST BE EQUIPPED WITH AN ESCAPE WINDOW AS REQUIRED BY CBC SECTION 1029.
- PAINT ALL EXPOSED G.S.M. FLASHING, COLOR T.B.D. BY ARCHITECT.
- ALL WINDOWS TO COMPLY WITH REQUIREMENTS OF T-24 ENERGY REPORT AND "WINDOW & DOOR ENERGY COMPLIANCE NOTES."
- PROVIDE WINDOW OPENING FALL CONTROL DEVICE (WITH EMERGENCY EGRESS OPERATION) MEETING ASTM F2090 AT ALL WINDOWS WHERE THE SILL IS 72" ABOVE EXTERIOR GRADE AND INTERIOR SILL IS LESS THAN 36" ABOVE THE FINISHED FLOOR
- ALL FENESTRATION, INCLUDING SKYLIGHTS, SEPARATING CONDITION SPACE FROM UNCONDITION SPACE OR OUTDOORS SHALL HAVE A MAXIMUM U-FACTOR OF 0.58, OR THE WEIGHTED AVERAGE U-FACTOR OF ALL FENESTRATION SHALL NOT EXCEED 0.58
- ALL FENESTRATION PRODUCTS MUST HAVE A LABEL LISTING THE CERTIFIED U-FACTOR, CERTIFIED SOLAR HEAT GAIN COEFFICIENT (SHGC), AND INFILTRATION RATE
- U-FACTOR AND SHGC PER ENERGY NOTES - TYP.

GENERAL ENERGY NOTES

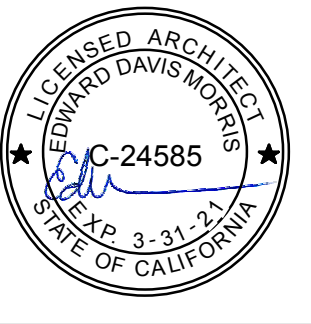
- ALL WINDOWS/DOORS TO BE NFRC-RATED (OR EQUIVALENT SEE T-24 REPORT).
- ALL WINDOWS AND GLAZED DOORS TO BE DUAL PANED THERMALLY BROKEN METAL OR WOOD FRAMED (U-FACTOR = 0.32/ SHGC = 0.50)
- SLIDING GLAZED DOOR (D202) TO BE THERMALLY BROKEN DUAL PANED METAL OR WOOD (U-FACTOR = 0.32/ SHGC = 0.50)
- SKYLIGHT TO BE DUAL PANED METAL FRAMED - NONE USED
- ALL WINDOWS TO INCLUDE LoE GLAZING.



1 PROPOSED - THIRD FLOOR PLAN
1/4" = 1'-0"

Revisions

2	VARIANCE REAR STAIR



34 STEINER STREET
 ADDITIONS /
 ALTERATIONS TO
 EXISTING UNITS -
 DENSITY INCREASE

0875 / 013
 BPA# 2018-0912-9872

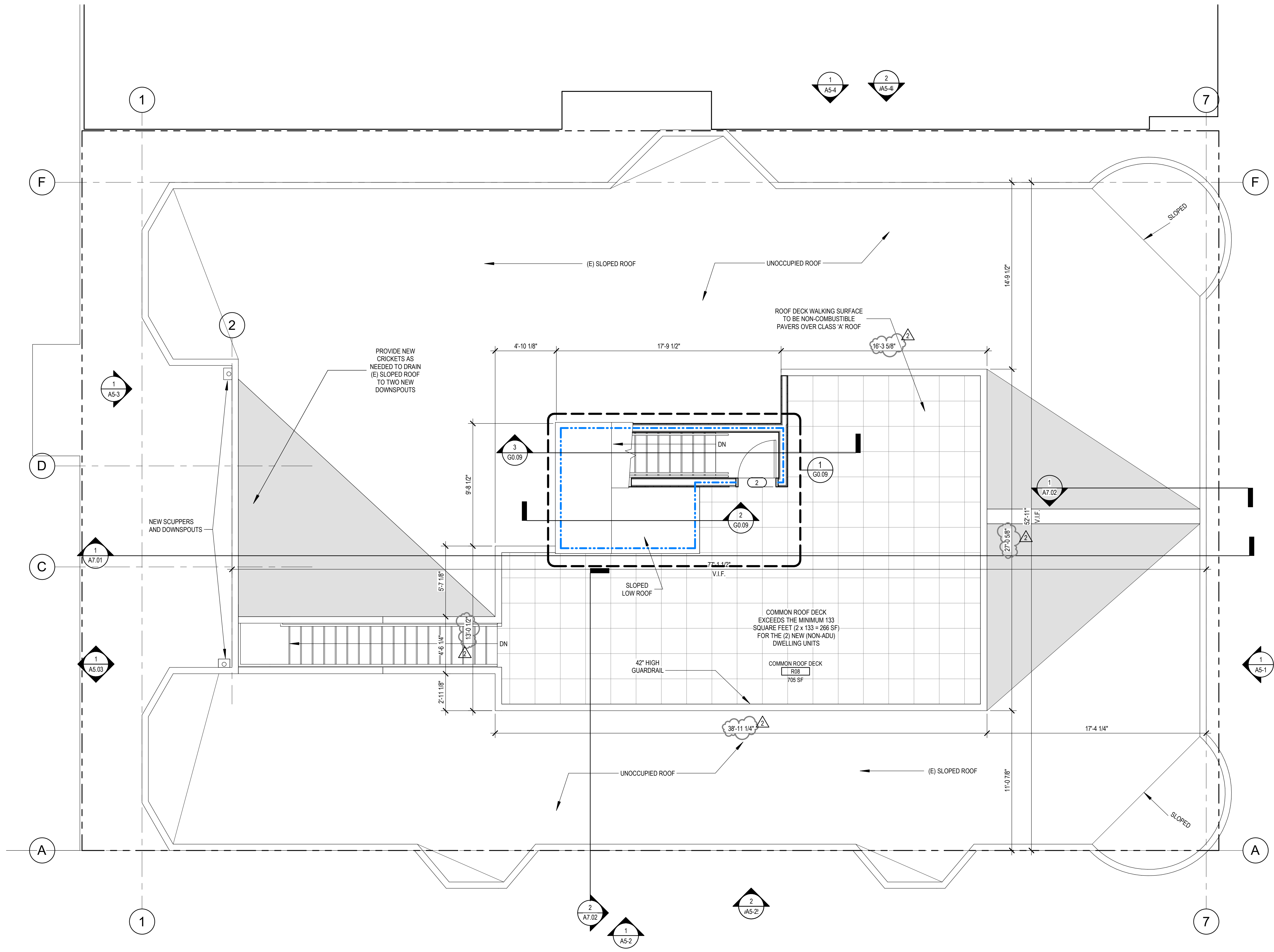
**PROPOSED -
 ROOF PLAN**

DATE	07/17/2019
SCALE	As indicated
DRAWN BY	Author
CHECKED BY	Checker
JOB NO.	1802

A2.05

PARTITION LEGEND

- (E) PARTITION TO REMAIN
- (E) PARTITION TO BE REMOVED
- (N) PARTITION (SEE SHEET A10.01)
- 1-HR SEPARATION
- 2-HR SEPARATION



1 PROPOSED - ROOF PLAN
 1/4" = 1'-0"

Revisions	
2	VARIANCE REAR STAIR



34 STEINER STREET
 ADDITIONS /
 ALTERATIONS TO
 EXISTING UNITS -
 DENSITY INCREASE

0875 / 013
 BPA# 2018-0912-9872

**PROPOSED -
 WEST
 ELEVATION**

DATE	07/17/2019
SCALE	1/4" = 1'-0"
DRAWN BY	Author
CHECKED BY	Checker
JOB NO.	1802

A5.01



1 PROPOSED ELEVATION - WEST (STEINER STREET)
 1/4" = 1'-0"

Revisions	
2	VARIANCE REAR STAIR



34 STEINER STREET
 ADDITIONS /
 ALTERATIONS TO
 EXISTING UNITS -
 DENSITY INCREASE
 0875 / 013
 BPA# 2018-0912-9872

**PROPOSED -
 NORTH
 ELEVATION**

DATE	07/17/2019
SCALE	1/4" = 1'-0"
DRAWN BY	Author
CHECKED BY	Checker
JOB NO.	1802

A5.02



1 PROPOSED ELEVATION - NORTH (HERMANN STREET)
 1/4" = 1'-0"

Revisions	
1	PLAN CK 1
2	VARIANCE REAR STAIR



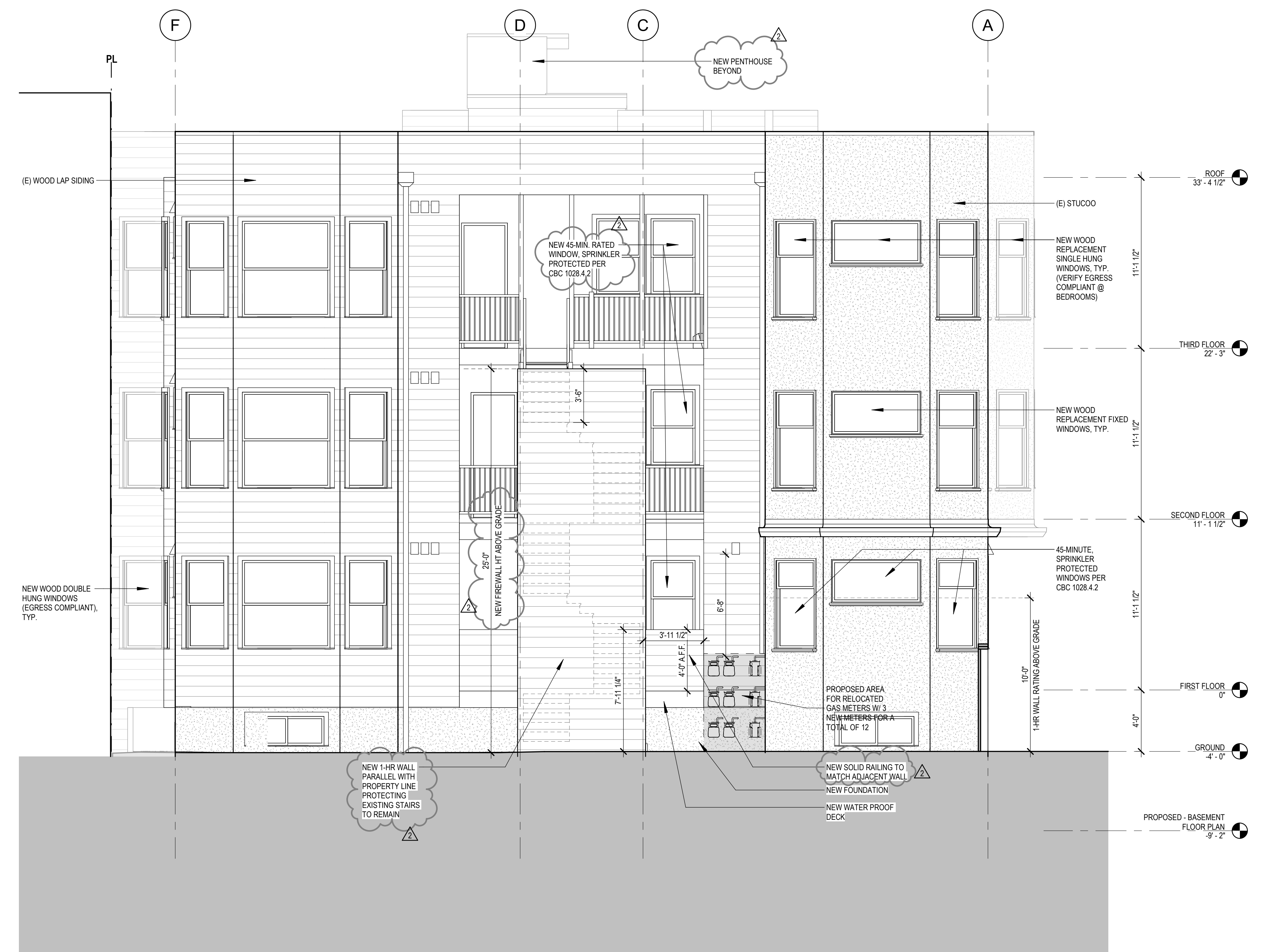
34 STEINER STREET
 ADDITIONS /
 ALTERATIONS TO
 EXISTING UNITS -
 DENSITY INCREASE

0875 / 013
 BPA# 2018-0912-9872

**PROPOSED -
 EAST
 ELEVATION**

DATE	07/17/2019
SCALE	1/4" = 1'-0"
DRAWN BY	Author
CHECKED BY	Checker
JOB NO.	1802

A5.03



1 PROPOSED ELEVATION - EAST
 1/4" = 1'-0"

Revisions	
2	VARIANCE REAR STAIR



34 STEINER STREET
 ADDITIONS /
 ALTERATIONS TO
 EXISTING UNITS -
 DENSITY INCREASE

0875 / 013
 BPA# 2018-0912-9872

**PROPOSED -
 SOUTH
 ELEVATION**

DATE	07/17/2019
SCALE	1/4" = 1'-0"
DRAWN BY	Author
CHECKED BY	Checker
JOB NO.	1802

A5.04



1 PROPOSED ELEVATION - SOUTH
 1/4" = 1'-0"

PARTITION LEGEND

- (E) PARTITION TO REMAIN
- (E) PARTITION TO BE REMOVED
- (N) PARTITION (SEE SHEET A10.01)
- 1-HR SEPARATION
- 2-HR SEPARATION

Revisions

1	PLAN CK 1
2	VARIANCE REAR STAIR



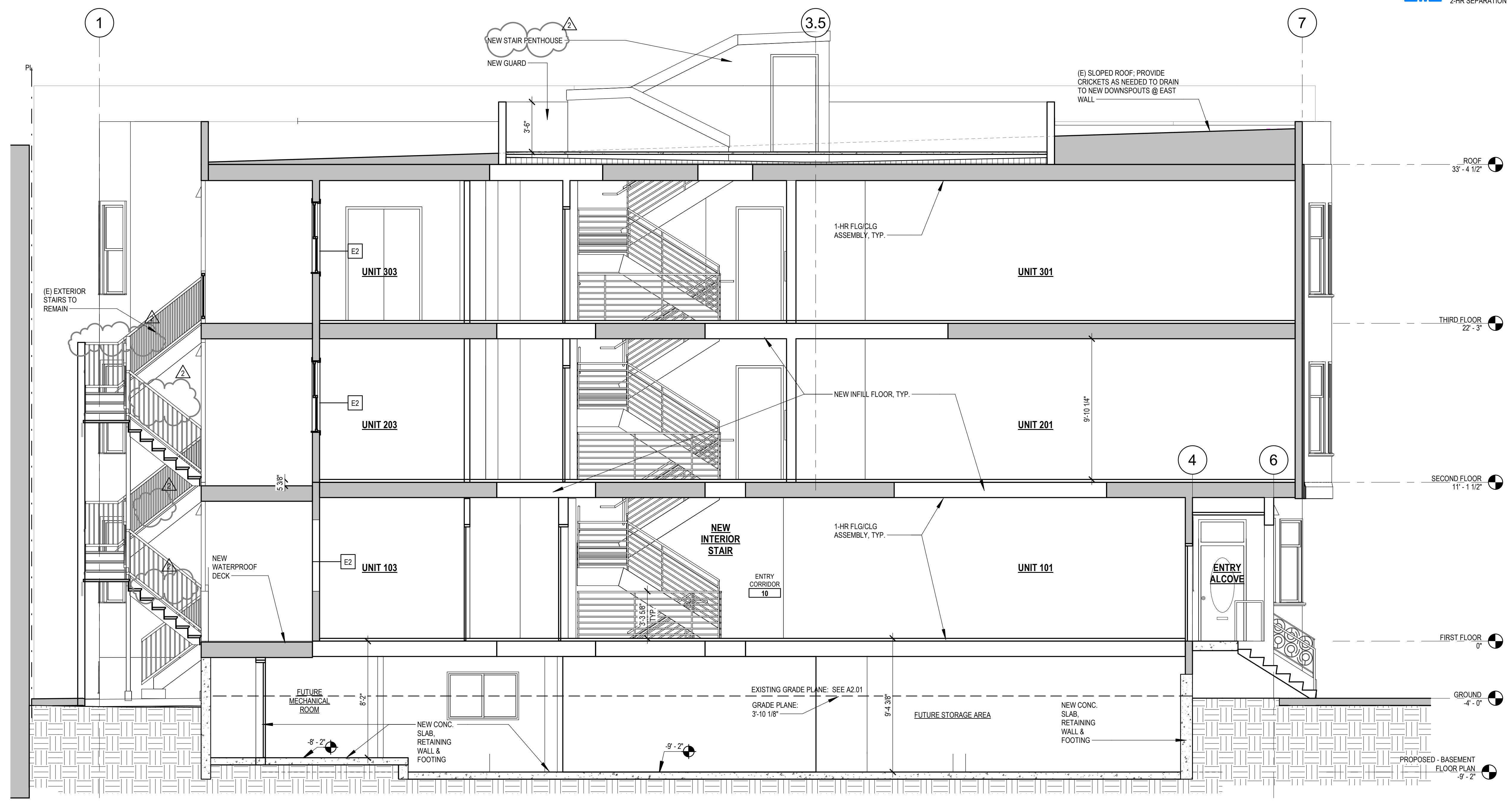
34 STEINER STREET
 ADDITIONS / ALTERATIONS TO EXISTING UNITS - DENSITY INCREASE

0875 / 013
 BPA# 2018-0912-9872

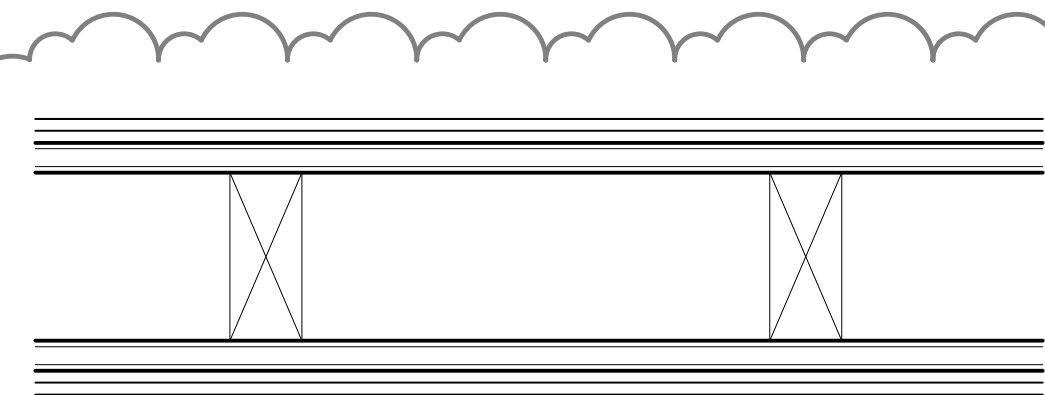
BUILDING SECTIONS

DATE	07/17/2019
SCALE	As indicated
DRAWN BY	Author
CHECKED BY	Checker
JOB NO.	1802

A7.01



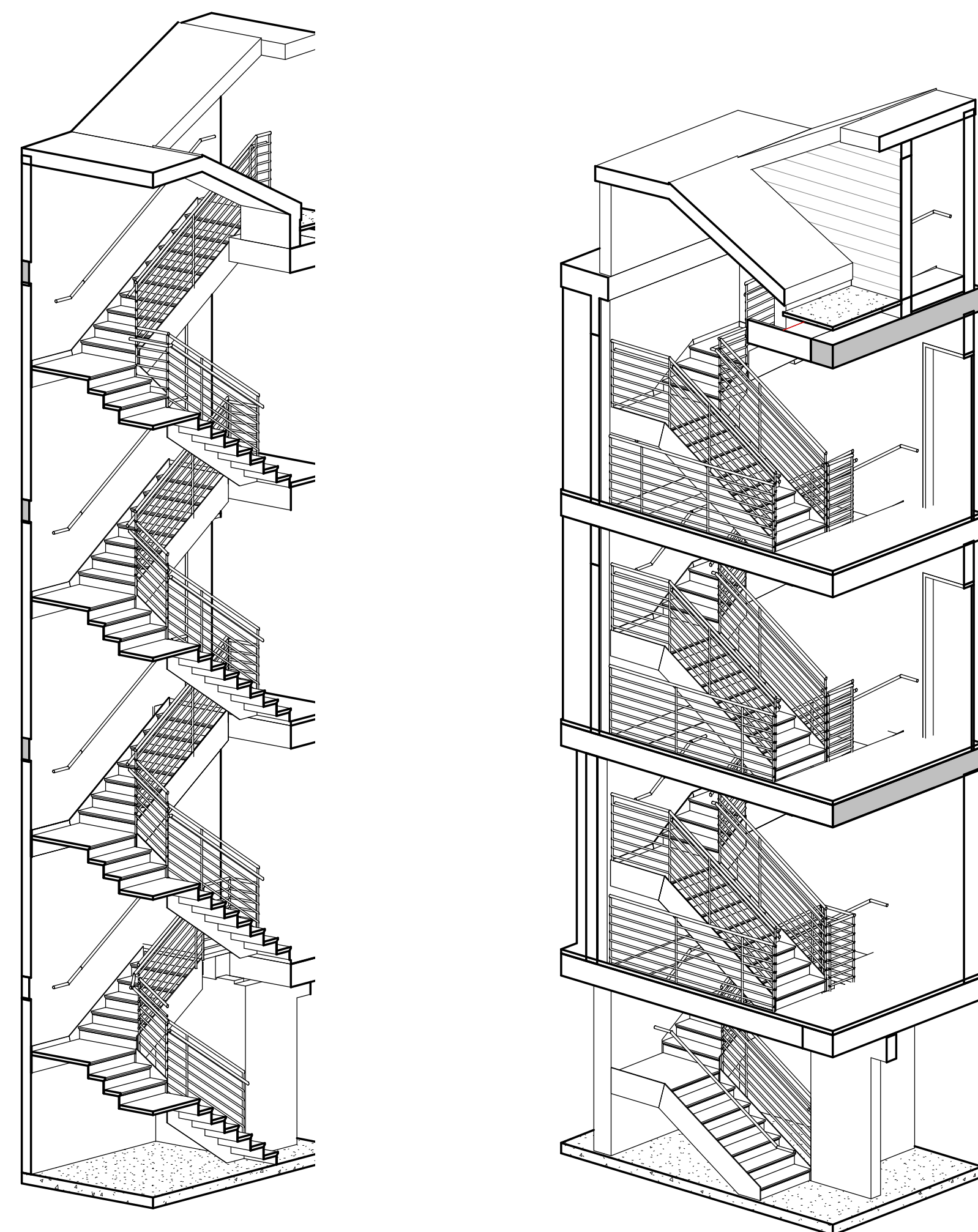
1 PROPOSED SECTION - EAST / WEST
 1/4" = 1'-0"



- 5/8" MIN. EXTERIOR SIDING
- (1) LAYER 5/8" TYPE 'X' GYP. BD. SHEATHING
- 2X4 WOOD STUDS - V.I.F. SIZE TO MATCH (E) POSTS
- (1) LAYER 5/8" TYPE 'X' GYP. BD. SHEATHING
- 5/8" MIN. EXTERIOR SIDING

K 1-HR EXT. WALL @ STAIR POSTS
NEW WALL 1-HR (SIM. TO GA FILE NO: WP 8105)

WALL TYPE K
3" = 1'-0"

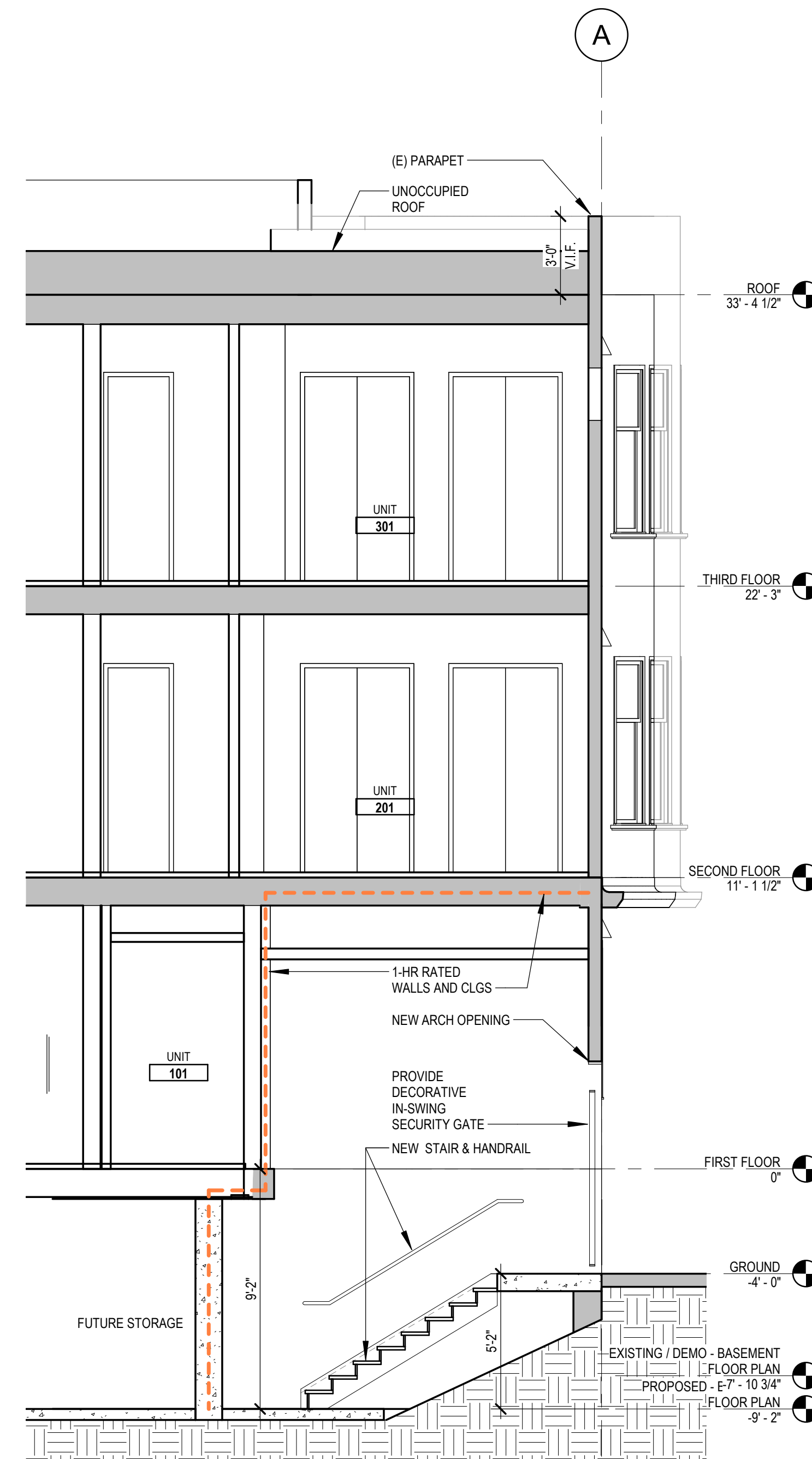


4 STAIR 1 3D VIEW SECTION B

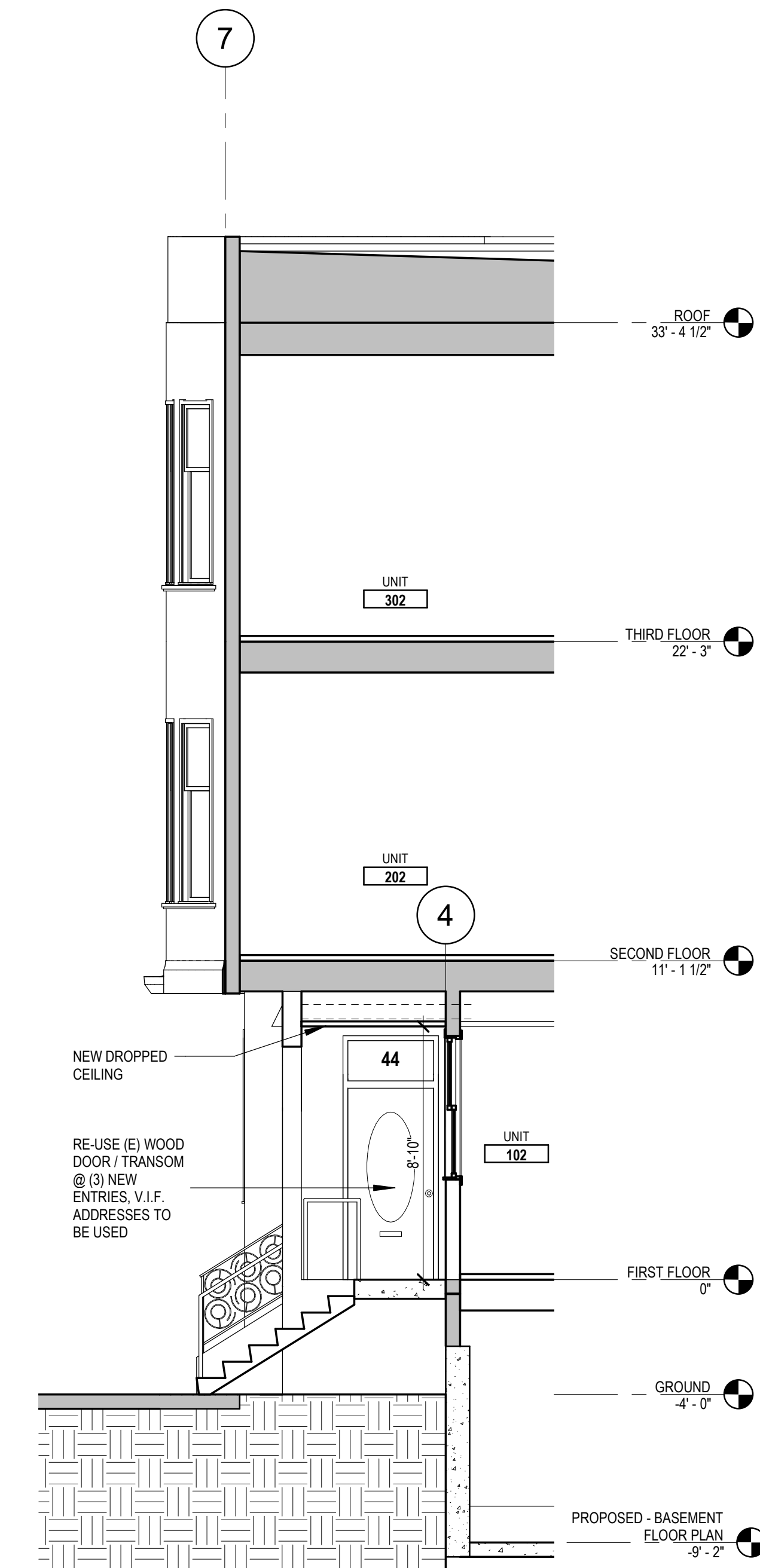
3 STAIR 1 3D VIEW SECTION A

PARTITION LEGEND

- (E) PARTITION TO REMAIN
- - - (E) PARTITION TO BE REMOVED
- (N) PARTITION (SEE SHEET A10.01)
- - - 1-HR SEPARATION
- - - 2-HR SEPARATION



2 SECTION @ NEW BASEMENT STAIR
1/4" = 1'-0"



1 SECTION @ NEW ENTRY
1/4" = 1'-0"

Revisions

1	PLAN CK 1
2	VARIANCE REAR STAIR



34 STEINER STREET

ADDITIONS / ALTERATIONS TO EXISTING UNITS - DENSITY INCREASE

0875 / 013
BPA# 2018-0912-9872

BUILDING SECTIONS

DATE	07/17/2019
SCALE	As indicated
DRAWN BY	Author
CHECKED BY	Checker
JOB NO.	1802

Revisions



34 STEINER STREET

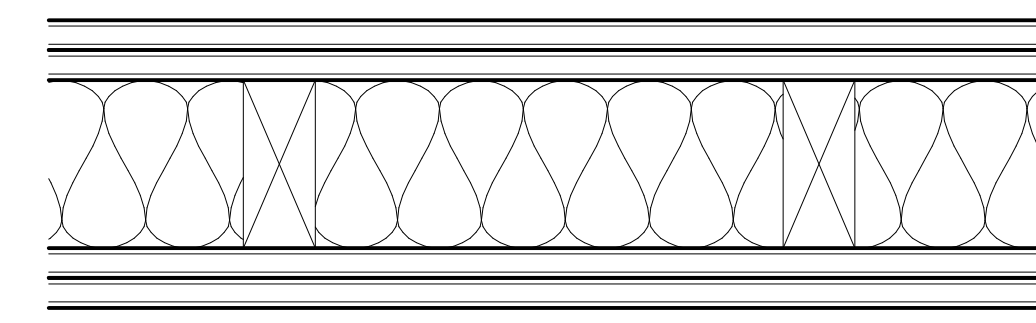
ADDITIONS /
ALTERATIONS TO
EXISTING UNITS -
DENSITY INCREASE

0875 / 013
BPA# 2018-0912-9872

WALL PARTITIONS

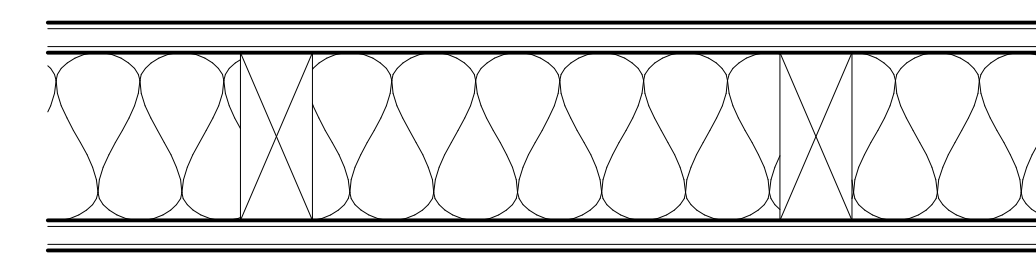
DATE	07/17/2019
SCALE	3" = 1'-0"
DRAWN BY	Author
CHECKED BY	Checker
JOB NO.	1802

A10.01



- (2) LAYERS 5/8" TYPE 'X' GYP. BD.
- 2X4 WOOD STUDS
- ACOUSTICAL INSULATION
- (2) LAYERS 5/8" TYPE 'X' GYP. BD.

B FURRING WALL
2-HR STC 55 TO 59 (GA FILE NO. WP 4135)

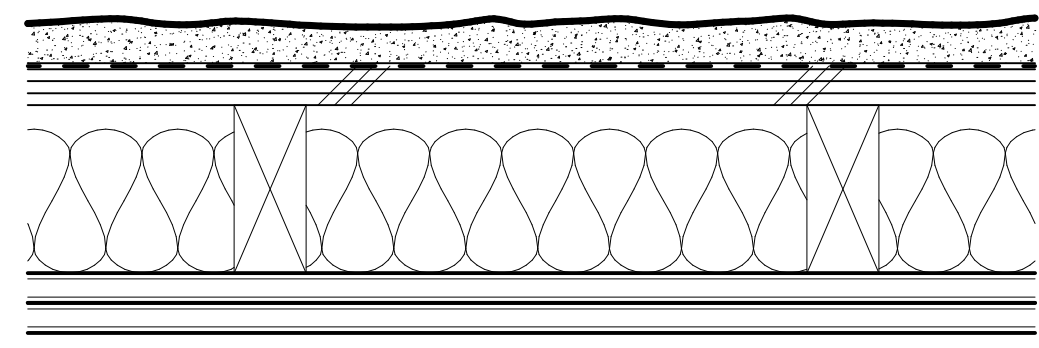


- (1) LAYER 5/8" TYPE 'X' GYP. BD.
- 2X WOOD STUDS @ 24" O.C. (U.O.N. S.S.D.)
- ACOUSTICAL INSULATION @ BATHROOMS ONLY
- (1) LAYER 5/8" TYPE 'X' GYP. BD.

A INTERIOR PARTITION - TYP.
NON-RATED

PARTITION TYPES - GENERAL NOTES

- ALL STANDARD STUD FRAMING SHALL BE 16" O.C. U.O.N. ALL SHAFT WALL STUD FRAMING SHALL BE 24" O.C. U.O.N.
- ALL GYP. BD. TO BE 5/8" THICK TYPE 'X' U.O.N. PAINT ALL EXPOSED FACES.
- PROVIDE TYPE 'X' GLASS-MAT WATER-RESISTANT BACKING BOARD IN LIEU OF FINAL LAYER OF GYP.BD. INDICATED ON SCHEDULED WALL TYPES AT INTERIOR FRAMED WET WALLS, INCLUDING JANITOR'S CLOSETS.
- PROVIDE MOISTURE AND MOLD-RESISTANT TYPE X GYP BOARD AT ALL INTERIOR "HUMID" LOCATIONS INCLUDING BATHROOMS.
- THE WALL TYPE ABOVE OR BELOW ANY OPENING IS TO BE THE SAME AS THAT SCHEDULED FOR EITHER SIDE OF THE OPENING.
- DIFFERING WALL TYPES SHALL ALIGN SO THAT WALL PLANES CONTINUE UNBROKEN IN ROOMS, UNLESS OTHERWISE NOTED.
- DIMENSION LOCATION FOR ALL INTERIOR WALLS IS TO THE FACE OF GYPSUM BOARD PANELS.
- WALLS INDICATED AS FIRE-RATED FORM A SEPARATION THAT SHALL BE CONTINUOUS FROM FLOOR TO FLOOR ABOVE WITH NO BREAKS AT COLUMNS, BEAMS, WALL TRANSITIONS, OR OTHER OBSTRUCTIONS. AT RATED CONDITIONS PENETRATIONS SHALL BE FIRE CAULKED.
- ALL INSULATION SHALL BE UNFACED R-19 AT INTERIOR FURRING ADJACENT TO UNINSULATED EXTERIOR WALLS, SUCH AS CONCRETE, CMU, AND SPANDREL PANELS IN WINDOW/CURTAIN WALLS, TYP. U.O.N. FOR CLARITY, INSULATION IS NOT SHOWN ON MANY DETAILS, INSULATION IS TO RUN CONTINUOUS AROUND FURRED COLUMNS AND OTHER OBSTRUCTIONS TO FORM A CONTINUOUS ACOUSTIC OR THERMAL BARRIER.
- ACOUSTICAL WALLS SHALL INCLUDE BATT INSULATION FULL WIDTH OF STUDS AND BE SEALED AIR TIGHT, WITH ACOUSTICAL SEALANT BETWEEN GYPSUM BOARD AND CONCRETE SLABS, BEAM, COLUMNS, AND WALLS, OR STRUCTURAL STEEL MEMBERS, AROUND ALL PENETRATIONS, AND AT DISSIMILAR MATERIALS. SEE WALL TYPES THIS SHEET INDICATING A NOISE-SENSITIVE SIDE - THE NOISE-SENSITIVE SIDE.
- WALLS SUPPORTING CASEWORK, SHELVING, GRAB BARS, EQUIPMENT AND OTHER WALL-MOUNTED FIXTURES SHALL BE REINFORCED PER THE FIXTURE MANUFACTURER'S REQUIREMENTS AND THE REQUIREMENTS OF THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE, WHICHEVER IS GREATER.

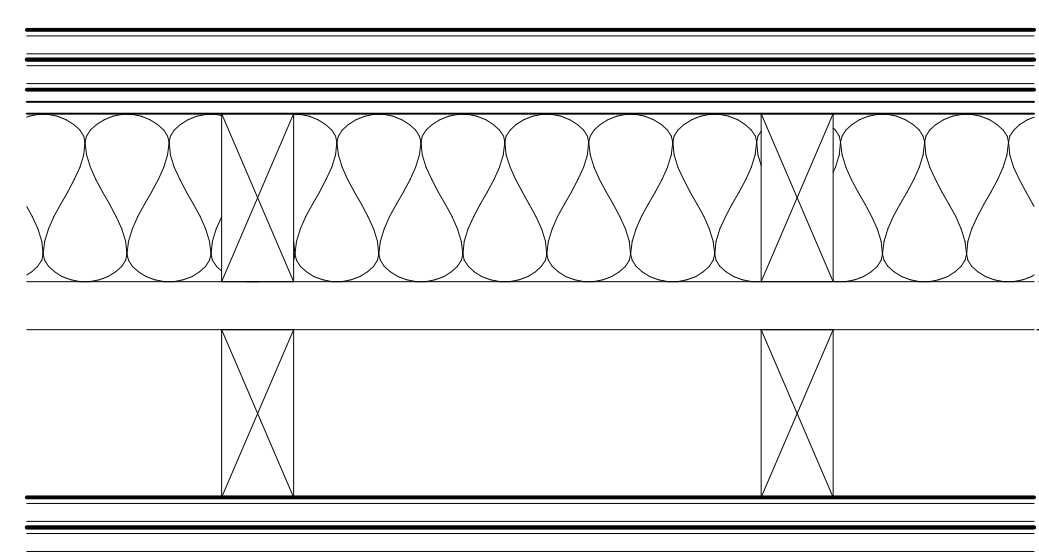


- (E) CEMENT PLASTER (OR LAP SIDING)
- (E) BLDG PAPER
- (E) SHEATHING
- (E) WOOD STUDS
- NEW INSULATION - R19 MIN.
- (2) LAYERS 5/8" TYPE 'X' GYP. BD.

SIDING:
E1 CEMENT PLASTER
E2 LAP

NOTE: MATCH NEW INFILL WALLS ADJACENT TO EXISTING CONDITIONS TO MAINTAIN WALL THICKNESS; FEATHER EDGE OF CEMENT PLASTER SIDING

E EXT. WALL - CEMENT PLASTER
(E) WALL UPGRADE TO 1-HR (SIM. TO GA FILE NO: WP 8105)

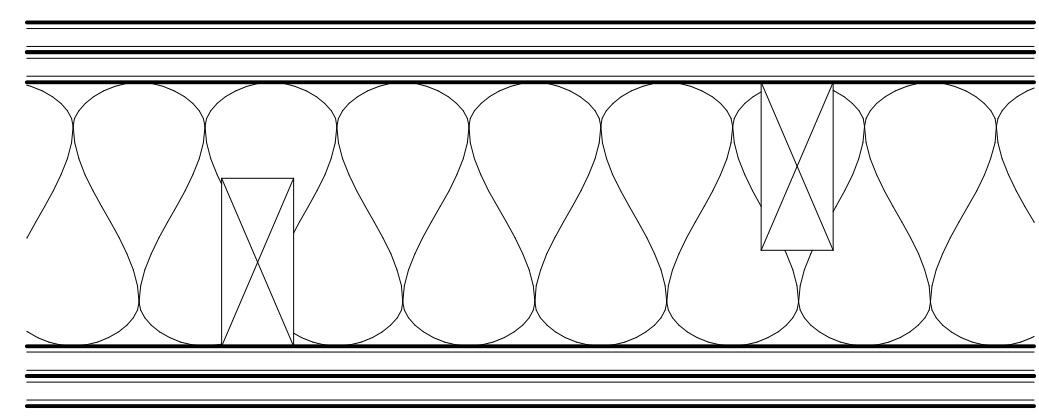


- (2) LAYERS OF 5/8" TYPE 'X' GYP. BD. (INSTALLED PER GA FILE NO.)
- 1/2" MIN. PLYWD SHEATH PANEL AS OCCURS, S.S.D.
- 2X WOOD STUDS ON SEPARATE PLATES 1" APART
- 3 1/2" GLASS FIBER INSULATION IN STUD CAVITY OF ONE SIDE

STUD SIZES:
D1 2x4
D2 2x4/
D3 2x6

NOTE: TYPICAL 1-HOUR REQUIRED DEMISING WALLS, 2-HOUR SHOWN TO MEET REQUIRED, ACOUSTICAL STC RATING

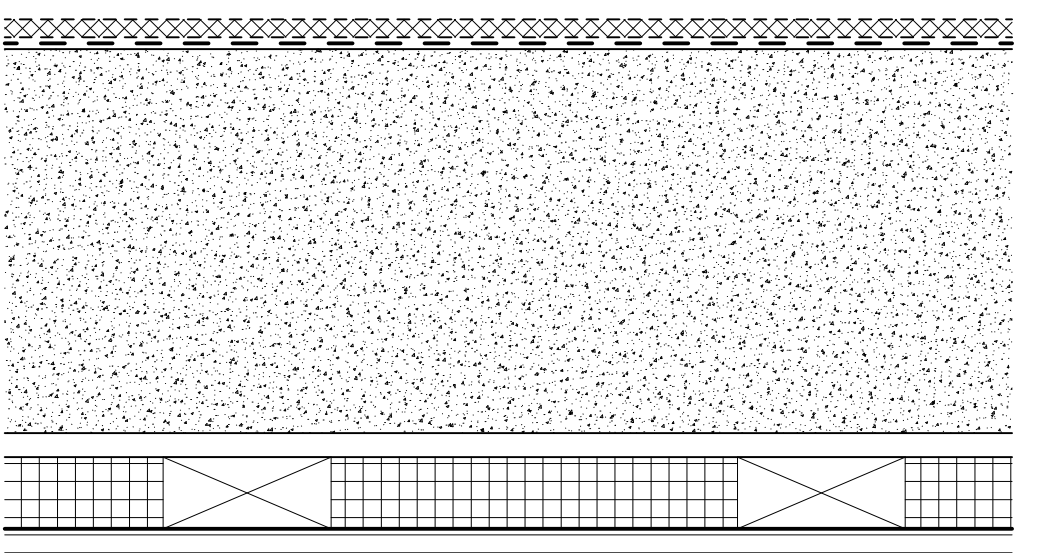
D DEMISING WALL
2-HR STC 55 TO 59 (GA FILE NO: WP 3820)



- (2) LAYER OF 5/8" TYPE 'X' GYP. BD. (INSTALLED PER GA FILE NO.)
- 2X4 STAGGERED WOOD STUDS ON 2X6 PLATE
- CONTINUOUS 3 1/2" GLASS FIBER INSULATION IN STUD CAVITY
- (2) LAYER OF 5/8" TYPE 'X' GYP. BD.(INSTALLED PER GA FILE NO.)

STUD SIZES:
C 2x4

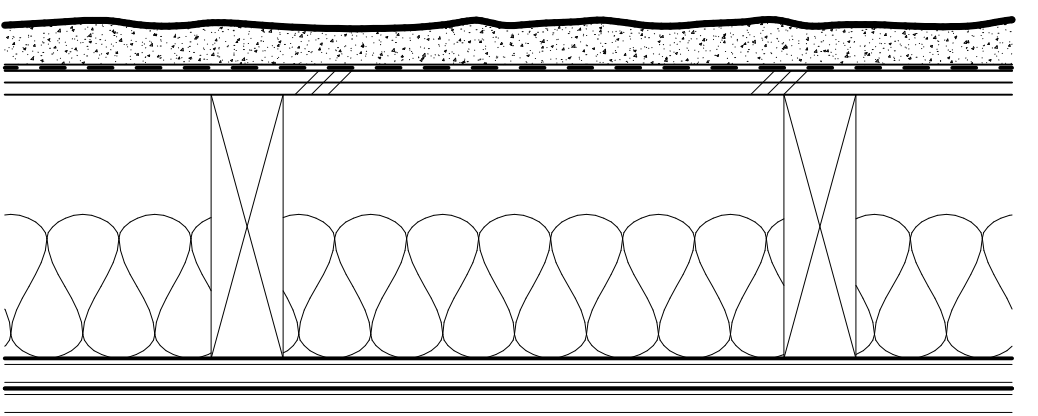
C DEMISING WALL
2-HR STC 50 TO 54 (GA FILE NO: WP 5530)



- DRAINAGE MAT
- WRB
- CONCRETE FOUNDATION WALL, S.S.D.
- 2x4 FLAT FRAMED, TYP. - NO FLAT FRAMING @ PLUMBING WALLS
- 1 1/2" RIGID INSULATION
- (1) LAYER 5/8" TYPE 'X' GYP. BD.

STUD SIZES:
H1 2X4 FLAT FRAMED
H2 2X4 PLUMBING

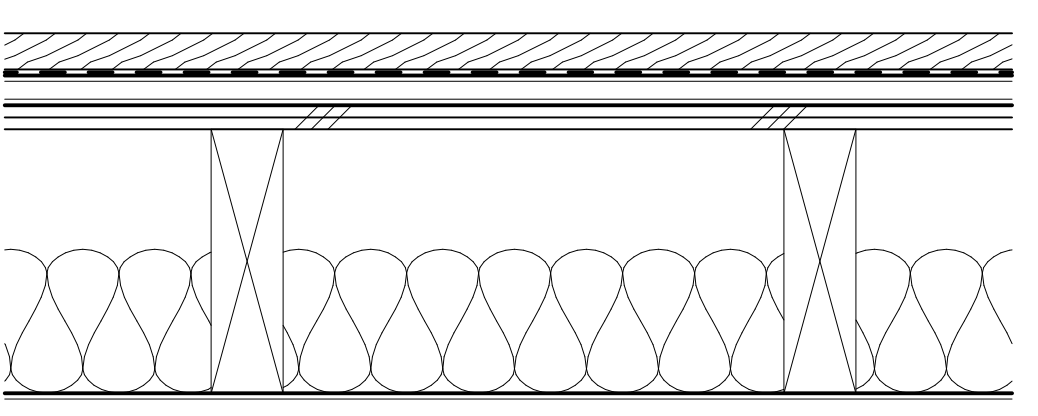
H EXT. WALL - FOUNDATION WALL
@ BASEMENT UNITS



- CEMENT PLASTER
- WRB
- PLYWOOD SHEATHING S.S.D.
- 2X6 WOOD STUDS
- INSULATION - R19 MIN.
- (1) LAYER 5/8" TYPE 'X' GYP. BD. - (2) LAYERS TO FLUSH OUT WITH 2-HR WALLS

GYP. BD LAYERS:
G1 1-LAYER
G2 2-LAYER

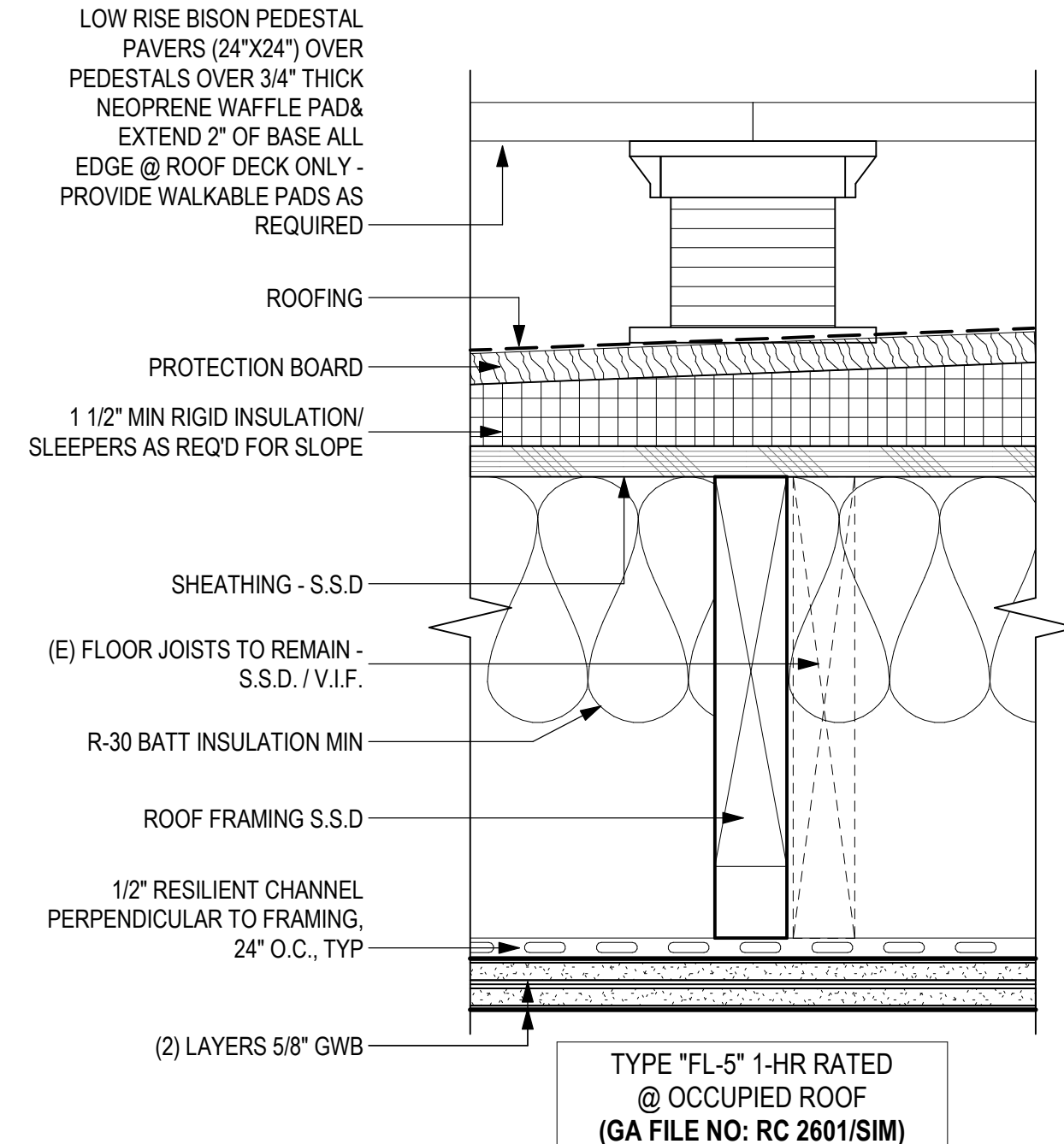
G EXT. WALL - CEMENT PLASTER
NEW WALL 1-HR (SIM. TO GA FILE NO: WP 8105)



- LAP SIDING (MATCH EXISTING)
- WRB
- (1) LAYER 5/8" TYPE 'X' GYP. SHEATHING
- PLYWOOD SHEATHING S.S.D.
- 2X WOOD STUDS
- INSULATION - R19 MIN.
- (1) LAYER 5/8" TYPE 'X' GYP. BD.

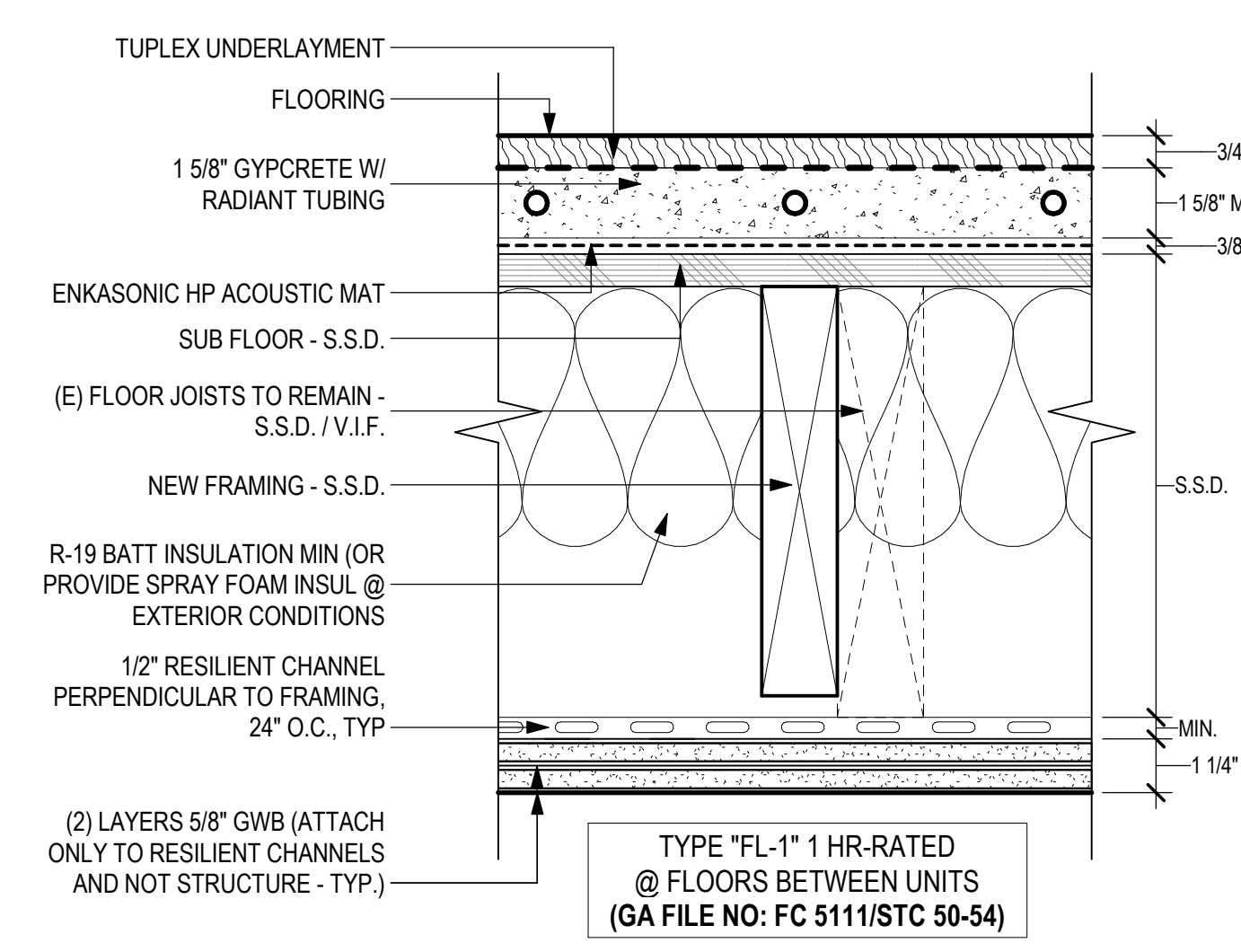
STUD SIZES:
F 2x6

F EXT. WALL - LAP SIDING
NEW 1-HR WALL (GA FILE NO: WP 8105)



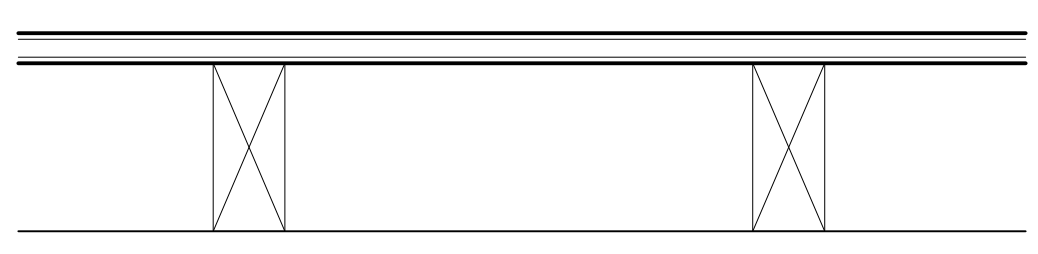
2 FLOOR / CLG. @ ROOF DECK PAVERS
3" = 1'-0"

TYPE "FL-5" 1-HR RATED @ OCCUPIED ROOF (GA FILE NO: RC 2601/SIM)



1 FLOOR / CEILING, TYP.
3" = 1'-0"

TYPE "FL-1" 1 HR-RATED @ FLOORS BETWEEN UNITS (GA FILE NO: FC 5111/STC 50-54)



- (1) LAYER 5/8" TYPE 'X' MOISTURE RESISTANT GYP. BD. (INSTALLED PER GA FILE NO.)
- 2X4 WOOD STUDS

J FURRING WALL
NON-RATED

F EXT. WALL - LAP SIDING
NEW 1-HR WALL (GA FILE NO: WP 8105)