



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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CA 94103-2479

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**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

**NOTICE OF SPECIAL
PUBLIC HEARING**

Hearing Date: **Wednesday, January 17, 2018**
 Time: **Not before 1:00 PM**
 Location: **Planning Department Offices
1650 Mission Street, Suite 400, Room 403**
 Case Type: **Variance**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 2220 Turk Blvd. Cross Street(s): Nido Ave. Block /Lot No.: 1112/032 Zoning District(s): RH-2 / 30-X Area Plan: None	Case No.: 2017-008431VAR Building Permit: 201706129029 Applicant: Yunzhi Ou Telephone: (415) 543-5005 E-Mail: yunzhi@hoodthomas.com

PROJECT DESCRIPTION

The proposed project is to add five Accessory Dwelling Units at the first and second floor of an existing three-story, eight-unit residential building undergoing seismic retrofitting.

PER SECTION 140 OF THE PLANNING CODE the subject property is required to have qualifying windows of each unit face directly on an open area meeting the requirements of the Planning Code. The dimensions of the open area may be reduced to 15 feet in width and depth for Accessory Dwelling Units. The subject property has a rear yard that is 10 feet in depth and 48 feet in width. Two of the proposed Accessory Dwelling Units will face onto that rear yard, which is less than the minimum 15 foot by 15 foot open area required for exposure; therefore, a variance is required.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department’s website at: <http://notice.sfplanning.org/2017-008431VAR.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department’s website or in other public documents.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:
 Planner: **Ella Samonsky** Telephone: **(415) 575-9112** E-Mail: ella.samonsky@sfgov.org

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311, the Building Permit Application for this proposal is not subject to notification of property owners and residents within 150-feet of the subject property.

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

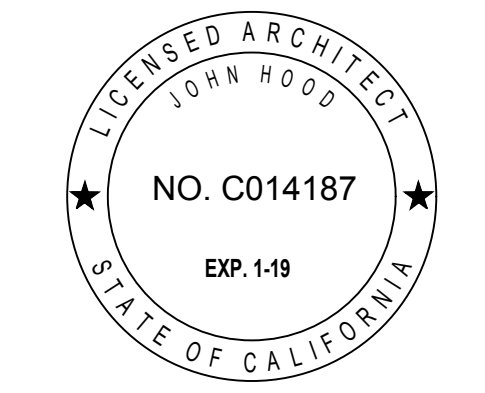
Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

2220 TURK BLVD.

SAN FRANCISCO CALIFORNIA 94115

INTERIOR & EXTERIOR ALTERATIONS

- VARIANCE APPLICATION SET -



GENERAL CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE 2016 CALIFORNIA BUILDING CODE, AS AMENDED BY THE CITY OF SAN FRANCISCO, AND ANY OTHER GOVERNING CODES, RULES, REGULATION, ORDINANCES, LAWS, ORDER, APPROVALS, ETC. THAT ARE REQUIRED BY PUBLIC AUTHORITIES. IN THE EVENT OF A CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL APPLY.
- ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- VERIFY ALL DIMENSIONS IN THE FIELD. CARE HAS BEEN TAKEN TO PREPARE THESE DOCUMENTS USING ALL AVAILABLE INFORMATION PROVIDED BY THE OWNER. DIMENSIONS MARKED (+/-) MAY BE ADJUSTED UP TO 2" AS REQUIRED BY FIELD CONDITIONS. ADJUSTMENTS OF MORE THAN 2" SHALL BE APPROVED BY THE ARCHITECT. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS IF CONFLICTS EXIST NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH WORK. DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF HIS WORK AND THAT OF ALL SUB-CONTRACTORS. VERIFY AND COORDINATE ALL ROUTING OF MECHANICAL, ELECTRICAL AND PLUMBING ITEMS, ROUGH-IN DIMENSIONS, AND REQUIRED CLEARANCES ASSOCIATED WITH THE PROJECT WORK SUCH THAT CONFLICTS DO NOT OCCUR. NOTIFY ARCHITECT OF PROBLEMATIC CONDITIONS.
- WHERE WORK REQUIRES CUTTING INTO OR DISRUPTION OF EXISTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR PATCHING AND REPAIRING BOTH THE AREA OF WORK AND ITS A ADJACENT SURFACES TO MATCH ADJACENT EXISTING SURFACES. PATCHING INCLUDES FINISHED PAINTING OF AREA DISRUPTED.
- CONTRACTOR SHALL REMOVE EXISTING WALLS AND OTHER ASSOCIATED CONSTRUCTION AS INDICATED ON THE DEMOLITION PLAN BY DASHED LINES.
- CONTRACTOR TO VERIFY ALL CONDITIONS BEFORE PROCEEDING WITH DEMOLITION WORK IN ANY AREA. DEMOLITION OF DOORS, WINDOWS, CABINETS, FINISHES, PARTITIONS OR ANY OTHER NONSTRUCTURAL ITEMS MAY PROCEED AS INDICATED. WHERE DISCREPANCIES INVOLVE STRUCTURAL ITEMS, REPORT SUCH DIFFERENCES TO THE ARCHITECT AND SECURE INSTRUCTIONS BEFORE PROCEEDING IN THE AFFECTED AREA.
- SEE ELECTRICAL POWER & LIGHTING DRAWINGS FOR EXTENT OF (N) LIGHTING TO BE INSTALLED. CONTRACTOR TO REMOVE CEILING PLASTER AS REQUIRED FOR INSTALLATION OF PROPOSED LIGHTING.
- CONTRACTOR SHALL COORDINATE WITH OWNER THE SALVAGE OF LIGHT FIXTURES, FURNISHINGS, DOORS AND MISC. EQUIPMENT.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO GUARD THE OWNER, OTHER TENANTS AND THE GENERAL PUBLIC FROM INJURY DUE TO DEMOLITION WORK.
- CONTRACTOR SHALL ENSURE THAT DEMOLITION WORK DOES NOT INTERFERE WITH OR PROHIBIT THE CONTINUING OCCUPATION OF ADJACENT DWELLINGS WITHIN THE STRUCTURE. THIS INCLUDES BUT IS NOT LIMITED TO THE SELECTIVE DEMOLITION OF PARTITIONS, ELECTRICAL AND MECHANICAL SYSTEMS, THE CONTRACTOR SHALL INFORM OWNER 72 HOURS IN ADVANCE OF DEMOLITION ACTIVITIES THAT WILL AFFECT NORMAL OPERATION OF BUILDING.
- CONTRACTOR SHALL REPAIR DAMAGE CAUSED TO ADJACENT FACILITIES BY DEMOLITION WORK.

GENERAL STRUCTURAL NOTES

- STRUCTURAL OBSERVATION SHALL BE REQUIRED BY THE ENGINEER FOR STRUCTURAL CONFORMANCE TO THE APPROVED PLANS.
- SEE STRUCTURAL DRAWINGS FOR ADDITIONAL NOTES & REQUIREMENTS.

GENERAL ENERGY CONSERVATION NOTES

- EXTERIOR WALL, ROOF & RAISED FLOOR CAVITIES EXPOSED DURING DEMOLITION ARE TO BE INSULATED PER TITLE 24 ENERGY CALCULATIONS AND OR MANDATORY MEASURES PROVIDED WITHIN THIS DRAWING SET. SEE GENERAL INSULATION NOTES BELOW FOR MINIMUM INSULATION REQUIREMENTS SHOULD TITLE 24 ENERGY CALCULATION NOT BE REQUIRED FOR THIS PROJECT.
- ALL LIGHTING TO COMPLY WITH CCR TITLE 24, LATEST EDITION. SEE GENERAL LIGHTING NOTES & ELECTRICAL & LIGHTING PLANS FOR ENERGY CONSERVATION FEATURES.

GENERAL INSULATION NOTES

- PROVIDE INSULATION AT ALL EXTERIOR WALLS, FLOORS AND ROOFS WHEN EXPOSED DURING REMODELING PER MINIMUM REQUIREMENTS LISTED BELOW, UNLESS OTHERWISE NOTED IN TITLE 24 OR SUPPLEMENTAL GREEN COMPLIANCE DOCUMENTATION.
 - R-15 AT 2X4 WALLS
 - R-19 AT 2X6 WALLS AND FLOORS
 - R-30 AT CEILING

GENERAL ELECTRICAL NOTES

- ALL ELECTRICAL WORK IS DESIGN/BUILD BY CONTRACTOR. VERIFY LOCATIONS OF EQUIPMENT AND FIXTURES AS SHOWN ON THE PLANS W/ ACTUAL FIELD CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES. DO NOT CUT NOTCH, HEAD OFF OR MODIFY ANY STRUCTURAL MEMBERS.
- VERIFY ELECTRICAL / TELEPHONE / CATV / SPEAKER REQUIREMENTS WITH OWNER BEFORE INITIATING ANY WORK.
- ELECTRICAL CONTRACTOR SHALL PROVIDE PROPER ELECTRICAL SERVICE TO ALL APPLIANCES. CONSULT MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SPECIFICATIONS AS REQUIRED.
- INSTALL THERMOSTATS AT 64" FROM CENTERLINE OF COVER PLATE TO FINISH FLOOR. MECHANICAL SUB-CONTRACTOR TO VERIFY LOCATIONS WITH OWNER.
- MINIMUM REQUIREMENTS FOR ELECTRICAL WORK AT ALL HABITABLE ROOMS. PROVIDE DUPLEX RECEPTACLES TO COMPLY WITH CURRENT CEC AS AMENDED BY LOCAL BUILDING CODES AS FOLLOWS:
 - A. RECEPTACLES SHALL BE 6'-0" FROM DOOR OPENINGS
 - B. RECEPTACLES SHALL BE SPACED 12'-0" MAXIMUM ON CENTER ALONG WALLS IN HALLWAYS AND IN ROOMS.
 - C. ANY WALL 2'-0" OR GREATER IN LENGTH SHALL HAVE MINIMUM (1) ELECTRICAL OUTLET
 - D. RECEPTACLES SHALL BE PLACED +12" ABOVE THE FINISH FLOOR UNLESS NOTED OTHERWISE.
- MINIMUM REQUIREMENTS FOR ELECTRICAL WORK AT NEW & REMODELED KITCHENS & BATHROOMS: PROVIDE DUPLEX RECEPTACLES IN COMPLIANCE WITH CURRENT CEC AND LOCAL BUILDING CODE AMENDMENTS AS FOLLOWS:
 - A. RECEPTACLES SHALL BE 4'-0" MINIMUM FORM SINK LOCATIONS.
 - B. RECEPTACLES SHALL BE SPACED 4'-0" MAX. ON CENTER ALONG KITCHEN & BATH COUNTERS.
 - C. PROVIDE GFIC AT RECEPTACLES WHERE REQUIRED BY CODE.
 - D. ALL KITCHEN COUNTERS WIDER THAN 12" TO HAVE RECEPTACLE OUTLETS PER 2016 CEC.
- PROVIDE 20 AMP BRANCH CIRCUITS TO SERVE BATHROOM RECEPTACLE OUTLETS PER CEC 210.11.
- PROVIDE 20 BRANCH CIRCUITS TO SERVE LAUNDRY ROOM RECEPTACLE OUTLETS PER CEC 210.11.
- KITCHENS SHALL BE PROVIDED WITH AT LEAST (2) 20 AMP SMALL APPLIANCE BRANCH CIRCUITS.
- RANGES, DISHWASHERS, WASHER & DRYERS, HVAC EQUIPMENT & GARAGE DOOR OPENERS WHEN INSTALLED, TO BE PROVIDED WITH DEDICATED CIRCUIT AS REQUIRED BY CODE.
- BEDROOMS BRANCH CIRCUITS SHALL BE PROTECTED BY LISTED ARC FAULT CIRCUIT INTERRUPTER PER CEC 210.12.
- INSTALL HARDWIRED SMOKE DETECTORS AT EACH FLOOR OR RESIDENCE ON WALL OR CEILING GIVING ACCESS TO SLEEPING AREAS AND INSIDE ROOMS INTENDED FOR SLEEPING. VERIFY ACCEPTABILITY OF LOCATIONS WITH FIRE MARSHALL / BUILDING INSPECTOR BEFORE INSTALLATION. SMOKE DETECTORS SHALL BE HARDWIRED w/ BATTERY BACK-UP & AUDIBLE IN ALL SLEEPING ROOMS.
- CARBON MONOXIDE ALARMS TO BE INSTALLED IN DWELLING UNITS CONTAINING FUEL BURNING APPLIANCES. ALARM TO BE LOCATED HALLWAYS GIVING ACCESS TO BEDROOMS & ON ALL FLOORS OF DWELLING. COMBINATION CARBON MONOXIDE / SMOKE ALARMS ARE PERMITTED. IF COMBINATION UNIT IS USED, UNIT TO BE INSTALLED PER REQUIREMENTS OF SMOKE ALARMS.
- KITCHEN LIGHTING (REMODELED OR NEW) SHALL BE MIN. 50% HIGH EFFICACY & MUST BE SWITCHED SEPARATELY FROM NON-HIGH EFFICACY LIGHTING.
- BATHROOM, LAUNDRY ROOM, GARAGE & UTILITY ROOM (REMODELED & NEW) SHALL BE ALL HIGH EFFICACY UNLESS NON-HIGH EFFICACY CONTROLLED BY CERTIFIED OCCUPANCY SENSOR(S) WITH MANUAL ON MOTION SENSOR. "ALWAYS-ON" OPTION NOT PERMITTED.
- BEDROOM, HALLWAY, STAIR, DINING ROOM & CLOSET LIGHTING SHALL BE HIGH EFFICACY UNLESS NON-HIGH EFFICACY LIGHTING CONTROLLED BY DIMMER SWITCH OR CERTIFIED OCCUPANCY SENSOR(S) WITH MANUAL ON MOTION SENSOR. "ALWAYS-ON" OPTION NOT PERMITTED.
- LIGHT FIXTURES IN TUB, SHOWER OR ANY OTHER LOCATION SUBJECT TO WATER SPRAY SHALL BE LABELED "SUITABLE FOR WET LOCATION".
- OUTDOOR LIGHTING SHALL BE HIGH EFFICACY UNLESS LIGHTING IS CONTROLLED BY CERTIFIED MOTION SENSORS & PHOTOCONTROL OF LANDSCAPE LIGHTING (NOT ATTACHED TO BUILDINGS).
- RECESSED LIGHTING FIXTURES TO BE "ZERO CLEARANCE INSULATION COVER" (IC) APPROVED AT INSULATED AREAS.
- CLOSET LAMPS SHALL BE ENCLOSED TYPE IF INCANDESCENT. FIXTURE CLEARANCES SHALL BE PER CEC 410.16 (C).

GENERAL PLUMBING NOTES

- ALL PLUMBING SYSTEMS ARE DESIGN / BUILD BY CONTRACTOR. LOCATE THE VARIOUS PLUMBING RUNS INCLUDING DWV AND VERIFY LOCATIONS OF PROPOSED RUNS WITH ACTUAL FIELD CONDITIONS. VERIFY LOCATIONS WITH ARCHITECT. DO NOT CUT, NOTCH, HEAD OFF OR MODIFY ANY STRUCTURAL MEMBERS.
- RELOCATE / RECONFIGURE ALL PLUMBING AS REQUIRED AND AS DIAGRAMMATICALLY SHOWN ON DRAWINGS TO ACHIEVE REMODELING OR NEW CONSTRUCTION. WHERE SPACES CONTAINING PLUMBING FIXTURES ARE EITHER NEW OR REMODELED THE FOLLOWING MINIMUM STANDARDS ARE TO BE MET.
- KITCHEN AND LAVATORY FAUCETS TO BE MAX. 1.5 G.P.M MEASURED AT 60 PSI.
- WATER CLOSETS HAVE MAX. 1.28 GPF WATER CONSUMPTION.
- SHOWER HEADS NOT TO EXCEED 2.0 GPM MEASURED AT 80 PSI.
- SHOWERS & TUBS TO HAVE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIX TYPE.
- SHOWER VALVES & HEADS SHALL BE PLACED INSIDE SHOWER COMPARTMENT SUCH THAT SHOWER HEAD DOES NOT DISCHARGE DIRECTLY TOWARD THE ENTRANCE OF THE COMPARTMENT AND THE BATHER CAN ADJUST VALVES PRIOR TO STEPPING INTO SHOWER SPRAY.
- DISHWASHER WASTE LINE TO BE PROVIDED WITH APPROVED AIR GAP SEPARATION DEVICE.
- HOSE BIBBS TO HAVE APPROVED BACK-FLOW PREVENTION DEVICE.
- PROVIDE SEISMIC BRACING FOR WATER HEATERS IN ACCORDANCE WITH CPC 507.2.
- ALL COLD WATER PIPES TO BE INSULATED.

GENERAL MECHANICAL NOTES

- ALL MECHANICAL WORK IS DESIGN / BUILD BY CONTRACTOR. VERIFY LOCATION OF EQUIPMENT AND FIXTURES AS SHOWN ON THE PLANS WITH ACTUAL FIELD CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES. DO NOT CUT, NOTCH, HEAD OFF OR MODIFY ANY STRUCTURAL MEMBERS. VERIFY ALL ELECTRICAL / TELEPHONE / CATV / SPEAKER REQUIREMENTS WITH OWNER BEFORE INITIATING ANY MECHANICAL SYSTEM WORK.
- PROVIDE MINIMUM 100 S.I. COMBUSTION AIR AT NEW & REMODELED FAU'S & SPACES CONTAINING THEM PER UMC.
- ALL NEW FAU'S TO BE RATED FOR THEIR SPECIFIC LOCATION.
- NEW & REMODELED BATHROOMS TO BE PROVIDED WITH EXHAUST FAN CAPABLE OF PROVIDING 5 AIR CHANGES PER HOUR. VENT TO OUTSIDE PER CMC 504.5. PROVIDE BACK-DRAFT DAMPER.
- TYPE B GAS VENTS, WHEN INSTALLED AS PART OF THIS PROJECT TO BE PER CMC 802.6
- RANGEHOOD, BATH VENTILATION EXHAUST, DRYER EXHAUST & SIMILAR ENVIRONMENTAL DUCTS TO TERMINATE AT EXTERIOR OF BUILDING AT LEAST 3'-0" FROM PROPERTY LINE & 3'-0" FROM OPENINGS INTO BUILDINGS.
- INTERSTITIAL SPACES SHALL NOT BE USED TO SUPPLY OR RETURN FORCED AIR.

VICINITY MAP



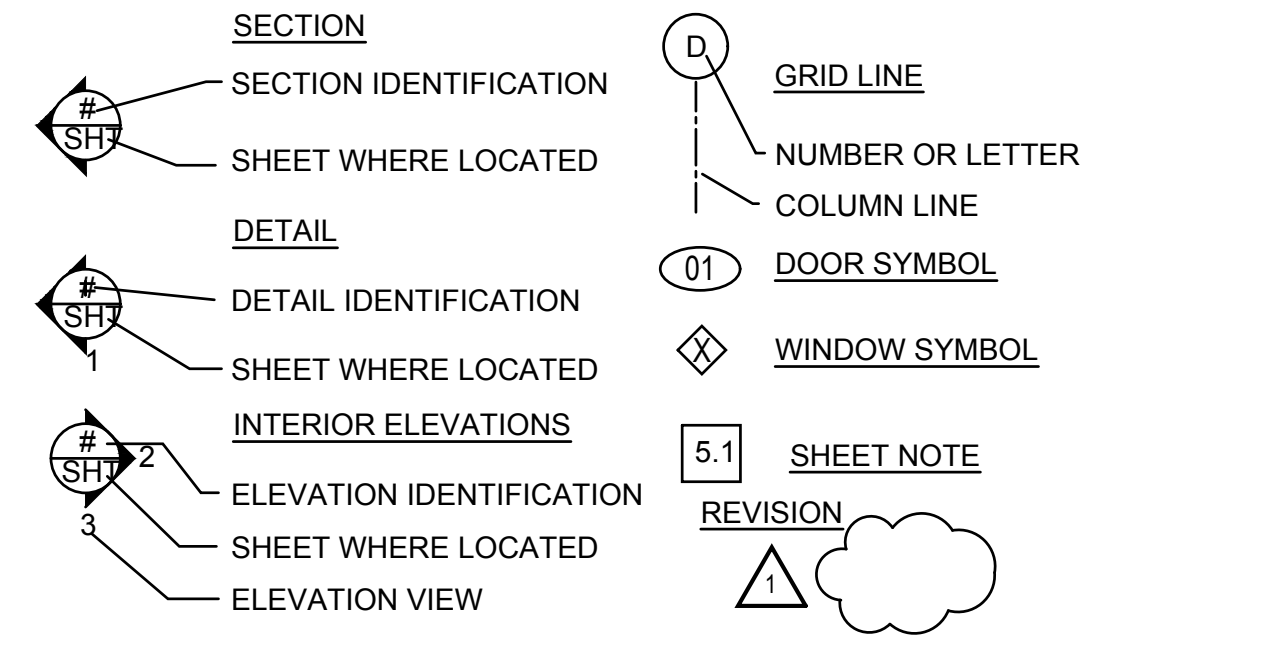
PROJECT DIRECTORY

ARCHITECT
HOOD THOMAS ARCHITECTS
JOHN HOOD
440 SPEAR STREET
SAN FRANCISCO, CA 94105
P: (415) 543-4005
F: (415) 495-3336

OWNER
PEGASUS VI INVESTMENTS, LLC
PO BOX 10476
PLEASANTON, CA 94588
P: (925) 487-9943

STRUCTURAL ENGINEER
UNICORN CONSULTING
600 CALIFORNIA ST., 19TH FLOOR
SAN FRANCISCO, CA 94108
P: (408) 930-8594

SYMBOL LEGEND



PROJECT DATA

PROJECT DESCRIPTION

- CONSTRUCT 5 NEW UNITS: 2 STUDIO UNITS ON THE FIRST FLOOR, AND 2 STUDIO UNITS AND 1 ONE-BEDROOM UNIT ON THE SECOND FLOOR OF THE EXISTING 8-UNIT BUILDING.
- NEW UNITS AND THEIR EXIT PATHS TO BE PROVIDED WITH AUTOMATIC FIRE SPRINKLER SYSTEM UNDER SEPARATE BUILDING DEPARTMENT PERMIT.
- PROJECT ADDRESS:**
2220 TURK BLVD.
SAN FRANCISCO, CA 94115

PLANNING DEPARTMENT DATA

- PROPERTY BLOCK: 1112 LOT:032
- ZONING: RH-2 (RESIDENTIAL-HOUSE, TWO FAMILY)
- MAXIMUM HEIGHT: 30'-0" PROPOSED HEIGHT 40'-3" (NO CHANGE)

BUILDING DEPARTMENT DATA		EXISTING	PROPOSED
CONSTRUCTION GROUP	V-B	V-B	V-B
OCCUPANCY TYPE	R2	R2	R2
BUILDING HEIGHT	40'-3"	40'-3"	40'-3"
BUILDING STORIES	4	4	4
DWELLING UNITS	8	13	13
SPRINKLER SYSTEM	NO	YES @ UNITS & THEIR EXITS (SEPARATE PERMIT)	YES @ UNITS & THEIR EXITS (SEPARATE PERMIT)

GOVERNING CODES

ALL WORK SHALL BE IN COMPLIANCE WITH ALL STATE AND LOCAL CODES, INCLUDING THE FOLLOWING:
 2016 CALIFORNIA BUILDING CODE (W/ SAN FRANCISCO AMENDMENTS)
 2016 CALIFORNIA MECHANICAL CODE (W/ SAN FRANCISCO AMENDMENTS)
 2016 CALIFORNIA PLUMBING CODE (W/ SAN FRANCISCO AMENDMENTS)
 2016 CALIFORNIA ELECTRICAL CODE (W/ SAN FRANCISCO AMENDMENTS)
 2016 CALIFORNIA ENERGY CODE (W/ SAN FRANCISCO AMENDMENTS)
 2016 CALIFORNIA FIRE CODE

DRAWING INDEX

- ARCHITECTURAL DRAWINGS**
- A0.0 COVER SHEET, PROJECT DATA, VICINITY MAP, PROJECT DIRECTORY, DRAWING INDEX, AREA CALCULATIONS
 - A0.1 SITE PLAN
 - A1.1 EXISTING & PROPOSED FIRST FLOOR PLANS
 - A1.2 EXISTING & PROPOSED SECOND FLOOR PLANS
 - A1.3 ENLARGED PROPOSED UNIT PLANS
 - A1.4 REFERENCE EXISTING FLOOR PLANS
 - A2.1 EXISTING & PROPOSED SOUTH (FRONT) ELEVATIONS
 - A2.2 EXISTING & PROPOSED NORTH (REAR) ELEVATIONS
 - A2.3 EXISTING & PROPOSED NORTH COURTYARD ELEVATIONS
 - A2.4 EXISTING & PROPOSED EAST & WEST COURTYARD ELEVATIONS
 - A3.1 EXISTING & PROPOSED LONGITUDINAL SECTIONS
 - A3.2 PROPOSED LONGITUDINAL SECTION

AREA CALCULATIONS

DESCRIPTION	EXISTING	PROPOSED	ADDITION
FIRST FLOOR UNITS:			
UNIT A	0 S.F.	424 S.F.	424 S.F.
UNIT B	0 S.F.	458 S.F.	458 S.F.
SECOND FLOOR UNITS:			
UNIT C	0 S.F.	663 S.F.	663 S.F.
UNIT D	0 S.F.	405 S.F.	405 S.F.
UNIT E	0 S.F.	506 S.F.	506 S.F.
UNIT #1	851 S.F.	851 S.F.	0 S.F.
UNIT #2	852 S.F.	852 S.F.	0 S.F.
THIRD FLOOR UNITS:			
UNIT #3	817 S.F.	817 S.F.	0 S.F.
UNIT #4	817 S.F.	817 S.F.	0 S.F.
UNIT #5	847 S.F.	847 S.F.	0 S.F.
UNIT #6	845 S.F.	845 S.F.	0 S.F.
FOURTH FLOOR UNITS:			
UNIT #7	812 S.F.	812 S.F.	0 S.F.
UNIT #8	811 S.F.	811 S.F.	0 S.F.
TOTAL	6,652 S.F.	9,108 S.F.	2,456 S.F.

UNIT ADDITION

2220 Turk Blvd.
San Francisco, CA
 94115
 Block: 1112 Lot: 032

ISSUE:	DATE:
BLDG. PERMIT APP.	06.12.17
VARIANCE APP	07.20.17
BLDG. PERMIT REV-1	08.21.17
VARIANCE APP REV-1	10.26.17

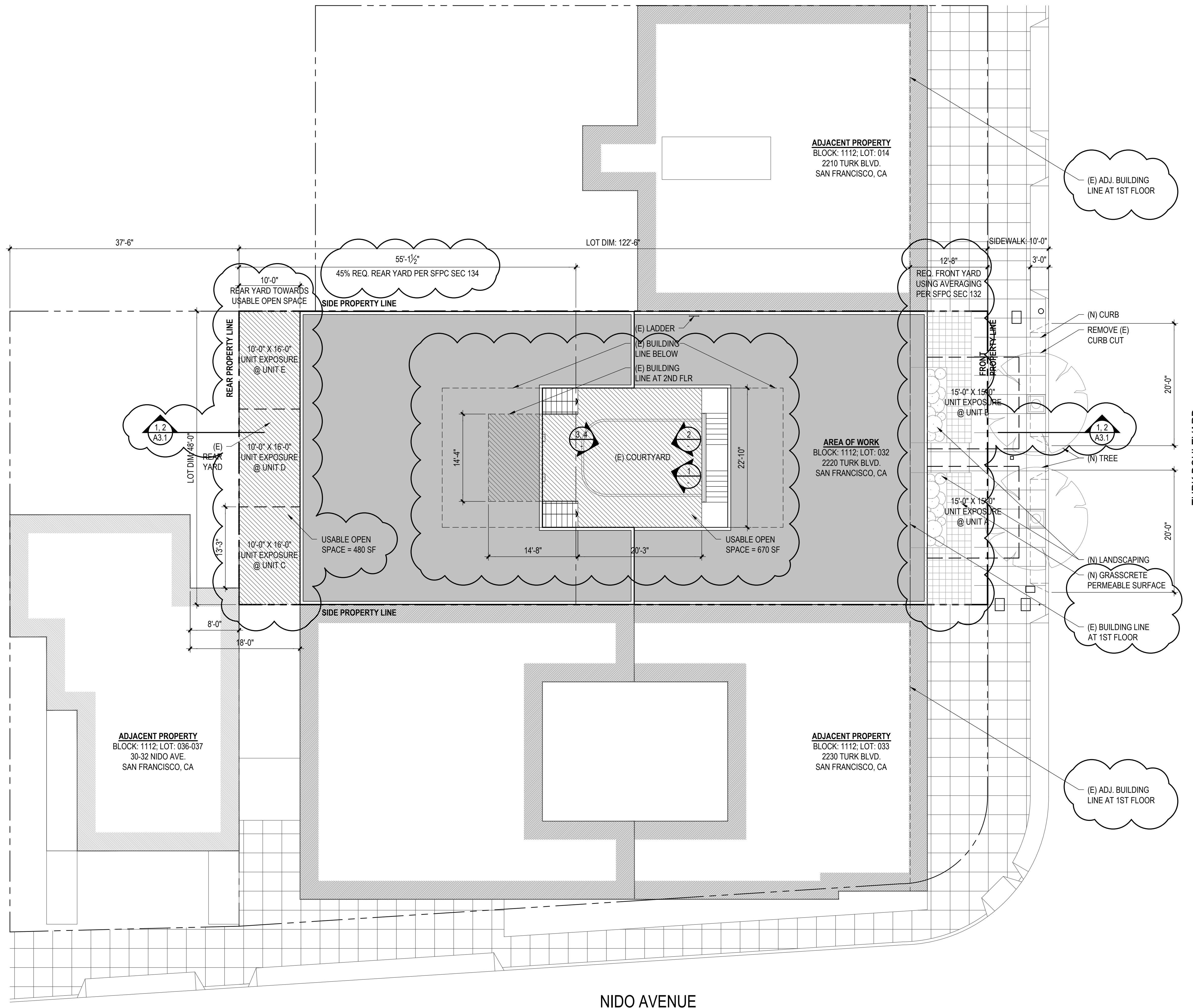
DRAWN BY: YQ
DATE: 10.26.17
SHEET TITLE:

COVER SHEET

SHEET NUMBER:

A0.0

REV #: **DATE:**



SITE PLAN CALCULATIONS

STREET TREE CALCULATION
1 PER 20' STREET FRONTAGE
PER SFPWC ARTICLE 16. 806(d)(2)

TOTAL STREET FRONTAGE	48'-0"
TOTAL STREET TREES REQ'D	2
EXISTING STREET TREES	0
NET STREET TREES REQ'D	2

USABLE OPEN SPACE CALCULATION
COMMON @ 166 SF / UNIT REQUIRED FOR RM-2 ZONING
PER SFPC 209.1

UNITS	COUNT	REQUIRED	PROVIDED
EXISTING	8	1,328 SF	1,150 SF
PROPOSED	5	830 SF	1,150 SF
TOTAL	13	2,158 SF	1,150 SF

UNIT EXPOSURE CALCULATION
15'-0" X 15'-0" (225 SF) REQUIRED
PER SFPC 140 (ADU)

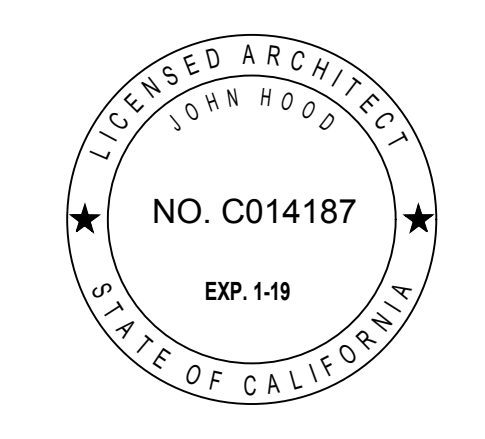
(N) UNIT	PROVIDED (DIMENSION)	PROVIDED (AREA)
A	OPEN TO STREET	OPEN TO STREET
B	OPEN TO STREET	OPEN TO STREET
C	16'-0" X 10'-0"	160 SF
D	16'-0" X 10'-0"	160 SF
E	16'-0" X 10'-0"	160 SF

LANDSCAPING & PERMEABLE SURFACE
PERMEABLE SURFACE REQUIRED: 50% FRONT SETBACK AREA
LANDSCAPING REQUIRED: 20% FRONT SETBACK AREA

FRONT SETBACK AREA	608 SF
PERMEABLE SURFACE REQUIRED	304 SF
PERMEABLE SURFACE PROVIDED	430.6 SF
LANDSCAPING REQUIRED	121.6 SF
LANDSCAPING PROVIDED	147.6 SF



440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105
P: (415) 943-4005 F: (415) 946-3336
WWW.HOODTHOMAS.COM



UNIT ADDITION

2220 Turk Blvd.
San Francisco, CA
94115
Block: 1112 Lot: 032

ISSUE:	DATE:
BLDG. PERMIT APP.	06.12.17
VARIANCE APP	07.20.17
BLDG. PERMIT REV-1	08.21.17
VARIANCE APP REV-1	10.26.17

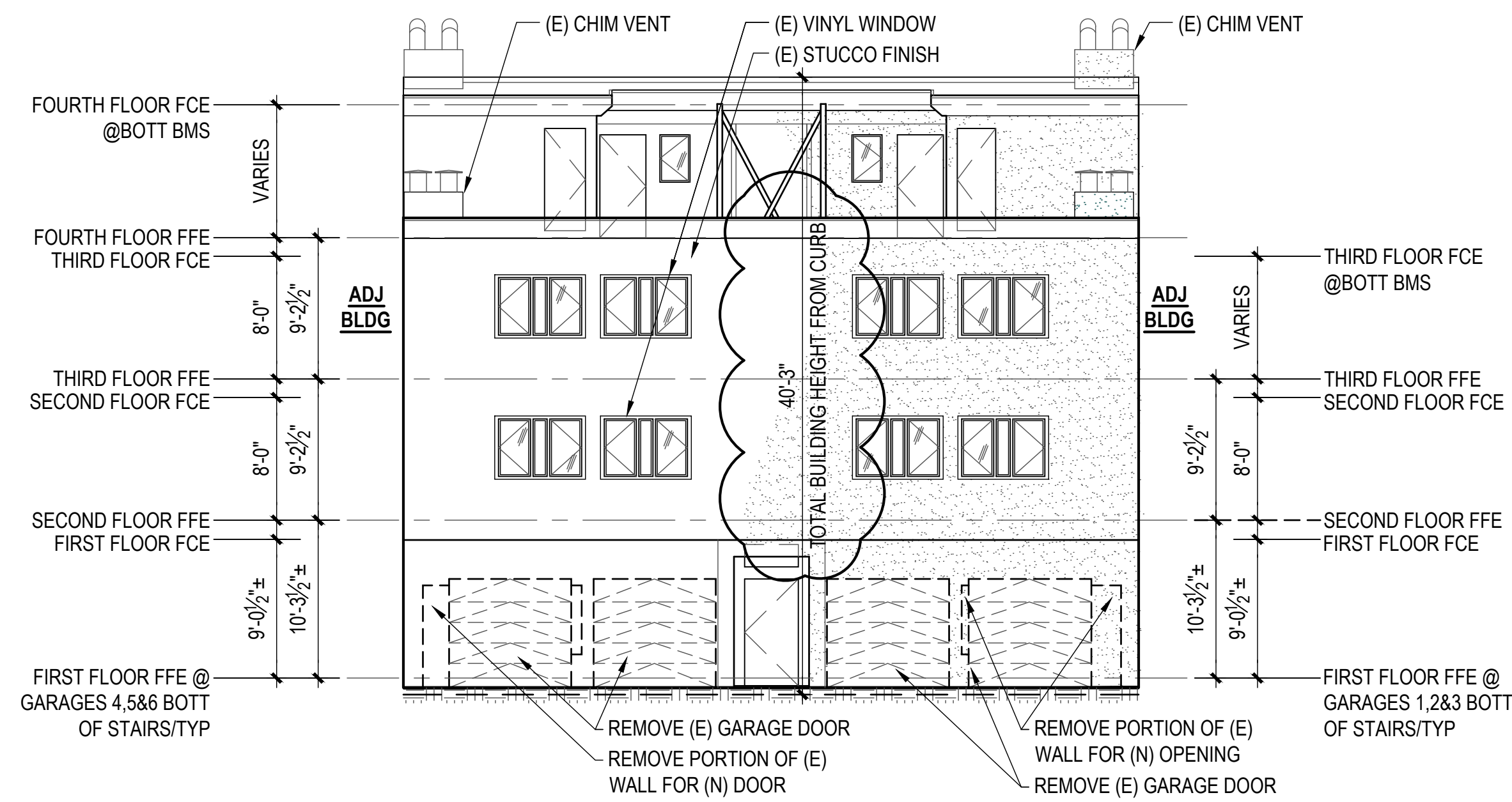
DRAWN BY: YQ
DATE: 10.26.17
SHEET TITLE:

SITE PLAN

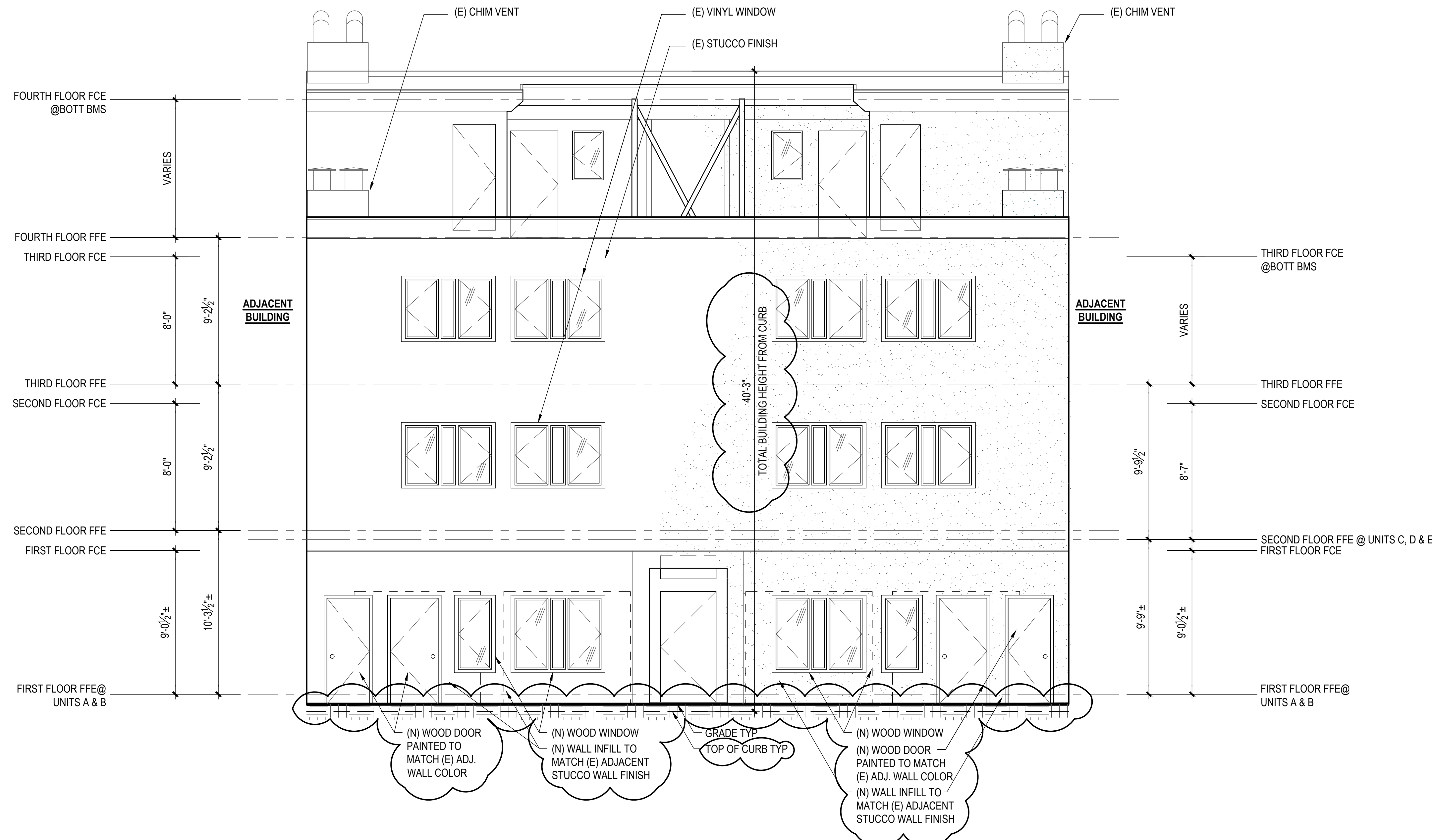
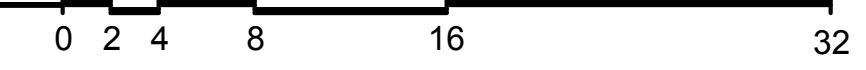
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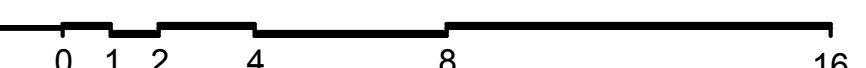
REV #: DATE:



2 EXISTING & DEMO SOUTH (FRONT) EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



1 PROPOSED SOUTH (FRONT) EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



FLOOR PLAN KEYNOTES

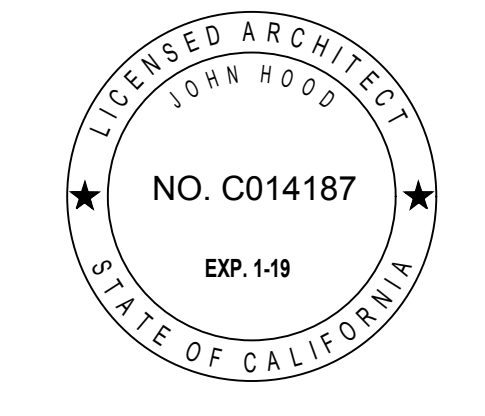
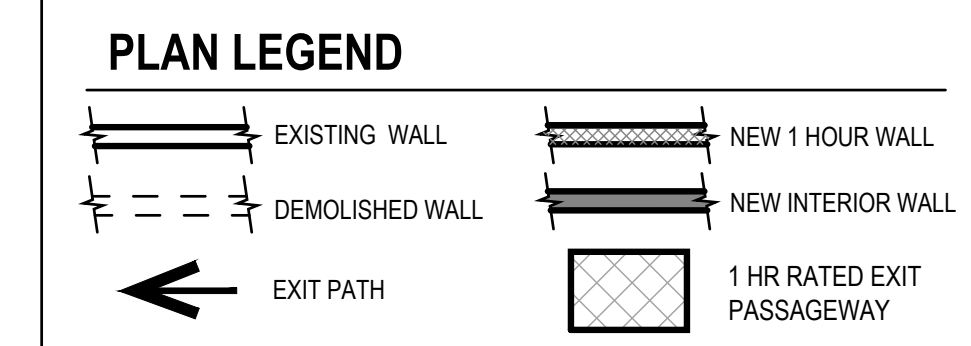
- DRAWING SET GENERAL NOTES**
- SEE SHEET A0.0 FOR GENERAL CONSTRUCTION NOTES
 - SEE SHEET EMP.1.1 FOR ELECTRICAL & MECHANICAL NOTES & PLANS
 - DIMENSIONS SHOWN IN PLANS AND ELEVATIONS ARE TAKEN FROM FACE OF WALLBOARD AT INTERIOR WALLS AND FACE OF EXTERIOR FINISH AT EXTERIOR WALLS. U.O.N.
- DOORS, WINDOW AND SKYLIGHT PROJECT NOTES**
- PRIMARY EXIT DOORS SHALL MEET THE REQUIREMENTS OF CBC SECTION 1010 FOR SIZE, PROJECTIONS INTO CLEAR WIDTH OF EGRESS PATH, DOOR SWING, & OPENING FORCE.
 - DOORS SHALL BE PROVIDED WITH A MIN. 36" X 36" LEVEL LANDING ON EACH SIDE OF THE DOORS EXCEPT AS FOLLOWS: LANDINGS AT THE EXTERIOR SIDE OF A DOOR MAY BE A MAX. OF 2" BELOW THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING. FOR DOORS THAT SWING OVER THE LANDING THE MAX. DISTANCE BELOW THE THRESHOLD IS 2" PER CBC 1010.1.7. SLIDING GLASS DOORS SHALL HAVE A MAX. 2" LEVEL CHANGE FROM THRESHOLD.
 - DOORWAY BETWEEN GARAGES & HABITABLE SPACE SHALL BE PROVIDED WITH EITHER SOLID WOOD DOORS OR SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 1/2" THICK & PROVIDED WITH SELF CLOSING AND SELF LATCHING HARDWARE.
 - PROVIDE LISTED, GASKETED DOORS w/ LISTED SELF CLOSING DEVICE & BOTTOM SEAL AT THRESHOLD PER CMC 904.1 WHERE COMPARTMENTS CONTAINING FURNACES OR BOILERS ARE INSTALLED IN BEDROOMS OR BATHROOMS.
 - (N) WINDOWS PER WINDOW SCHEDULE INCLUDED IN THIS DRAWING SET SHALL COMPLY WITH TITLE 24 REQUIREMENTS. SEE SCHEDULE FOR ADDITIONAL NOTES. EMERGENCY ESCAPE & RESCUE WINDOWS REQUIRED AT SLEEPING AREAS SHALL MEET THE FOLLOWING REQUIREMENTS: MIN. 5.7' CLEAR OPENING, MIN. 24" CLEAR HEIGHT, MIN. 20" CLEAR WIDTH, SILL HEIGHT MAX. 44" AFF.
 - WINDOWS IN LOCATIONS SUBJECT TO HUMAN IMPACT LOADS SHALL BE PROVIDED WITH SAFETY GLAZING INSTALLED IN ACCORDANCE WITH CBC 2406 & 2407.
 - WINDOWS TO MEET LIGHT / AIR REQUIREMENTS PER CBC SEC 1205.2 & 1203.5.1.

	UNIT A	UNIT B	UNIT C	UNIT D	UNIT E
LIVING AREA	328 SF	374 SF	438 SF	323 SF	436 SF
LIGHT 8%	26.24 SF	29.92 SF	35.04 SF	25.84 SF	34.88 SF
LIGHT PROV.	32.25 SF	32.25 SF	42.08 SF	42.08 SF	42.08 SF
AIR 4%	13.12 SF	14.96 SF	17.52 SF	12.92 SF	17.44 SF
AIR PROV.	28.13 SF	28.13 SF	51.83 SF	51.83 SF	51.83 SF
BEDROOM	--	--	142 SF	--	--
LIGHT 8%	--	--	11.36 SF	--	--
LIGHT PROV.	--	--	14 SF	--	--
AIR 4%	--	--	5.68 SF	--	--
AIR PROV.	--	--	7 SF	--	--

- KITCHEN PROJECT NOTES**
- KITCHEN FAUCETS SHALL HAVE A MAX. FLOW RATE OF 1.5 G.P.M MEASURED AT 60 PSI.
 - GARBAGE DISPOSAL UNITS AT KITCHEN SINKS SHALL BE PROVIDED WITH REQUIRED AIR GAP.
 - GAS COOKING APPLIANCES SHALL BE UL LISTED & INSTALLED PER MANUF. INSTRUCTIONS. PROVIDE GAS SHUT-OFF VALVE IN APPROVED, ACCESSIBLE LOCATION.
 - RESIDENTIAL RANGEHOOD EXHAUST PER CMC 403.7. SHALL MEET REQUIREMENTS OF CMC 504.2. EXHAUST TERMINATION SHALL BE LOCATED AT LEAST 3'-0" AWAY FROM PROPERTY LINES AND BUILDING OPENINGS & BE PROVIDED WITH WEATHERPROOF BACKDRAFT DAMPER. WHERE REMOTE EXHAUST OR BOOSTER FANS ARE REQUIRED, FAN SHALL BE ON DEDICATED CIRCUIT.
 - UPPER CABINETS SHALL BE MIN. 30" ABOVE COOKING TOP PER CMC 921.3.2 PROVIDE THE COOKING APPLIANCE MIN. CLEARANCE TO COMBUSTIBLES PER CMC 918.2.
 - (N) DISHWASHERS SHALL BE PROVIDED WITH REQUIRED AIRGAP. HOT WATER STUB & DEDICATED CIRCUIT.
 - (N) APPLIANCES TO BE UL LISTED AND INSTALLED PER MANUF. INSTRUCTIONS. INSTALLING CONTRACTOR SHALL COORDINATE ALL ELECTRICAL AND PLUMBING REQUIREMENTS WITH MANUF. SPECIFICATIONS.
 - (N) CABINETRY AND NONPOROUS COUNTERTOPS THROUGHOUT, U.O.N.

- BATHROOM PROJECT NOTES**
- (N) NONPOROUS SLAB COUNTERTOP & SPLASH.
 - GLASS SHOWER ENCLOSURES SAFETY GLAZING SUBJECT TO HUMAN IMPACT LOADS INSTALLED IN ACCORDANCE W/ CBC 2406 & 2407. SHOWER DOORS SHALL PROVIDE MIN 22" CLEAR OPENING WIDTH. PER CPC 408.5.
 - SHOWER COMPARTMENTS & WALLS ABOVE TUBS w/ SHOWERHEADS SHALL BE FINISHED WITH A SMOOTH NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72" ABOVE DRAIN INLET. CBC 1210.2.3
 - NONPAPER-FACED BACKER BOARD TO BE USED IN ALL TUB, SHOWER & SPA AREAS. (WATER-RESISTANT TO A HEIGHT AS INDICATED ABOVE).
 - SHOWER PER CPC 408. MIN FLOOR AREA OF 1024 SQUARE INCHES & CAPABLE OF ENCOMPASSING A 30" CIRCLE. THE AREA & DIMENSION SHALL BE MAINTAINED TO A POINT NOT LESS THAN 70" ABOVE THE SHOWER DRAIN. DRAIN INLET MIN. 2" MAX. 9" BELOW THRESHOLD INTO SHOWER.
 - SHOWER HEADS SHALL HAVE A MAX. FLOW RATE OF 2.0 GPM MEASURED AT 80 PSI.
 - SHOWER VALVES & HEADS SHALL BE PLACED INSIDE SHOWER COMPARTMENT SUCH THAT SHOWER HEAD DOES NOT DISCHARGE DIRECTLY TOWARD THE ENTRANCE OF THE COMPARTMENT AND THE BATHER CAN ADJUST VALVES PRIOR TO STEPPING INTO SHOWER SPRAY.
 - WATER CLOSET PER CBC 2509. CENTERED WITHIN 30" WIDE CLEAR SPACE. TOILETS SHALL HAVE MAX. 1.28 GPF WATER CONSUMPTION.
 - BATH & LAUNDRY ROOM FAUCETS SHALL HAVE A MAX. FLOW RATE OF 1.5 GPM MEASURED AT 60 PSI.
 - PROVIDE EXHAUST FAN CAPABLE OF PROVIDING 5 AIR CHANGES PER HOUR. VENT TO OUTSIDE. PROVIDE BACKDRAFT DAMPER.

- LAUNDRY & MECHANICAL ROOM PROJECT NOTES**
- CLOTHES WASHER: PROVIDE FLUSH MOUNT 'GUY BOX' FOR HOT & COLD WATER & DRAIN CONNECTIONS.
 - CONVENTIONAL CLOTHES DRYER: PROVIDE OPENING OF 100 SQ. INCHES MIN. FOR MAKE-UP AIR AT DOORS ENCLOSING APPLIANCE PER CMC 504.4.1. DIRECT EXHAUST TO OUTSIDE USING STEEL, SMOOTH BORE, 4" MIN. DIA. DUCT. PROVIDE WEATHERPROOF CAP & BACKDRAFT DAMPER. TERMINATE VENT MIN. 3'-0" FROM OPERABLE WINDOWS & DOORS PER CMC 502.2. PROVIDE IN-LINE BOOSTER FAN FOR DUCT RUNS OVER 14'-0" IN LENGTH. PROVIDE GAS SHUTOFF VALVE IN APPROVED LOCATION. CONDENSING DRYERS TO HAVE DRAIN & DRAIN PAN.
 - PROVIDE DRAIN PAN @ TANK WATER HEATERS AND CLOTHES WASHERS INSTALLED OVER LIVING SPACE.
 - WATER HEATER TO BE PROVIDED WITH SEISMIC STRAPPING PER CPC 507.2
 - ROOMS CONTAINING GAS CONSUMING SPACE AND WATER HEATING EQUIPMENT SHALL BE PROVIDED WITH COMBUSTION AIR OPENINGS IN COMPLIANCE WITH CMC CHAPTER 7.



UNIT ADDITION

2220 Turk Blvd.
San Francisco, CA
94115
Block: 1112 Lot: 032

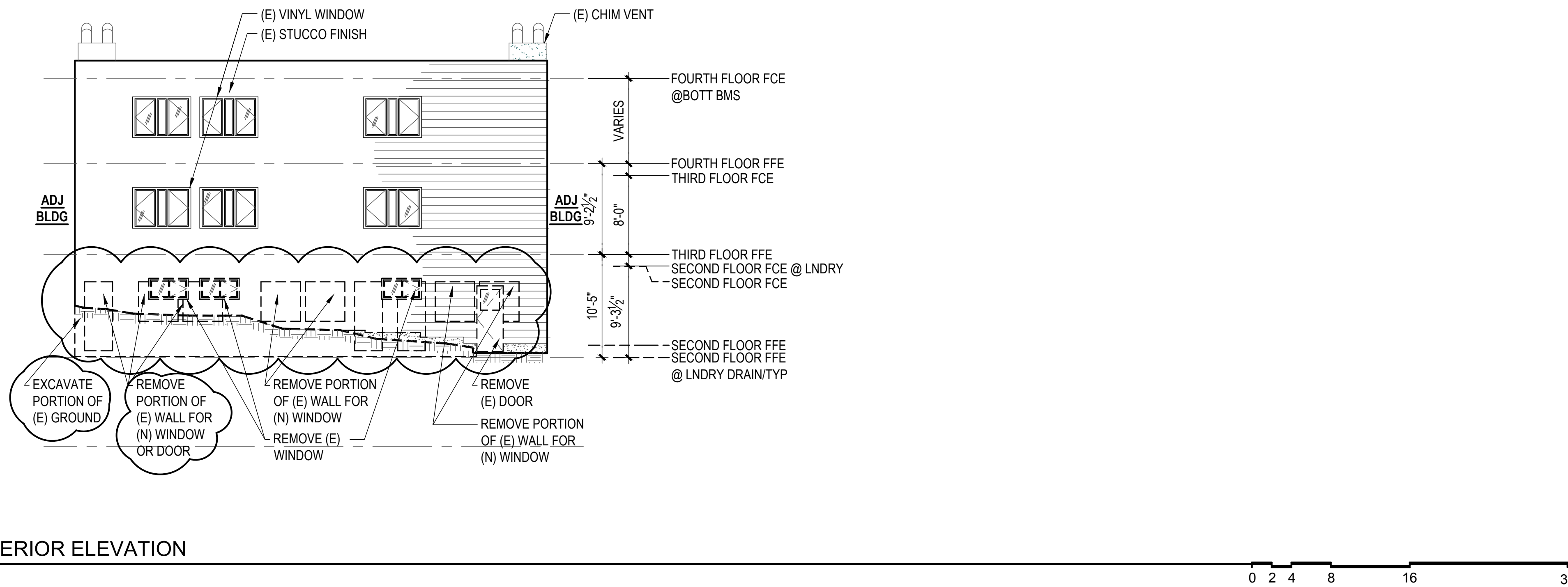
ISSUE:	DATE:
BLDG. PERMIT APP.	06.12.17
VARIANCE APP	07.20.17
BLDG. PERMIT REV-1	08.21.17
VARIANCE APP REV-1	10.26.17

EXISTING & PROPOSED SOUTH (FRONT) ELEVATIONS

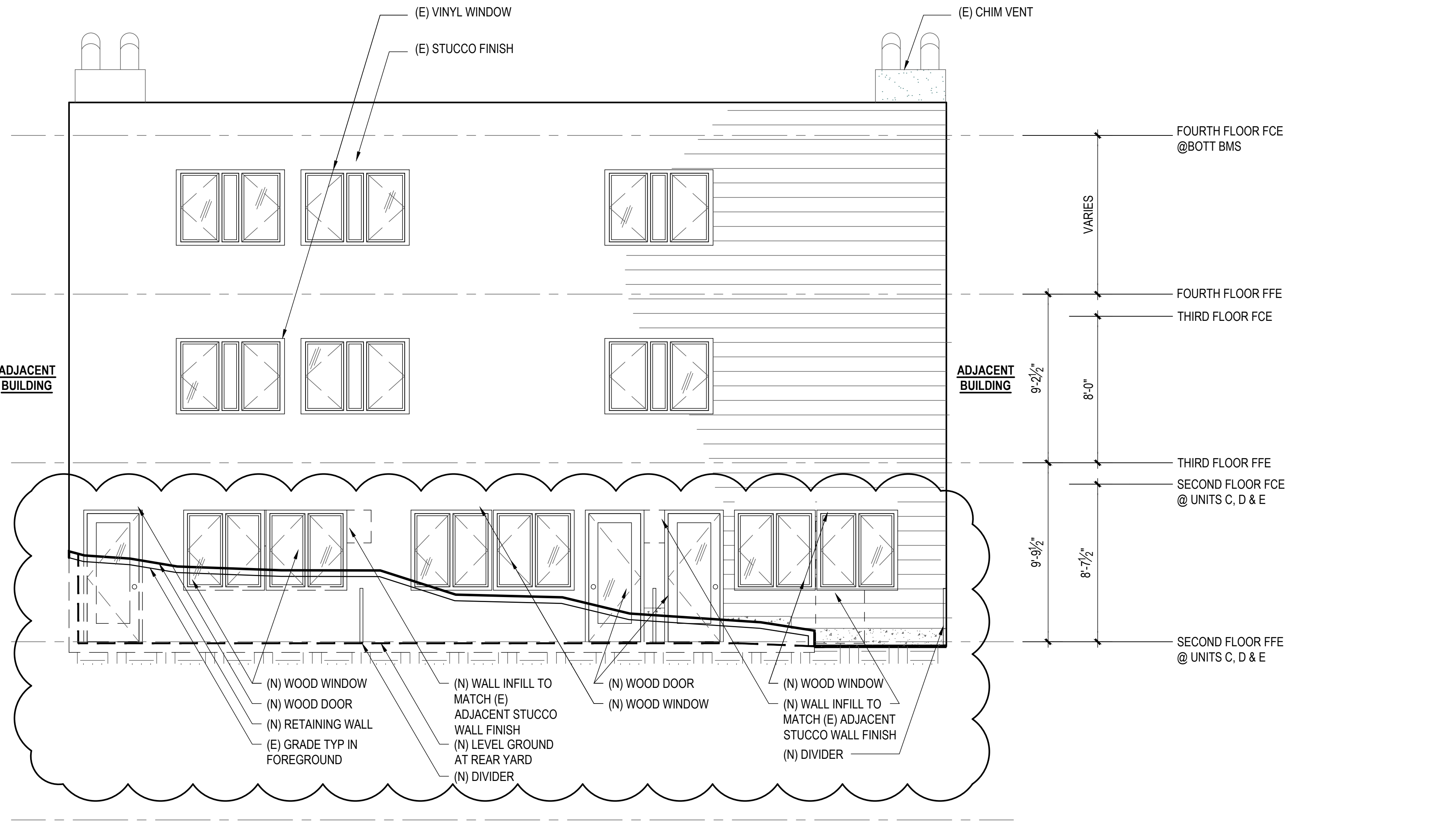
SHEET NUMBER:

A2.1

REV #: DATE:



2 EXISTING & DEMO NORTH (REAR) EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



1 PROPOSED NORTH (REAR) EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

FLOOR PLAN KEYNOTES

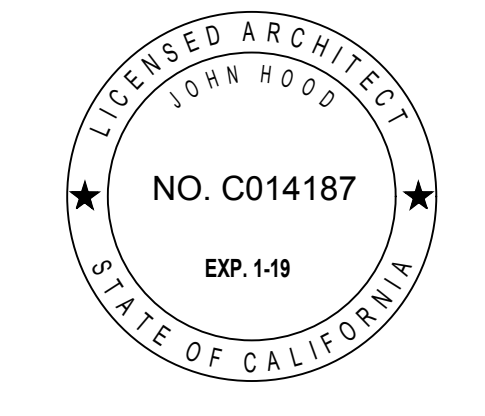
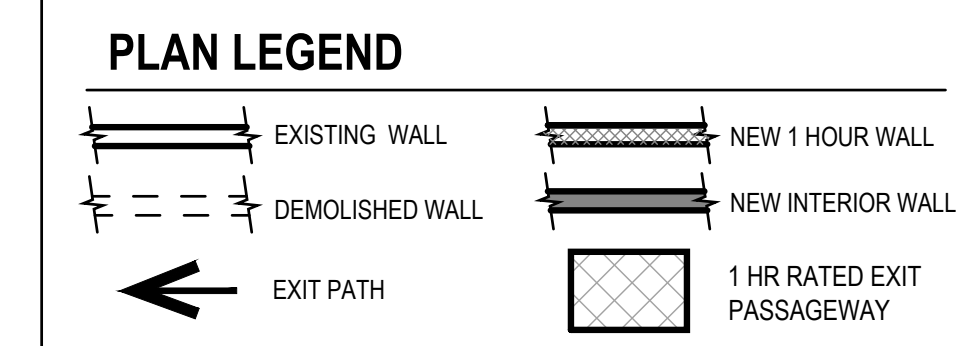
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BEDROOM	--	--	142 SF	--	--
LIGHT 8%	--	--	11.36 SF	--	--
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- (N) NONPOROUS SLAB COUNTERTOP & SPLASH.
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UNIT ADDITION

2220 Turk Blvd.
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94115
Block: 1112 Lot: 032

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BLDG. PERMIT APP.	06.12.17
VARIANCE APP	07.20.17
BLDG. PERMIT REV-1	08.21.17
VARIANCE APP REV-1	10.26.17

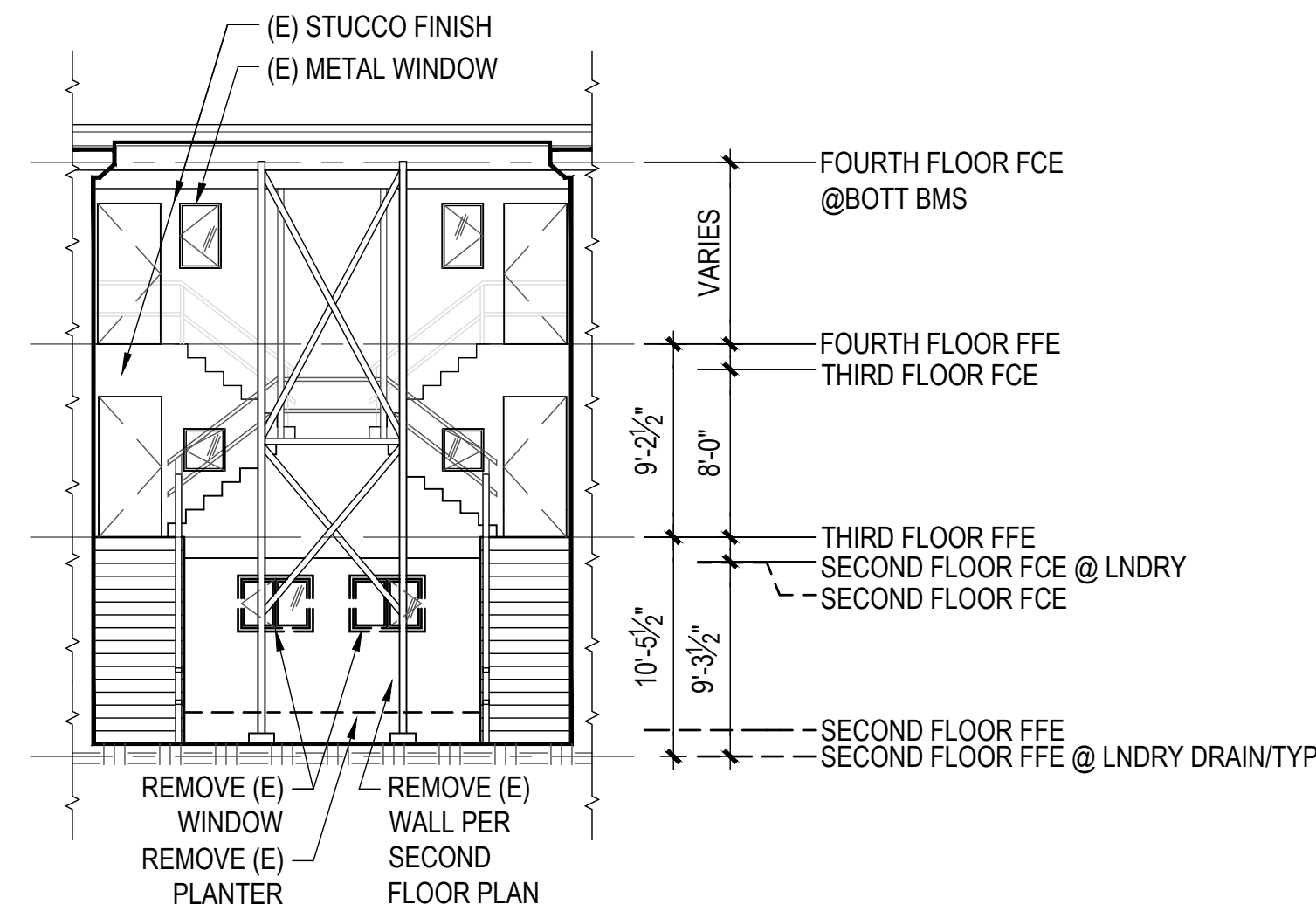
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DATE: 10.26.17
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EXISTING & PROPOSED NORTH (REAR) ELEVATIONS

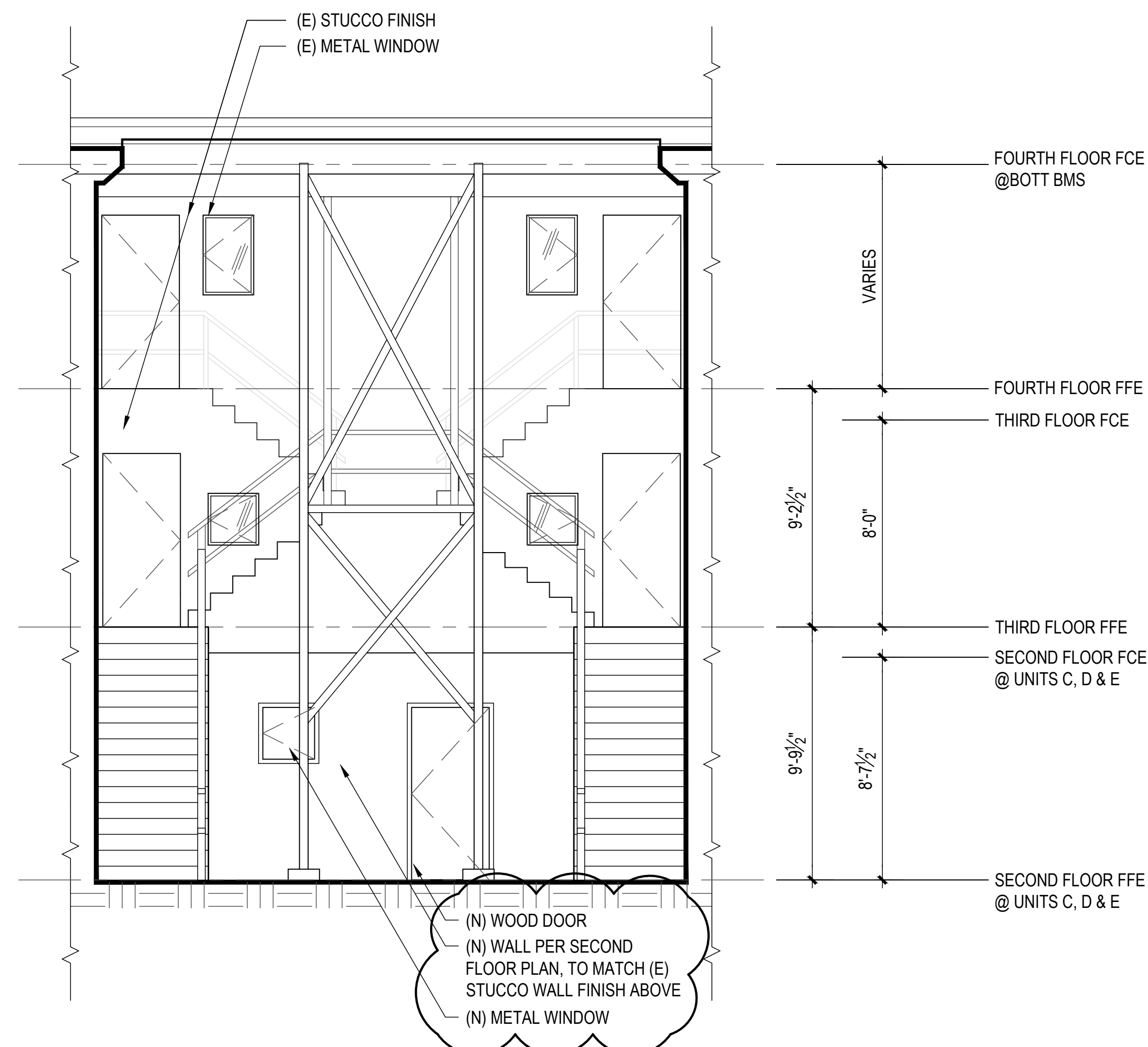
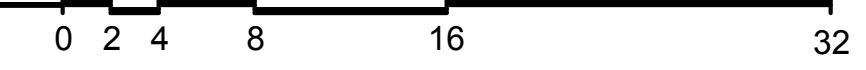
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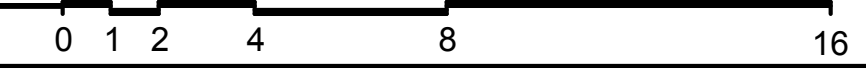
REV #: DATE:



2 EXISTING & DEMO NORTH COURTYARD ELEVATION
SCALE: 1/8" = 1'-0"



1 PROPOSED NORTH COURTYARD ELEVATION
SCALE: 1/4" = 1'-0"



FLOOR PLAN KEYNOTES

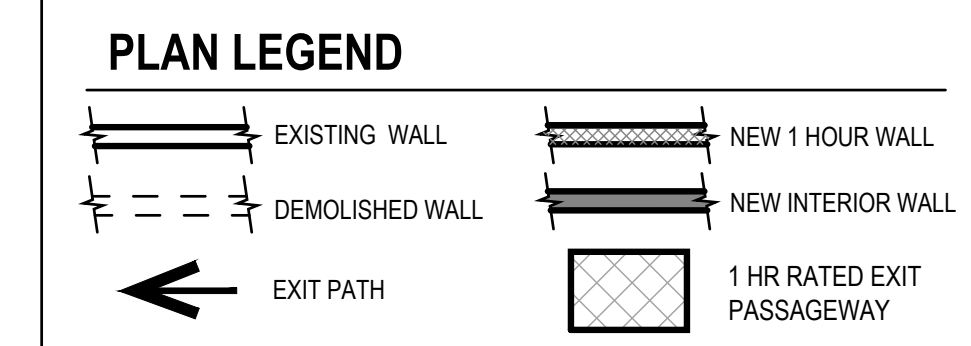
- DRAWING SET GENERAL NOTES**
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 - D3. DOORWAY BETWEEN GARAGES & HABITABLE SPACE SHALL BE PROVIDED WITH EITHER SOLID WOOD DOORS OR SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 1/2" THICK & PROVIDED WITH SELF CLOSING AND SELF LATCHING H HARDWARE.
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 - W1. (N) WINDOWS PER WINDOW SCHEDULE INCLUDED IN THIS DRAWING SET SHALL COMPLY WITH TITLE 24 REQUIREMENTS. SEE SCHEDULE FOR ADDITIONAL NOTES.
 - W2. EMERGENCY ESCAPE & RESCUE WINDOWS REQUIRED AT SLEEPING AREAS SHALL MEET THE FOLLOWING REQUIREMENTS: MIN. 5.7' CLEAR OPENING, MIN. 24" CLEAR HEIGHT, MIN. 20" CLEAR WIDTH, SILL HEIGHT MAX. 44" AFF.
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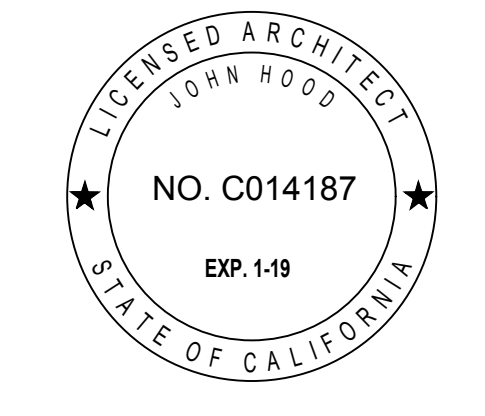
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 - B7. WATER CLOSET PER CBC 2509. CENTERED WITHIN 30" WIDE CLEAR SPACE. TOILETS SHALL HAVE MAX. 1.28 GPF WATER CONSUMPTION.
 - B8. BATH & LAUNDRY ROOM FAUCETS SHALL HAVE A MAX. FLOW RATE OF 1.5 GPM MEASURED AT 60 PSI.
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- L1. CLOTHES WASHER: PROVIDE FLUSH MOUNT 'GUY BOX' FOR HOT & COLD WATER & DRAIN CONNECTIONS.
 - L2. CONVENTIONAL CLOTHES DRYER: PROVIDE OPENING OF 100 SQ. INCHES MIN. FOR MAKE-UP AIR AT DOORS ENCLOSING APPLIANCE PER CMC 504.4.1. DIRECT EXHAUST TO OUTSIDE USING STEEL, SMOOTH BORE, 4" MIN. DIA. DUCT. PROVIDE WEATHERPROOF CAP & BACKDRAFT DAMPER. TERMINATE VENT MIN. 3'-0" FROM OPERABLE WINDOWS & DOORS PER CMC 502.2. PROVIDE IN-LINE BOOSTER FAN FOR DUCT RUNS OVER 14'-0" IN LENGTH. PROVIDE GAS SHUTOFF VALVE IN APPROVED LOCATION. CONDENSING DRYERS TO HAVE DRAIN & DRAIN PAN.
 - L3. PROVIDE DRAIN PAN @ TANK WATER HEATERS AND CLOTHES WASHERS INSTALLED OVER LIVING SPACE.
 - L4. WATER HEATER TO BE PROVIDED WITH SEISMIC STRAPPING PER CPC 507.2
 - L5. ROOMS CONTAINING GAS CONSUMING SPACE AND WATER HEATING EQUIPMENT SHALL BE PROVIDED WITH COMBUSTION AIR OPENINGS IN COMPLIANCE WITH CMC CHAPTER 7.



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440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105
P: (415) 443-4005 F: (415) 495-3336
WWW.HOODTHOMAS.COM



UNIT ADDITION

2220 Turk Blvd.
San Francisco, CA
94115
Block: 1112 Lot: 032

ISSUE:	DATE:
BLDG. PERMIT APP.	06.12.17
VARIANCE APP	07.20.17
BLDG. PERMIT REV-1	08.21.17
VARIANCE APP REV-1	10.26.17

DRAWN BY: YQ
DATE: 10.26.17
SHEET TITLE:

EXISTING & PROPOSED NORTH COURTYARD ELEVATIONS

SHEET NUMBER:

A2.3

REV #: DATE:

FLOOR PLAN KEYNOTES

- DRAWING SET GENERAL NOTES**
- SEE SHEET A0.0 FOR GENERAL CONSTRUCTION NOTES
 - SEE SHEET EMP.1.1 FOR ELECTRICAL & MECHANICAL NOTES & PLANS
 - DIMENSIONS SHOWN IN PLANS AND ELEVATIONS ARE TAKEN FROM FACE OF WALLBOARD AT INTERIOR WALLS AND FACE OF EXTERIOR FINISH AT EXTERIOR WALLS, U.O.N.
- DOORS, WINDOW AND SKYLIGHT PROJECT NOTES**
- PRIMARY EXIT DOORS SHALL MEET THE REQUIREMENTS OF CBC SECTION 1010 FOR SIZE, PROJECTIONS INTO CLEAR WIDTH OF EGRESS PATH, DOOR SWING, & OPENING FORCE.
 - DOORS SHALL BE PROVIDED WITH A MIN. 36" X 36" LEVEL LANDING ON EACH SIDE OF THE DOORS EXCEPT AS FOLLOWS: LANDINGS AT THE EXTERIOR SIDE OF A DOOR MAY BE A MAX. OF 2" BELOW THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING. FOR DOORS THAT SWING OVER THE LANDING THE MAX. DISTANCE BELOW THE THRESHOLD IS 2" PER CBC 1010.1.7. SLIDING GLASS DOORS SHALL HAVE A MAX. 2" LEVEL CHANGE FROM THRESHOLD.
 - DOORWAY BETWEEN GARAGES & HABITABLE SPACE SHALL BE PROVIDED WITH EITHER SOLID WOOD DOORS OR SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 1/2" THICK & PROVIDED WITH SELF CLOSING AND SELF LATCHING H HARDWARE.
 - PROVIDE LISTED, GASKETED DOORS w/ LISTED SELF CLOSING DEVICE & BOTTOM SEAL AT THRESHOLD PER CMC 904.1 WHERE COMPARTMENTS CONTAINING FURNACES & BOILERS ARE INSTALLED IN BEDROOMS OR BATHROOMS.
 - (N) WINDOWS PER WINDOW SCHEDULE INCLUDED IN THIS DRAWING SET SHALL COMPLY WITH TITLE 24 REQUIREMENTS. SEE SCHEDULE FOR ADDITIONAL NOTES. EMERGENCY ESCAPE & RESCUE WINDOWS REQUIRED AT SLEEPING AREAS SHALL MEET THE FOLLOWING REQUIREMENTS: MIN. 5.7' CLEAR OPENING, MIN. 24" CLEAR HEIGHT, MIN. 20" CLEAR WIDTH, SILL HEIGHT MAX. 44" AFF.
 - WINDOWS IN LOCATIONS SUBJECT TO HUMAN IMPACT LOADS SHALL BE PROVIDED WITH SAFETY GLAZING INSTALLED IN ACCORDANCE WITH CBC 2406 & 2407.
 - WINDOWS TO MEET LIGHT/AIR REQUIREMENTS PER CBC SEC 1205.2 & 1203.5.1.

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LIVING AREA	328 SF	374 SF	438 SF	323 SF	436 SF
LIGHT 8%	26.24 SF	29.92 SF	35.04 SF	25.84 SF	34.88 SF
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BEDROOM	--	--	142 SF	--	--
LIGHT 8%	--	--	11.36 SF	--	--
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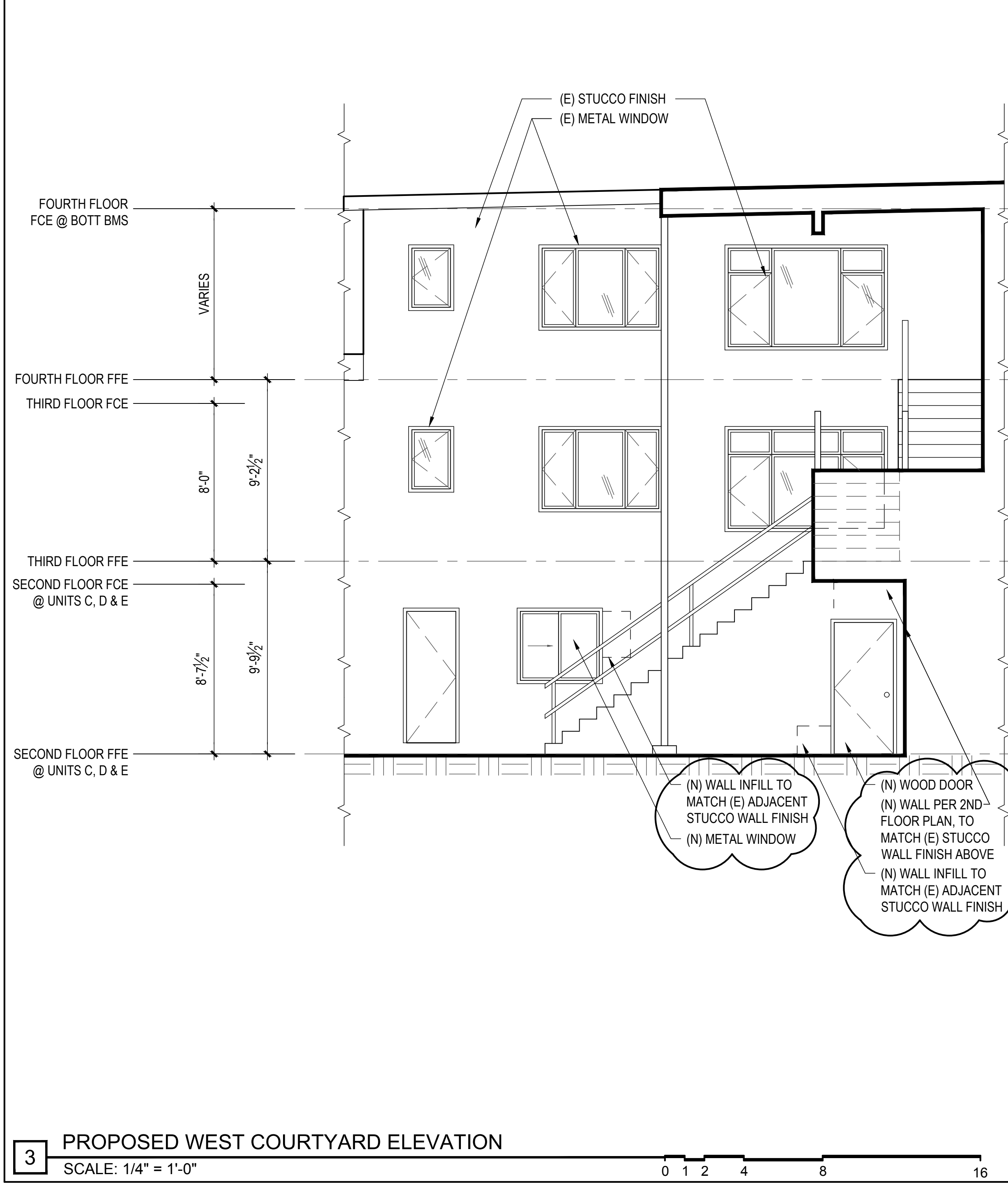
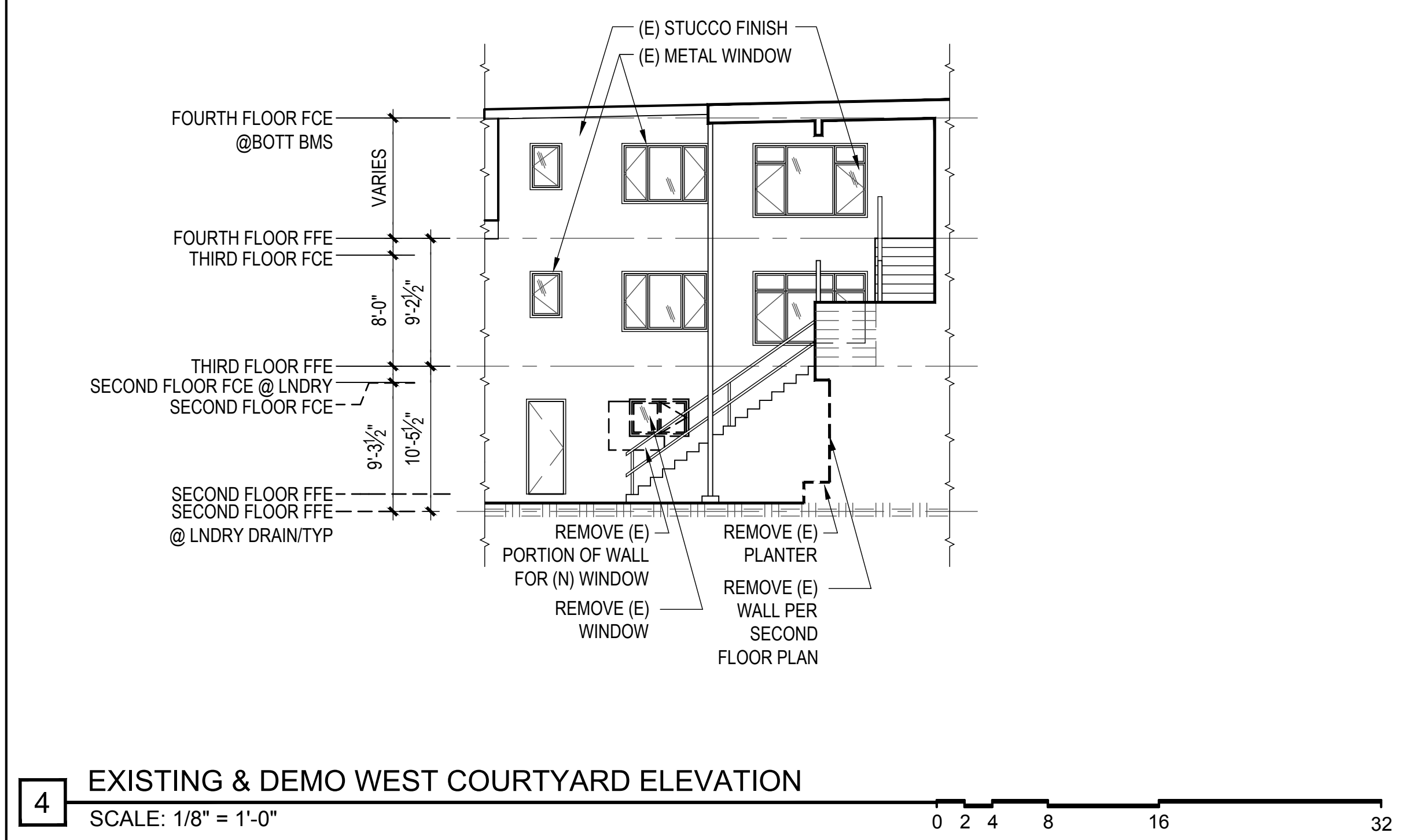
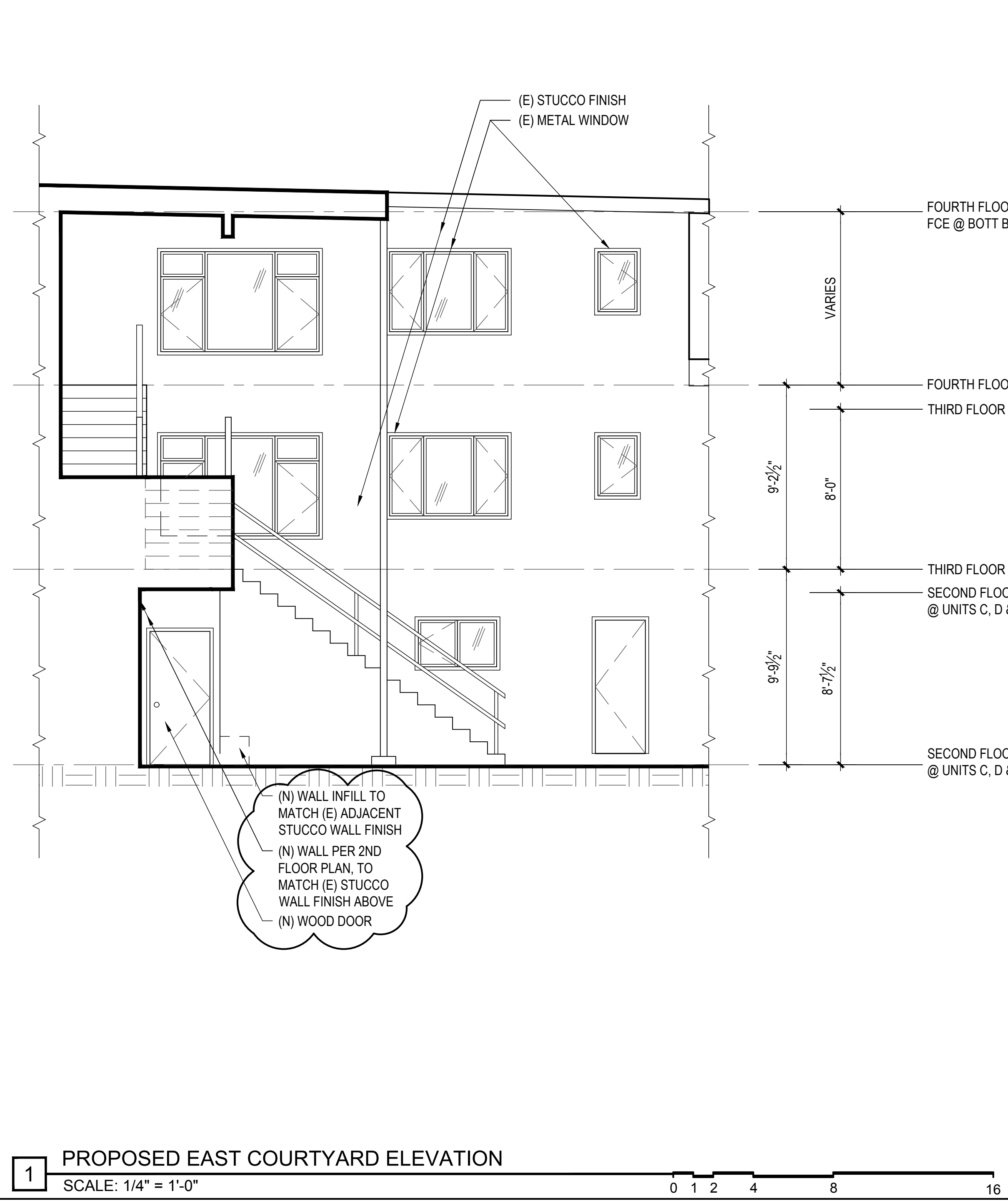
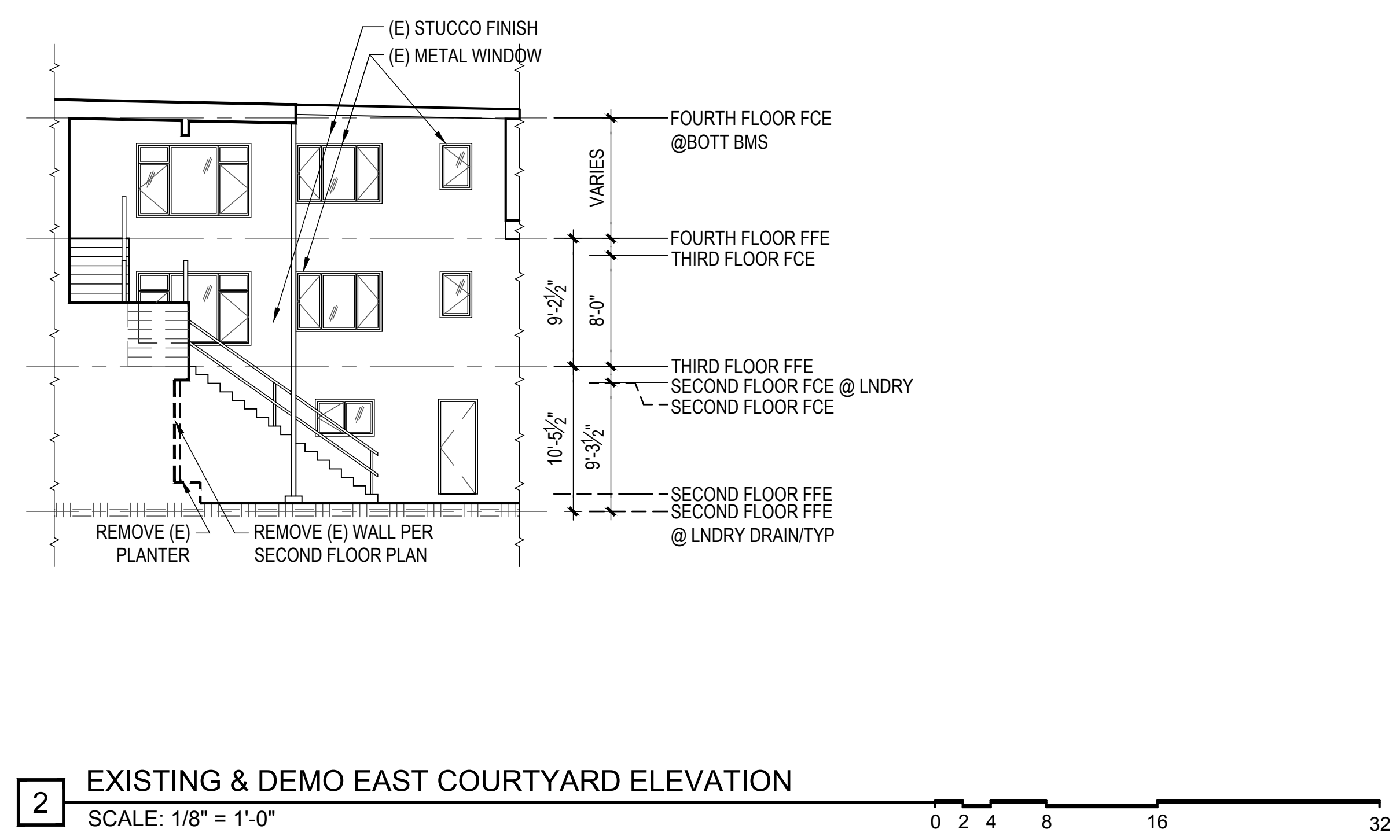
- K1-8 KITCHEN PROJECT NOTES**
- KITCHEN FAUCETS SHALL HAVE A MAX. FLOW RATE OF 1.5 G.P.M MEASURED AT 60 PSI.
 - GARBAGE DISPOSAL UNITS AT KITCHEN SINKS SHALL BE PROVIDED WITH REQUIRED AIR GAP.
 - GAS COOKING APPLIANCES SHALL BE UL LISTED & INSTALLED PER MANUF. INSTRUCTIONS. PROVIDE GAS SHUT-OFF VALVE IN APPROVED, ACCESSIBLE LOCATION.
 - RESIDENTIAL RANGEHOOD EXHAUST PER CMC 403.7. SHALL MEET REQUIREMENTS OF CMC 504.2. EXHAUST TERMINATION SHALL BE LOCATED AT LEAST 3'-0" AWAY FROM PROPERTY LINES AND BUILDING OPENINGS & BE PROVIDED WITH WEATHERPROOF BACKDRAFT DAMPER. WHERE REMOTE EXHAUST OR BOOSTER FANS ARE REQUIRED, FAN SHALL BE ON DEDICATED CIRCUIT.
 - UPPER CABINETS SHALL BE MIN. 30" ABOVE COOKING TOP PER CMC 921.3.2 PROVIDE THE COOKING APPLIANCE MIN. CLEARANCE TO COMBUSTIBLES PER CMC 918.2.
 - (N) DISHWASHERS SHALL BE PROVIDED WITH REQUIRED AIRGAP. HOT WATER STUB & DEDICATED CIRCUIT.
 - (N) APPLIANCES TO BE UL LISTED AND INSTALLED PER MANUF. INSTRUCTIONS. INSTALLING CONTRACTOR SHALL COORDINATE ALL ELECTRICAL AND PLUMBING REQUIREMENTS WITH MANUF. SPECIFICATIONS.
 - (N) CABINETRY AND NONPOROUS COUNTERTOPS THROUGHOUT, U.O.N.

- B1-9 BATHROOM PROJECT NOTES**
- (N) NONPOROUS SLAB COUNTERTOP & SPLASH.
 - GLASS SHOWER ENCLOSURES SAFETY GLAZING SUBJECT TO HUMAN IMPACT LOADS INSTALLED IN ACCORDANCE W/ CBC 2406 & 2407. SHOWER DOORS SHALL PROVIDE MIN 22" CLEAR OPENING WIDTH PER CPC 408.5.
 - SHOWER COMPARTMENTS & WALLS ABOVE TUBS w/ SHOWERHEADS SHALL BE FINISHED WITH A SMOOTH NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72" ABOVE DRAIN INLET. CBC 1210.2.3
 - NONPAPER-FACED BACKER BOARD TO BE USED IN ALL TUB, SHOWER & SPA AREAS. (WATER-RESISTANT TO A HEIGHT AS INDICATED ABOVE).
 - SHOWER PER CPC 408. MIN FLOOR AREA OF 1024 SQUARE INCHES & CAPABLE OF ENCOMPASSING A 30" CIRCLE. THE AREA & DIMENSION SHALL BE MAINTAINED TO A POINT NOT LESS THAN 70" ABOVE THE SHOWER DRAIN. DRAIN INLET MIN. 2" MAX. 9" BELOW THRESHOLD INTO SHOWER.
 - SHOWER HEADS SHALL HAVE A MAX. FLOW RATE OF 2.0 GPM MEASURED AT 80 PSI.
 - SHOWER VALVES & HEADS SHALL BE PLACED INSIDE SHOWER COMPARTMENT SUCH THAT SHOWER HEAD DOES NOT DISCHARGE DIRECTLY TOWARD THE ENTRANCE OF THE COMPARTMENT AND THE BATHER CAN ADJUST VALVES PRIOR TO STEPPING INTO SHOWER SPRAY.
 - WATER CLOSET PER CBC 2509. CENTERED WITHIN 30" WIDE CLEAR SPACE. TOILETS SHALL HAVE MAX. 1.28 GPF WATER CONSUMPTION.
 - BATH & LAUNDRY ROOM FAUCETS SHALL HAVE A MAX. FLOW RATE OF 1.5 GPM MEASURED AT 60 PSI.
 - PROVIDE EXHAUST FAN CAPABLE OF PROVIDING 5 AIR CHANGES PER HOUR. VENT TO OUTSIDE. PROVIDE BACKDRAFT DAMPER

- L1-5 LAUNDRY & MECHANICAL ROOM PROJECT NOTES**
- CLOTHES WASHER: PROVIDE FLUSH MOUNT 'GUY BOX' FOR HOT & COLD WATER & DRAIN CONNECTIONS.
 - CONVENTIONAL CLOTHES DRYER: PROVIDE OPENING OF 100 SQ. INCHES MIN. FOR MAKE-UP AIR AT DOORS ENCLOSING APPLIANCE PER CMC 504.4.1. DIRECT EXHAUST TO OUTSIDE USING STEEL, SMOOTH BORE, 4" MIN. DIA. DUCT. PROVIDE WEATHERPROOF CAP & BACKDRAFT DAMPER. TERMINATE VENT MIN. 3'-0" FROM OPERABLE WINDOWS & DOORS PER CMC 502.2. PROVIDE IN-LINE BOOSTER FAN FOR DUCT RUNS OVER 14'-0" IN LENGTH. PROVIDE GAS SHUTOFF VALVE IN APPROVED LOCATION. CONDENSING DRYERS TO HAVE DRAIN & DRAIN PAN.
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 - ROOMS CONTAINING GAS CONSUMING SPACE AND WATER HEATING EQUIPMENT SHALL BE PROVIDED WITH COMBUSTION AIR OPENINGS IN COMPLIANCE WITH CMC CHAPTER 7.

PLAN LEGEND

- EXISTING WALL
- DEMOLISHED WALL
- EXIT PATH
- NEW 1 HOUR WALL
- NEW INTERIOR WALL
- 1 HR RATED EXIT PASSAGEWAY



UNIT ADDITION

2220 Turk Blvd.
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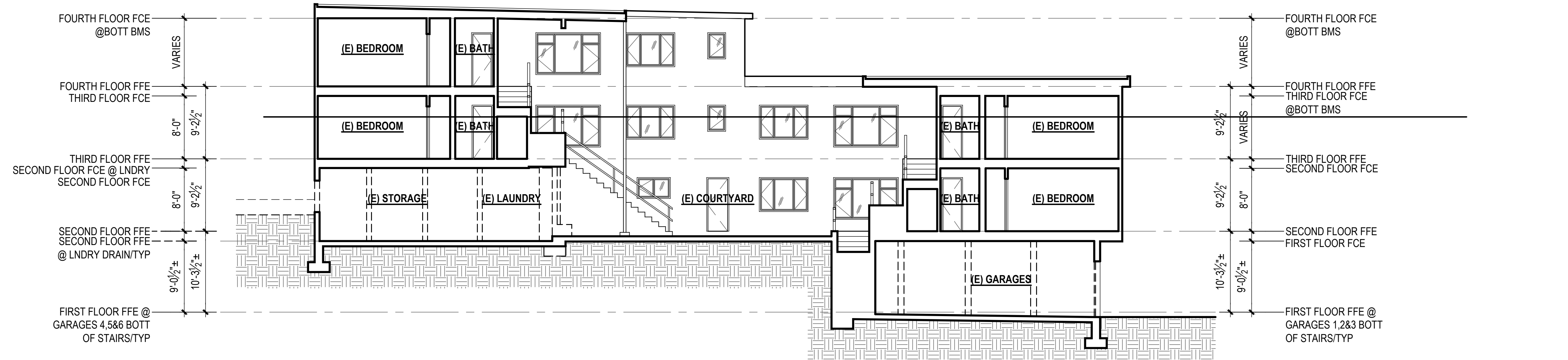
DRAWN BY: YQ
DATE: 10.26.17
SHEET TITLE:

EXISTING & PROPOSED EAST & WEST COURTYARD ELEVATIONS

SHEET NUMBER:

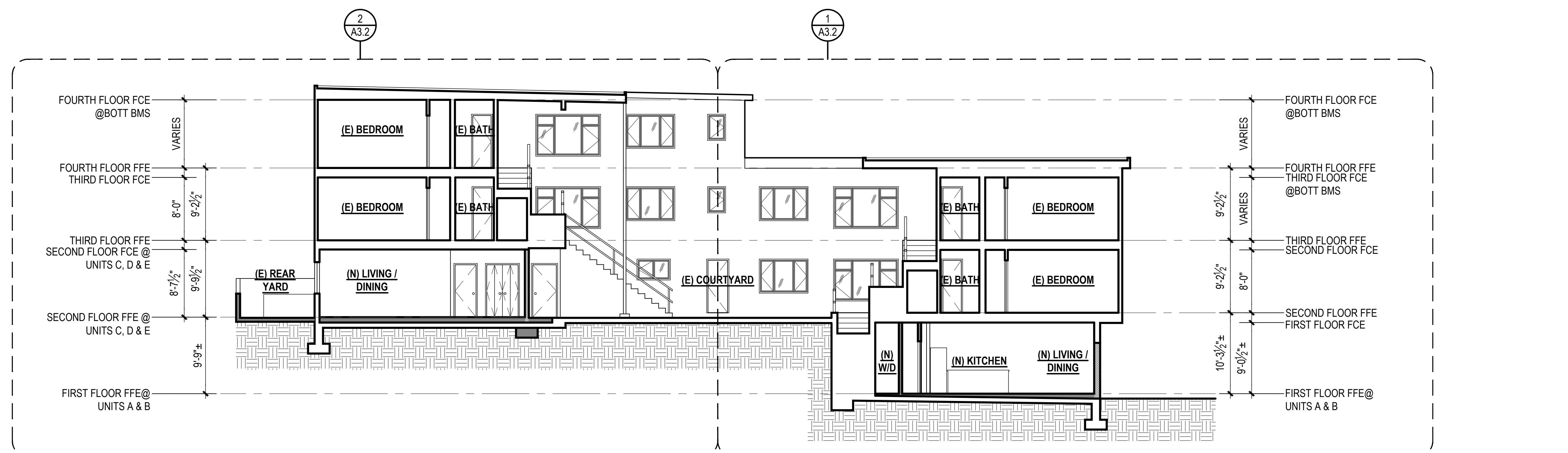
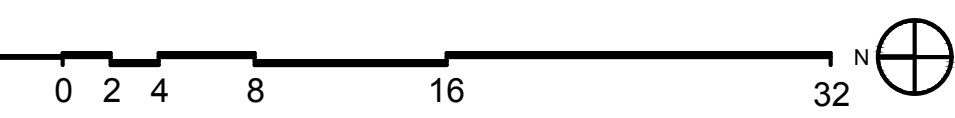
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REV #: DATE:



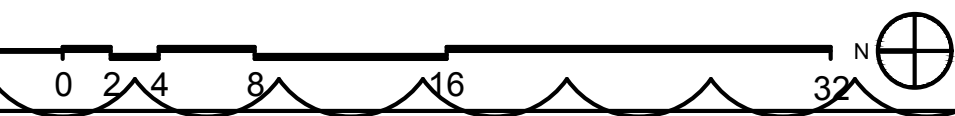
2 EXISTING & DEMO LONGITUDINAL SECTION

SCALE: 1/8" = 1'-0"



1 PROPOSED LONGITUDINAL SECTION

SCALE: 1/8" = 1'-0"



FLOOR PLAN KEYNOTES

DRAWING SET GENERAL NOTES

- 1.1 SEE SHEET A0.0 FOR GENERAL CONSTRUCTION NOTES
 - 1.2 SEE SHEET EMP.1.1 FOR ELECTRICAL & MECHANICAL NOTES & PLANS
 - 1.3 DIMENSIONS SHOWN IN PLANS AND ELEVATIONS ARE TAKEN FROM FACE OF WALLBOARD AT INTERIOR WALLS AND FACE OF EXTERIOR FINISH AT EXTERIOR WALLS, U.O.N.
- DOORS, WINDOW AND SKYLIGHT PROJECT NOTES**
- D1. PRIMARY EXIT DOORS SHALL MEET THE REQUIREMENTS OF CBC SECTION 1010 FOR SIZE, PROJECTIONS INTO CLEAR WIDTH OF EGRESS PATH, DOOR SWING, & OPENING FORCE.
 - D2. DOORS SHALL BE PROVIDED WITH A MIN. 36" X 36" LEVEL LANDING ON EACH SIDE OF THE DOORS EXCEPT AS FOLLOWS: LANDINGS AT THE EXTERIOR SIDE OF A DOOR MAY BE A MAX. OF 2' BELOW THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING. FOR DOORS THAT SWING OVER THE LANDING THE MAX. DISTANCE BELOW THE THRESHOLD IS 1/2" PER CBC 1010.1.7. SLIDING GLASS DOORS SHALL HAVE A MAX. 1/2" LEVEL CHANGE FROM THRESHOLD.
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 - W1. (N) WINDOWS PER WINDOW SCHEDULE INCLUDED IN THIS DRAWING SET SHALL COMPLY WITH TITLE 24 REQUIREMENTS. SEE SCHEDULE FOR ADDITIONAL NOTES.
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LIVING AREA	328 SF	374 SF	438 SF	323 SF	436 SF
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BEDROOM	--	--	142 SF	--	--
LIGHT 8%	--	--	11.36 SF	--	--
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AIR 4%	--	--	5.68 SF	--	--
AIR PROV.	--	--	7 SF	--	--

KITCHEN PROJECT NOTES

- K1. KITCHEN FAUCETS SHALL HAVE A MAX. FLOW RATE OF 1.5 G.P.M MEASURED AT 60 PSI.
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- K5. UPPER CABINETS SHALL BE MIN. 30" ABOVE COOKING TOP PER CMC 921.3.2 PROVIDE THE COOKING APPLIANCE MIN. CLEARANCE TO COMBUSTIBLES PER CMC 918.2.
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- K8. (N) CABINETS AND NONPOROUS COUNTERTOPS THROUGHOUT, U.O.N.

BATHROOM PROJECT NOTES

- B1. (N) NONPOROUS SLAB COUNTERTOP & SPLASH.
- B2. GLASS SHOWER ENCLOSURES SAFETY GLAZING SUBJECT TO HUMAN IMPACT LOADS INSTALLED IN ACCORDANCE W/ CBC 2406 & 2407. SHOWER DOORS SHALL PROVIDE MIN 22" CLEAR OPENING WIDTH. PER CPC 408.5.
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PLAN LEGEND

- EXISTING WALL
- DEMOLISHED WALL
- EXIT PATH
- NEW 1 HOUR WALL
- NEW INTERIOR WALL
- 1 HR RATED EXIT PASSAGEWAY

HTA!
HOOD THOMAS ARCHITECTS
440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105
P: (415) 443-4005 F: (415) 495-3336
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LICENSED ARCHITECT
JOHN HOOD
NO. C014187
EXP. 1-19
STATE OF CALIFORNIA

UNIT ADDITION

2220 Turk Blvd.
San Francisco, CA
94115
Block: 1112 Lot: 032

ISSUE:	DATE:
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DRAWN BY: YQ
DATE: 10.26.17
SHEET TITLE:

EXISTING & PROPOSED LONGITUDINAL SECTION

SHEET NUMBER:

A3.1

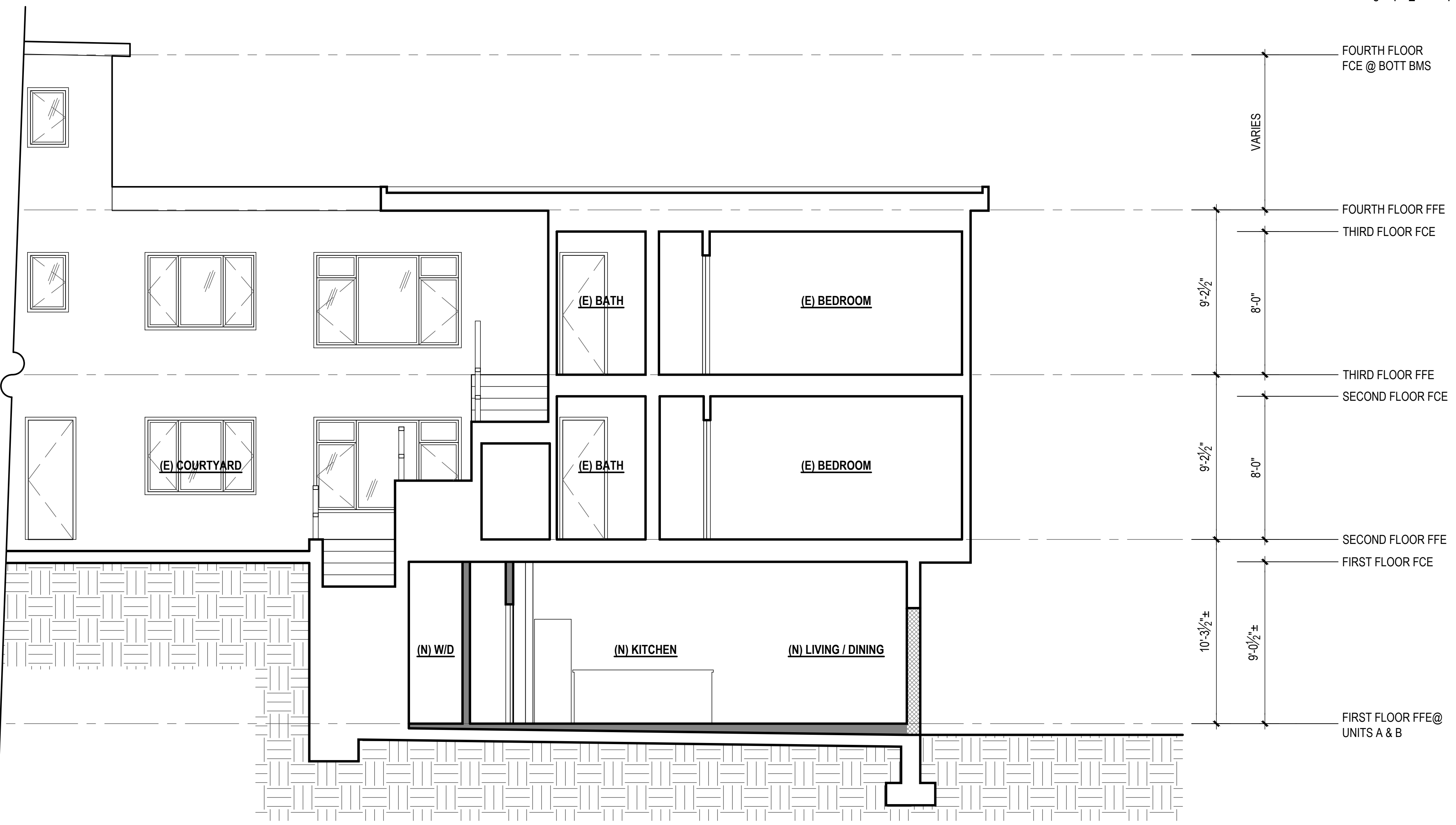
REV #: DATE:

FOURTH FLOOR FCE @ BOTT BMS
 VARIES
 FOURTH FLOOR FFE
 THIRD FLOOR FCE
 8'-0" 9'-2 1/2"
 THIRD FLOOR FFE
 SECOND FLOOR FCE @ UNITS C, D & E
 8'-7 1/2" 9'-9 1/2"
 SECOND FLOOR FFE @ UNITS C, D & E



2 PROPOSED LONGITUDINAL SECTION - NORTH
 SCALE: 1/4" = 1'-0"

0 1 2 4 8 16



1 PROPOSED LONGITUDINAL SECTION - SOUTH
 SCALE: 1/4" = 1'-0"

0 1 2 4 8 16

FLOOR PLAN KEYNOTES

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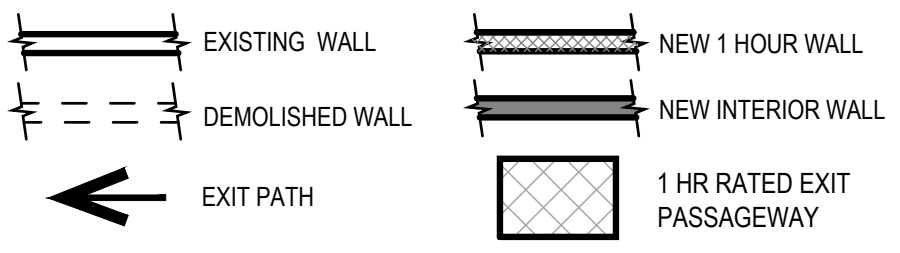
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 - RESIDENTIAL RANGEHOOD EXHAUST PER CMC 403.7. SHALL MEET REQUIREMENTS OF CMC 504.2. EXHAUST TERMINATION SHALL BE LOCATED AT LEAST 3'-0" AWAY FROM PROPERTY LINES AND BUILDING OPENINGS & BE PROVIDED WITH WEATHERPROOF BACKDRAFT DAMPER. WHERE REMOTE EXHAUST OR BOOSTER FANS ARE REQUIRED, FAN SHALL BE ON DEDICATED CIRCUIT.
 - UPPER CABINETS SHALL BE MIN. 30" ABOVE COOKING TOP PER CMC 921.3.2. PROVIDE THE COOKING APPLIANCE MIN. CLEARANCE TO COMBUSTIBLES PER CMC 918.2.
 - (N) DISHWASHERS SHALL BE PROVIDED WITH REQUIRED AIRGAP. HOT WATER STUB & DEDICATED CIRCUIT.
 - (N) APPLIANCES TO BE UL LISTED AND INSTALLED PER MANUF. INSTRUCTIONS. INSTALLING CONTRACTOR SHALL COORDINATE ALL ELECTRICAL AND PLUMBING REQUIREMENTS WITH MANUF. SPECIFICATIONS.
 - (N) CABINETRY AND NONPOROUS COUNTERTOPS THROUGHOUT, U.O.N.

- BATHROOM PROJECT NOTES**
- (N) NONPOROUS SLAB COUNTERTOP & SPLASH.
 - GLASS SHOWER ENCLOSURES SAFETY GLAZING SUBJECT TO HUMAN IMPACT LOADS INSTALLED IN ACCORDANCE W/ CBC 2406 & 2407. SHOWER DOORS SHALL PROVIDE MIN 22" CLEAR OPENING WIDTH. PER CPC 408.5.
 - SHOWER COMPARTMENTS & WALLS ABOVE TUBS w/ SHOWERHEADS SHALL BE FINISHED WITH A SMOOTH NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72" ABOVE DRAIN INLET. CBC 1210.2.3
 - NONPAPER-FACED BACKER BOARD TO BE USED IN ALL TUB, SHOWER & SPA AREAS. (WATER-RESISTANT TO A HEIGHT AS INDICATED ABOVE).
 - SHOWER PER CPC 408. MIN FLOOR AREA OF 1024 SQUARE INCHES & CAPABLE OF ENCOMPASSING A 30" CIRCLE. THE AREA & DIMENSION SHALL BE MAINTAINED TO A POINT NOT LESS THAN 70" ABOVE THE SHOWER DRAIN. DRAIN INLET MIN. 2" MAX. 9" BELOW THRESHOLD INTO SHOWER.
 - SHOWER HEADS SHALL HAVE A MAX. FLOW RATE OF 2.0 GPM MEASURED AT 80 PSI.
 - SHOWER VALVES & HEADS SHALL BE PLACED INSIDE SHOWER COMPARTMENT SUCH THAT SHOWER HEAD DOES NOT DISCHARGE DIRECTLY TOWARD THE ENTRANCE OF THE COMPARTMENT AND THE BATHER CAN ADJUST VALVES PRIOR TO STEPPING INTO SHOWER SPRAY.
 - WATER CLOSET PER CBC 2509. CENTERED WITHIN 30" WIDE CLEAR SPACE. TOILETS SHALL HAVE MAX. 1.28 GPF WATER CONSUMPTION.
 - BATH & LAUNDRY ROOM FAUCETS SHALL HAVE A MAX. FLOW RATE OF 1.5 GPM MEASURED AT 60 PSI.
 - PROVIDE EXHAUST FAN CAPABLE OF PROVIDING 5 AIR CHANGES PER HOUR. VENT TO OUTSIDE. PROVIDE BACKDRAFT DAMPER.

- LAUNDRY & MECHANICAL ROOM PROJECT NOTES**
- CLOTHES WASHER: PROVIDE FLUSH MOUNT 'GUY BOX' FOR HOT & COLD WATER & DRAIN CONNECTIONS.
 - CONVENTIONAL CLOTHES DRYER: PROVIDE OPENING OF 100 SQ. INCHES MIN. FOR MAKE-UP AIR AT DOORS ENCLOSING APPLIANCE PER CMC 504.4.1. DIRECT EXHAUST TO OUTSIDE USING STEEL, SMOOTH BORE, 4" MIN. DIA. DUCT. PROVIDE WEATHERPROOF CAP & BACKDRAFT DAMPER. TERMINATE VENT MIN. 3'-0" FROM OPERABLE WINDOWS & DOORS PER CMC 502.2. PROVIDE IN-LINE BOOSTER FAN FOR DUCT RUNS OVER 14'-0" IN LENGTH. PROVIDE GAS SHUTOFF VALVE IN APPROVED LOCATION. CONDENSING DRYERS TO HAVE DRAIN & DRAIN PAN.
 - PROVIDE DRAIN PAN @ TANK WATER HEATERS AND CLOTHES WASHERS INSTALLED OVER LIVING SPACE.
 - WATER HEATER TO BE PROVIDED WITH SEISMIC STRAPPING PER CPC 507.2.
 - ROOMS CONTAINING GAS CONSUMING SPACE AND WATER HEATING EQUIPMENT SHALL BE PROVIDED WITH COMBUSTION AIR OPENINGS IN COMPLIANCE WITH CMC CHAPTER 7.

PLAN LEGEND



HTA!
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UNIT ADDITION

2220 Turk Blvd.
 San Francisco, CA
 94115
 Block: 1112 Lot: 032

ISSUE:	DATE:
BLDG. PERMIT APP.	06.12.17
VARIANCE APP	07.20.17
BLDG. PERMIT REV-1	08.21.17
VARIANCE APP REV-1	10.26.17

DRAWN BY: YQ
 DATE: 10.26.17
 SHEET TITLE:

PROPOSED LONGITUDINAL SECTION

SHEET NUMBER:

A3.2

REV #: DATE: