



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, August 28, 2019**

Time: **Not before 9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance**

Hearing Body: **Zoning Administrator**

PROJECT INFORMATION		APPLICANT INFORMATION	
Project Address:	342 Miramar Avenue	Applicant:	Hari Sripadanna
Cross Street(s):	Southwood Drive	Company:	Srusti Architects
Block /Lot No.:	3197 / 014	Applicant Address:	18524 Montpere Way
Zoning District(s):	RH-1(D) / 28-X	City, State:	Saratoga, CA 95070
Special Use District:	Westwood Park	Telephone:	408-507-8138
Record Number:	2018-017007VAR	E-Mail:	hari@srustiarchitects.com
PROJECT DESCRIPTION			
<p>The proposal is to lift the existing single-family home three (3) feet in height in order to create ground floor habitable space. No horizontal expansion is proposed. The existing garage at the rear will be demolished and a new garage will be provided below the existing home.</p> <p>PLANNING CODE SECTION 133 requires the subject property to maintain a side yard of 3 feet on either side. The building is currently noncomplying because small portions extend into the side yard on the north side. This increase in height will intensify the noncomplying side yard. Therefore, a variance is required.</p>			
ADDITIONAL INFORMATION			
<p>ARCHITECTURAL PLANS: To view the plans and related documents for the proposed project, visit sf-planning.org/notices and search the Project Address listed above. The plans will also be available one week prior to the hearing through the hearing agenda at: sf-planning.org/hearings or by request at the Planning Department office located at 1650 Mission Street, 4th Floor.</p>			
<p>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:</p> <p>Planner: Bridget Hicks Telephone: 415-575-9054 E-Mail: Bridget.Hicks@sfgov.org</p>			

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident near the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to comment on the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice to the Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department or Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

SAMPAT RESIDENCE

Address: APN: 3197/014 342 Miramar Avenue, San Francisco, CA 94112



PROJECT DESCRIPTION

The Project scope consists of the following

- Interior remodel of existing single story(with Basement) home of 1214 sq. ft.,
- Removal of the rear yard driveway/detached garage structure and
- Relocation of the driveway from the side /rear yard to the front yard on Miramar Ave.
- Raising of the existing home floor level by 3 feet to create additional lower level living space (1069 sq. ft) and a garage of 260 sq. ft.

The garage will be accessed from the front yard to the lower level by creating a new curb cut and driveway ramp from Miramar Avenue. Minimal modifications are proposed to the exterior foot print of the home. A comprehensive effort has been made to restore the home to its original design intent and exterior modifications to a minimum.

PROPERTY & BUILDING DIMENSIONAL COMPLIANCE

ZONING	RH-1(D)	CITY:	San Francisco
ASSESSOR PARCEL NUMBER:	3197/014	ADDRESS:	342 Miramar Avenue.
CONSTRUCTION	V-N	TOTAL SITE AREA:	3,657 SF.

BUILDING DATA	REQ'D /ALLOWED	PROPOSED	VARIANCE REQ'D
GROSS LOT AREA	NA	3,657 SF	
NET LOT AREA	NA	3,657 SF	
AVERAGE LOT SLOPE		Less than 5%	
UPPER LEVEL FLOOR AREA		1214 SF	
LOWER LEVEL FLOOR AREA		1357 SF	
GARAGE		260 SF	
TOTAL HABITABLE BUILDING AREA (including Basement Area)		2571 SF	
TOTAL UPPER LEVEL DECK AREA		124 SF	
LOWER LIGHTWELL AREA		219 SF	
FRONT YARD LANDSCAPING AREA		39 SF	66 SF
FRONT YARD PERMEABLE PAVING AREA (50% Minimum)		195 SF	202 SF
TOTAL IMPERVIOUS SURFACE (LOT COVERAGE) AREA		1	1850.84 SF
COVERED PARKING		1	
OFF STREET (UNENCLOSED) PARKING		1	
MINIMUM FRONT YARD - ROAD	West	6'0"	12'0"
MINIMUM SIDE YARD	North	3'0"	3'0"
MINIMUM SIDE YARD	South	3'0"	4'6"
MINIMUM REAR YARD	East	23'1"	25'6"
MAXIMUM BUILDING HEIGHT		28'-0"	21'-9"

GOVERNING CODES

APPLICABLE BUILDING CODES - 2018 CALIFORNIA BUILDING CODE:	
Part 1 Administrative Code	Part 6 California Energy Code
Part 2 California Building Code (CBC), VOL. 1 & 2	Part 8 California Historical Building Code
Part 2.5 California Residential Code (CRC)	Part 9 California Fire Code (CFC)
Part 3 California Electrical Code (CEC)	Part 11 California Green Building Standards Code (CAL Green)
Part 4 California Mechanical Code (CMC)	Part 12 California Reference Standards Code
Part 5 California Plumbing Code (CPC)	And all other local and state laws and regulations

ABBREVIATIONS

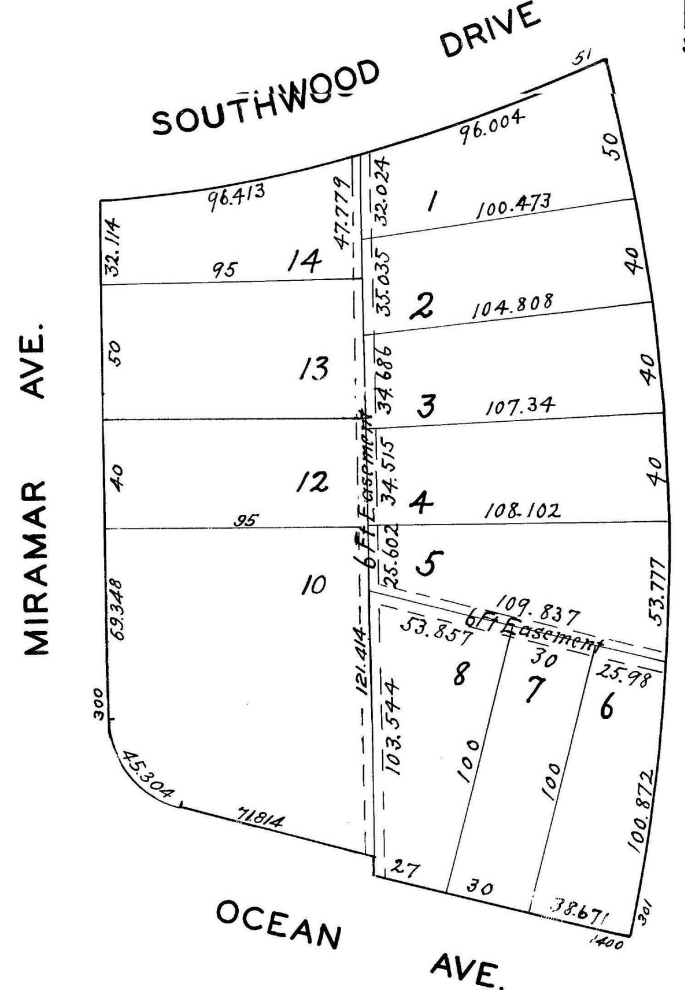
"	INCH/INCHES	C.W.	COLD WATER	E.O.S.	EDGE OF SLAB	INFO.	INFORMATION	R.D./O.D.	ROOF DRAIN/OVERFLOW DRAIN	SYM.	SYMMETRICAL
#	POUND/NUMBER	CAB.	CABINET	E.W.	EACH WAY	INSUL.	INSULATION	R.H.M.S.	ROUND HEAD MACHINE SCREW	T&B	TOP & BOTTOM
(E)	EXISTING	CEM.	CEMENT	EA.	EACH	INT.	INTERIOR	R.H.S.M.S.	ROUND HEAD SHEET METAL SCREW	T.C.	TOP OF CURB
(N)	NEW	CER.	CERAMIC	ELEC.	ELECTRICAL	J.B.	JUNCTION BOX	R.H.S.M.S.	ROUND HEAD SHEET METAL SCREW	T.O.	TOP OF
X	BY	CL.	CENTER LINE	ELEV.	ELEVATION	L.D.	LANDSCAPE DRAWINGS	R.H.S.M.S.	ROUND HEAD SHEET METAL SCREW	T.O.C.	TOP OF CURB/CONCRETE
°	DEGREES	CLG.	CEILING	EQ.	EQUAL	L.H.	LEFT HAND	R.H.S.M.S.	ROUND HEAD WOOD SCREW	T.O.P.	TOP OF PARAPET/TOP OF PLATE
±	PLUS/MINUS	CLKG.	CAULKING	EQPT.	EQUIPMENT	L.H.	LEFT HAND	R.H.S.M.S.	ROUND HEAD WOOD SCREW	T.O.S.	TOP OF STEEL/TOP OF SLAB
@	AT	CLO.	CLOSET	EXT.	EXTERIOR	MAX.	MAXIMUM	R.W.L.	RAIN WATER LEADER	T.O.W.	TOP OF WALL
A.B.	ANCHOR BOLT	CLR.	CLEAR	F.A.	FIRE ALARM	MFR.	MANUFACTURER	RAD.	RADIUS	T.P.D.	TOILET PAPER DISPENSER
A.C.	ASPHALTIC CONCRETE	CMU	CONCRETE MASONRY UNIT	F.D.	FLOOR DRAIN	MET.	METAL	REF.	REFERENCE	T.S.	TUBE STEEL
A.F.F.	ABOVE FINISH FLOOR	COL.	COLUMN	F.F.	FINISH FLOOR	MFR.	MANUFACTURER	REQ.	REQUIRED	THK.	THICK
ARCH.	ARCHITECTURAL	CONC.	CONCRETE	F.H.M.S.	FLAT HEAD MACHINE SCREW	MIN.	MINIMUM	REFR.	REFRIGERATOR	TYP.	TYPICAL
ARCH.	ARCHITECTURAL	CONC.	CONCRETE	F.H.M.S.	FLAT HEAD MACHINE SCREW	MISC.	MISCELLANEOUS	S.C.	SOLID CORE	U.O.N.	UNLESS OTHERWISE NOTED
B.O.F.	BOTTOM OF FOOTING	CONC.	CONCRETE	F.H.M.S.	FLAT HEAD MACHINE SCREW	CONC.	CONCRETE	S.F.	SQUARE FOOTAGE	UC.	UNDERCUT
B.S.	BOTH SIDES	CONT.	CONTINUOUS	F.H.M.S.	FLAT HEAD MACHINE SCREW	CONC.	CONCRETE	S.C.	SOLID CORE	U.O.N.	UNLESS OTHERWISE NOTED
B.O.	BOARD	CTR.	CENTER	F.H.M.S.	FLAT HEAD MACHINE SCREW	CONC.	CONCRETE	S.F.	SQUARE FOOTAGE	UC.	UNDERCUT
B.D.G.	BUILDING	CTS.K.	COUNTERSUNK	F.H.M.S.	FLAT HEAD MACHINE SCREW	CONC.	CONCRETE	S.C.	SOLID CORE	U.O.N.	UNLESS OTHERWISE NOTED
BLK.	BLOCK	DL.	DOOR LOUVER	F.H.M.S.	FLAT HEAD MACHINE SCREW	CONC.	CONCRETE	S.F.	SQUARE FOOTAGE	UC.	UNDERCUT
BLKG.	BLOCKING	D.S.	DOWNSPOUT	F.H.M.S.	FLAT HEAD MACHINE SCREW	CONC.	CONCRETE	S.C.	SOLID CORE	U.O.N.	UNLESS OTHERWISE NOTED
C.D.	CIVIL DRAWINGS	DBL.	DOUBLE	F.H.M.S.	FLAT HEAD MACHINE SCREW	CONC.	CONCRETE	S.F.	SQUARE FOOTAGE	UC.	UNDERCUT
C.F.C.I.	CONTRACTOR FURNISHED CONTRACTOR INSTALLED	FIN.	FINISH	F.H.M.S.	FLAT HEAD MACHINE SCREW	CONC.	CONCRETE	S.C.	SOLID CORE	U.O.N.	UNLESS OTHERWISE NOTED
C.G.	CORNER GUARD	FT.	FOOT	F.H.M.S.	FLAT HEAD MACHINE SCREW	CONC.	CONCRETE	S.F.	SQUARE FOOTAGE	UC.	UNDERCUT
C.I.	CAST IRON	FUR.	FURRING	F.H.M.S.	FLAT HEAD MACHINE SCREW	CONC.	CONCRETE	S.C.	SOLID CORE	U.O.N.	UNLESS OTHERWISE NOTED
C.J.	CONTROL JOINT	G.	GAUGE	F.H.M.S.	FLAT HEAD MACHINE SCREW	CONC.	CONCRETE	S.F.	SQUARE FOOTAGE	UC.	UNDERCUT
C.O.	CLEAN OUT	GALV.	GALVANIZED	F.H.M.S.	FLAT HEAD MACHINE SCREW	CONC.	CONCRETE	S.C.	SOLID CORE	U.O.N.	UNLESS OTHERWISE NOTED
		GYP.BD.	GYP.SUM BOARD	F.H.M.S.	FLAT HEAD MACHINE SCREW	CONC.	CONCRETE	S.F.	SQUARE FOOTAGE	UC.	UNDERCUT
		H.B.	HOSE BIB	F.H.M.S.	FLAT HEAD MACHINE SCREW	CONC.	CONCRETE	S.C.	SOLID CORE	U.O.N.	UNLESS OTHERWISE NOTED
		E.J.	EXPANSION JOINT	F.H.M.S.	FLAT HEAD MACHINE SCREW	CONC.	CONCRETE	S.F.	SQUARE FOOTAGE	UC.	UNDERCUT

PROJECT DIRECTORY

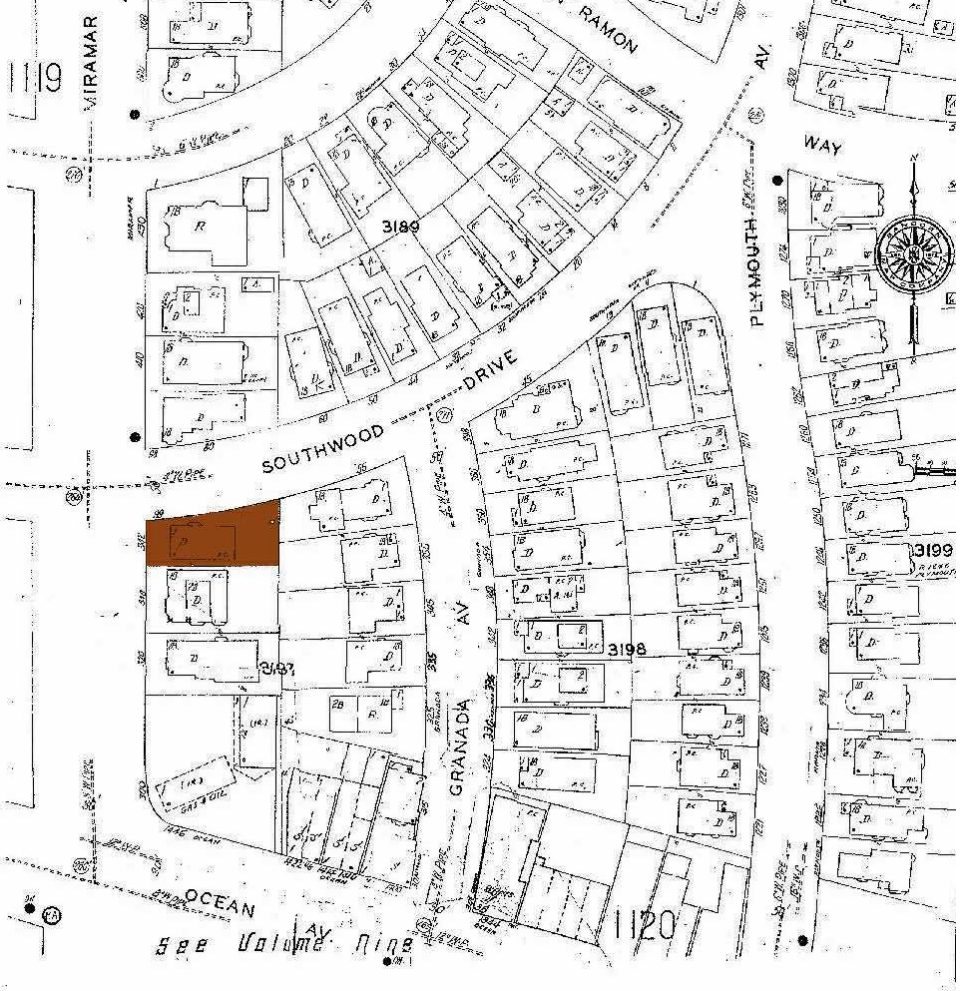
ARCHITECT	OWNER
HARI SRIPADANNA AIA LEEDAP SRUSTI ARCHITECTS 18524 MONTFERRE WAY SARATOGA CA 95070 PHONE:(408) 507 8138 EMAIL:HARI@SRUSTIARCHITECTS.COM	AJAY SAMPAT USHMA SAMPAT 342 MIRAMAR AVE. SAN FRANCISCO CA 94112 PHONE:(614)558 0357 EMAIL: SAMPAT.USHMA@GMAIL.COM

STRUCTURAL ENGINEER	LANDSCAPE ARCHITECT
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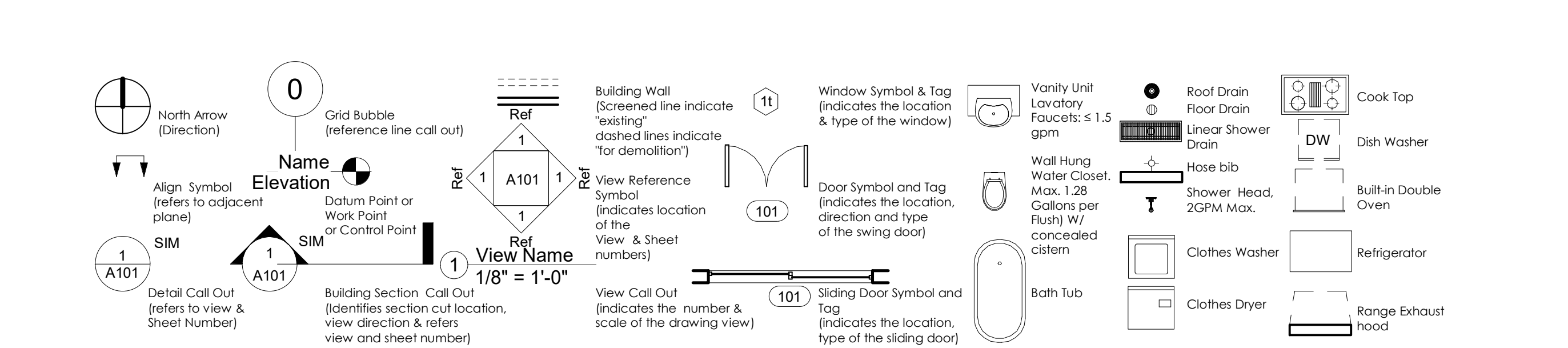
PARCEL MAP



NEIGHBOURHOOD MAP



SYMBOL LEGEND



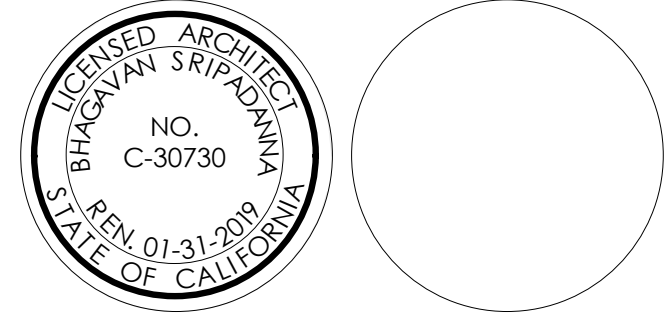
GENERAL NOTES

- EXISTING CONSTRUCTION DATA SHOWN ON THE DRAWINGS WAS OBTAINED FROM AVAILABLE DRAWINGS AND FIELD MEASUREMENTS. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND SHALL NOTIFY THE ARCHITECT OF ALL EXCEPTIONS BEFORE PROCEEDING WITH THE WORK.
- SEE ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS AND ELEVATIONS EXCEPT WHERE INDICATED OTHERWISE.
- ALL DISCREPANCIES BETWEEN DRAWINGS SHALL BE CLARIFIED WITH THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
- IN THE EVENT THAT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN OR DETAILED ON THE DRAWINGS OR CALLED FOR IN THE GENERAL NOTES, THEN THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS SIMILAR CONDITIONS THAT ARE SHOWN OR CALLED FOR.
- DIMENSIONS, ELEVATIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED ON THE JOB SITE BY EACH CONTRACTOR. ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT BEFORE WORK BEGINS OR SUPPLIES ARE ORDERED.
- VERIFY ELECTRICAL, MECHANICAL, FIRE ALARM, TELEPHONE AND SECURITY REQUIREMENTS BEFORE CONSTRUCTION BEGINS.
- CONTRACTOR SHALL DISPOSE OF ALL REMOVED AND/OR DEMOLISHED MATERIAL, WASTE AND DEBRIS CAUSED BY WORK.
- WORK INDICATED AS "OWNER FURNISHED, CONTRACTOR INSTALLED" (O.F.C.I.) SHALL MEET ALL APPLICABLE CODES AND REGULATORY REQUIREMENTS INDICATED WITHIN THESE DOCUMENTS AND SHALL BE INSTALLED AND FULLY OPERATIONAL PRIOR TO FINAL APPROVAL AND OCCUPANCY OF THIS PROJECT.
- ALL UTILITY TRENCHES AND BUILDING PADS SHALL BE PROPERLY BACK FILLED AND COMPACTED.

VICINITY MAP



SHEET NUMBER	SHEET NAME
A100	Title sheet
A100 N	Neighborhood Site Plan
A101	Proposed Site Plan
A102	Existing Floor Plans
A103	Existing Elevations
A104	Demolition Floor Plans
A105	Proposed Floor Plans
A106	Proposed Roof Plan
A107	Proposed Elevations
A108	Proposed Longitudinal Sections
A109	Proposed Cross Sections
A110	Survey



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18524 MONTFERRE WAY
SARATOGA CA 95070
PHONE:(408) 507 8138

Sampat Residence

342 Miramar Avenue San Francisco CA 94112

OWNER:
Ajay & Ushma Sampat

PROJECT NO: 0042017
DRAWN BY: Author
CHECKED BY: Checker
Westwood Park Association Submittal: 11/02/2018
Planning Dept. Submittal: 12/12/2018

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SHEET TITLE

Title sheet

A100
SHEET OF

MIRAMAR AVENUE

OUTLINE OF NEIGHBOR'S RESIDENCE

SOUTHWOOD DRIVE

OUTLINE OF EXISTING RESIDENCE

OUTLINE OF NEIGHBOR'S RESIDENCE



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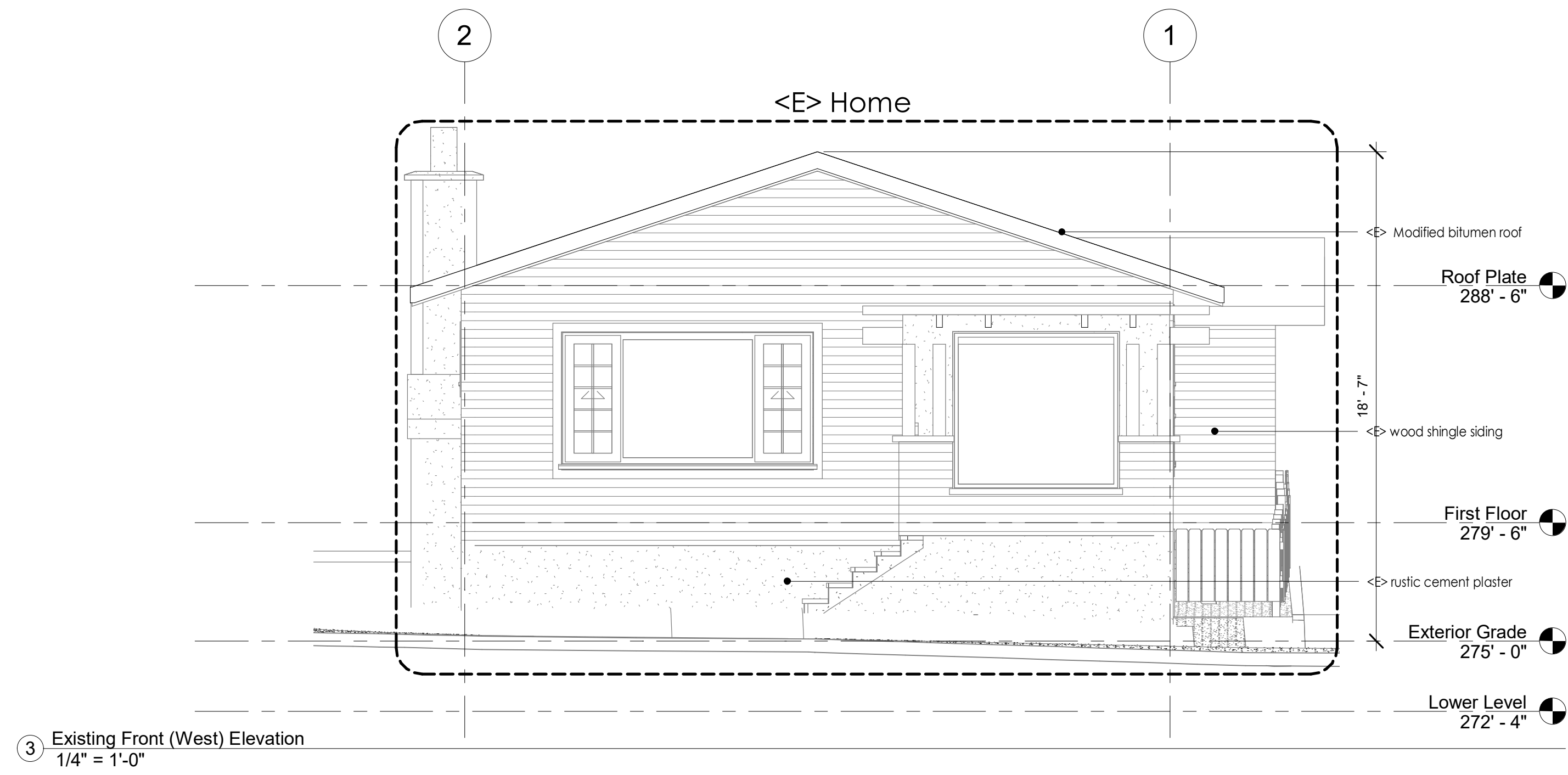
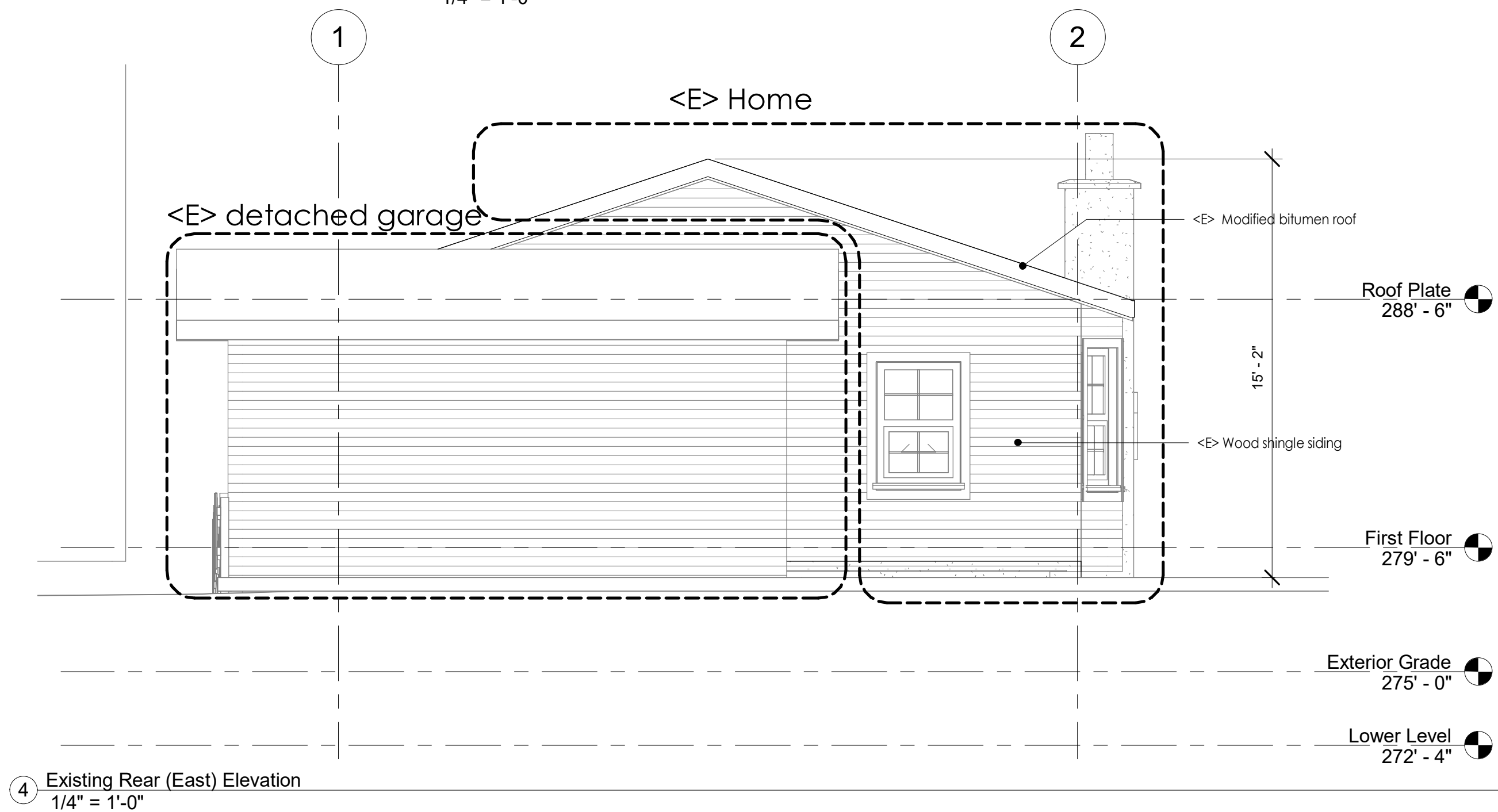
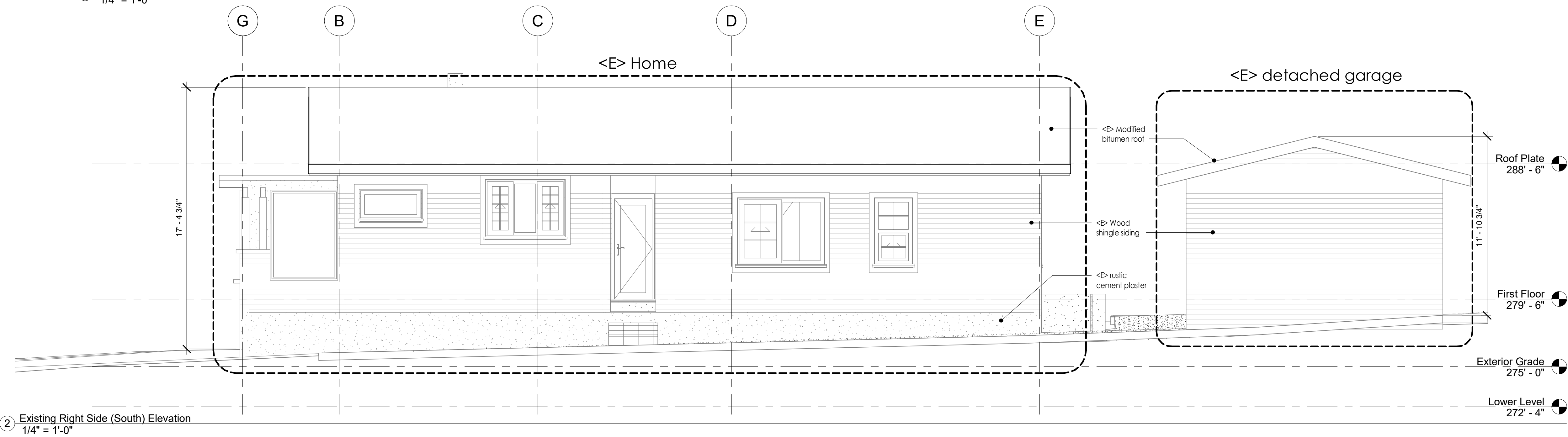
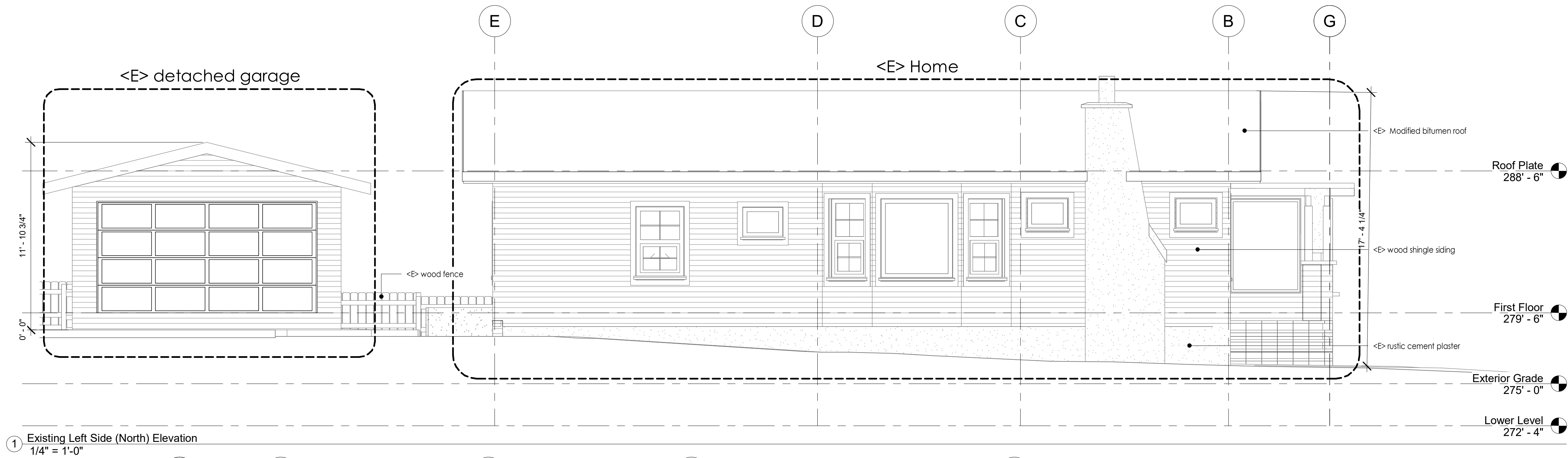
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SHEET TITLE

Proposed Site Plan

A101

SHEET OF



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Sampat Residence As-Built Drawings

342 Miramar Avenue San
Francisco CA 94112

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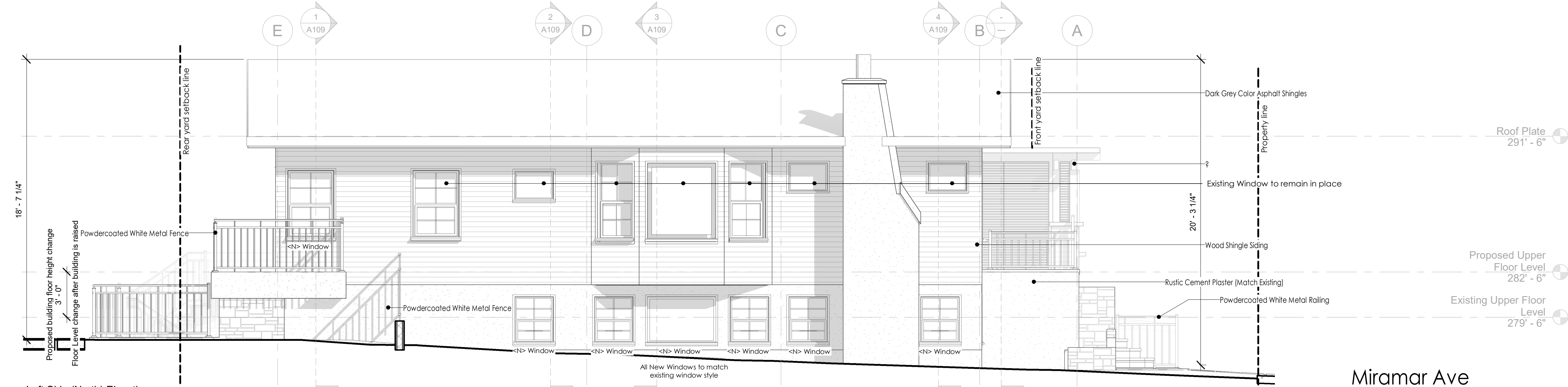
SHEET TITLE

Existing Elevations

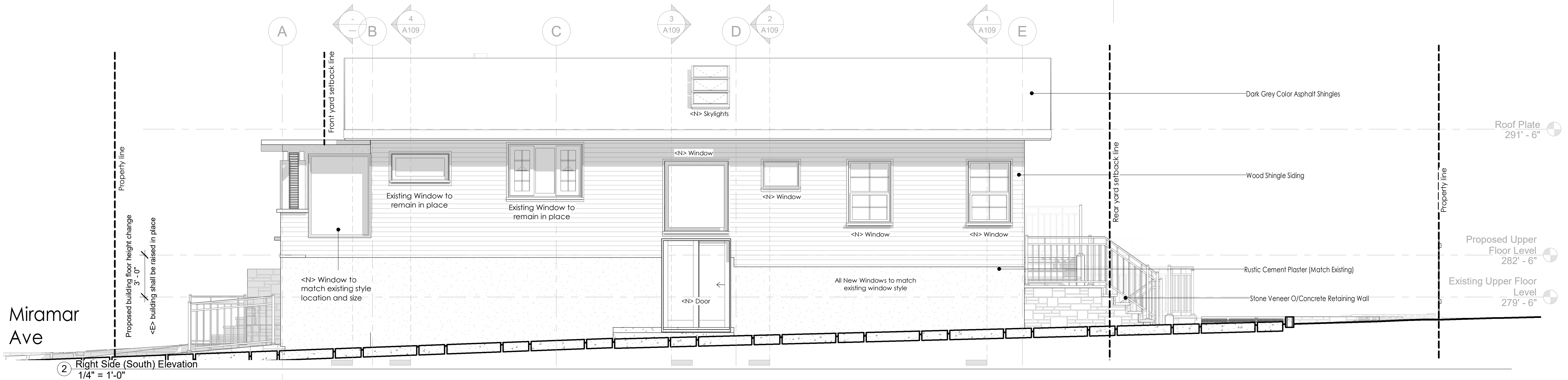
A103

SHEET OF

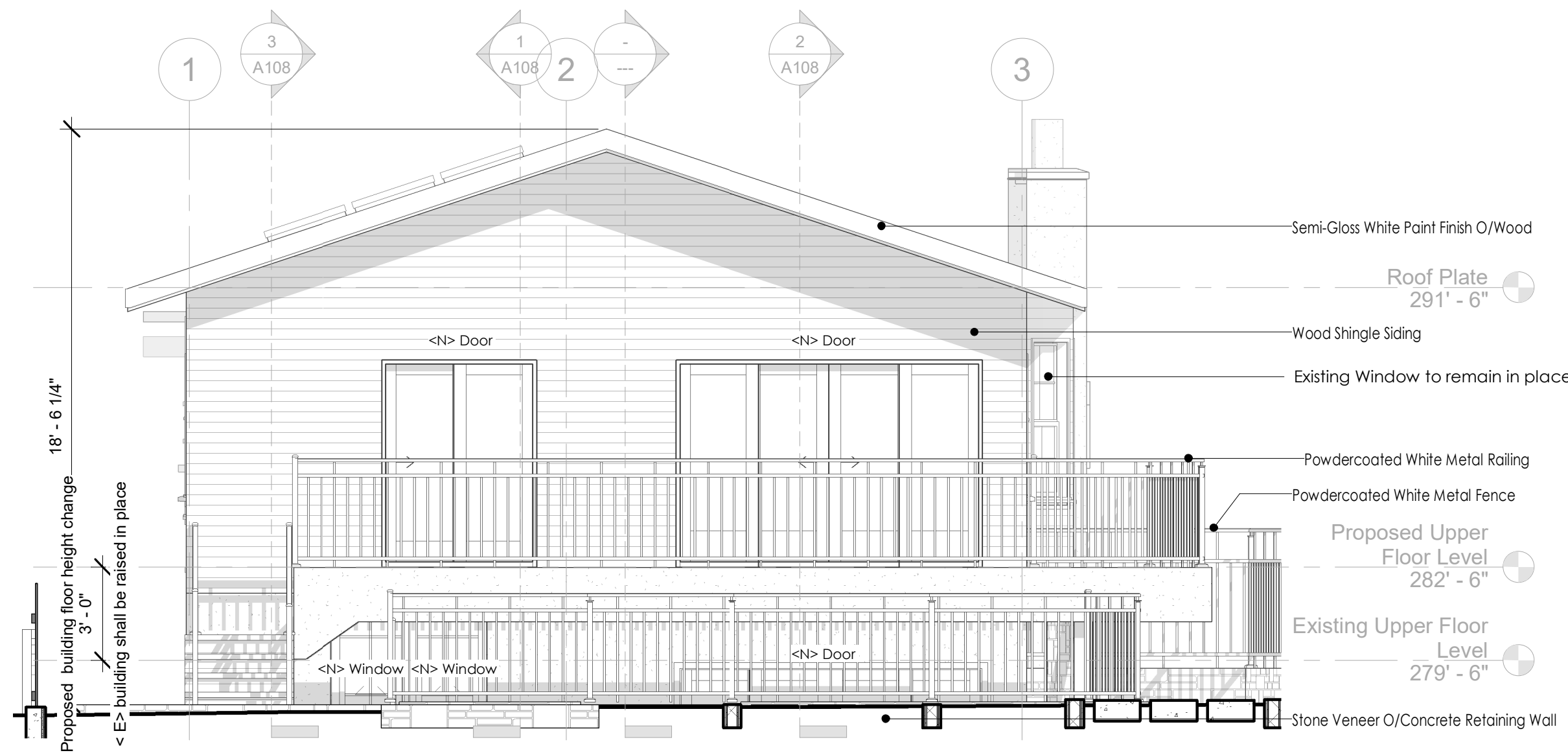
Property line



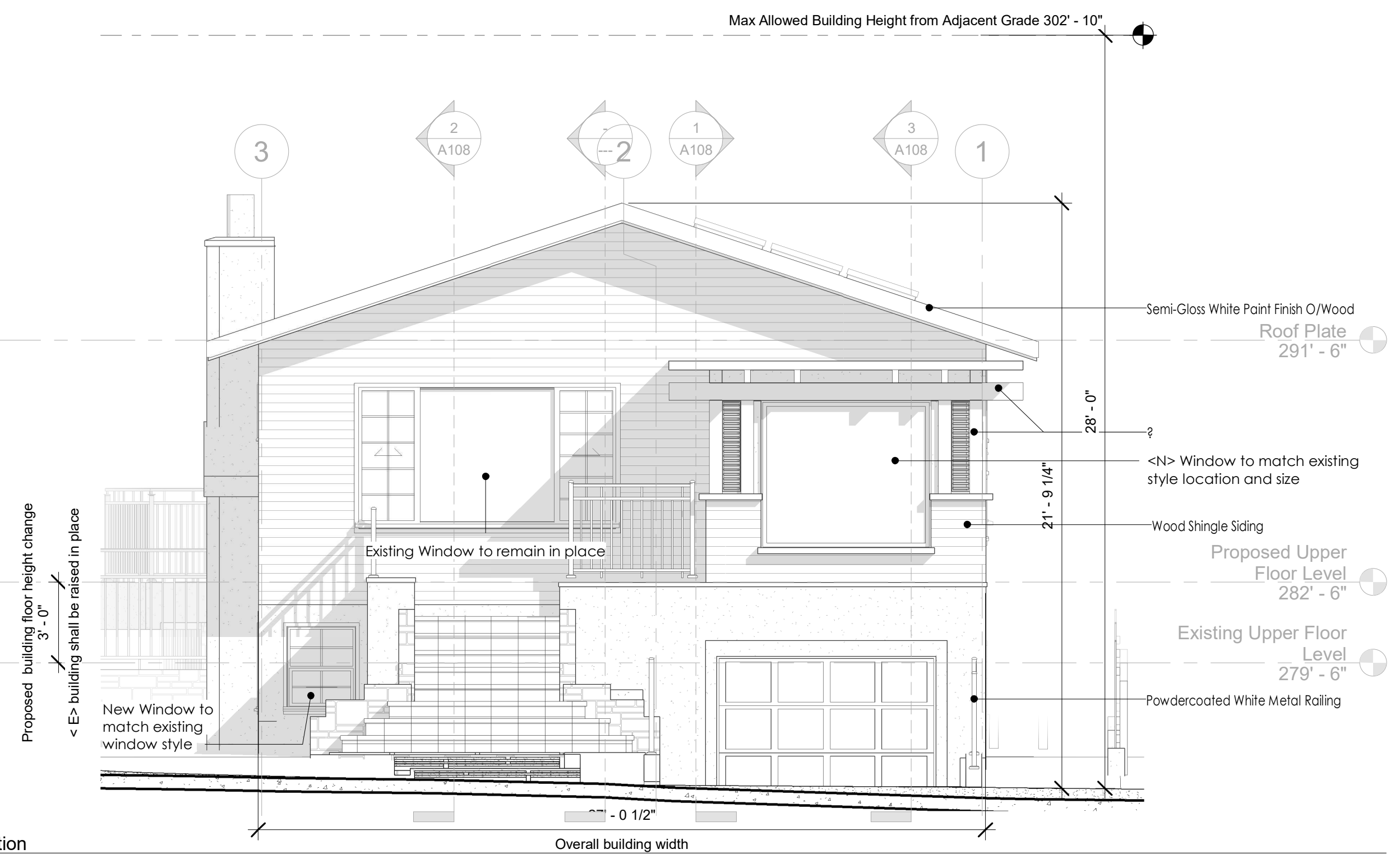
1 Left Side (North) Elevation
1/4" = 1'-0"



2 Right Side (South) Elevation
1/4" = 1'-0"



4 Rear (East) Elevation
1/4" = 1'-0"



3 Front (West) Elevation
1/4" = 1'-0"



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342 Miramar Avenue San Francisco CA 94112

OWNER:
Ajay & Ushma Sampat

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SHEET TITLE

Proposed Elevations

A107

SHEET OF

Miramar Ave

③ Longitudinal Section 1
1/4" = 1'-0"

Miramar Ave

② Longitudinal Section 2
1/4" = 1'-0"

① Longitudinal Section 3
1/4" = 1'-0"

Roof Plate
291' - 6"

Proposed Upper
Floor Level
282' - 6"

Existing Upper Floor
Level
279' - 6"

Lower Floor Level
272' - 4"

Roof Plate
291' - 6"

Proposed Upper
Floor Level
282' - 6"

Existing Upper Floor
Level
279' - 6"

Lower Floor Level
272' - 4"

Roof Plate
291' - 6"

Proposed Upper
Floor Level
282' - 6"

Existing Upper Floor
Level
279' - 6"

Lower Floor Level
272' - 4"



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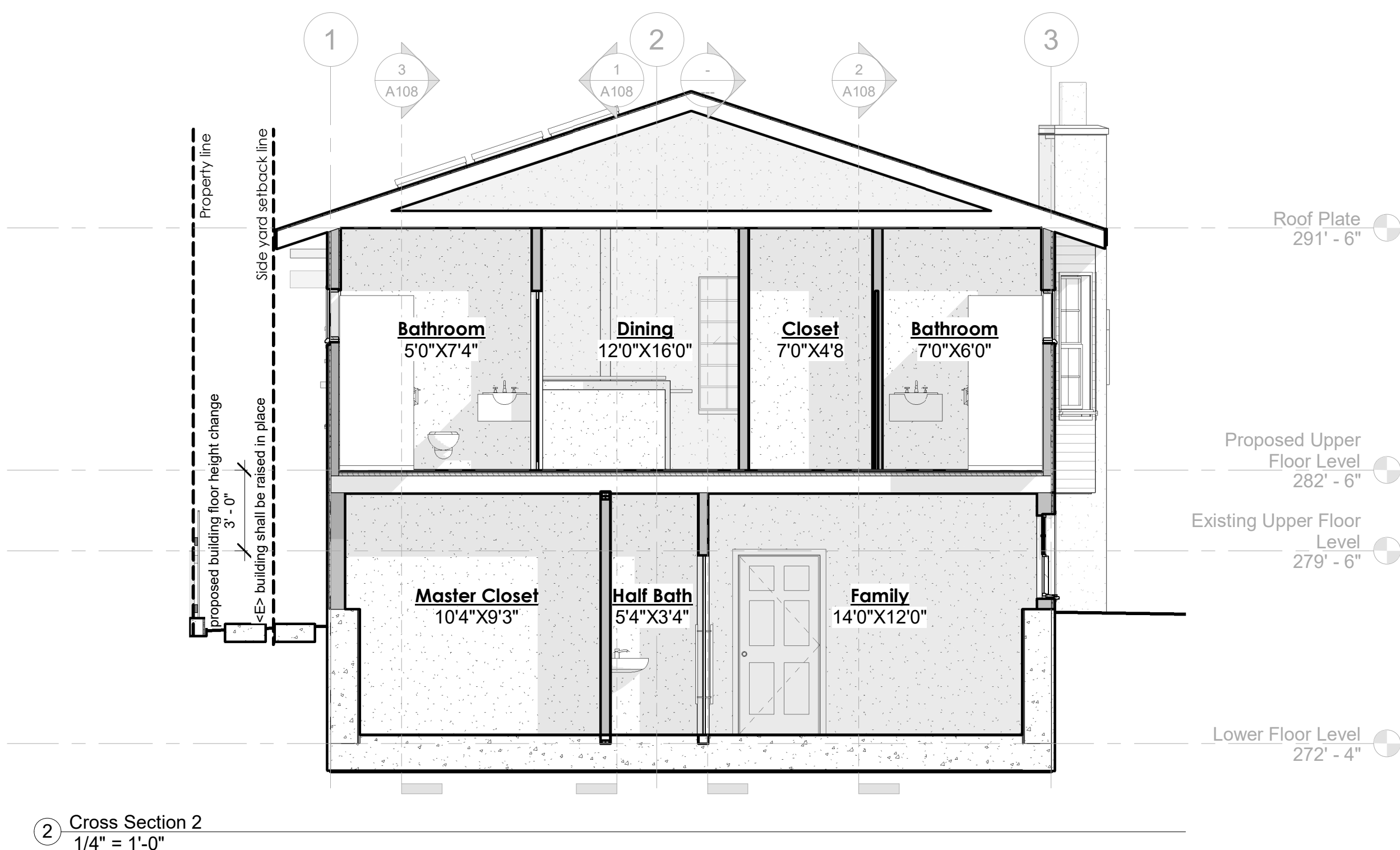
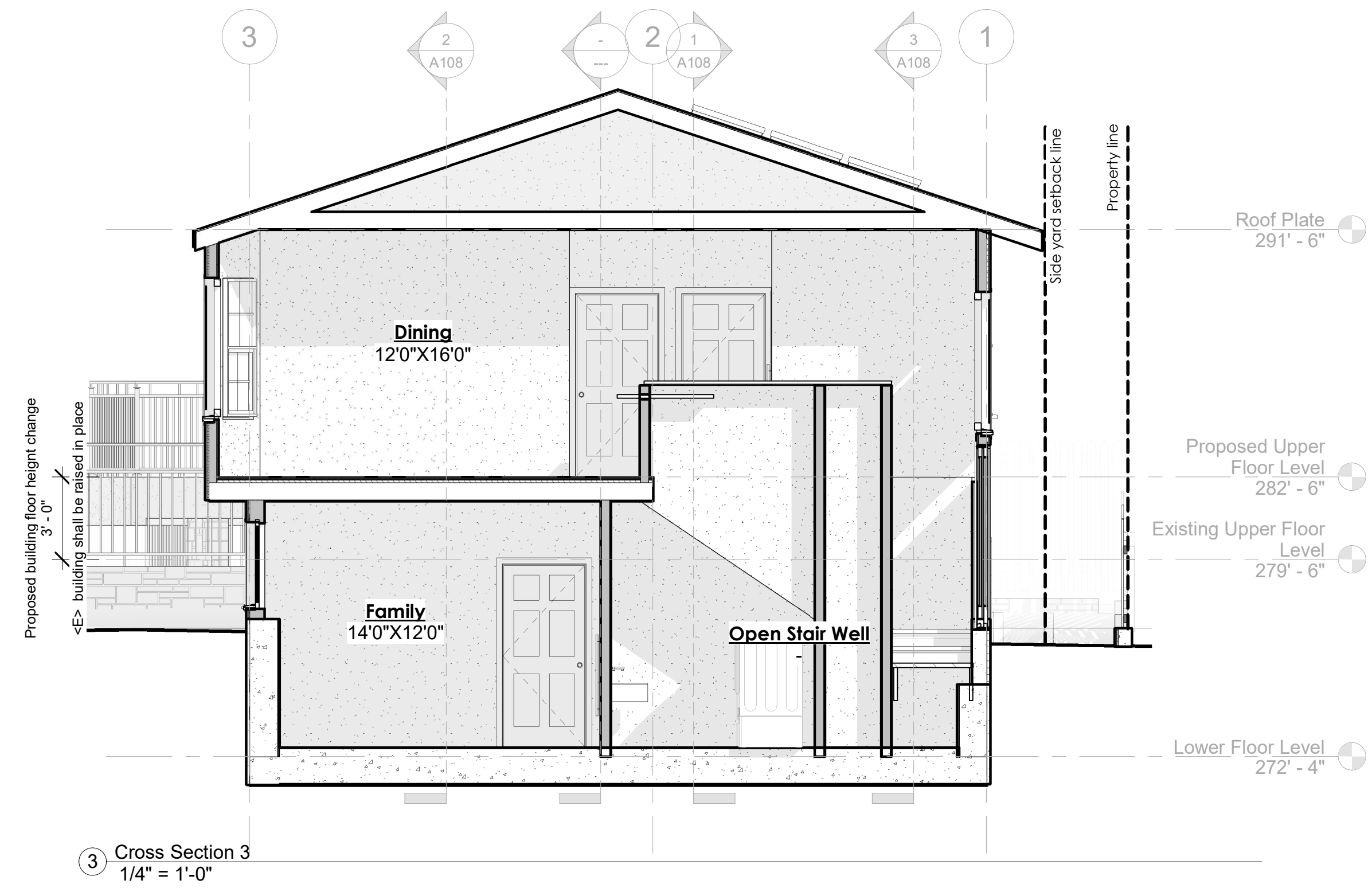
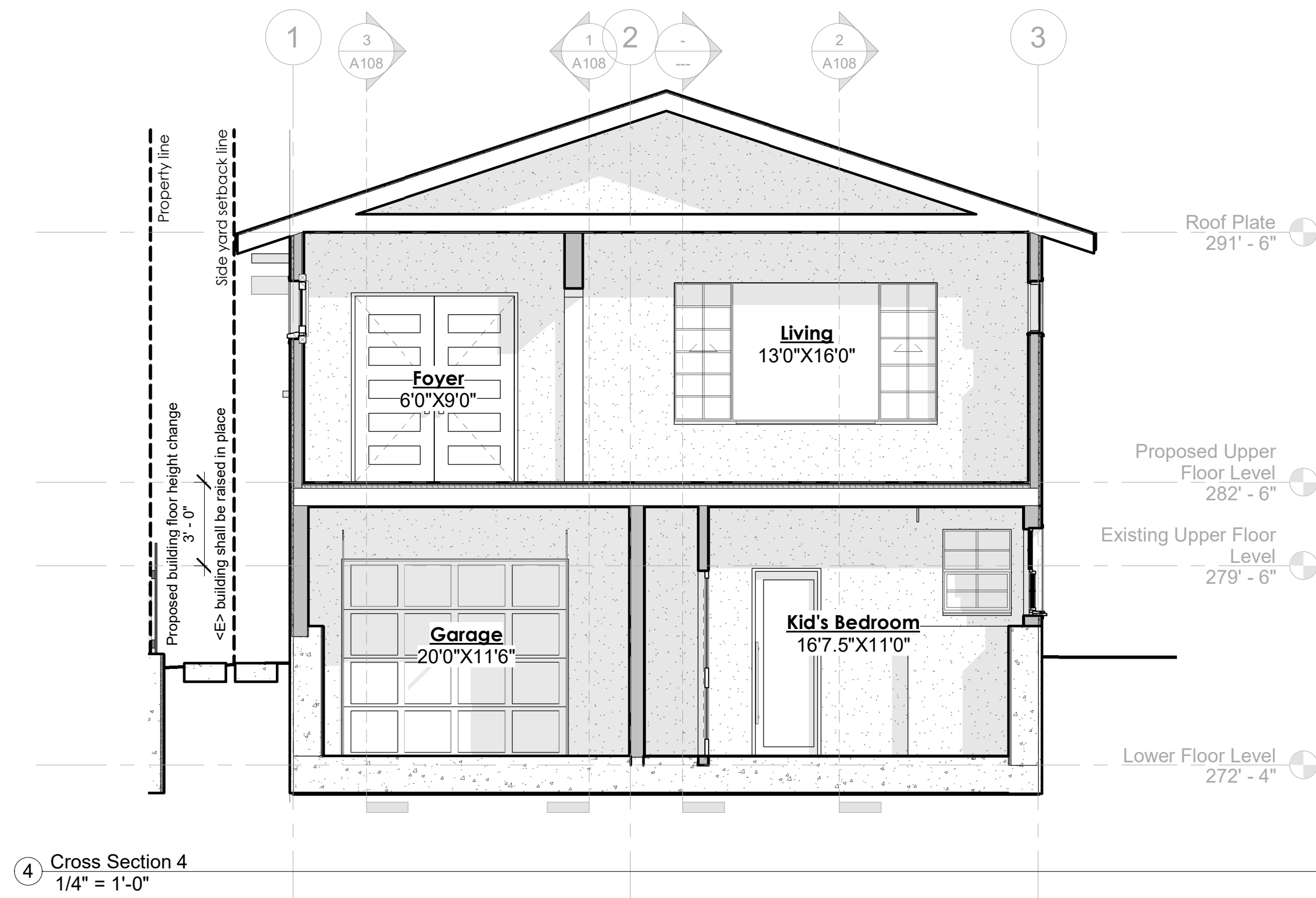
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SHEET TITLE

Proposed
Longitudinal
Sections

A108

SHEET OF



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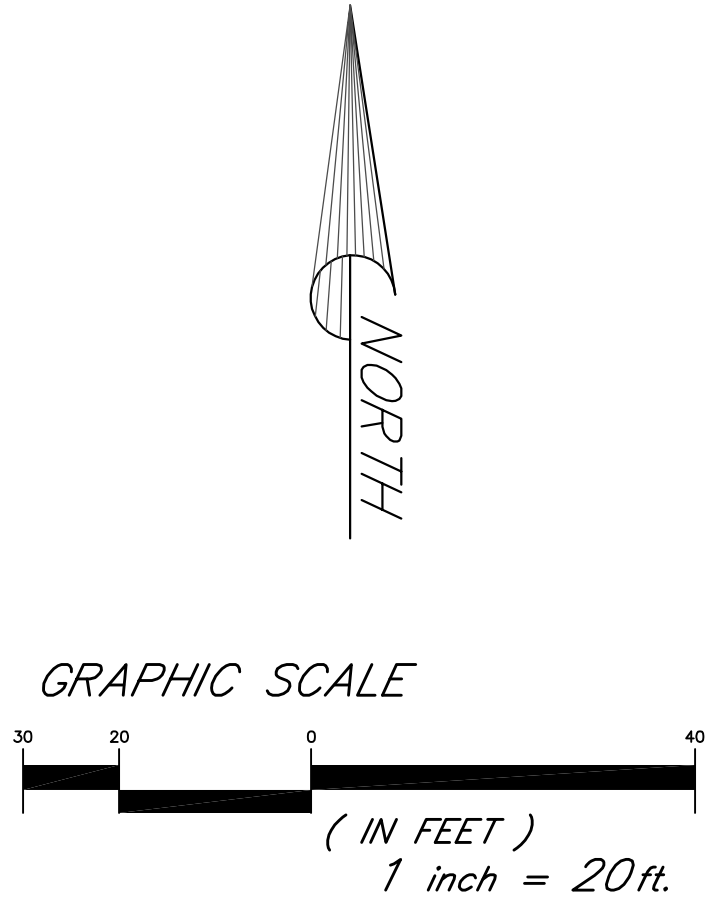
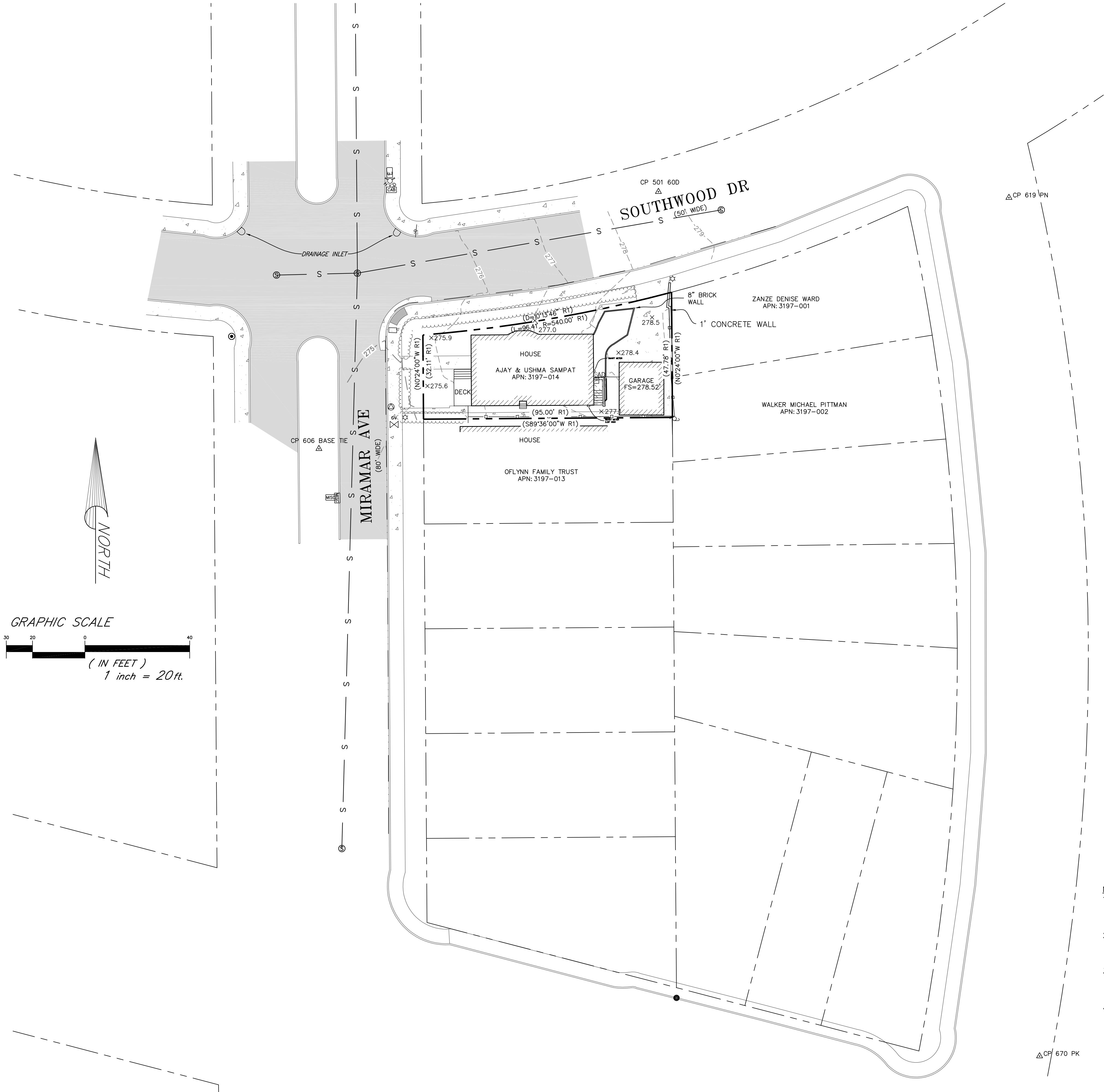
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SHEET TITLE

Proposed Cross
Sections

A109

SHEET OF



LEGEND

---	RECORD BOUNDARY LINE
---	RECORD ADJOINING BOUNDARY LINE
---	FLOWLINE
---	EDGE OF CONCRETE
---	EDGE OF BUILDING
---	WOOD FENCE
S	UNDER GROUND SEWER LINE
---	MINOR CONTOUR
---	MAJOR CONTOUR
---	BUSH LINE
---	ASPHALT CONCRETE SURFACE
---	DIMPLE PAD
---	CONCRETE SURFACE

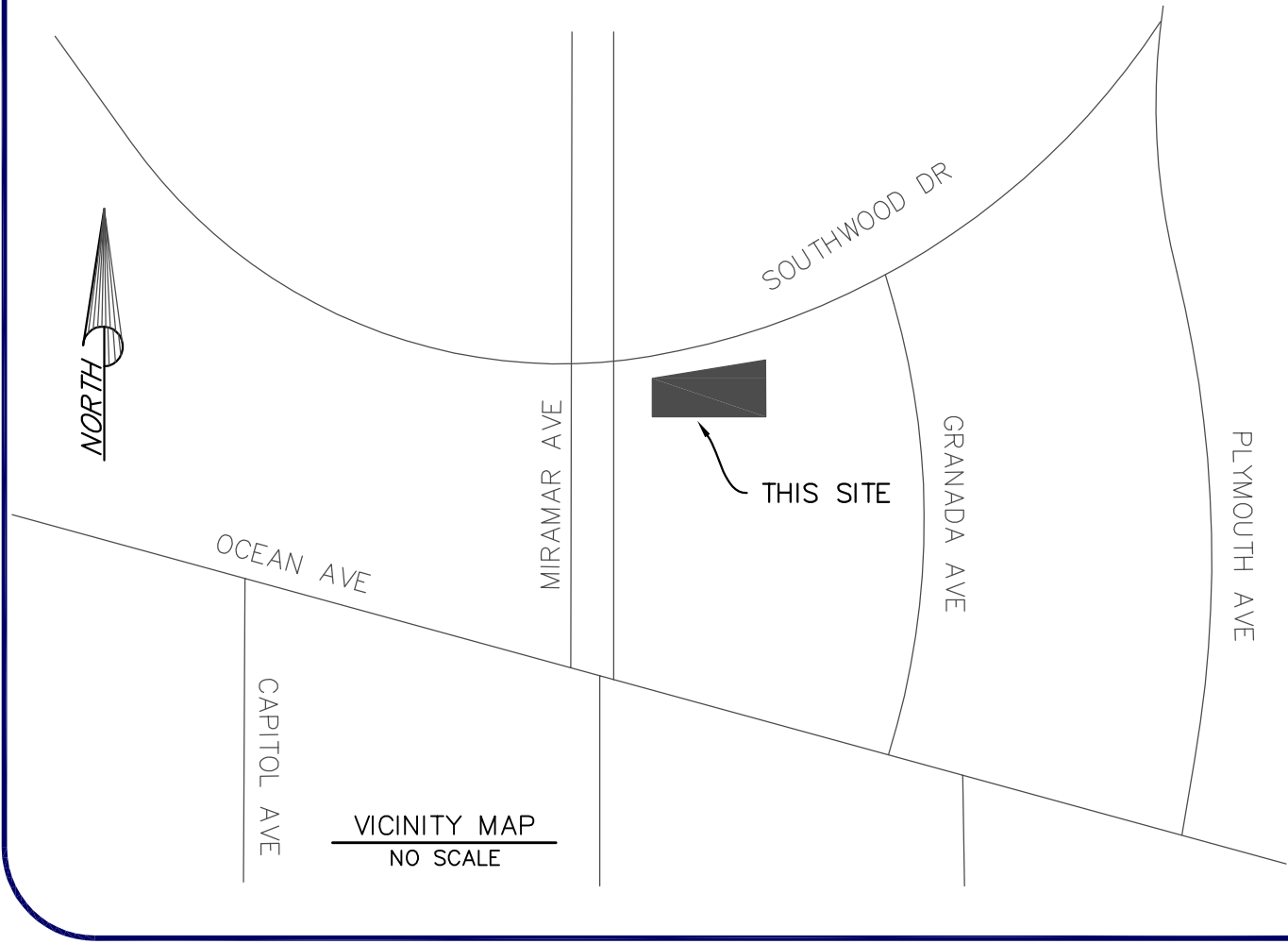
SYMBOLS

⊗	FIRE HYDRANT
⊕	WATER VALVE
⊗	GAS VALVE
⊕	POWER POLE
⊕	WATER METER
⊕	ELECTRIC METER
⊕	CABLE BOX
⊕	MISCELLANEOUS PULL BOX
⊕	SEWER MANHOLE
⊕	AREA DRAIN
⊕	STREET LIGHT
⊕	SIGN
△ 3	RANDOM CONTROL POINT W/#
●	FOUND BRASS TAG AND NAIL TAGGED LS 6216
⊕	FOUND CITY MONUMENT W/ PIN IN MONUMENT WELL
x 143.2	SPOT ELEVATION

ABBREVIATIONS

FS	FINISHED SLAB
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- NOTES:**
- THIS MAP IS FOR DESIGN PURPOSES AND THE CONTENT IS RELATIVE TO THE INTENDED USE. UNAUTHORIZED CHANGES OR ADDITIONS TO THE EXISTING DATA SHOWN ON THIS MAP IS STRICTLY PROHIBITED. ANY USES OF THIS MAP BEYOND THE STATED PURPOSE REQUIRES THE AUTHORIZATION OF HOGAN LAND SERVICES.
 - THIS MAP DOES NOT CONSTITUTE A BOUNDARY SURVEY. BOUNDARY INFORMATION SHOWN IS PER MAP OF WESTWOOD PARK SAN FRANCISCO CALIFORNIA BOOK H AT PAGE 65-71 SAN FRANCISCO COUNTY RECORDS.
 - HORIZONTAL CONTROL: CITY MONUMENT FOUND ON CORNER OF SOUTHWOOD DRIVE AND MIRAMAR AVE AND BRASS TAG AND NAIL FOUND ALONG OCEAN AVE. (S33°55'08"E). RECORD INFORMATION SHOWN PER 132-M-55.
 - VERTICAL CONTROL: ELEVATION DATUM IS DERIVED FROM AN OPUS SOLUTION OVER CP 606 (274.90 FEET) NAVD 88.



TOPOGRAPHIC MAP

342 MIRAMAR AVE
SAN FRANCISCO, CALIFORNIA

APN: 3197-014

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CHK: DFH
PM: MJH
DATE: 04/23/18
JOB #: 3310

MICHAEL R. HOGAN PLS 7362

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AT THE REQUEST OF AJAY SAMPAT IN APRIL, 2018