



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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# 90 LAPIDGE STREET

SAN FRANCISCO, CA  
94110

## PROJECT INFORMATION

ZONING: RTO-MISSION  
LOT SIZE: 100 X 30'=3,000 SQ. FT.  
4-UNITS EXISTING/4-UNITS ALLOWED  
(E) RES. SF=920+580(N)=1,500 TOTAL RES SF  
(E) GARAGE SF=780, (N) GARAGE SF=232  
(E) OPEN SPACE=150 SF, (N) OPEN SPACE=450 SF  
3-(E) PARKING SPACES, 1-(N) PARKING SPACE  
2- BIKE SPACES

NOTE: 1) (E) BUILDING IS TYPE 5B CONSTRUCTION  
2) (E) BUILDING RENOVATION AND NEW ADDITIONS TO BE TYPE 5B  
3) TO COMPLY WITH AB 032 (SITE PERMIT)

### SCOPE OF WORK:

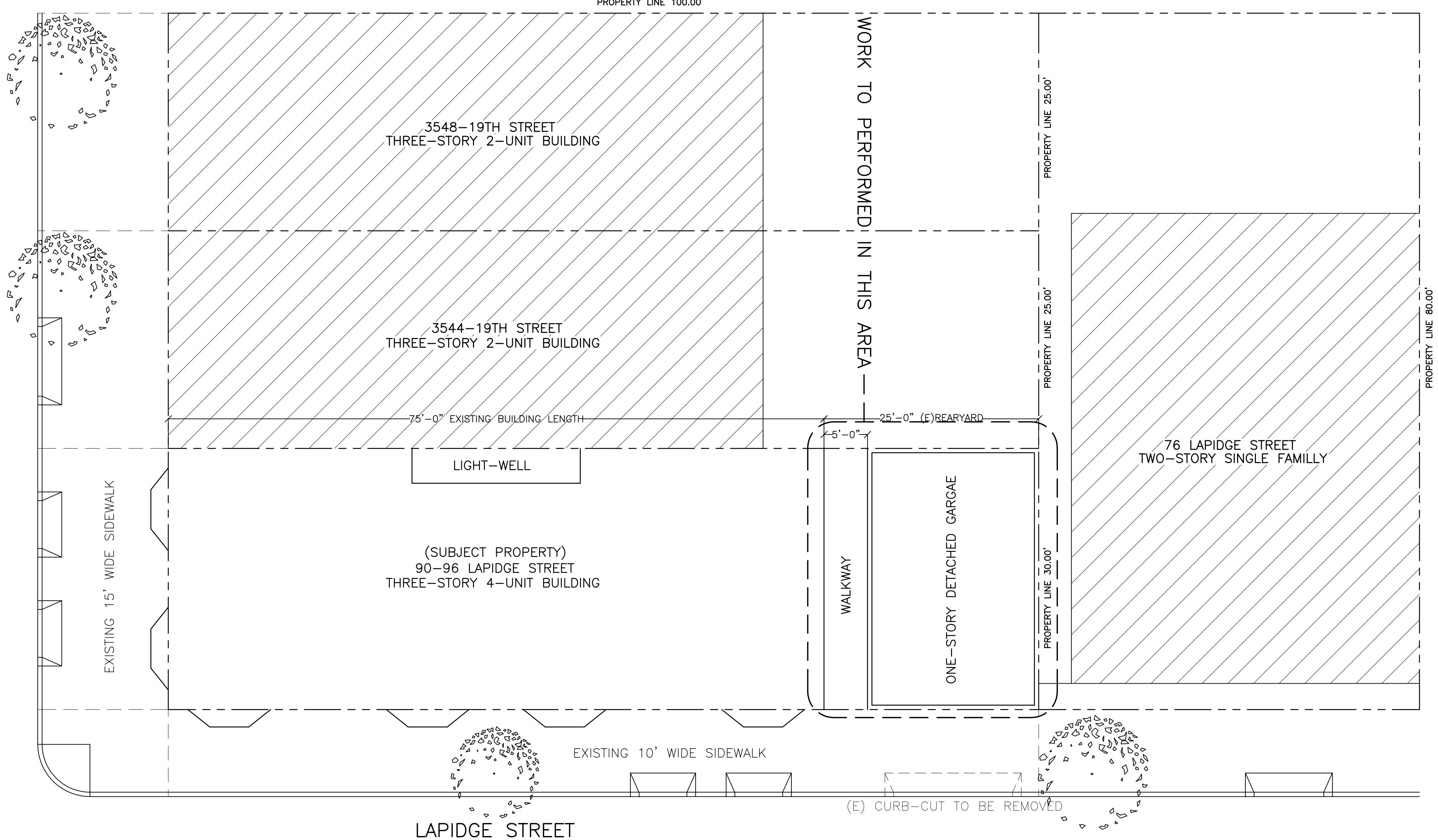
- 1) RENOVATE (E) DETACHED GARAGE TO RES. SPACE.
- 2) ADD STAIR ENCLOSURE.
- 3) ADD PATIO DOORS.
- 4) ADD NEW DECK AT SECOND FLOOR GARAGE ROOF.
- 5) RECONFIGURE SOME EXISTING INTERIOR SPACES.

## APPLICABLE CODES

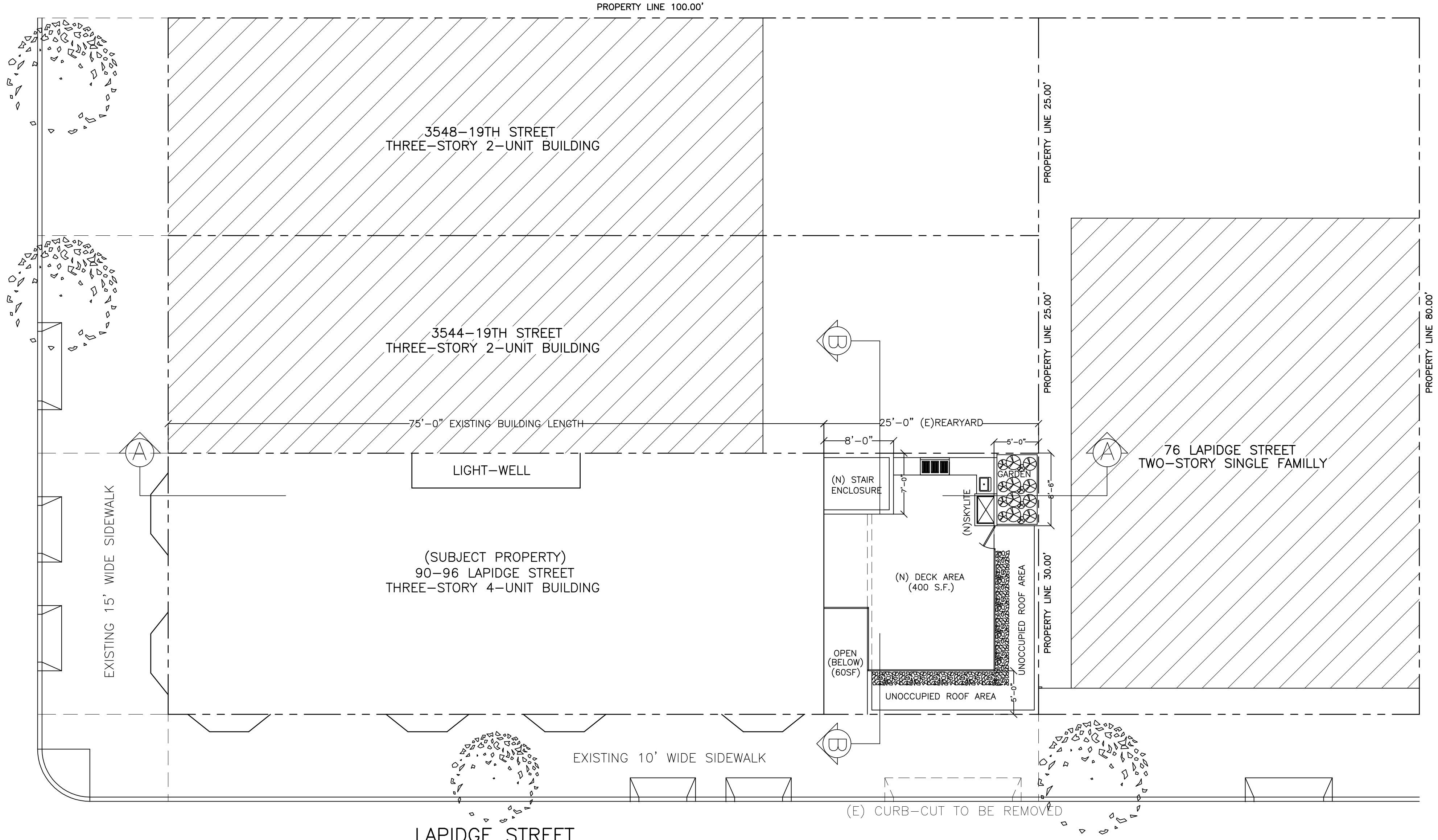
2016 UBC, 2016 CBC, 2016 SFBC, 2016 UMC,  
2016 UEC, 2016 UPC, 2016 SF PLANNING CODE

## SHEET INDEX

- A1 (E) SITE PLAN, NEW SITE PLAN, PROJECT DATA
- A2 (E) FIRST FLOOR, NEW FIRST FLOOR PLAN
- A3 (E) SECOND FLOOR, NEW SECOND FLOOR LAYOUT
- A4 (E) & NEW EAST ELEVATIONS.
- A5 (E) & NEW WEST ELEVATIONS.
- A6 (E) & NEW NORTH ELEVATIONS, SECTIONS A-A&B-B, WINDOW DETAILS



EXISTING SITE PLAN  
SCALE: 1/8"=1'-0"



NEW SITE PLAN  
SCALE: 1/8"=1'-0"



RESIDENTIAL ALTERATION  
90 LAPIDGE STREET  
SAN FRANCISCO, CA. 94110  
BLOCK: 3588 LOT: 046

OWNER: CAITLIN FLANAGAN  
(415) 602-5253

DESIGN BY: ZONE DESIGN DEVELOPMENT  
DRAKE GARDNER  
10 CARLILE DR.  
NOVATO, CA. 94945 415.377.6694 (C)



19TH STREET

19TH STREET

**NEW SECOND FLOOR**

EXISTING WALLS TO REMAIN

EXISTING WALLS TO BE REMOVED

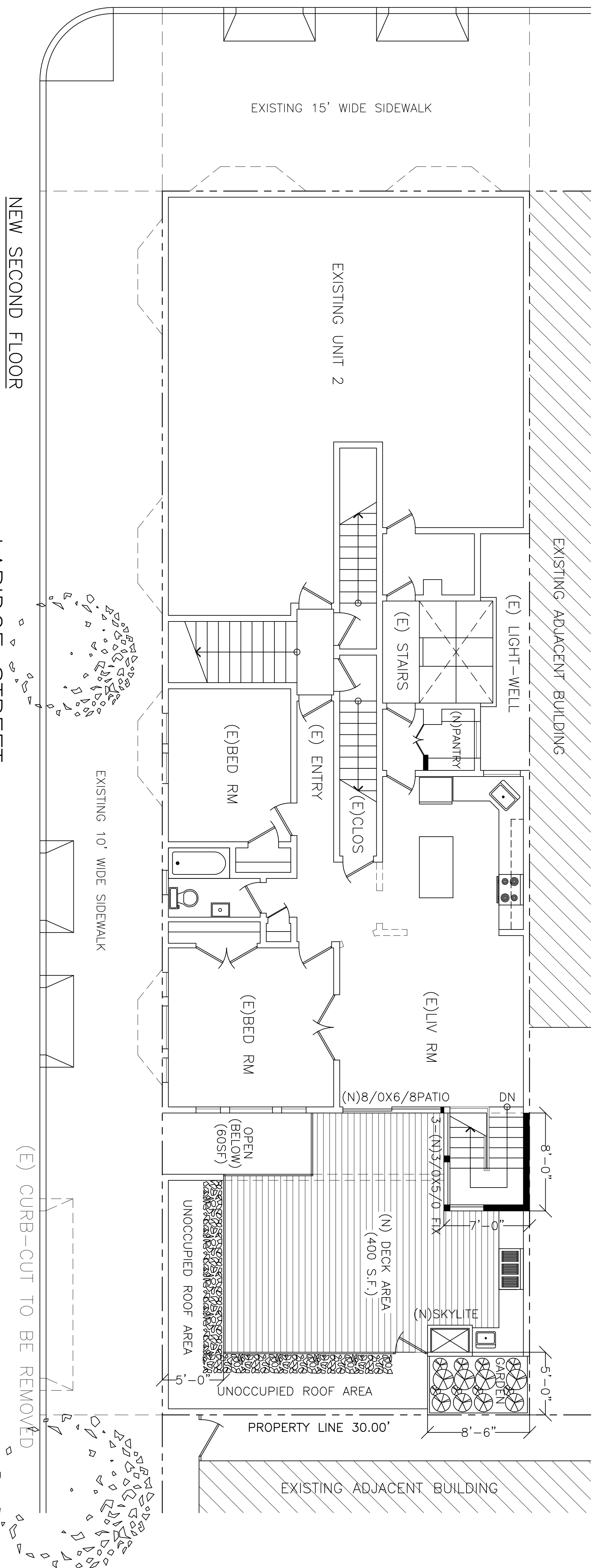
NEW WALLS

LAPIDGE STREET

EXISTING LIVING AREA: APPROX. 920SF

NEW LIVING AREA: APPROX. 505SF

NEW DECK AREA(OPEN SPACE): APPROX. 400SF



**EXISTING SECOND FLOOR**

EXISTING LIVING AREA: APPROX. 920SF

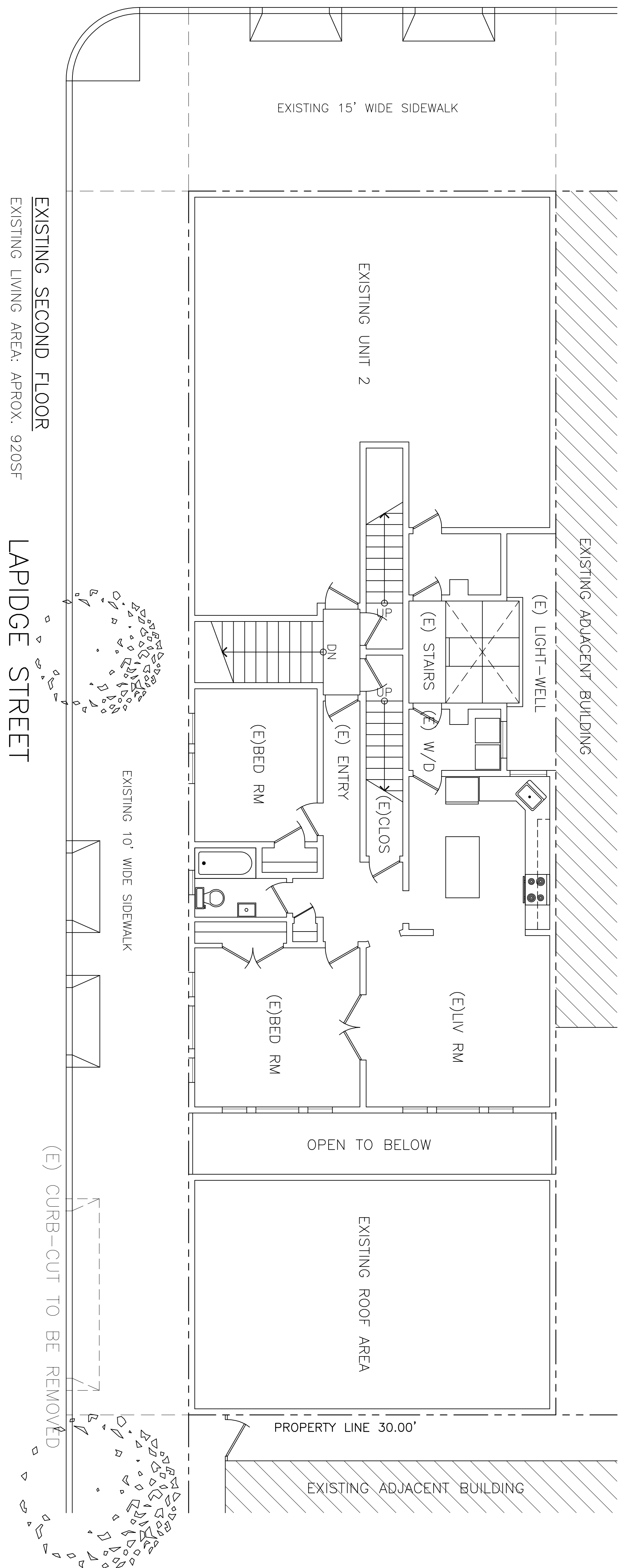
LAPIDGE STREET

(E) CURB-CUT TO BE REMOVED

EXISTING LIVING AREA: APPROX. 920SF

NEW LIVING AREA: APPROX. 505SF

NEW DECK AREA(OPEN SPACE): APPROX. 400SF



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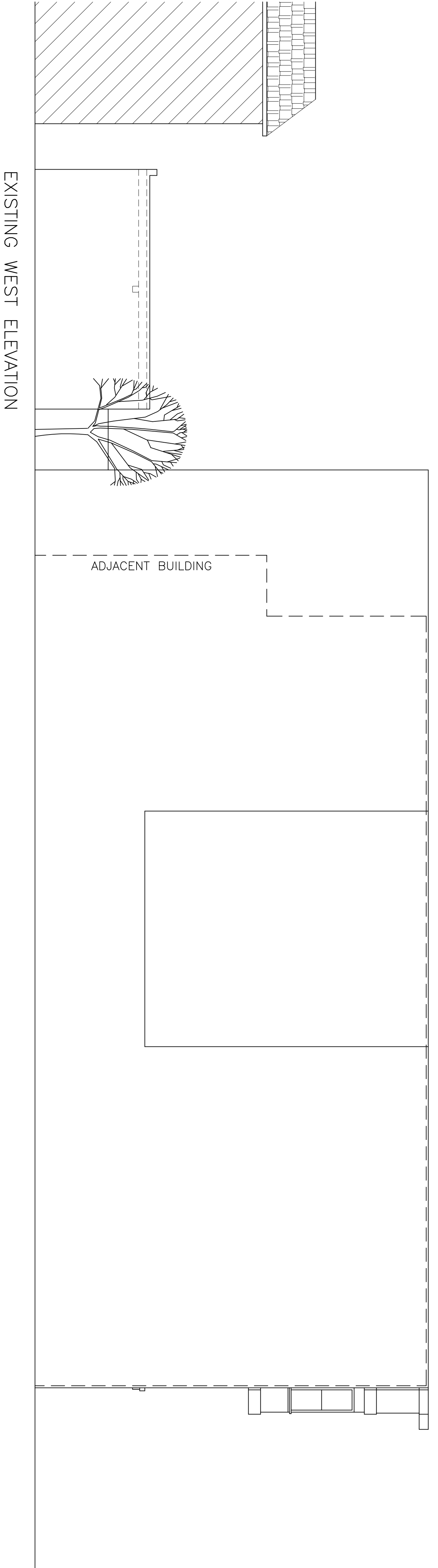
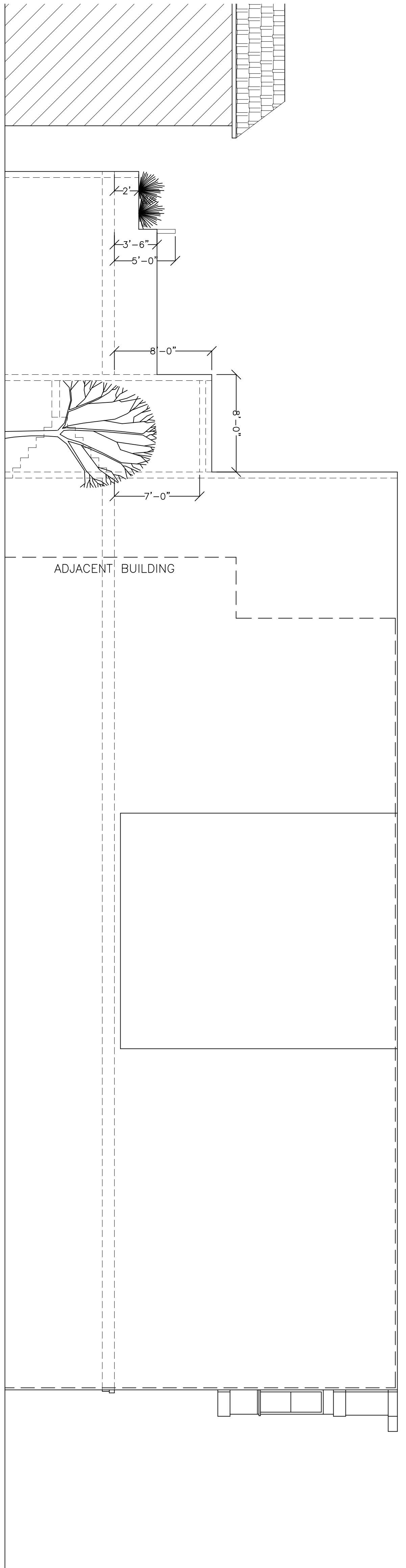
REVISIONS

08.01.17

A3.0

DATE: 03.15.17  
 SCALE: 3/16"=1'-0"  
 DESIGNER: D.G.  
 JOB NO.: FLANAGAN/WILLIAMS  
 SHEET NO.:





NEW WEST ELEVATION  
(ALL NEW SIDING AND PAINT TO MATCH ORIGINAL EXISTING)

EXISTING WEST ELEVATION

ADJACENT BUILDING

ADJACENT BUILDING

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NO.	DESCRIPTION

REVISIONS

DATE: 03.15.17  
SCALE: 3/16" = 1'-0"  
DESIGNER: D.G.  
JOB NO.: FLANAGAN/WILLIAMS  
SHEET NO.: A5.0

