



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**



# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, August 28, 2019**

Time: **Not before 9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance**

Hearing Body: **Zoning Administrator**

PROJECT INFORMATION	APPLICANT INFORMATION
Project Address: <b>4 Aquavista Way</b> Cross Street(s): <b>Skyview Way</b> Block /Lot No.: <b>2798 / 023</b> Zoning District(s): <b>RH-1(D) / 40-X</b> Area Plan: <b>N/A</b> Record Number: <b>2018-003085VAR</b>	Applicant: <b>Alex Volodarsky</b> Address: <b>1485 Bayshore Blvd., Suite 133</b> City, State: <b>San Francisco, CA 94124</b> Telephone: <b>(415) 302-1712</b> E-Mail: <a href="mailto:alex@adeptconstruction.solutions">alex@adeptconstruction.solutions</a>

### PROJECT DESCRIPTION

The proposal is to construct a two-story horizontal addition and a one-story vertical addition on an existing two-story, single-family residence.

**PLANNING CODE SECTION 132** requires a front setback for the subject lot equal to the front setback of the adjacent building in the RH, RTO, or RM District. The required front setback for the subject lot is 6 feet. The proposed horizontal and vertical additions will extend the subject building's main wall to the front property line of the subject property and encroach 6 feet into the required front setback. Therefore, a front setback variance is required.

**PLANNING CODE SECTION 134** requires the subject lot to maintain a minimum rear yard equal to 25 percent of the total lot's depth, but in no case shall the required rear yard be less than 15 feet. The required rear yard for the subject lot is 15 feet. The proposed horizontal and vertical additions will extend the subject building's rear wall to the rear property line and encroach 15 feet into the required rear yard. Therefore, a rear yard variance is required.

### ADDITIONAL INFORMATION

**ARCHITECTURAL PLANS:** To view the plans and related documents for the proposed project, visit [sf-planning.org/notices](http://sf-planning.org/notices) and search the Project Address listed above. The plans will also be available one week prior to the hearing through the hearing agenda at: [sf-planning.org/hearings](http://sf-planning.org/hearings) or by request at the Planning Department office located at 1650 Mission Street, 4<sup>th</sup> Floor.

**FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:**

Planner: **Gabriela Pantoja** Telephone: **(415) 575-8741** E-Mail: [Gabriela.Pantoja@sfgov.org](mailto:Gabriela.Pantoja@sfgov.org)

# GENERAL INFORMATION ABOUT PROCEDURES

## HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident near the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to comment on the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice to the Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

## BUILDING PERMIT APPLICATION INFORMATION

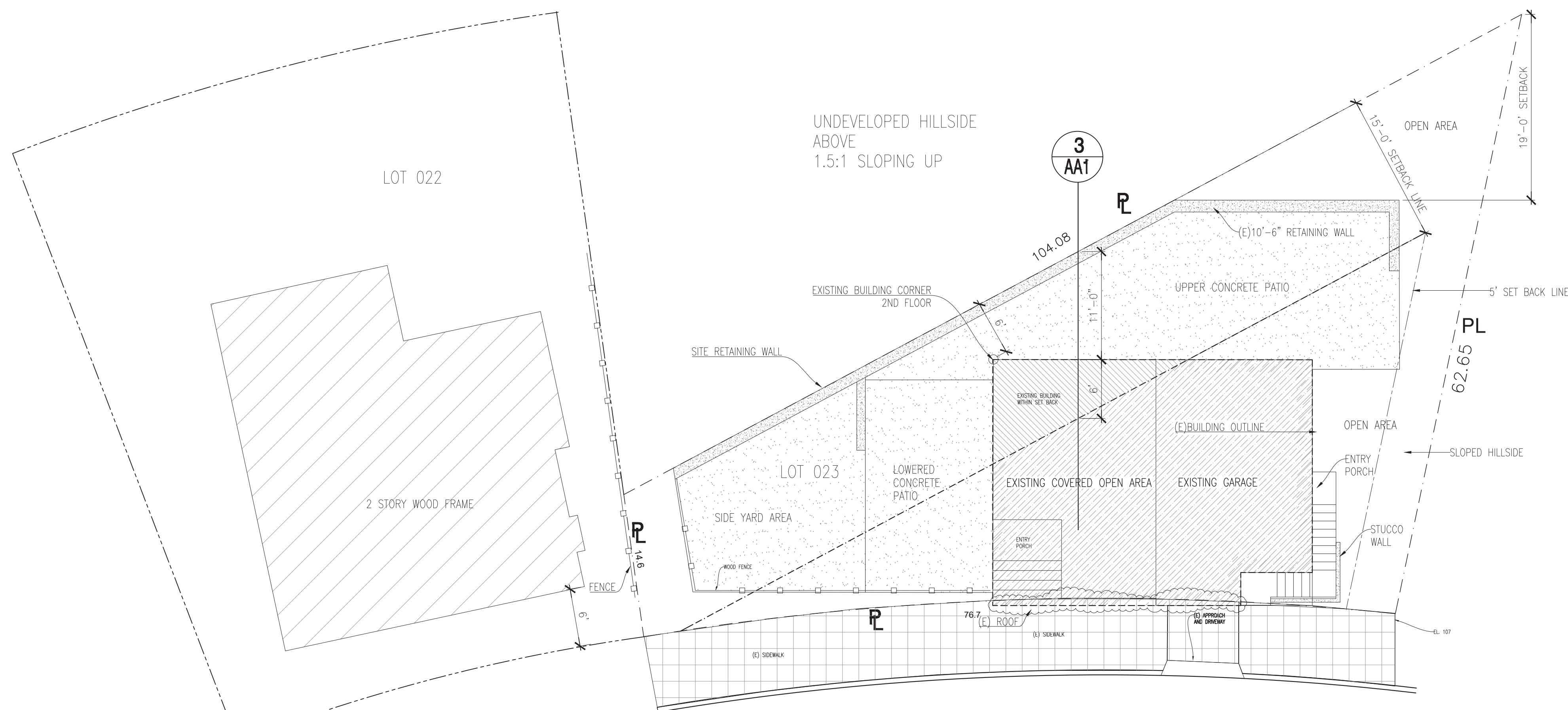
Pursuant to Planning Code Section 311, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. On **July 29, 2019**, the Department issued the required Section 311 notification for this project, which **expires on August 28, 2019**.

## APPEAL INFORMATION

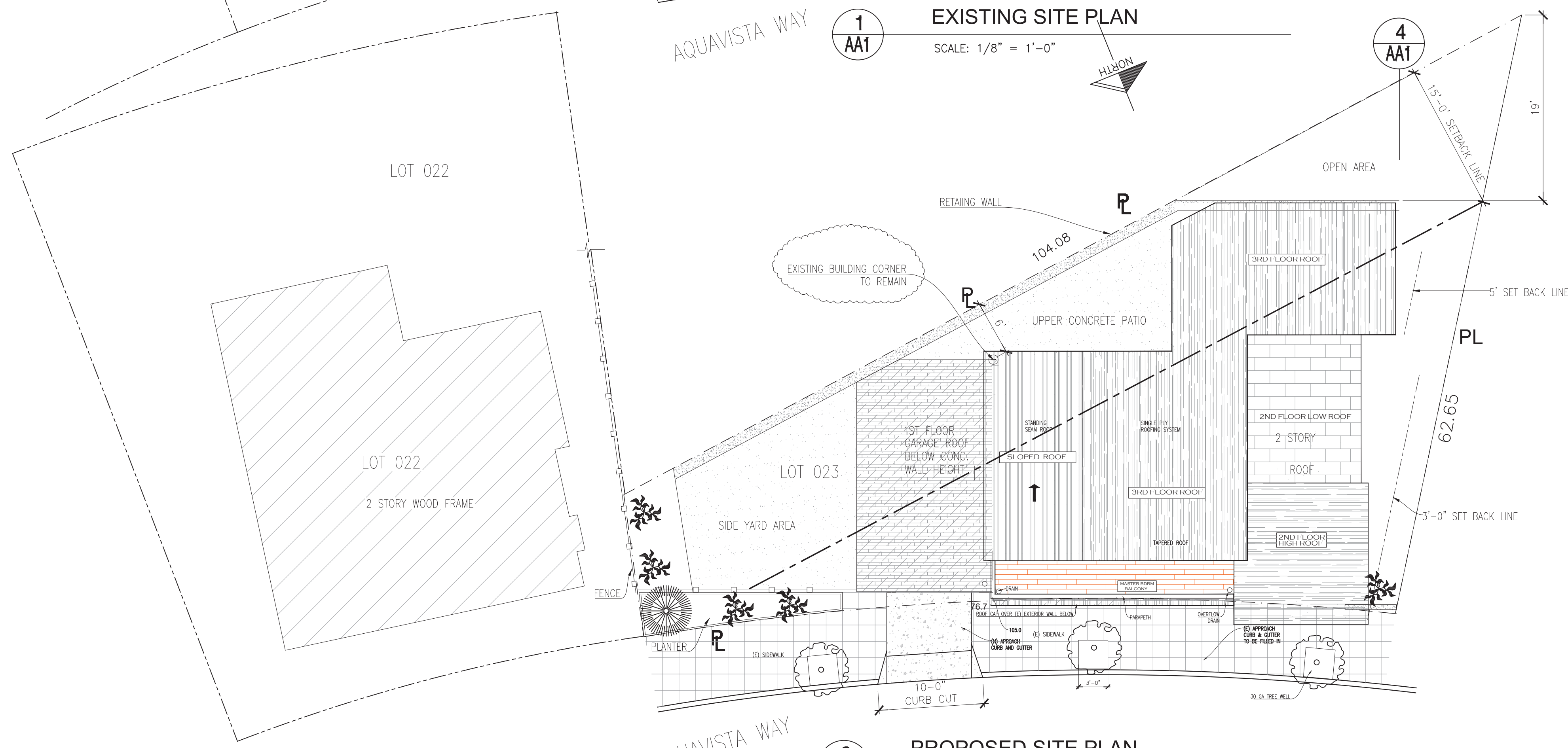
An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department or Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

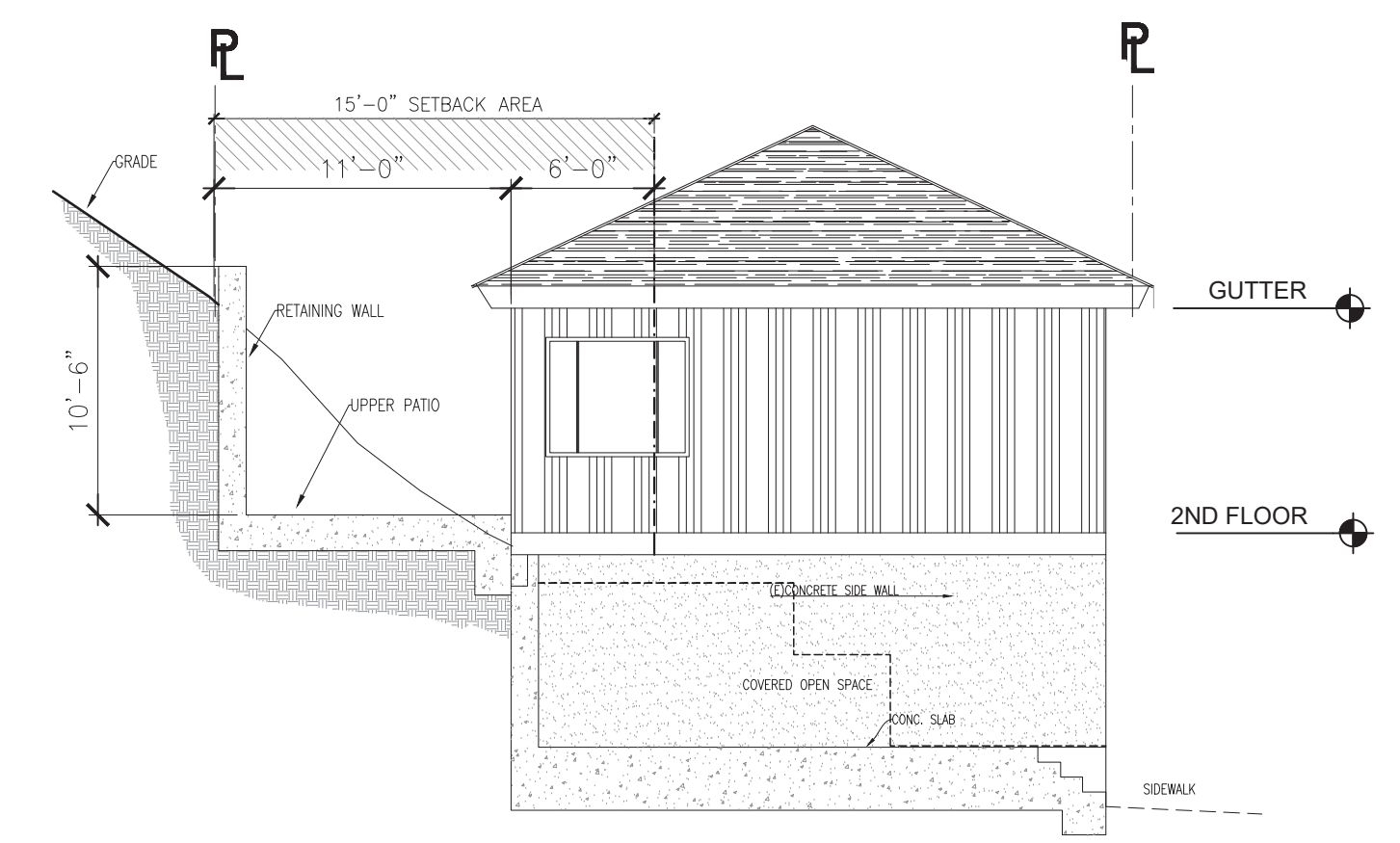
Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.



**1**  
AA1  
**EXISTING SITE PLAN**  
SCALE: 1/8" = 1'-0"



**2**  
AA1  
**PROPOSED SITE PLAN**  
SCALE: 1/8" = 1'-0"



**3**  
AA1  
**EXISTING SIDE DIAGRAM**  
SCALE: 1/8" = 1'-0"

2	6/12/19	DESIGN REVIEW COMMENTS	AV
1P	4/23/19	PLANNING DPT COMMENTS	AV
NO.	DATE	DESCRIPTION	BY
REVISION			

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Construction Solutions  
1485 Bayshore Blvd. Suite 225  
San Francisco, CA 94124  
415-602-2290 415-302-1712  
info@deptconstruction.solutions

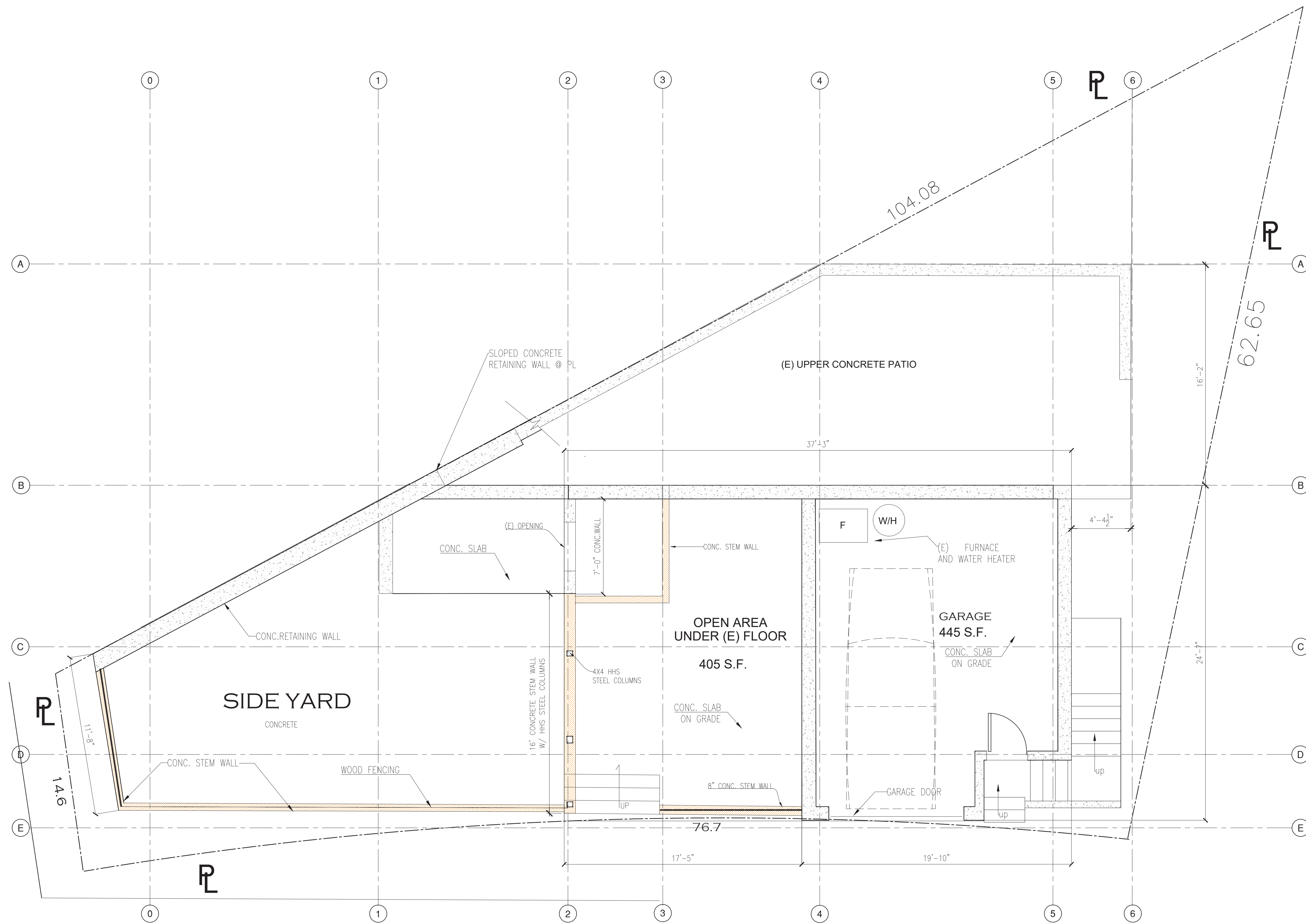
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CHECKED BY:	GK
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DATE:	

CLIENT NAME:  
**KEARNEY FAMILY**  
4 AQUAVISTA WAY  
SAN FRANCISCO

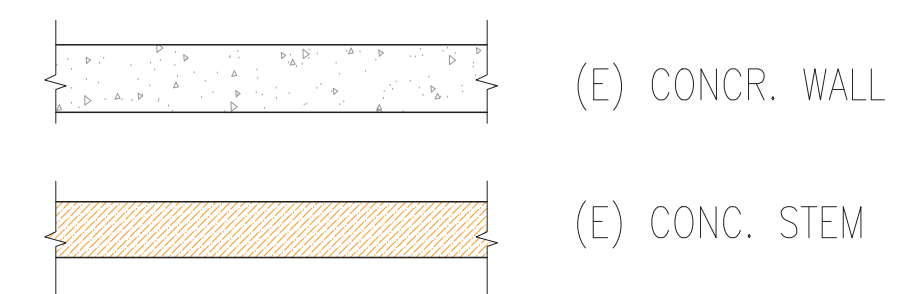
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**SAN FRANCISCO**  
ADDITION AND REMODEL

SHEET TITLE  
**EXISTING SITE DIAGRAM**

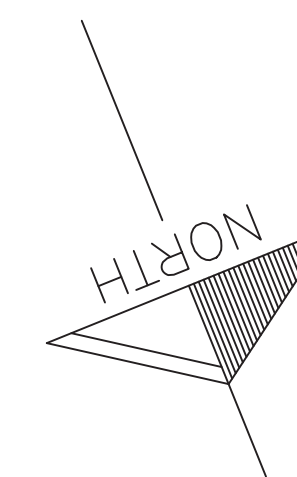
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**LEGEND**



**1**  
**A1** EXISTING 1ST (GROUND) FLOOR PLAN



2	6/12/19	DESIGN REVIEW COMMENTS	AV
1P	4/23/19	PLANNING DPT COMMENTS	AV
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DATE:	

CLIENT NAME:  
**KEARNEY FAMILY**  
4 AQUAVISTA WAY  
SAN FRANCISCO

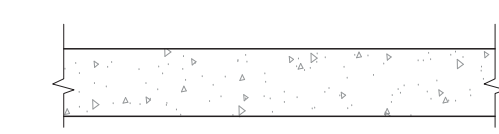
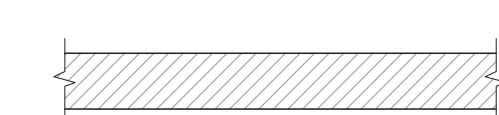
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**4 AQUAVISTA WAY**  
**SAN FRANCISCO**  
ADDITION AND REMODEL

SHEET TITLE  
**EXISTING GROUND FLOOR PLAN**  
**SITE PLAN**

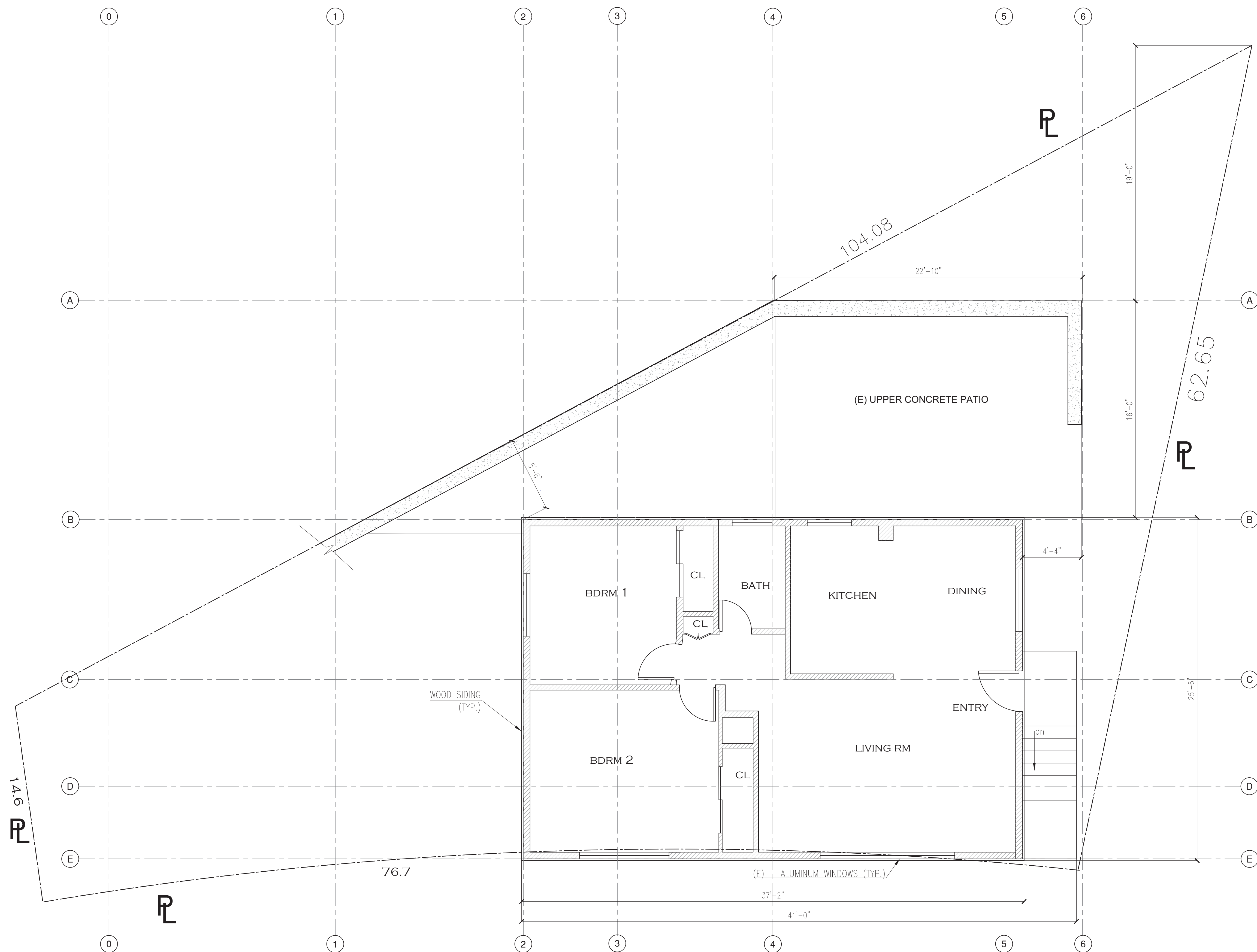
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**A-1**

KEYNOTES

LEGEND

-  (E) CONCR. WALL
-  (E) WOOD WALL

SHEET NOTES



1  
A2 EXISTING 2ND FLOOR PLAN

NO.	DATE	DESCRIPTION	BY
2	6/12/19	DESIGN REVIEW COMMENTS	AV
1P	4/23/19	PLANNING DPT. COMMENTS	AV
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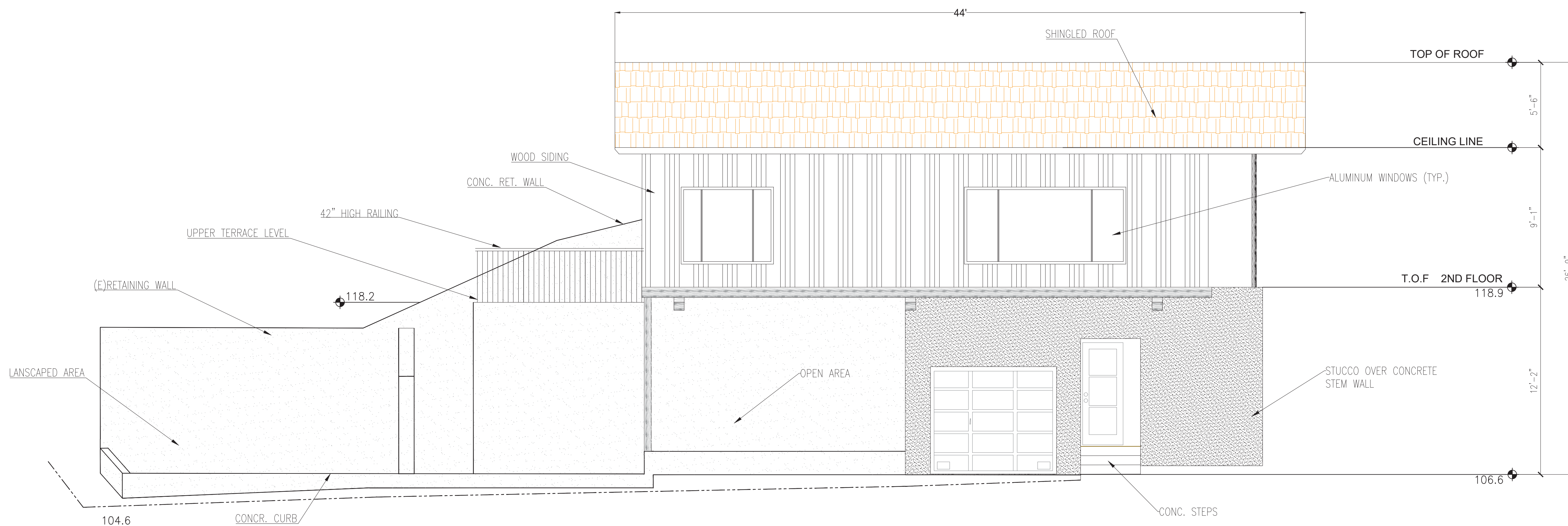
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 KEARNEY FAMILY  
 4 AQUAVISTA WAY  
 SAN FRANCISCO

PROJECT NAME:  
**4 AQUAVISTA WAY  
 SAN FRANCISCO**  
 ADDITION AND REMODEL

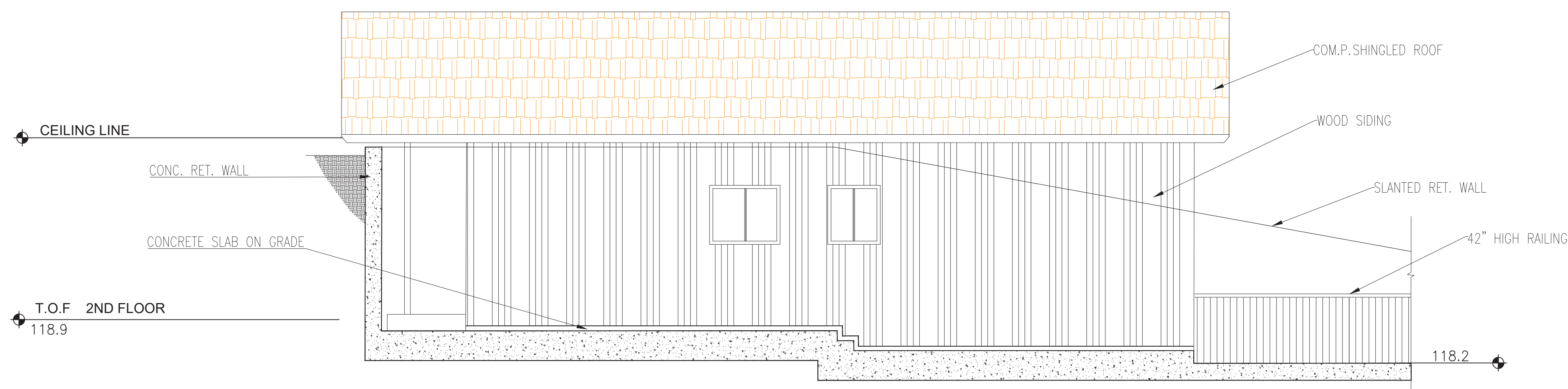
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Sheet No.  
**A-2**

KEYNOTES



1  
A3  
EXISTING FRONT ELEVATION



2  
A3  
EXISTING REAR ELEVATION

SHEET NOTES

2	6/12/19	DESIGN REVIEW COMMENTS	AV
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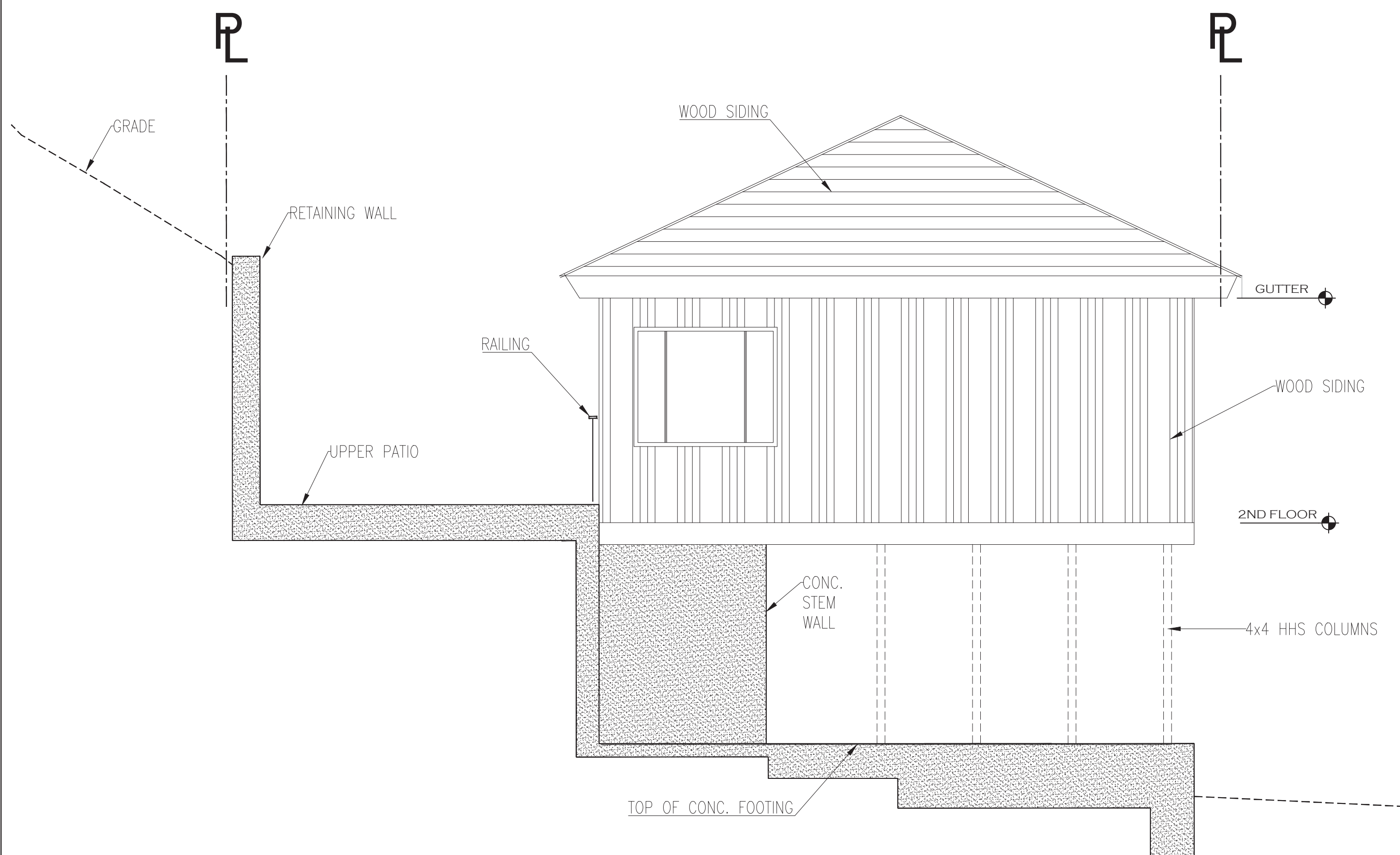
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KEARNEY FAMILY  
4 AQUAVISTA WAY  
SAN FRANCISCO

PROJECT NAME:  
**4 AQUAVISTA WAT**  
**SAN FRANCISCO**  
ADDITION AND REMODEL

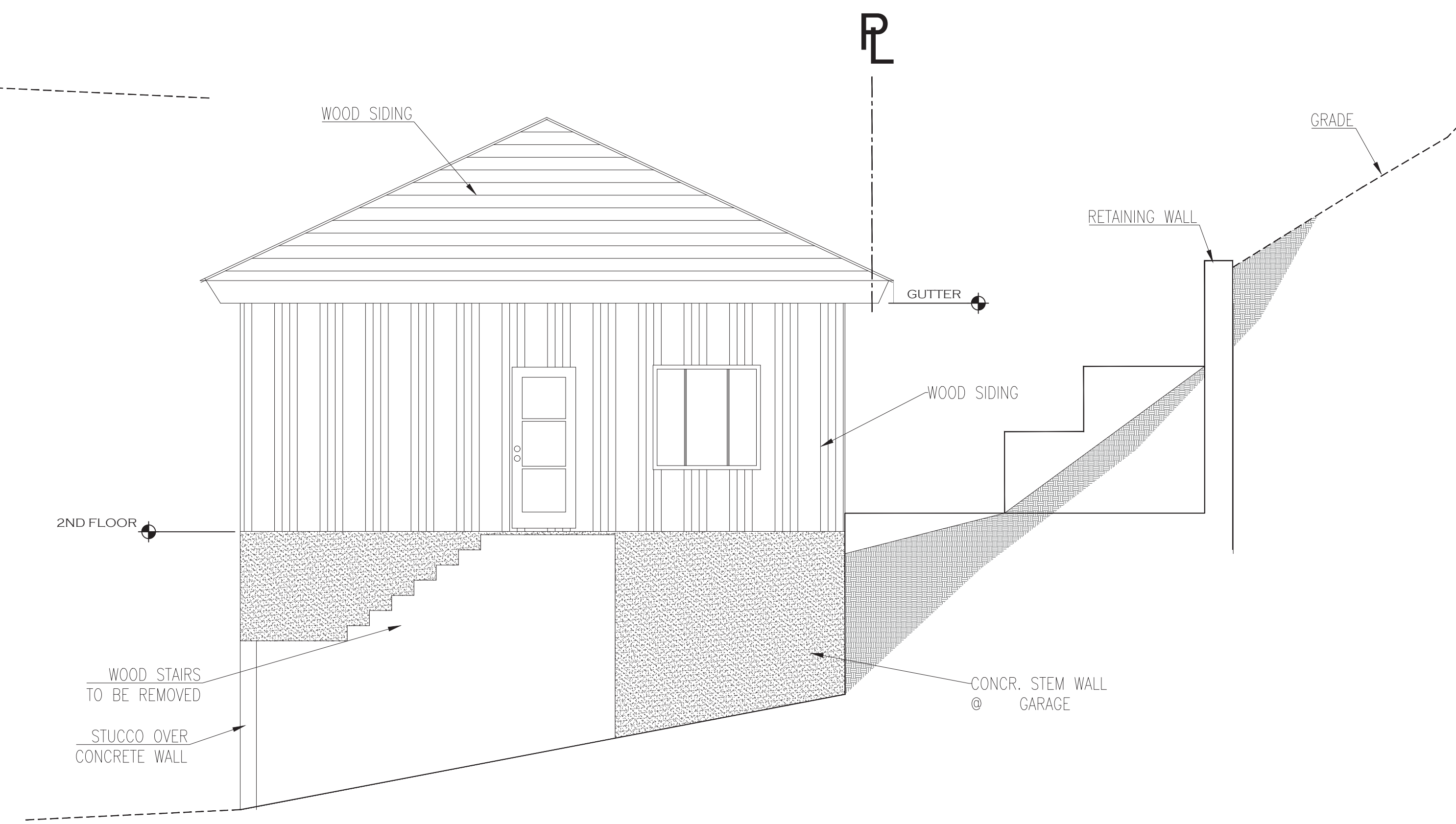
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**EXISTING ELEVATIONS**

Sheet No.  
**A-3**

KEYNOTES



1  
A4  
EXISTING SIDE ELEVATION



2  
A4  
EXISTING SIDE ELEVATION

SHEET NOTES

NO.	DATE	DESCRIPTION	BY
2	6/12/19	DESIGN REVIEW COMMENTS	AV
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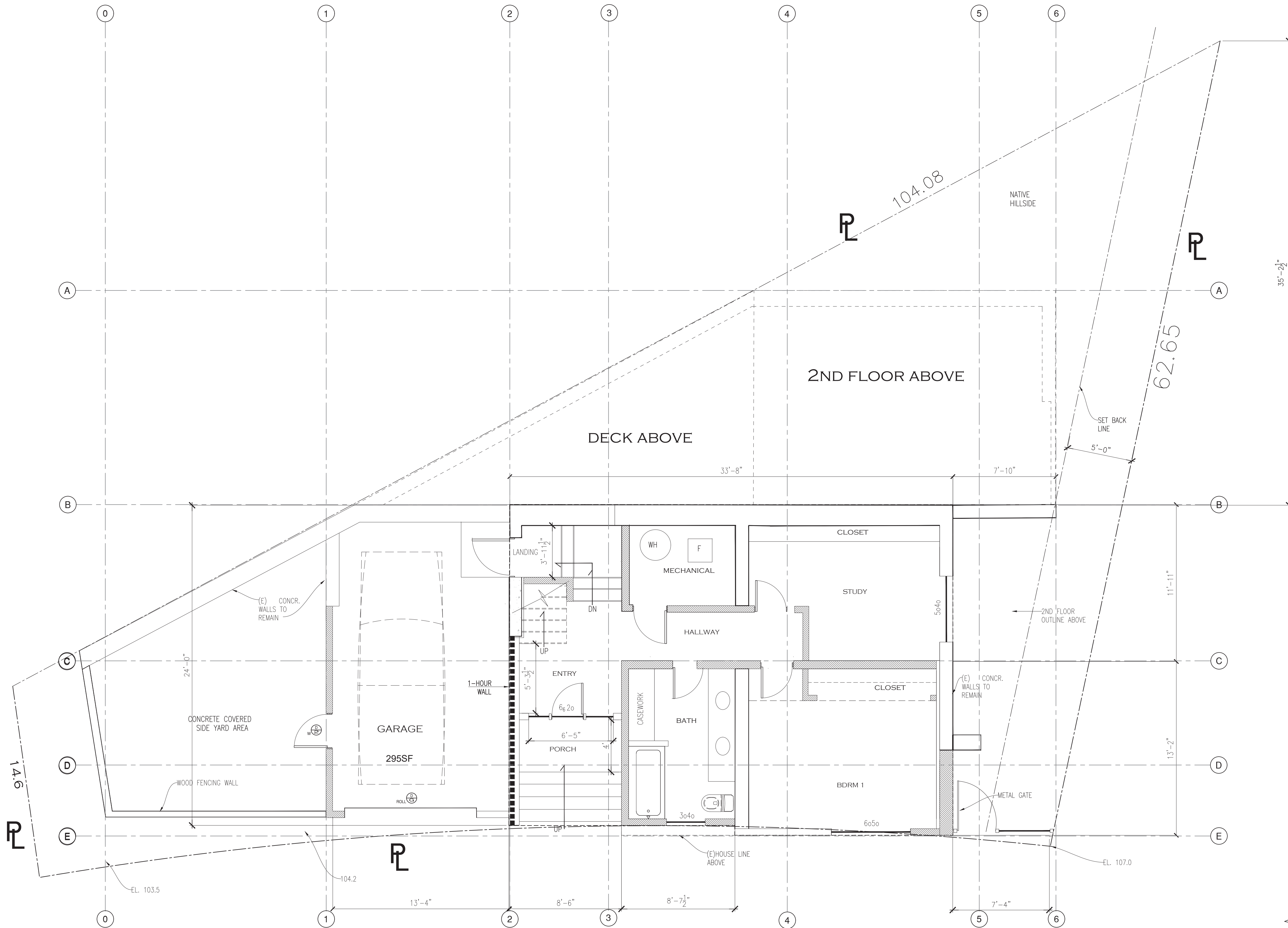
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4 AQUAVISTA WAY  
SAN FRANCISCO

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**4 AQUAVISTA WAY**  
**SAN FRANCISCO**  
ADDITION AND REMODEL

SHEET TITLE  
**EXISTING ELEVATIONS**

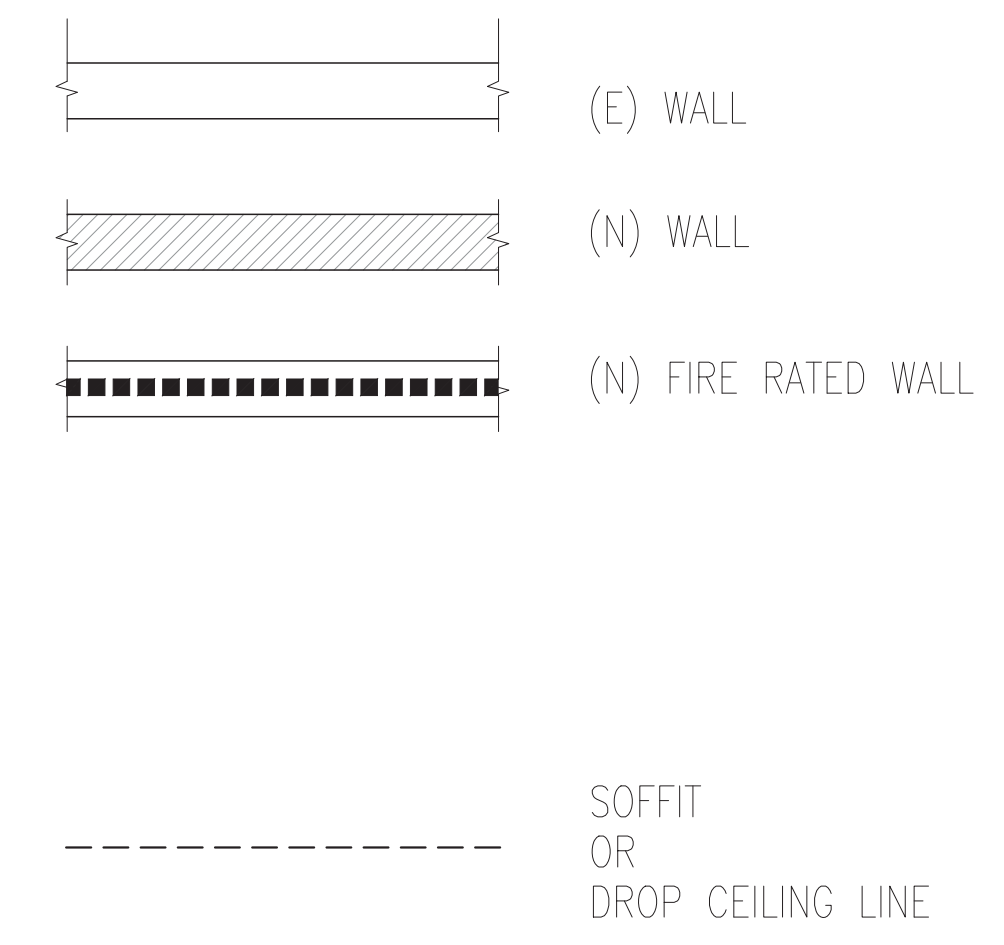
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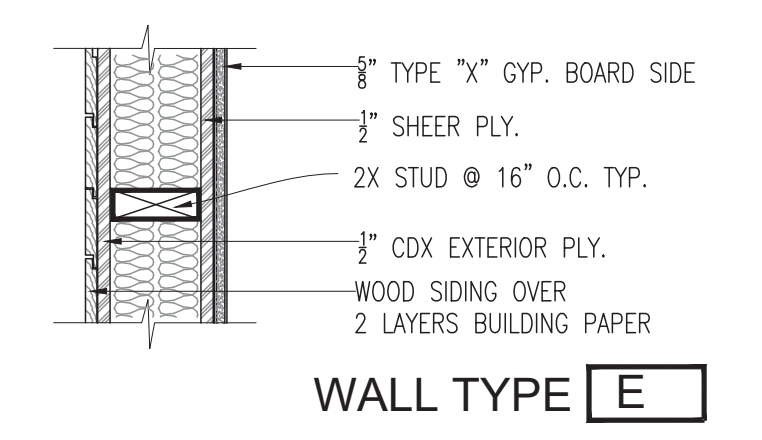
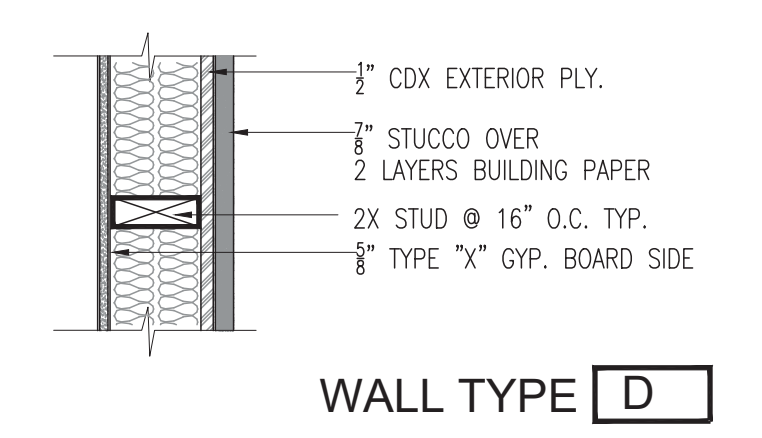
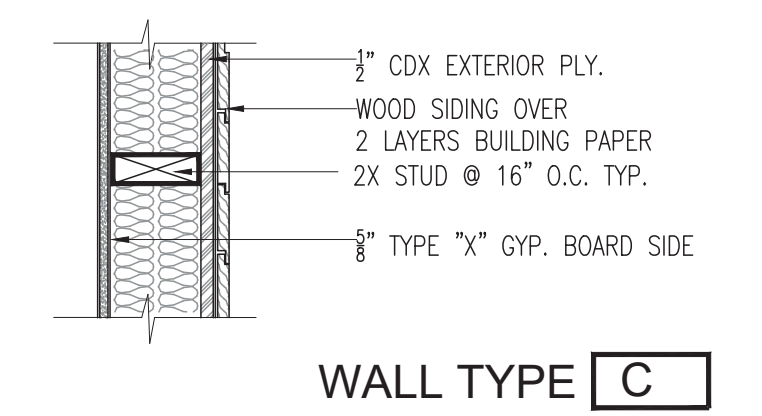
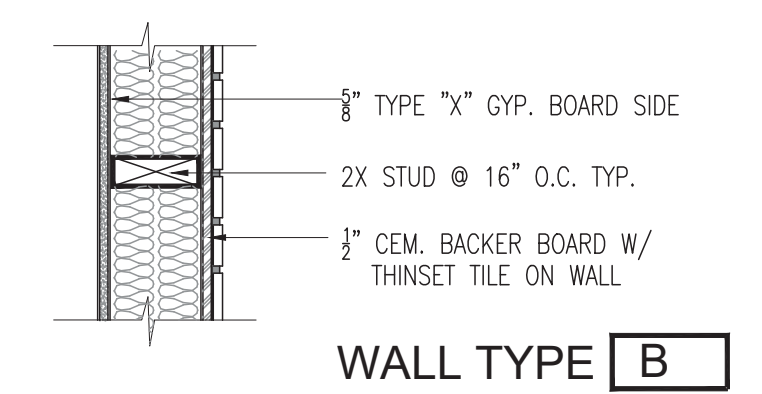
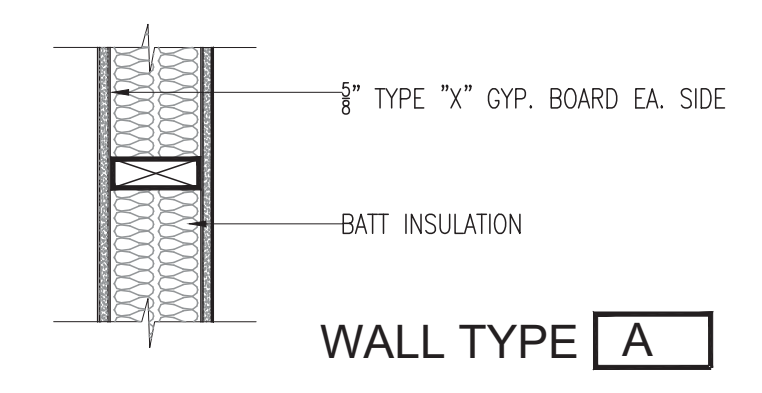


1  
A6  
GROUND FLOOR PLAN

LEGEND



WALL TYPE SCHEDULE



2	6/12/19	DESIGN REVIEW COMMENTS	AV
1P	4/23/19	PLANNING DPT. COMMENTS	AV
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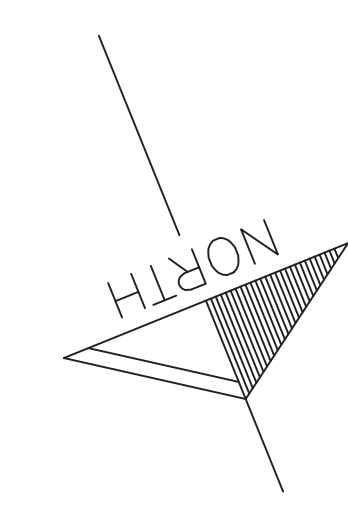
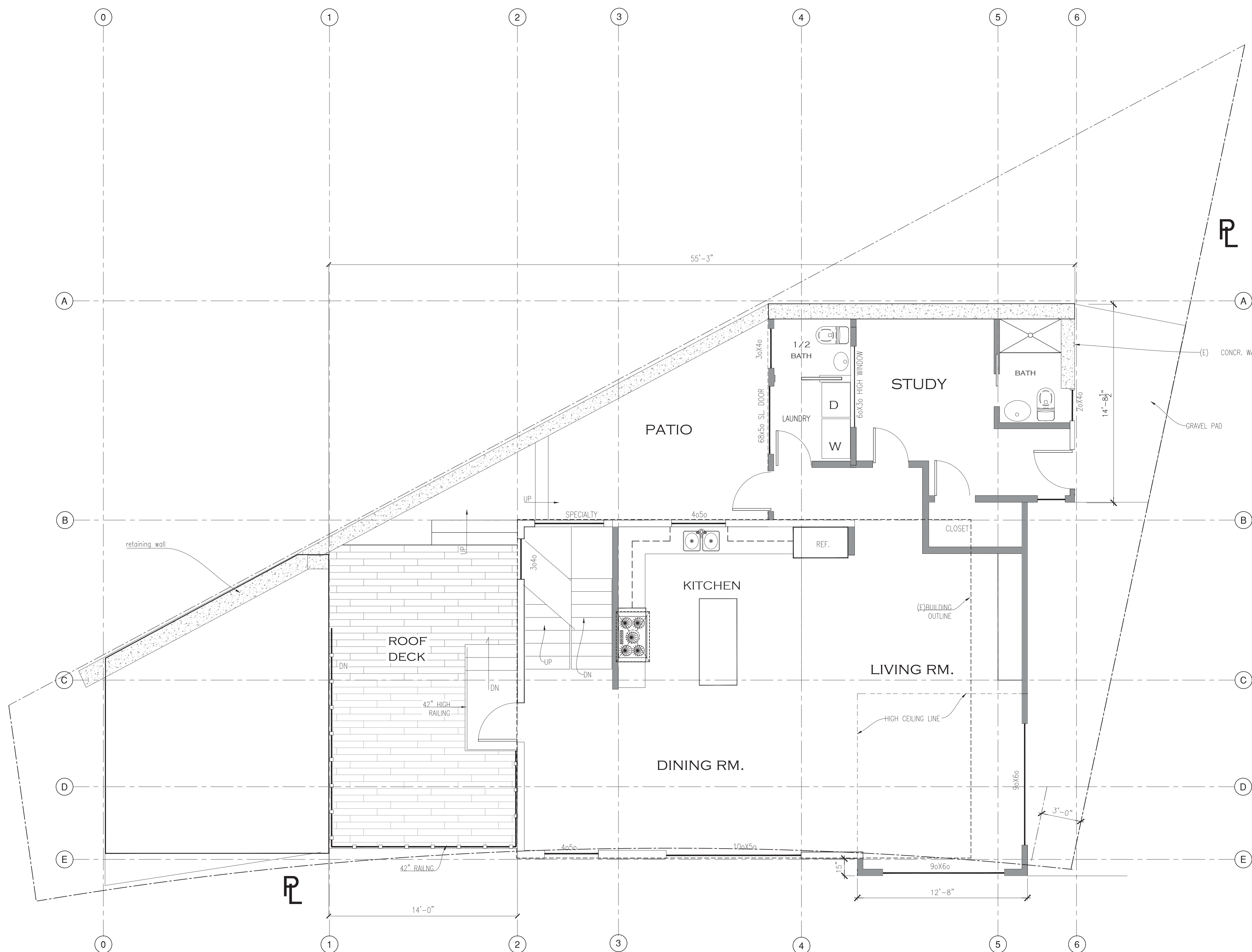
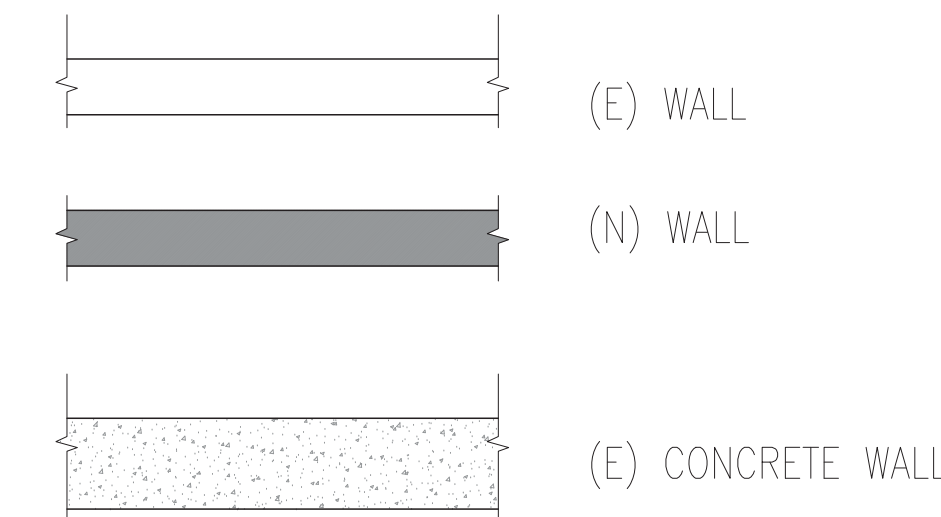
CLIENT NAME:  
KEARNEY FAMILY  
4 AQUAVISTA WAY  
SAN FRANCISCO

PROJECT NAME:  
**4 AQUAVISTA WAY  
SAN FRANCISCO**  
ADDITION AND REMODEL

SHEET TITLE  
**PROPOSED FIRST FLOOR PLAN**

Sheet No.  
**A-6**

**LEGEND**



**1**  
**A7**  
**2ND FLOOR PLAN**

NO.	DATE	DESCRIPTION	BY
2	6/12/19	DESIGN REVIEW COMMENTS	AV
1P	4/23/19	PLANNING DPT. COMMENTS	AV
REVISION			

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PROJECT NO.	
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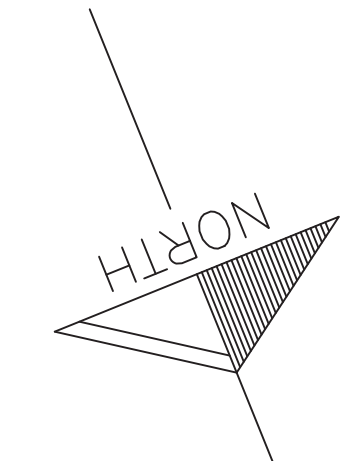
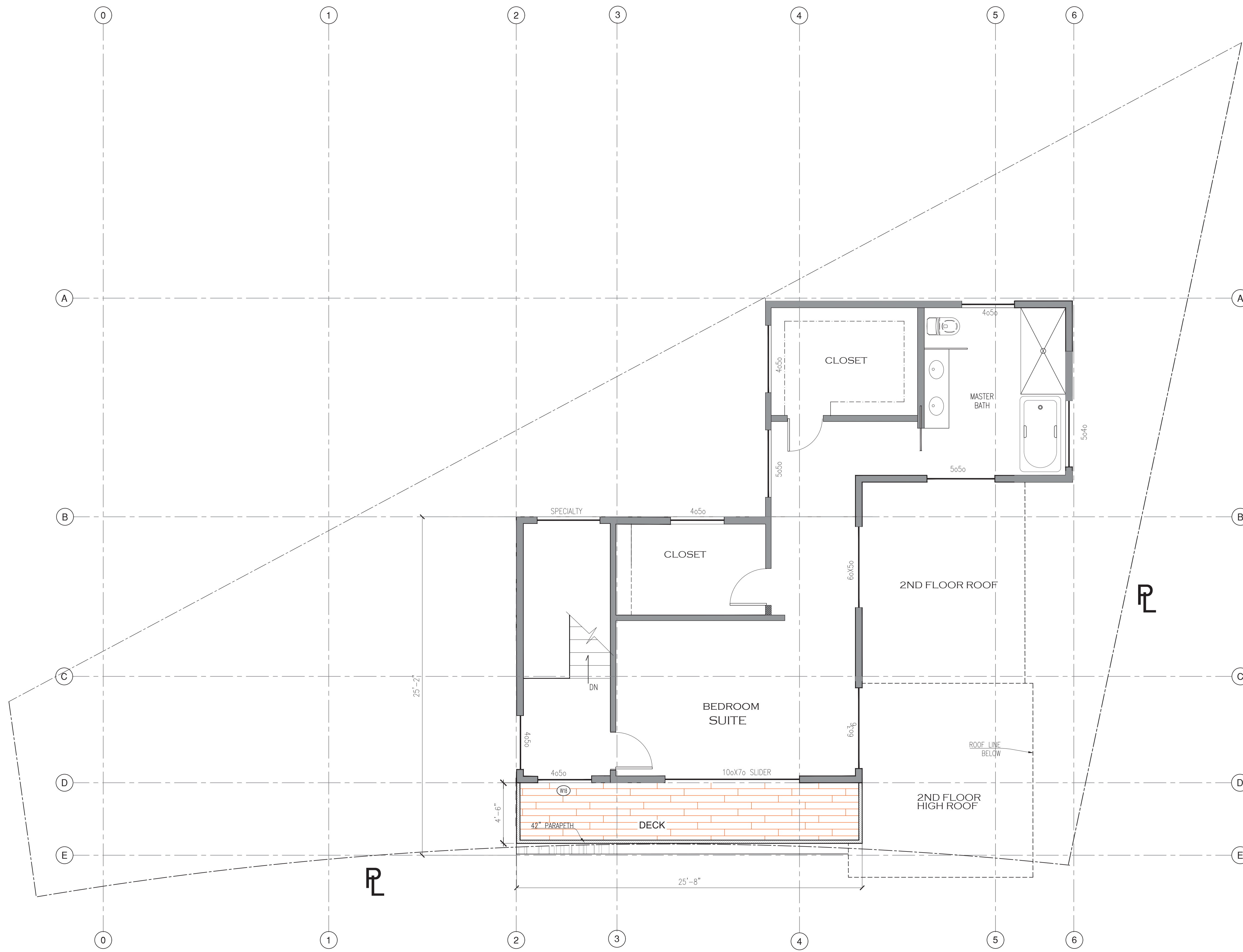
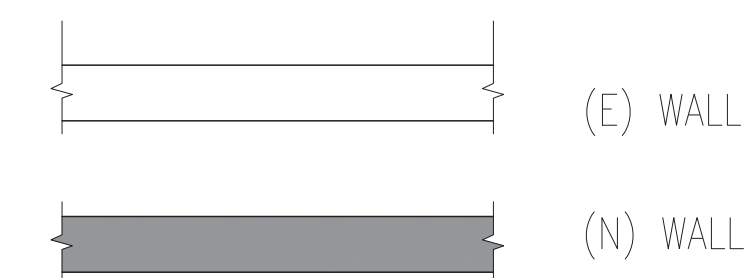
CLIENT NAME:  
 KEARNEY FAMILY  
 4 AQUAVISTA WAY  
 SAN FRANCISCO

PROJECT NAME:  
**4 AQUAVISTA WAY**  
**SAN FRANCISCO**  
 ADDITION AND REMODEL

SHEET TITLE  
**PROPOSED 2ND FLOOR PLAN**

Sheet No.  
**A-7**

LEGEND



2  
A8 3RD FLOOR PLAN

NO.	DATE	DESCRIPTION	BY
2	6/12/19	DESIGN REVIEW COMMENTS	AV
1P	4/23/19	PLANNING DPT COMMENTS	AV
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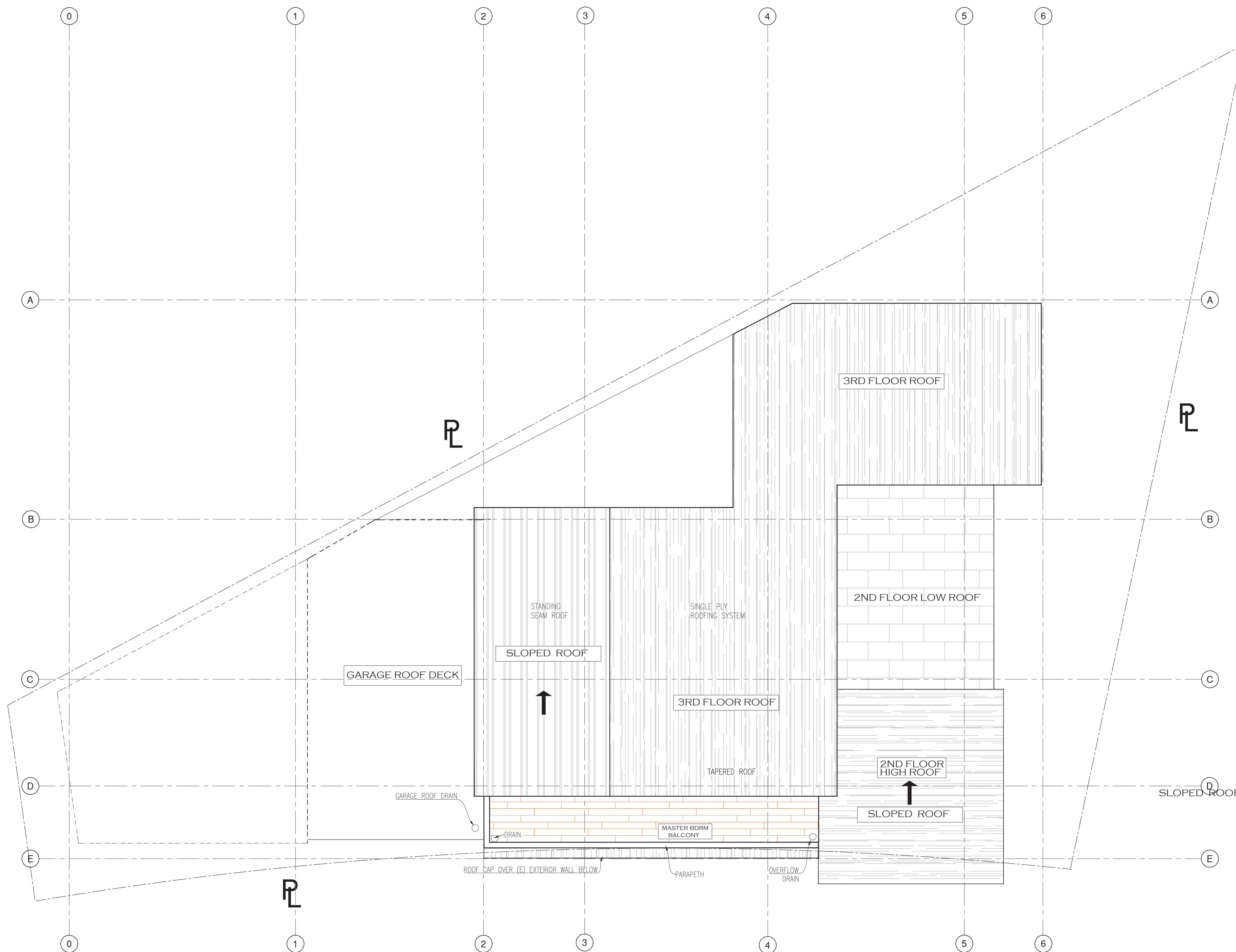
CLIENT NAME:  
**KEARNEY FAMILY**  
4 AQUAVISTA WAY  
SAN FRANCISCO

PROJECT NAME:  
**4 AQUAVISTA WAY**  
**SAN FRANCISCO**  
ADDITION AND REMODEL

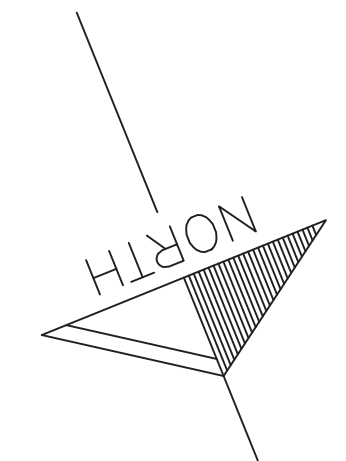
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**PROPOSED 3RD FLOOR PLAN**

Sheet No.  
**A-8**

KEYNOTES



1  
A9  
ROOF PLAN



2	6/12/19	DESIGN REVIEW COMMENTS	AV
NO.	DATE	DESCRIPTION	BY
REVISION			

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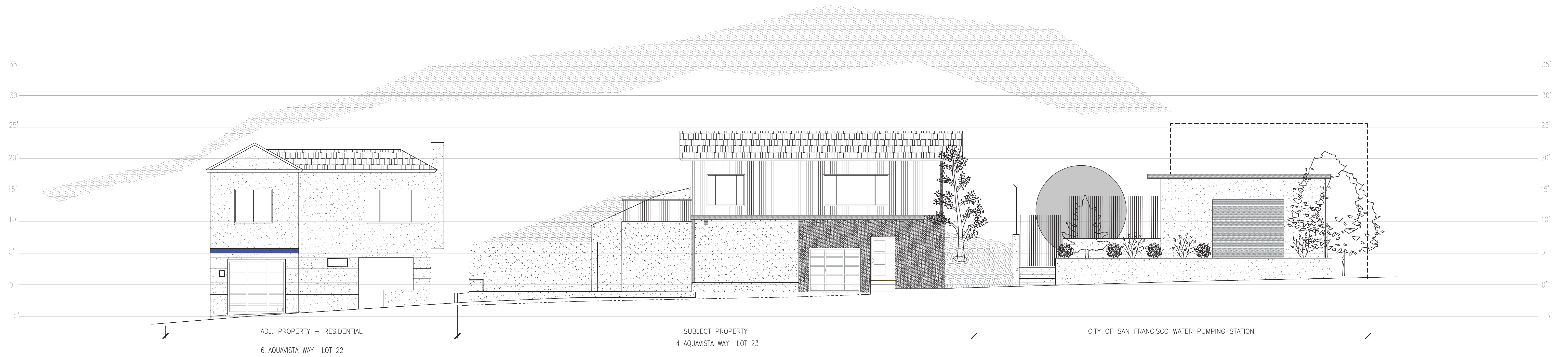
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CLIENT NAME:  
KEARNEY FAMILY  
4 AQUAVISTA WAY  
SAN FRANCISCO

PROJECT NAME:  
**4 AQUAVISTA WAY  
SAN FRANCISCO**  
ADDITION AND REMODEL

SHEET TITLE  
**PROPOSED ROOF PLAN**

Sheet No.  
**A-9**



**1** EXISTING FRONT ELEVATION  
 A10.5 SCALE: 1/8" = 1'-0"



**2** PROPOSED FRONT ELEVATION  
 A10.5 SCALE: 1/8" = 1'-0"

2	6/12/19	DESIGN REVIEW COMMENTS	AV
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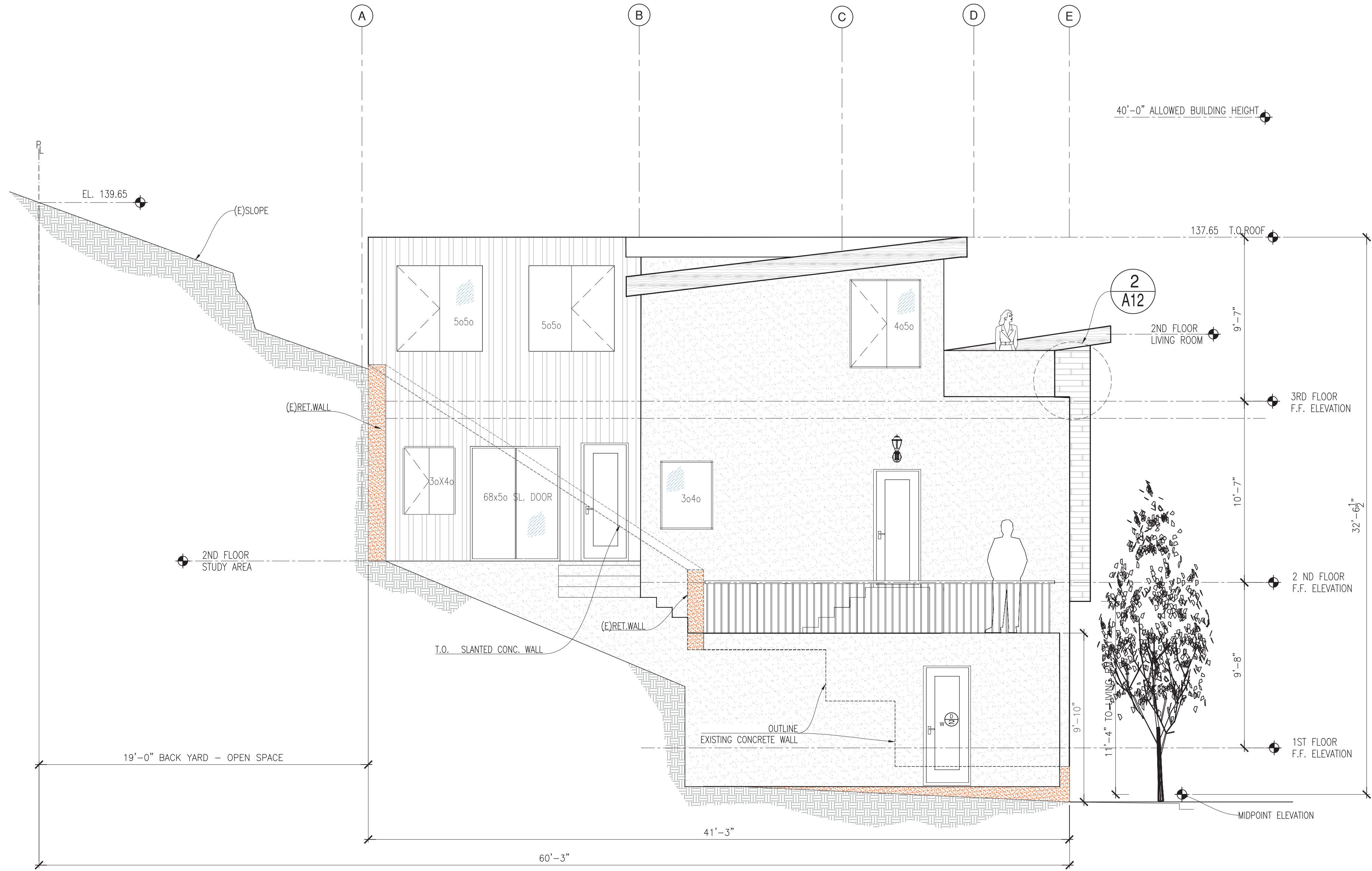
CLIENT NAME:  
 KEARNEY FAMILY  
 4 AQUAVISTA WAY  
 SAN FRANCISCO

PROJECT NAME:  
**4 AQUAVISTA WAY**  
**SAN FRANCISCO**  
 ADDITION AND REMODEL

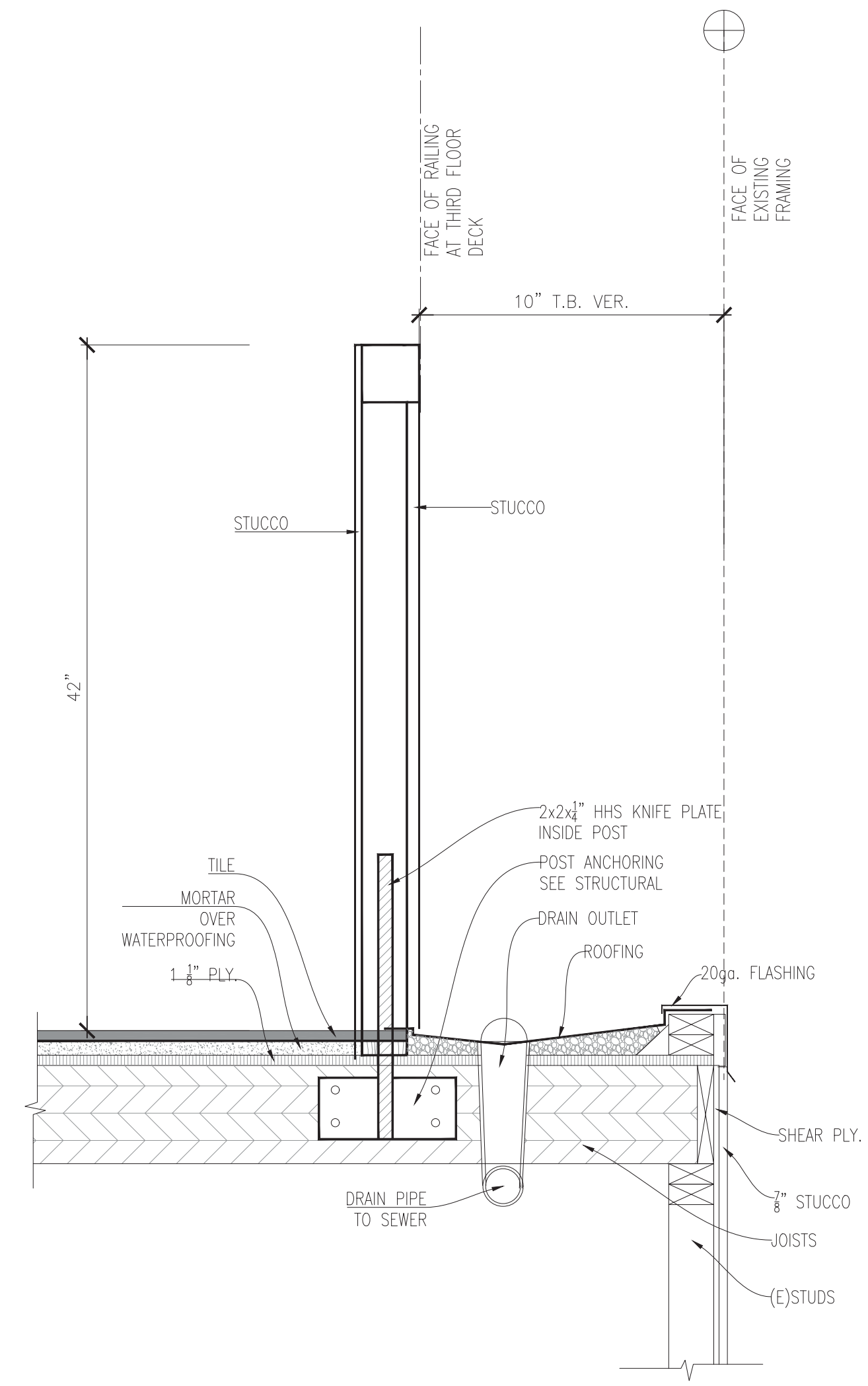
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**FRONT ELEVATION**

Sheet No.  
**A-10.5**

KEYNOTES

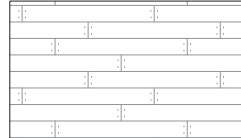
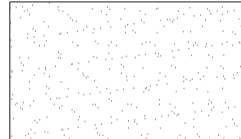
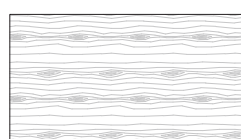



1 WEST (LEFT) ELEVATION  
A11



2 DECK EDGE DETAIL  
A11

SHEET NOTES

-  1X6 T&G WOOD SIDING
-  7/8" STUCCO
-  1X WOOD FACIA BOARD
-  REDWOOD T-111 BOARD VERTICAL

2	6/12/19	DESIGN REVIEW COMMENTS	AV
1P	4/23/19	PLANNING DPT COMMENTS	AV
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PROJECT NO.	
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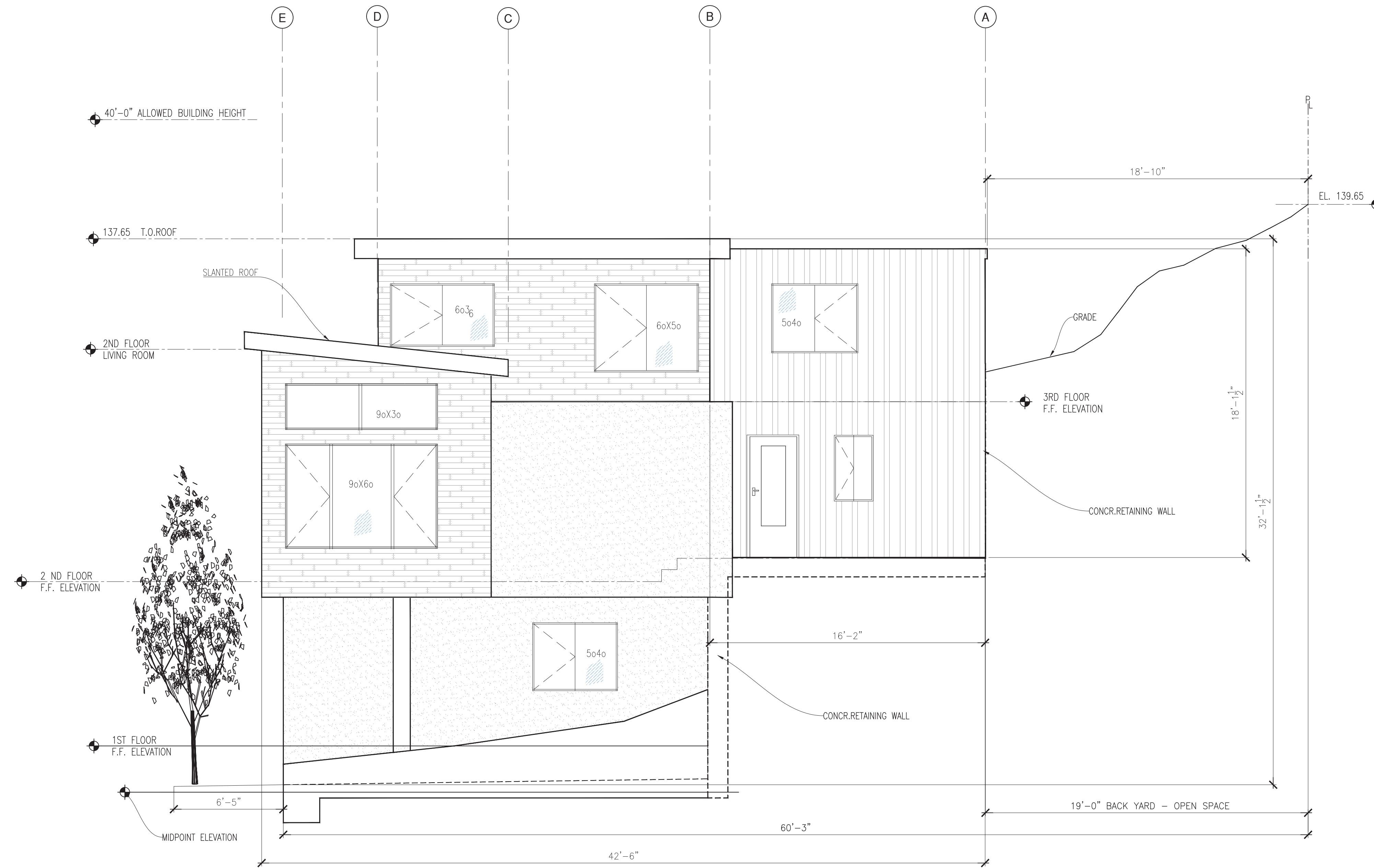
CLIENT NAME:  
KEARNEY FAMILY  
4 AQUAVISTA WAY  
SAN FRANCISCO

PROJECT NAME:  
**4 AQUAVISTA WAY  
SAN FRANCISCO**  
ADDITION AND REMODEL

SHEET TITLE  
**PROPOSED SIDE ELEVATIONS**

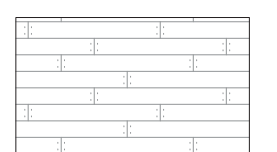
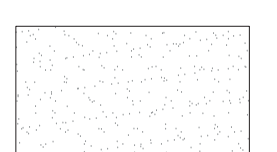
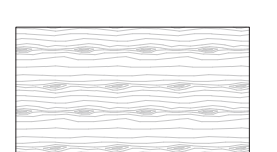
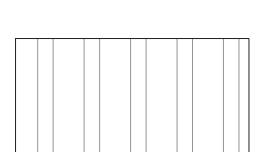
Sheet No.  
**A-11**

KEYNOTES



1 EAST (RIGHT) ELEVATION  
A12

SHEET NOTES

-  1X6 T&G WOOD SIDING
-  7/8" STUCCO
-  1X WOOD FACIA BOARD
-  REDWOOD T-111 BOARD VERTICAL

2	6/12/19	DESIGN REVIEW COMMENTS	AV
1P	4/23/19	PLANNING DPT. COMMENTS	AV
NO.	DATE	DESCRIPTION	BY
REVISION			

SEAL:



**ADEPT**  
Construction Solutions  
1485 Bayshore Blvd. Suite 225  
San Francisco, CA 94124  
415-602-2290 415-302-1712  
info@adeptconstruction.solutions

PROJECT NO.	
DRAWN BY:	AV
CHECKED BY:	GK
SCALE:	1/4" = 1'-0"
DATE:	

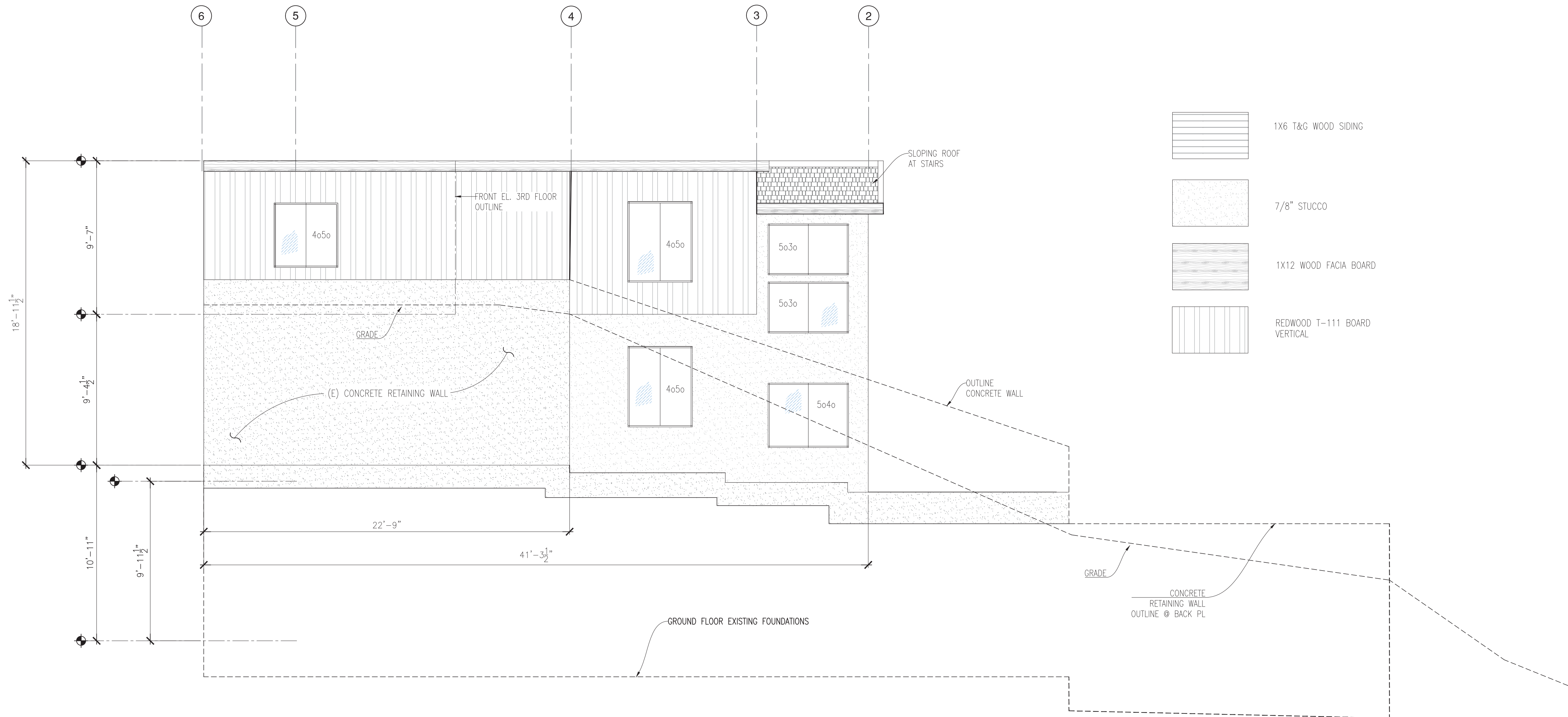
CLIENT NAME:  
**KEARNEY FAMILY**  
4 AQUAVISTA WAY  
SAN FRANCISCO

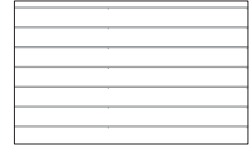
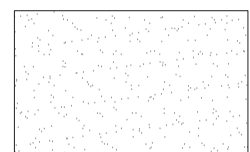
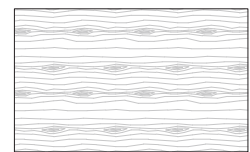
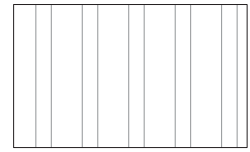
PROJECT NAME:  
**4 AQUAVISTA WAY**  
**SAN FRANCISCO**  
ADDITION AND REMODEL

SHEET TITLE  
**PROPOSED SIDE ELEVATIONS**

Sheet No.  
**A-12**

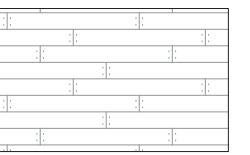

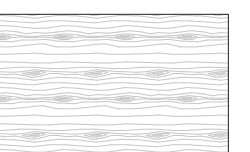
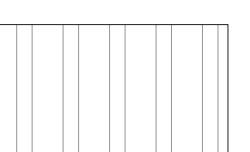
KEYNOTES



-  1x6 T&G WOOD SIDING
-  7/8" STUCCO
-  1x12 WOOD FACIA BOARD
-  REDWOOD T-111 BOARD VERTICAL

1 NORTH (BACK) ELEVATION  
A11

SHEET NOTES

-  1x6 T&G WOOD SIDING
-  7/8" STUCCO
-  1x WOOD FACIA BOARD
-  REDWOOD T-111 BOARD VERTICAL

2	6/12/19	DESIGN REVIEW COMMENTS	AV
1P	4/23/19	PLANNING DPT COMMENTS	AV
NO.	DATE	DESCRIPTION	BY
REVISION			

SEAL:



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San Francisco, CA 94124  
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PROJECT NO.	
DRAWN BY:	AV
CHECKED BY:	GK
SCALE:	1/4" = 1'-0"
DATE:	

CLIENT NAME:  
**KEARNEY FAMILY**  
4 AQUAVISTA WAY  
SAN FRANCISCO

PROJECT NAME:  
**4 AQUAVISTA WAY**  
**SAN FRANCISCO**  
ADDITION AND REMODEL

SHEET TITLE  
**PROPOSED ELEVATIONS**

Sheet No.  
**A-13**