



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, September 27, 2017**
 Time: **Not before 9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 230 Eddy Street Cross Street(s): Jones & Taylor Block /Lot No.: 0332/004 Zoning District(s): RC-4 / 80-T Area Plan:	Case No.: 2017-008141VAR Building Permit: Applicant: Daniel Findley Telephone: (415) 358-3927 E-Mail: dfindley@tndc.org

PROJECT DESCRIPTION

The project proposes to construct a 14-inch thick concrete sheer wall addition to the rear wall of an existing twelve-story, one-hundred and seventy-nine-unit residential building. The proposed shear wall is to being proposed as a structural upgrade to the existing building.

PER SECTION 134 OF THE PLANNING CODE the subject property is required to have a rear yard of 34 feet - 4 inches. The subject property has a rear yard that is 10 feet-11 inches in depth; the proposed sheer wall will be located within the required rear yard, thereby requiring a rear yard variance.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department’s website at: <http://notice.sfplanning.org/2017-008141VAR.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department’s website or in other public documents.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:
 Planner: **Ella Samonsky** Telephone: **(415) 575-9112** E-Mail: ella.samonsky@sfgov.org

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property.

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

ALEXANDER RESIDENCE

VARIANCE APPLICATION REVISION 1

08.16.2017

BLOCK/ LOT: 0332/ 004
 230 EDDY STREET
 SAN FRANCISCO, CA 94102

ALEXANDER RESIDENCE

230 EDDY STREET
 SAN FRANCISCO, CA
 94102

PROJECT DESCRIPTION

Project Name: ALEXANDER RESIDENCE
 Project Address:
 230 EDDY STREET
 SAN FRANCISCO, CA 94102

Block/Lot: 0332/004
 Occupancy: R-2
 Construction Type: Type IB
 Story Count: 12

Project:
 The project consists of voluntary seismic structural retrofit to meet a PML standard of less than 20.
 This retrofit will occur in Phase 1 and 2.

ABBREVIATIONS

(FOR ARCHITECTURAL DRAWINGS ONLY - SEE EACH CONSULTANT'S DRAWINGS FOR ADDED OR MODIFIED ABBREVIATIONS)

&	And	FOS	Face of Stud	QT	Quarry Tile
/	Angle	FRF	Frispoot	R	Riser
@	At	FR	Frame	RAD	Radius
⊕	Centerline	F.R.	Fire-Rating	RAG	Return Air Grill
⊙	Diameter or Round	FT	Foot or Feet	RD	Roof Drain
⊥	Perpendicular	FTG	Footing	REF	Reference
#	Pound or Number	FURR	Furring	REFR	Refrigerator
(E)	Existing	FUT	Future	REIN	Reinforced
AB	Anchor Bolt	G	Gas	REQ	Required
ACOUS	Acoustical	GA	Gauge	RESIL	Resilient
AD	Area Drain, Access Door	GALV	Galvanized	REV	Revision
ADJ	Adjustable or Adjacent	GB	Grab Bar	RM	Room
AESS	Arch. Expo. Sl. Structure	GD	Garbage Disposal	RO	Rough Opening
ALUM	Aluminum	GEI	Gutter Expansion Joint	RSN	Resin
APPROX	Approximate	GFI	Ground Fault Circuit Interrupter	RWD	Redwood
APPLI	Appliance	GL	Glass	RWL	Rain Water Leader
ARCH	Architectural	GND	Ground	REC	Recycling
ASSY	Assembly	GR	Grade	RTL	Retail
BD	Board	GSM	Galvanized Sheet Metal	RTG	Rating
BLDG	Building	GYP	Gypsum	RCP	Reflected Ceiling Plan
BLK	Block	GWB	Gypsum Wall Board	S	South or Shell
BLKG	Blocking	GS	Gravel Stop	SAG	Supply Air Grille
BLK	Block	H	High	SASM	Self Adhesive Sheet
BO	Bottom	HB	Hose Bibb	SC	Membrane
BO	Bottom Of	HC	Hollow Core	SC	Solid Core
BU	Built-Up	HD	Head	SCHED	Schedule
BUR	Built-Up-Roofing	HDR	Header	SCSD	See Communications
C	Channel	HDR	Header	SD	Systems Drawings
CAB	Cabinet	HW	Hardware	SECT	Smoke Detector
C.B.	Catch Basin	HT	Height	SED	See Electrical Drawings
CEM	Cement	HM	Hollow Metal	SE	Square Foot
CLJ	Control Joint	HORIZ	Horizontal	SHR	Shower
CLG	Ceiling	H-R	Hand Rail	SHT	Sheet
CLR	Clear	HR	Hour	SHTG	Sheathing
CMU	Concrete Masonry Unit	ID	Inside Diameter	SIM	Similar
CNTR	Counter	IDF	Interm. Distribution Facility	SL	Sliding
CO	Cased Opening	INSUL	Insulation	SLD	See Landscape Drawings
COL	Column	INT	Interior	SM	See Mechanical Drawings
CONC	Concrete	INCAN	Incandescent	SPD	See Plumbing Drawings
COND	Condition(s)	INTERM	Intermediate	SPEC	Specification
CONN	Connection	JAN	Janitor	SQ	Square
CONSTR	Construction	JT	Joint	SST	See Structural Drawings
CONT	Continuous	LA	Landscape	SSTL	Stainless Steel
COORD	Coordination	LAB	Laboratory	STA	Station
CORR	Corridor	LAM	Laminate	STD	Standard
CTR	Center	LAV	Lavatory	STL	Steel
CTSK	Countersink	LWB	Laminated Wood Board	STOR	Storage
CPT	Carpet	LVT	Lavatory	STR	Structural
CUST	Custom	LT	Light	SUSP	Suspended
DBL	Double	LV	Living	SYM	Symmetrical
DEPT	Department	LW	Live/Work	STC	Sound Transmission Class
DET	Detail	MAX	Maximum	SHGC	Solar Heat Gain Coefficient
DEG	Degree	M-B	Machine Bolt	T	Tile, Top or Tread
DF	Drinking Fountain or	MECH	Mechanical	T&G	Tongue and Groove
DIA	Diameter	MEMB	Membrane	T-B	Towel Bar
DM	Dimension	MIR	Mirror	TC	Top of Curb
DISP	Dispenser	MISC	Miscellaneous	TEL	Telephone
DN	Down	MO	Masonry Opening	THK	Thick
DO	Door Opening	MR	Moisture Resistant	THR	Threshold
DR	Door	MTD	Mounted	TO	Top of
DS	Downspout	MUL	Mullion	TP	Top of Pavement
DSP	Dry Standpipe	MUN	Muntin	TW	Top of Wall
DW	Dishwasher	MDF	Medium Density Fiberboard	TYP	Typical
DWG	Drawing	MEZZ	Mezzanine	TBD	To Be Determined
DW	Dishwasher	N	North	TJ	Truss Joint 1"
DW	Dishwasher	NIC	Not in Contract	TS	Tube Steel
DW	Dishwasher	NO	Number	UC	Under Counter
DW	Dishwasher	NOM	Nominal	UNF	Unfinished
DW	Dishwasher	NTS	Not to Scale	UON	Unless Otherwise Noted
DW	Dishwasher	O	Over	VERT	Vertical
DW	Dishwasher	OC	On Center	VEST	Vestibule
DW	Dishwasher	OD	Outside Diameter	VGF	Vertical Grain Douglas Fir
DW	Dishwasher	OFF	Office	VIF	Verify in Field
DW	Dishwasher	OPH	Opposite Hand	WRB	Weather Resistive Barrier
DW	Dishwasher	OPNG	Opening	WIND	Window
DW	Dishwasher	OPP	Opposite	W/D	Washer/Dryer
DW	Dishwasher	P	Pole	W	West or Washer
DW	Dishwasher	PHC	Photo Cell	WI	With
DW	Dishwasher	PL	Plate	WC	Water Closet
DW	Dishwasher	PLAM	Plastic Laminate	WD	Wood
DW	Dishwasher	PLUS	Plaster	WH	Water Heater
DW	Dishwasher	PLYWD	Plywood	WH	Water Heater
DW	Dishwasher	PR	Pair	WH	Water Heater
DW	Dishwasher	PT	Point	WH	Water Heater
DW	Dishwasher	PT	Pressure Treated	WH	Water Heater
DW	Dishwasher	PT	Post-tensioned	WH	Water Heater
DW	Dishwasher	PTN	Partition	WH	Water Heater
DW	Dishwasher	PROP	Property	WH	Water Heater

DRAWING INDEX

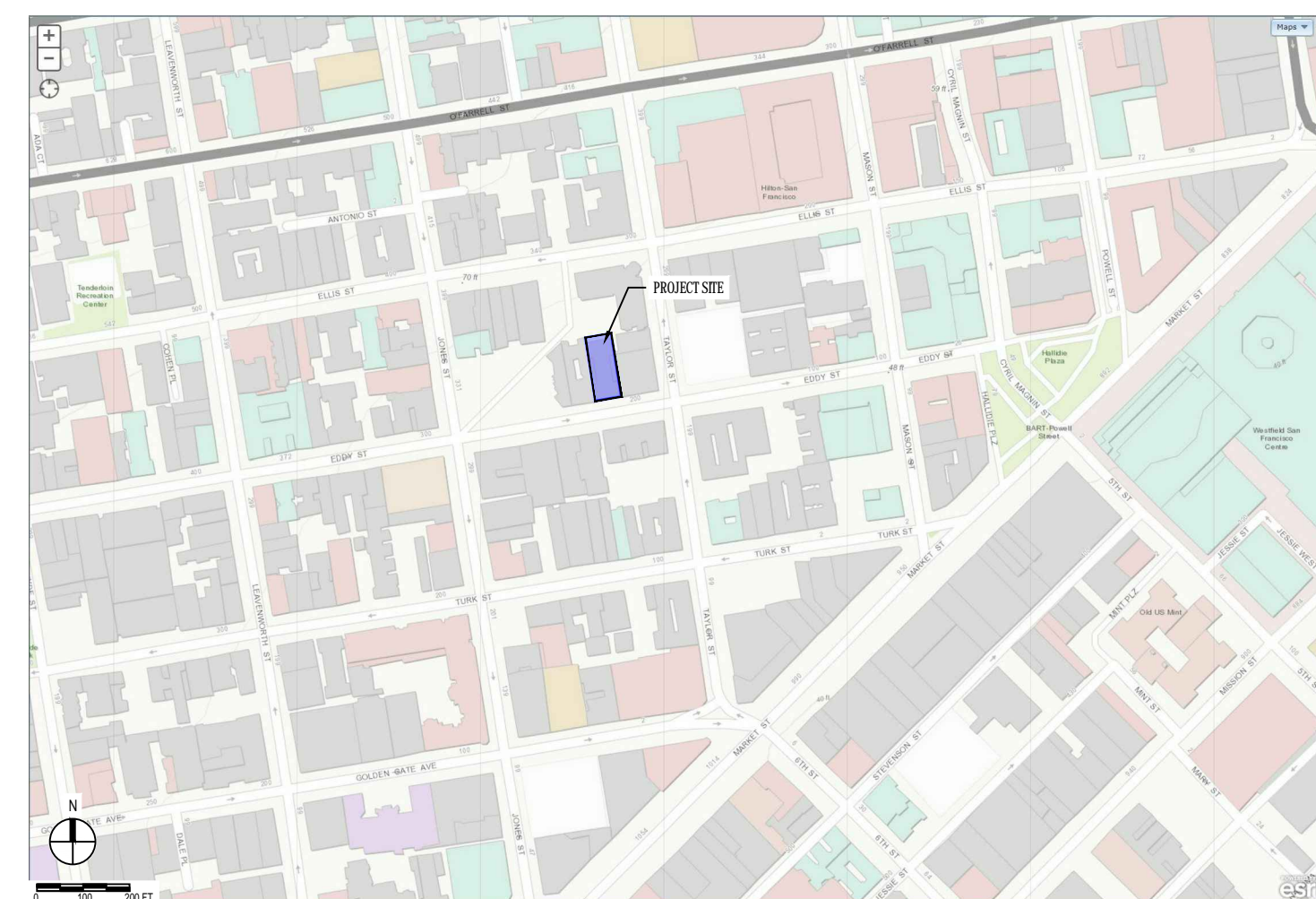
GENERAL

A0.0a PROJECT INFORMATION

ARCHITECTURE

- A1.1 SITE PLAN
- A2.1 BUILDING PLANS, BASEMENT & FIRST FLOOR
- A2.2 BUILDING PLANS, MEZZANINE & SECOND THROUGH TWELFTH FLOOR
- A2.3 BUILDING PLANS, ROOF PLAN
- A3.1 BUILDING ELEVATIONS, EAST
- A3.2 BUILDING ELEVATIONS, WEST
- A3.3 BUILDING ELEVATIONS, SOUTH
- A3.4 BUILDING ELEVATIONS, NORTH & WINDOW SCHEDULE
- A9.1 EXTERIOR DETAILS, WINDOWS

PROJECT LOCATION



PROJECT TEAM

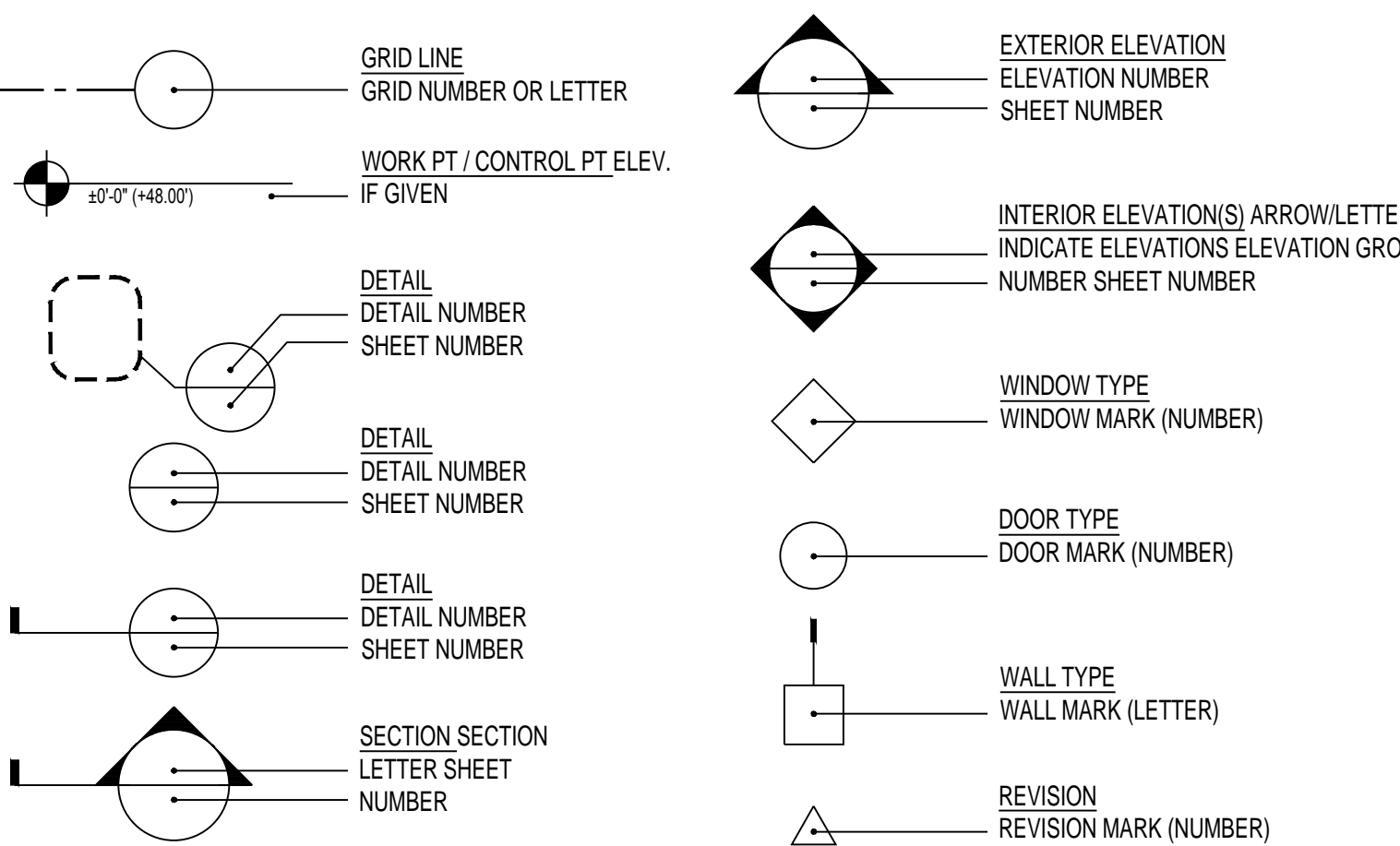
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 San Francisco, CA 94102
 attn: Daniel Findley
 Tel: (415) 358-3927
 Email: DFindley@tndc.org

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 BBI Contractors
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 Email: info@bbiconstruction.com

SYMBOLS



CODE & ACCESSIBILITY INFORMATION

APPLICABLE CODE

- 2016 California Building Code
- 2016 California Electrical Code
- 2016 California Mechanical Code
- 2016 California Plumbing Code

- 2016 San Francisco Building Code Amendments
 - 2016 San Francisco Electrical Code Amendments
 - 2016 San Francisco Mechanical Code Amendments
 - 2016 San Francisco Plumbing Code Amendments
 - 2016 San Francisco Green Building Code Amendments

APPLICABLE ACCESSIBILITY REGULATIONS - 2010 ADA Standards for Accessible Design

Architect:



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Consultants:

Seal & Signature:



Issued For:

No.	Description	Date
1	VARIANCE APPLICATION	06.28.2017
2	VARIANCE APPLICATION REVISION 1	08.16.2017

Sheet Title:

PROJECT INFORMATION

Scale: AS NOTED
 Project No.: 1705
 Sheet No.: A0.0a

SETBACK SUMMARY

REQUIRED REAR YARD PER PLANING CODE SECTION 134:
25% OF LOT DEPTH:

LOT DEPTH: 137'-5"
REAR YARD REQUIREMENT: 34'-1 3/4"

EXISTING REAR YARD: 10'-11"

PROPOSED REAR YARD: 9'-9"

ALEXANDER RESIDENCE

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Architect:

SSDP
Saida + Sullivan Design Partners

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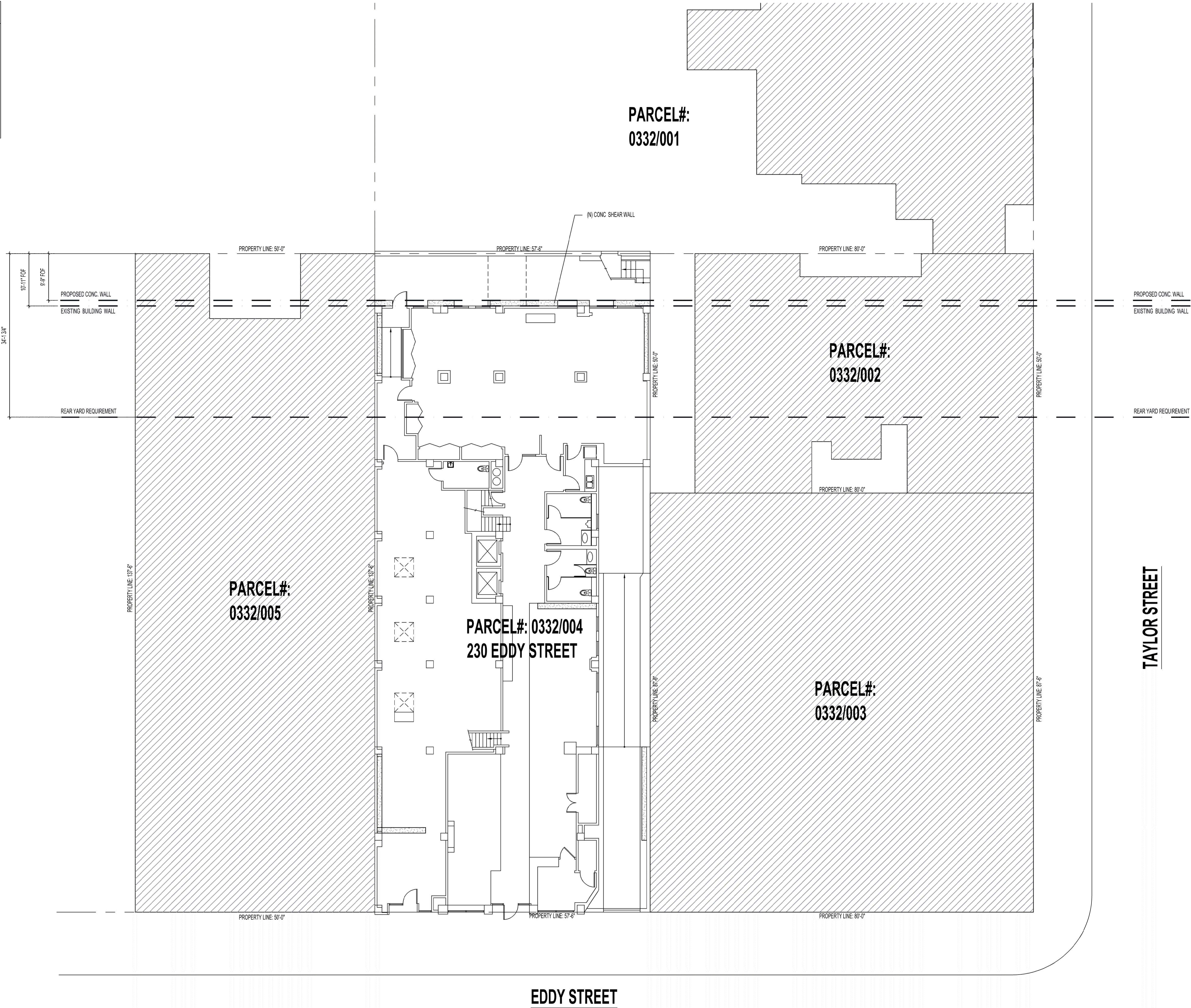


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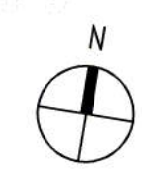


No.	Description	Date
1	VARIANCE APPLICATION	08-08-2017
2	VARIANCE APPLICATION REVISION 1	08.16.2017



EDDY STREET

TAYLOR STREET



SITE PLAN

ALEXANDER RESIDENCE

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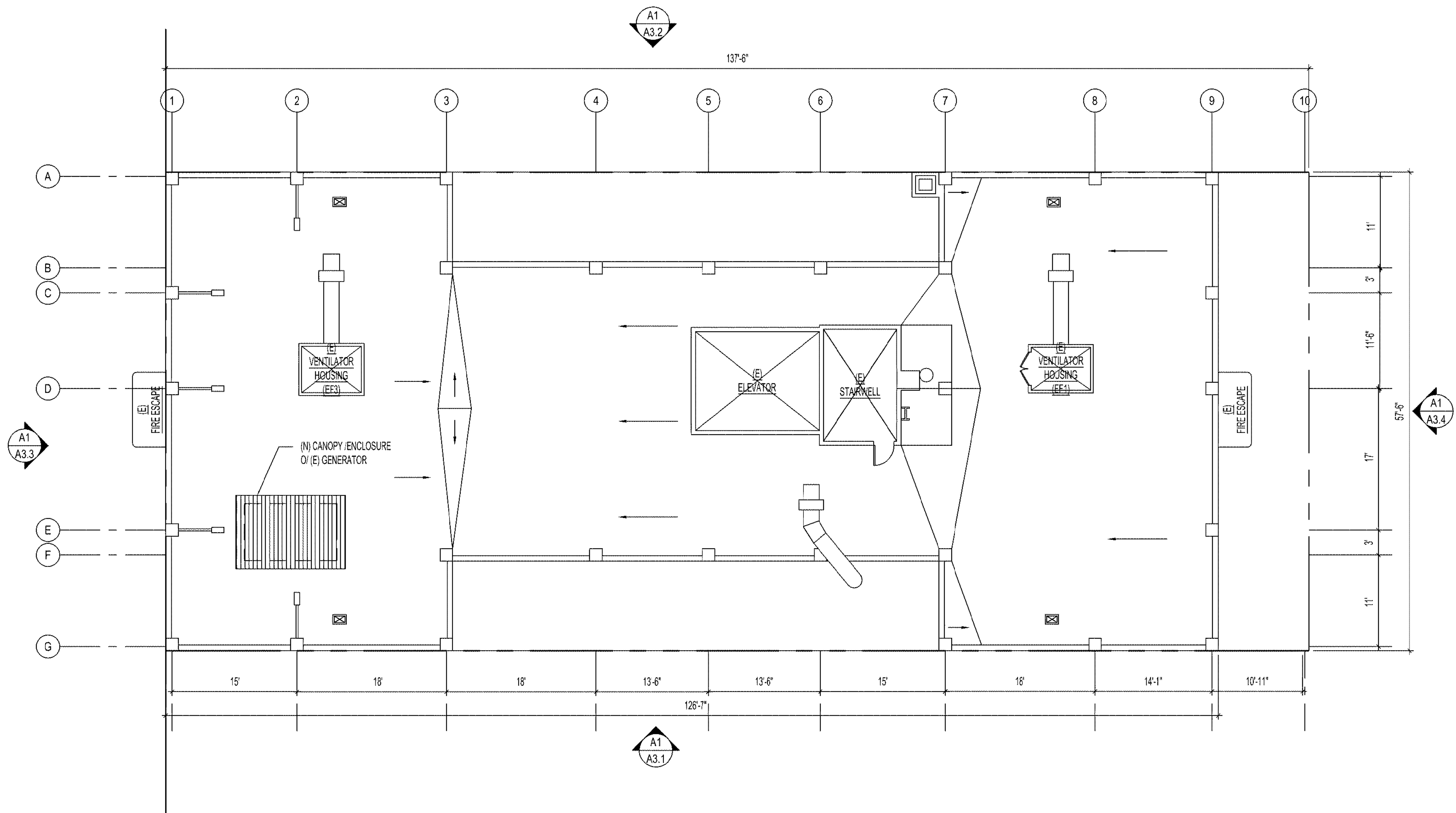
Consultants:

Seal & Signature:

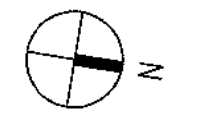


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A3 ROOF PLAN
1/8" = 1'-0"



ROOF PLAN

Scale: 1/8" = 1'-0"
Sheet No.: **A2.3**
Project No.: 1705

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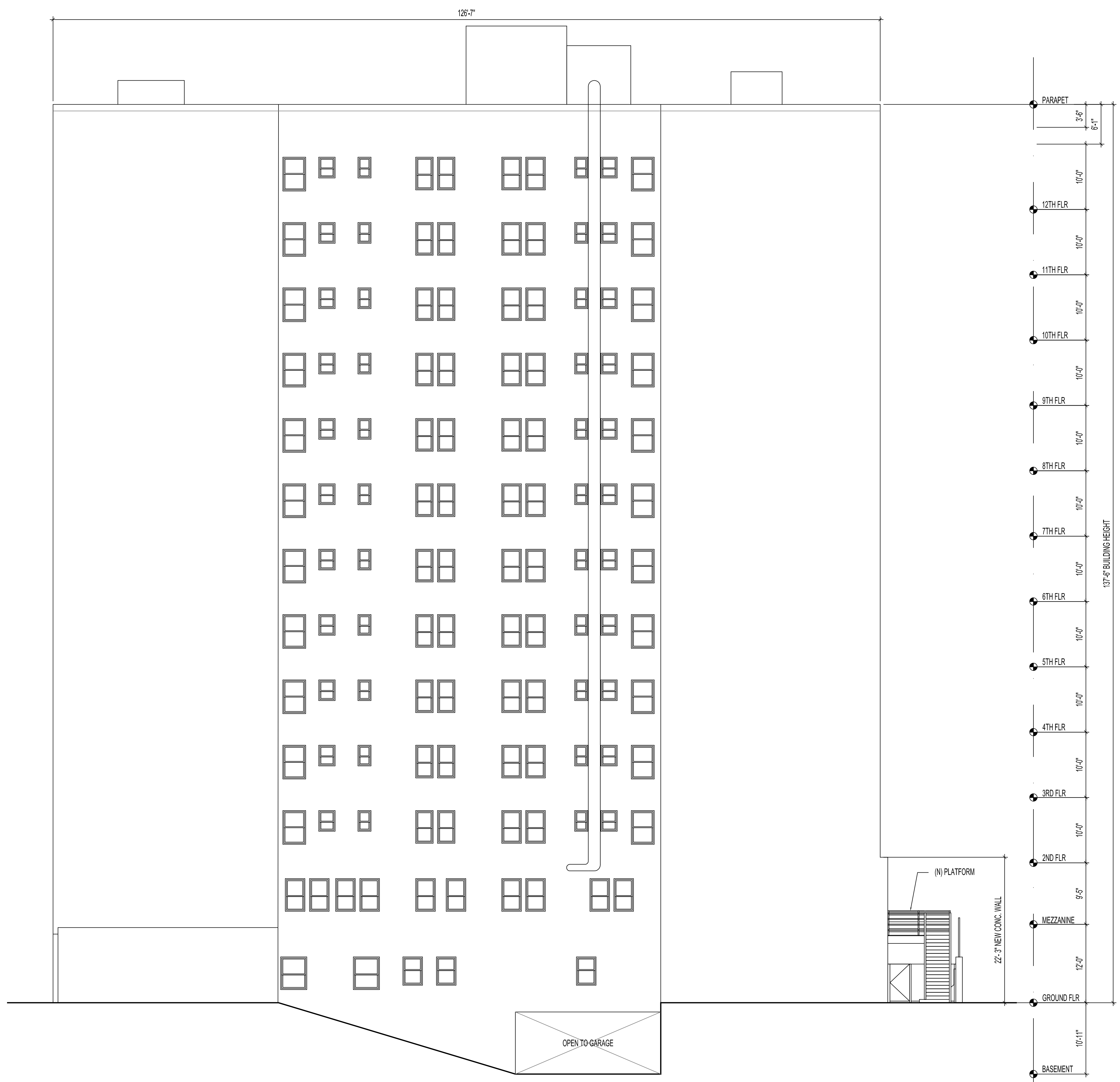
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Sheet Title:

**BUILDING ELEVATIONS
EAST**

Scale: 1/8" = 1'-0"
Project No.: 1705
A3.1

E
D
C
B
A



A1 EAST ELEVATION
1/8" = 1'-0"

1 2 3 4 5 6

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Sheet Title:

**BUILDING ELEVATIONS
WEST**

Scale: 1/8" = 1'-0"
Project No.: 1705
A3.2

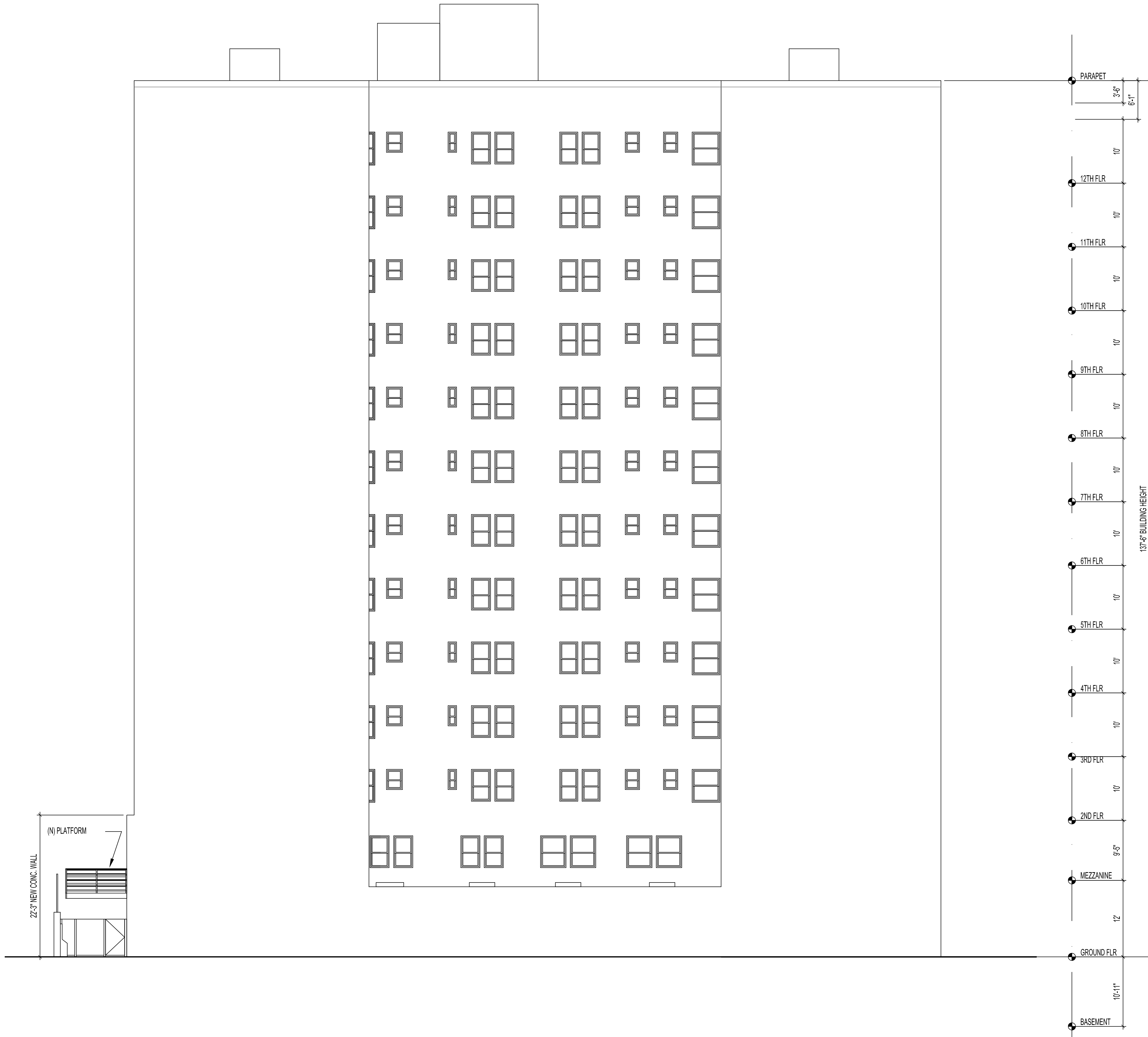
E-

D-

C-

B-

A-



A1 WEST ELEVATION
1/8" = 1'-0"

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Sheet Title:

**BUILDING ELEVATIONS
SOUTH**

Scale: 1/8" = 1'-0"
Project No.: 1705
A3.3

E
D
C
B
A



A1 SOUTH ELEVATION
1/8" = 1'-0"

1 2 3 4 5 6

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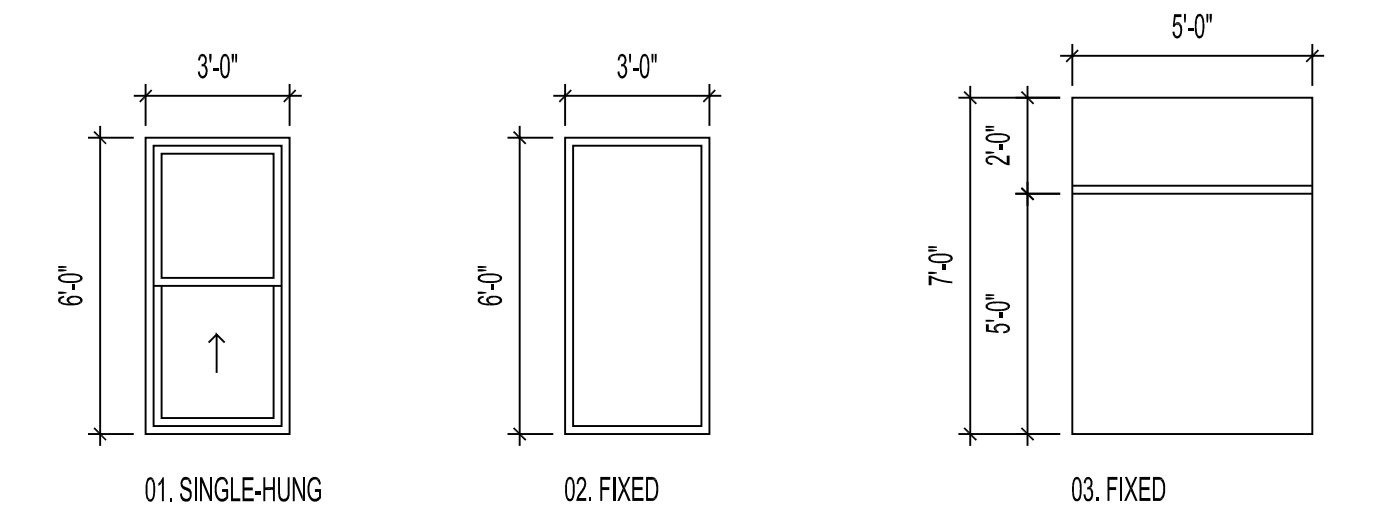
BUILDING ELEVATIONS
NORTH

Scale: 1/8" = 1'-0"
Project No.: 1705
Sheet No.: **A3.4**

WINDOW SCHEDULE

WINDOW MARK/TYPE	SIZE		HEAD HEIGHT ABOVE DATUM/ FLR. LEVEL	GLAZING	FRAME	REMARKS
	WIDTH	HEIGHT				
◇01	3'-0"	6'-0"	7'-6"	TYP.	WD.	(E) TO BE RE-INSTALLED
◇02	3'-0"	6'-0"	8'-11"	TEMP.	ALUM.	(E) TO BE RE-INSTALLED
◇03	5'-0"	7'-0"	10'-0"	TEMP.	ALUM.	(E) TO BE RE-INSTALLED

WINDOW/ LOUVER TYPE

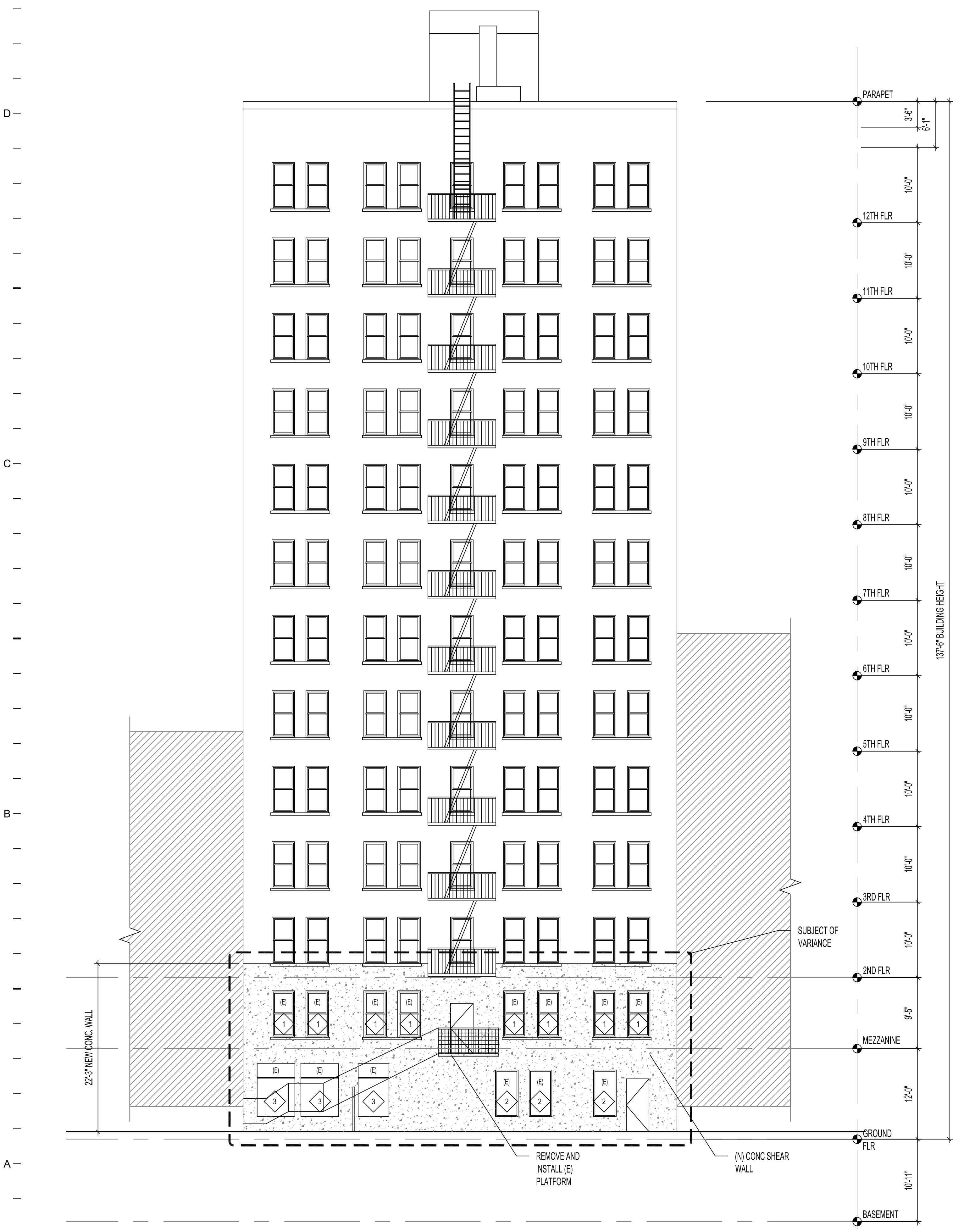


WINDOW NOTES

SECURITY GRILL

LOUVER SCHEDULE

MARK/TYPE	SIZE	HEAD HEIGHT ABOVE DATUM/ FLR. LEVEL	GLAZING	FRAME	REMARKS



A1 NORTH ELEVATION
1/8" = 1'-0"

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Consultants:

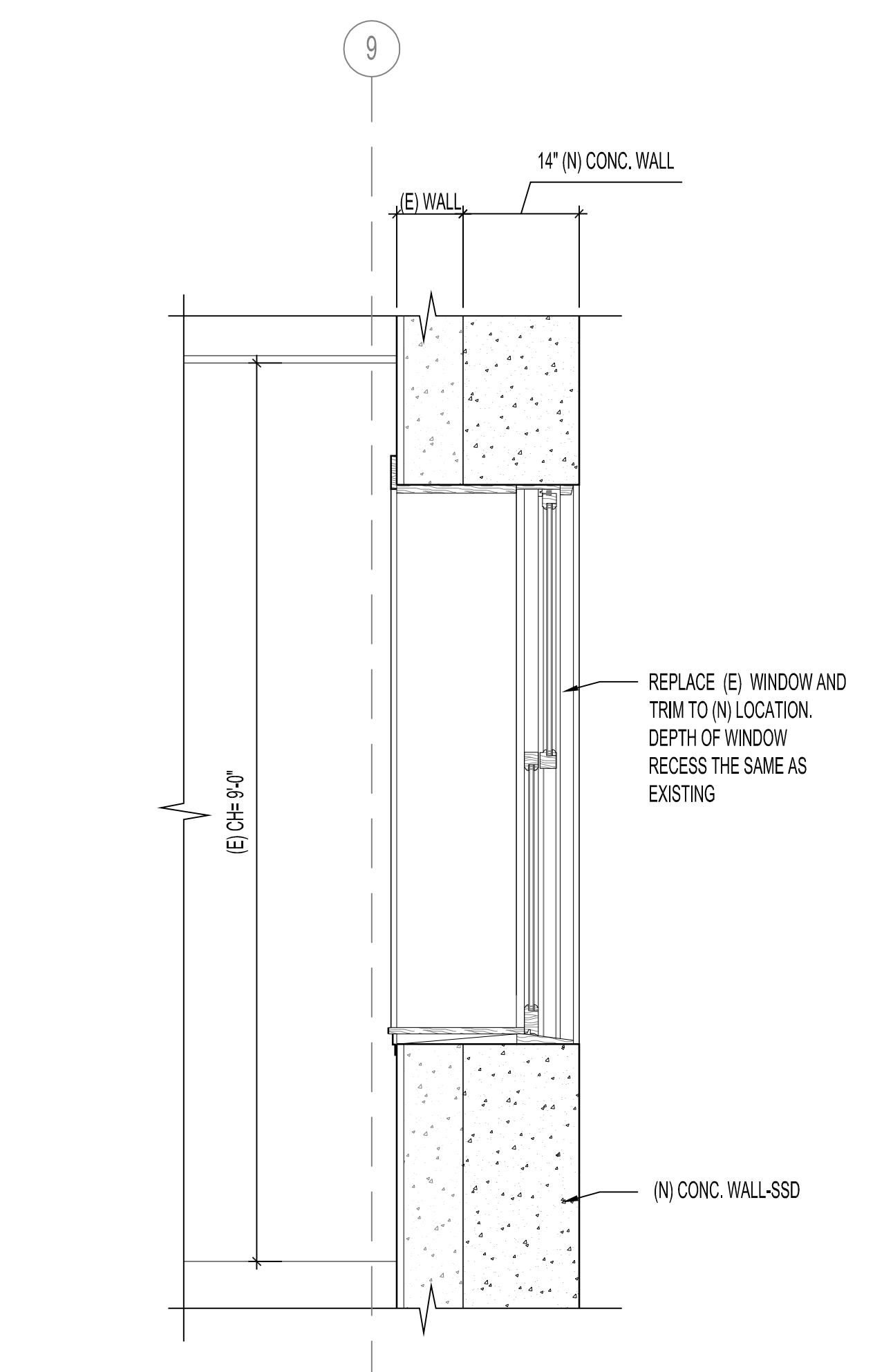
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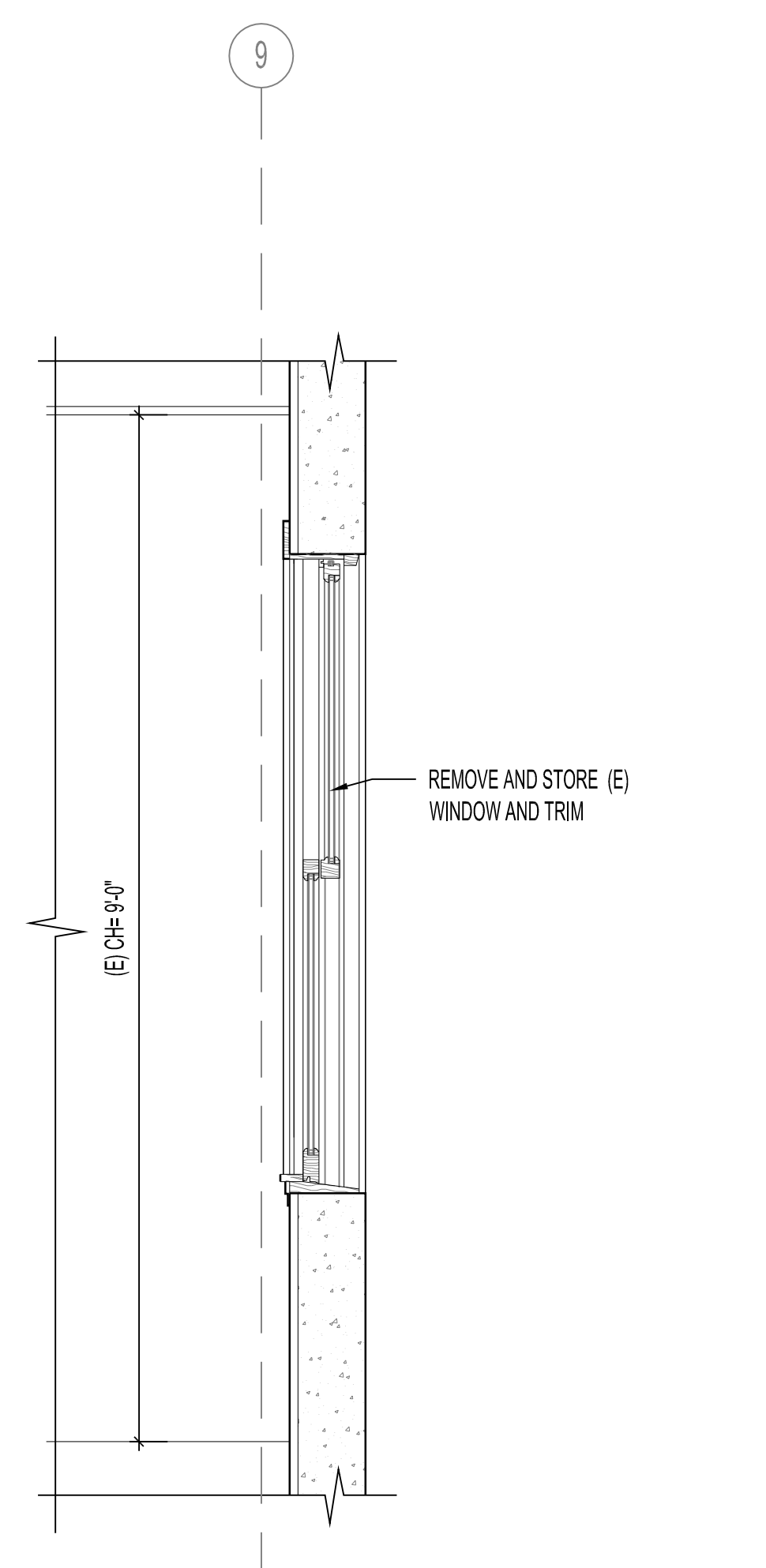
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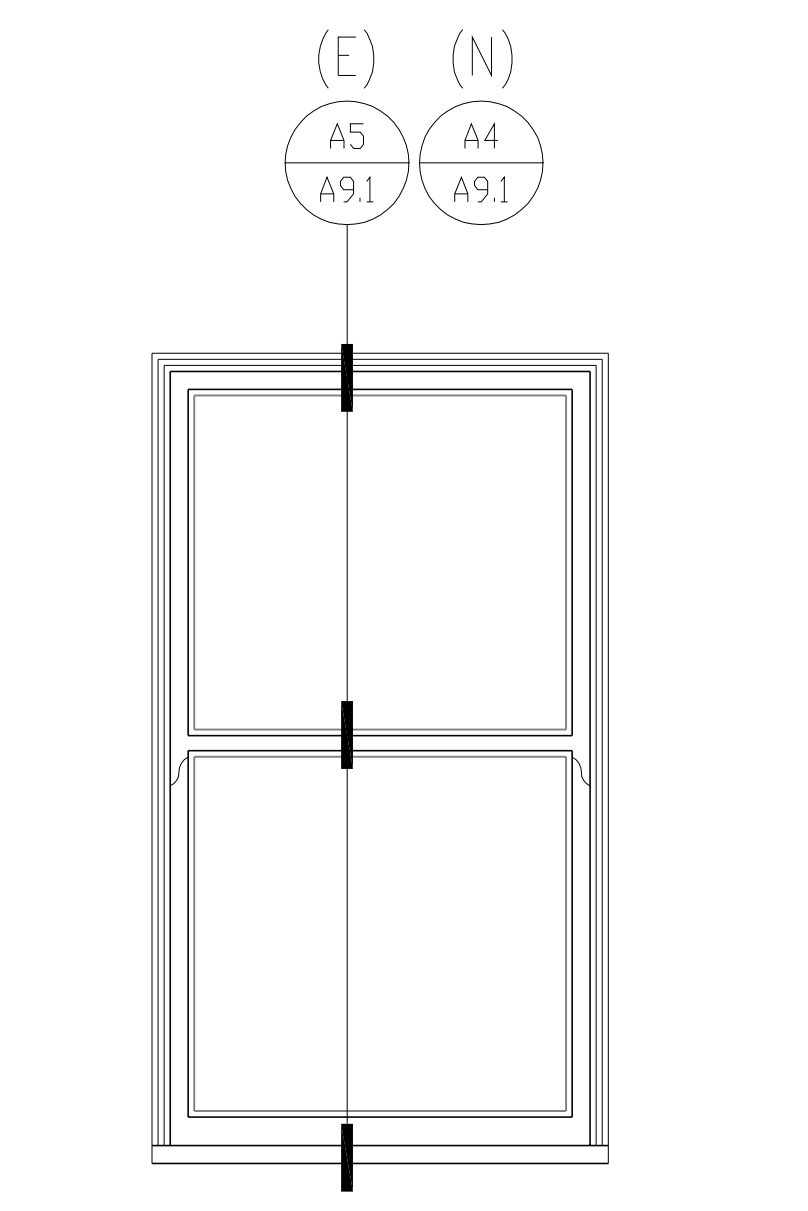
E
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A



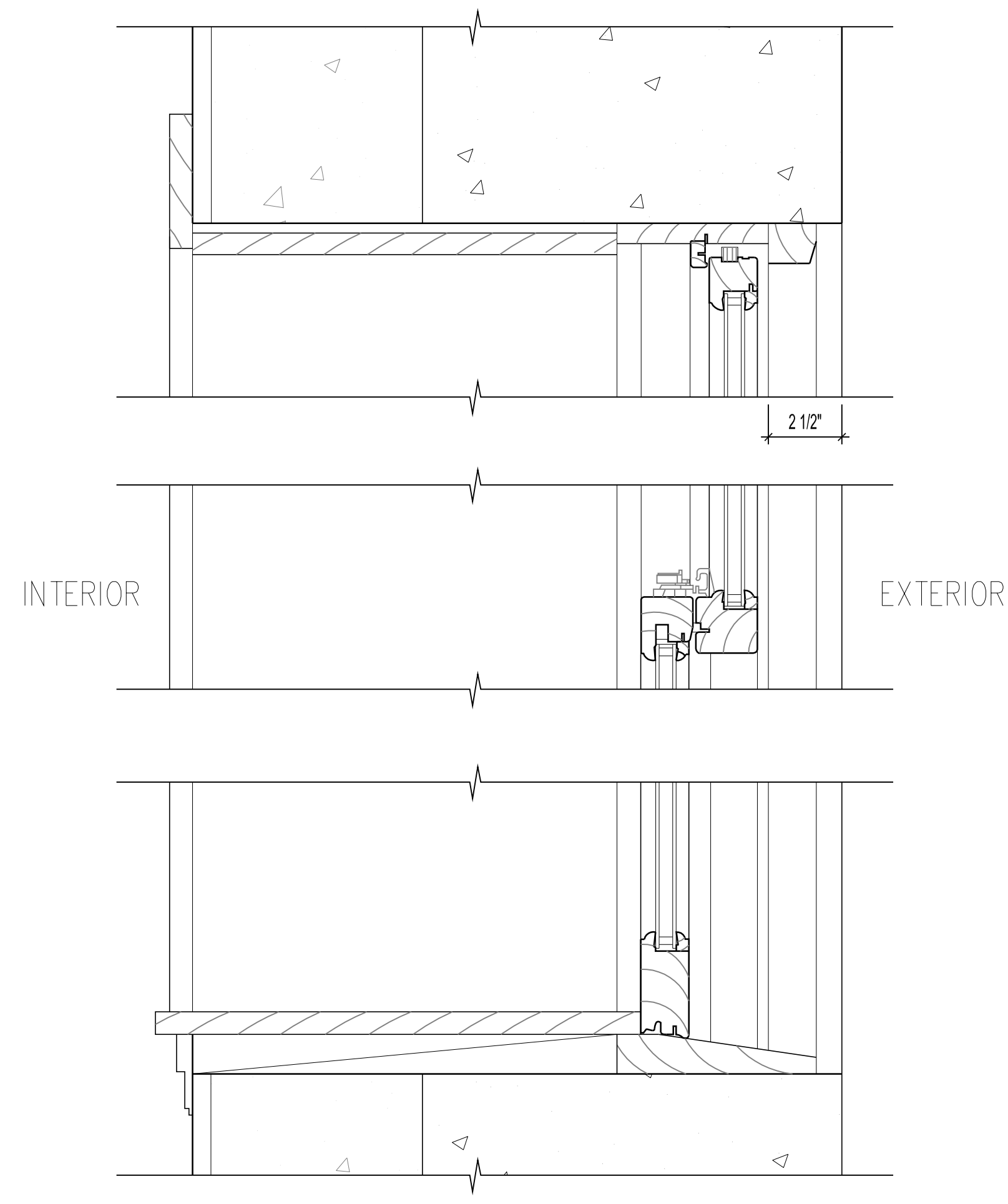
A1 PROPOSED WINDOW SECTION
3/4" = 1'-0"



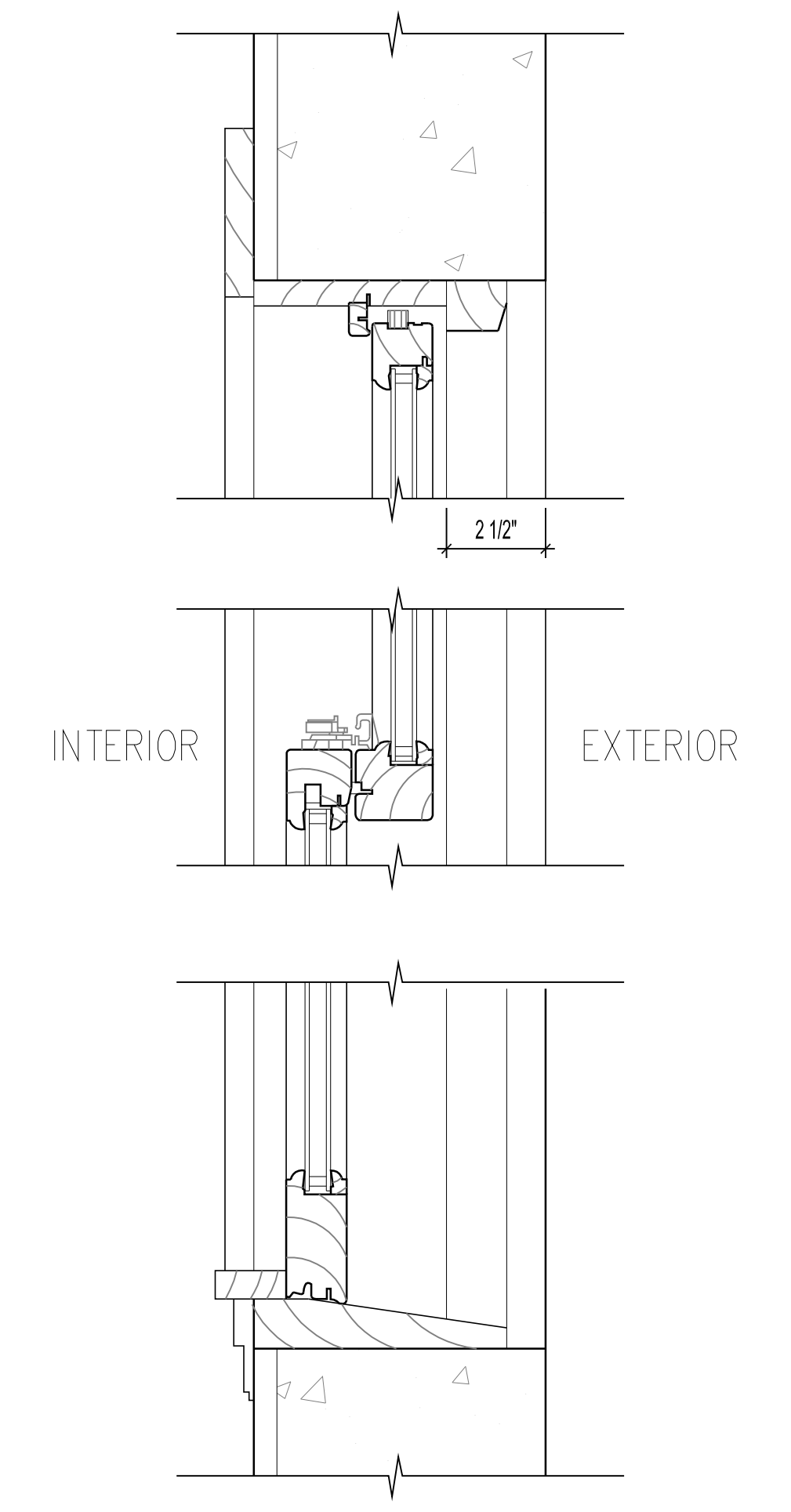
A2 (E) WINDOW SECTION
3/4" = 1'-0"



A3 WINDOW ELEVATION
3/4" = 1'-0"



A4 (N) WINDOW DETAILS
3" = 1'-0"



A5 (E) WINDOW DETAILS
3" = 1'-0"

Sheet Title:

**EXTERIOR DETAILS-
WINDOWS**

Scale: 3" = 1' - 0"
Project No.: 1705
A9.1
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