



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

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**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409
558*6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, December 6, 2017**
 Time: **Not before 9:00 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 1375 Sacramento Street	Case No.: 2017-006059VAR
Cross Street(s): Golden Court	Building Permit: 2017.0712.1656
Block /Lot No.: 0247/025	Applicant: Terryl Lofrano
Zoning District(s): RM-3/65-A	Telephone: (415) 710-6020
Area Plan: N/A	E-Mail: terry@lofrano-asd.com

PROJECT DESCRIPTION

The Project proposes the addition of one Accessory Dwelling Unit at the ground floor of an existing four-story, seven-unit apartment building.

PER SECTION 140 OF THE PLANNING CODE the subject property is required to have windows of each unit face directly on an open area no less than 25 feet in every horizontal direction, with an increase of 5-feet in every horizontal dimension at each subsequent floor immediately above. The dimensions of the open area may be reduced to 15 feet in width and depth for Accessory Dwelling Units. The subject property has a non-complying rear yard. The proposed Accessory Dwelling Unit will face onto a public street (Golden Court) less than 15 feet wide and a rear yard measuring 12-feet 3-inches by 22-feet; therefore, a Variance is required.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan, floor plans, and elevations of the proposed project are available on the Planning Department's website at: <http://notice.sfplanning.org/2017-006059VAR.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Gabriela Pantoja** Telephone: **(415) 575-8741** E-Mail: gabriela.pantoja@sfgov.org

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311 or 312, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property.

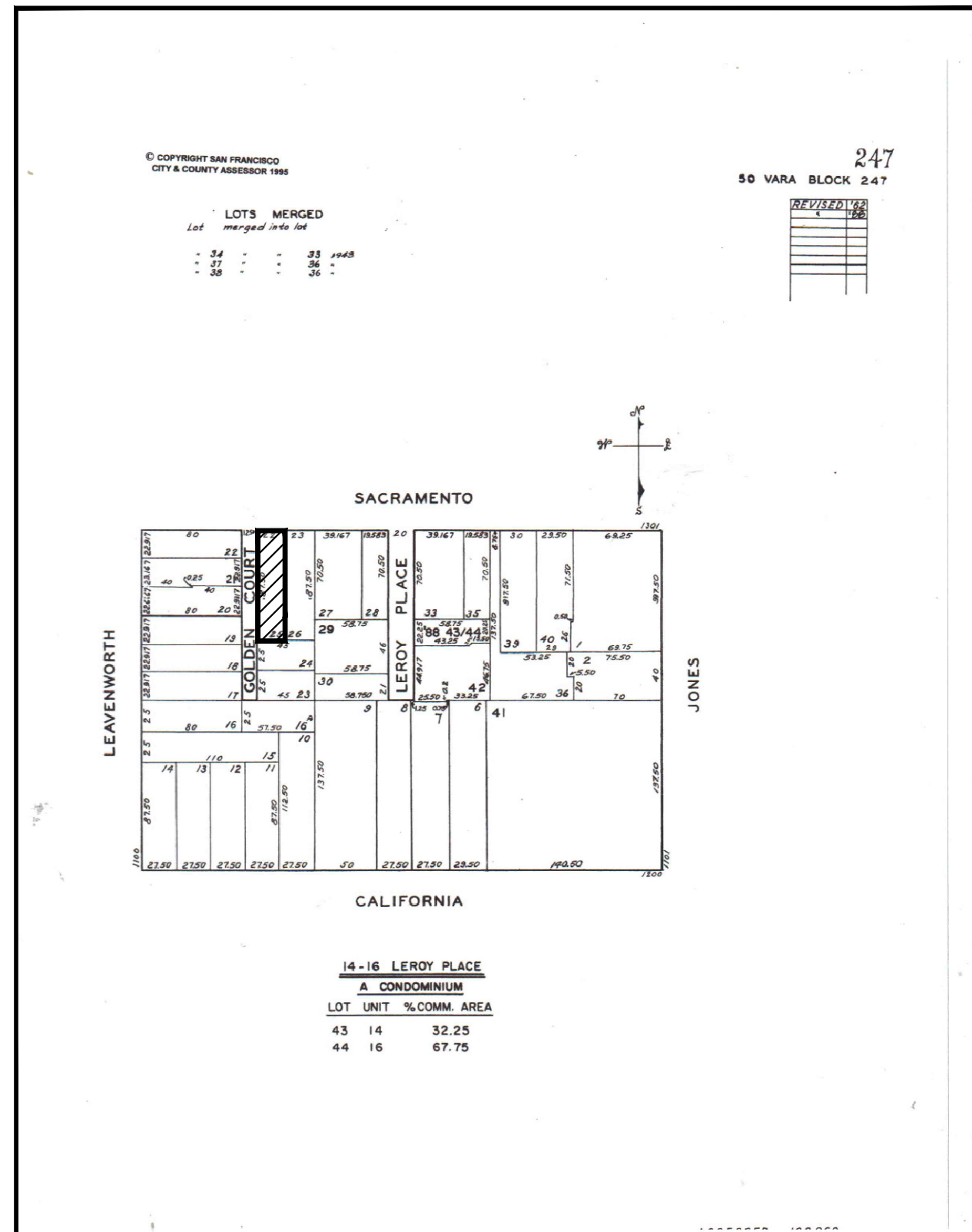
APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

ASSESSOR'S PARCEL MAP



DIRECTORY

SCALE: N/A

OWNER: _____

GENERAL CONTRACTOR: _____

ARCHITECT:
 LOFRANO ASD
 35 FERNWOOD WAY
 SAN RAFAEL, CA 94901
 TEL: 415.710.6020
 EMAIL: terry@lofrano-asd.com
 CONTACT: TERRY L LOFRANO

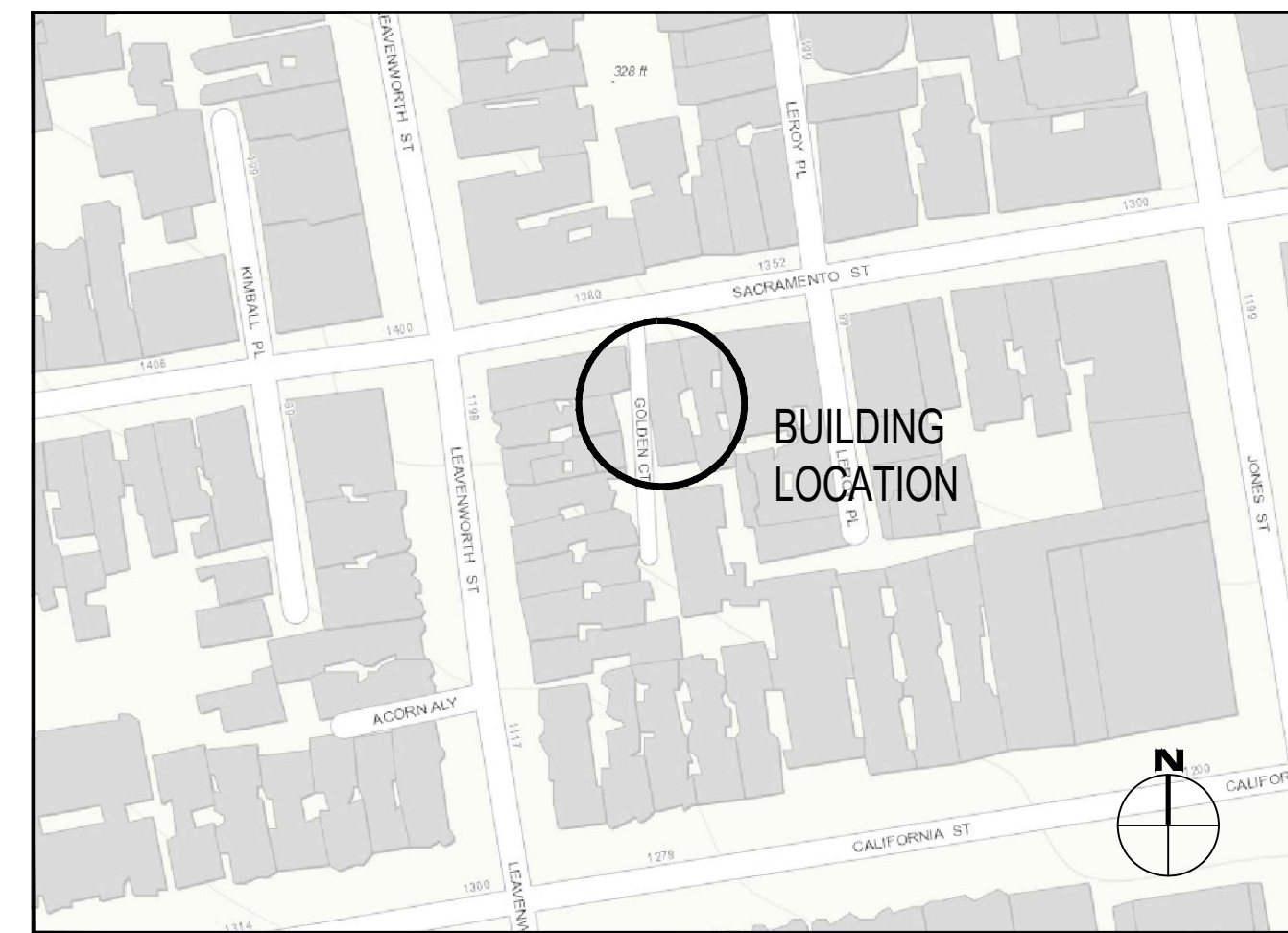
CODE REFERENCE

GOVERNING CODES

- 2016 CALIFORNIA BUILDING CODE VOLUMES 1 & 2
- 2016 CALIFORNIA MECHANICAL CODE
- 2016 CALIFORNIA PLUMBING CODE
- 2016 CALIFORNIA ELECTRICAL CODE
- 2016 CALIFORNIA EXISTING BUILDINGS CODE
- 2016 CALIFORNIA FIRE CODE
- 2016 CALIFORNIA ENERGY CODE
- 2016 CALIFORNIA RESIDENTIAL BUILDING CODE
- 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2013 SAN FRANCISCO BUILDING CODE AMENDMENTS
- 2013 SAN FRANCISCO ELECTRICAL CODE AMENDMENTS
- 2013 SAN FRANCISCO MECHANICAL CODE AMENDMENTS
- 2013 SAN FRANCISCO PLUMBING CODE AMENDMENTS
- 2016 SAN FRANCISCO PLANNING CODE
- ALL CURRENT MUNICIPAL AND LOCAL ORDINANCES AND REGULATIONS

VICINITY MAP

SCALE: N/A



PROJECT SUMMARY

PROJECT AREA: 515.1 SQ FT
 PROJECT FLOOR: GROUND FLOOR
 USE: RESIDENCE

BUILDING INFORMATION

ADDRESS: 1375 SACRAMENTO ST
 PARCEL: 0247025
 YEAR BUILT: 1922
 BUILDING AREA: 5,914 SQ FT
 PARCEL AREA: 1,920 SQ FT
 CONSTRUCTION TYPE: WOOD OR STEEL FRAME
 USE TYPE: APARTMENT 5 TO 14 UNITS
 UNITS: 7 EXISTING / 1 NEW
 STORIES: 3

INDEX OF DRAWINGS

- A0.0 PROJECT INFORMATION
- A0.1 SITE PLAN
- A1.0 DEMOLITION AND CONSTRUCTION PLANS
- A3.0 ELEVATIONS
- A4.0 SECTIONS AND DETAILS
- A5.0 EXISTING SECTIONS AND ELEVATIONS
- A6.0 EXISTING UPPER FLOOR PLANS

NOTES

1. WORK IS TO BE IN CONFORMANCE WITH ALL GOVERNING CODES WHETHER INDICATED ON THE DRAWINGS OR NOT.
2. THE CONTRACTOR SHALL INSPECT THE PROJECT AND VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WITH THE WORK.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCING WITH THE WORK.
4. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE MEASUREMENTS. DETAIL DRAWINGS AND SPECIFICATIONS SHALL TAKE PRECEDENCE OVER THE GENERAL DRAWINGS. DRAWINGS AND SPECIFICATIONS OF LATER DATE SHALL TAKE PRECEDENCE OVER THOSE OF EARLIER DATE.
5. ANY STRUCTURAL ALTERATIONS OR MODIFICATIONS DURING CONSTRUCTION OF THE PROJECT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE STRUCTURAL ENGINEER.
6. METALS EXPOSED TO THE ELEMENTS SHALL BE GALVANIZED OR PAINTED. ALL GALVANIZED FLASHING SHALL BE 24 GA., U.O.N. PAINT ALL GALVANIZED METAL.
7. MANUFACTURED ITEMS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS, U.O.N
8. CONSTRUCTION SHALL CONFORM TO THE CITY AND COUNTY OF SAN FRANCISCO ORDINANCES FOR RESIDENTIAL SECURITY.
9. ELECTRICAL, PLUMBING AND MECHANICAL SYSTEMS SHALL BE PERMITTED UNDER SEPARATE APPLICATION. M/E/P CONSULTANT SHALL PROVIDE DOCUMENTATION FOR A COMPLETE WORKING SYSTEM AS INDICATED ON THE DESIGN DRAWINGS AND IN CONFORMANCE WITH ALL GOVERNING CODES AND REGULATIONS.
10. NOT USED.
11. THE CONTRACTOR SHALL LEAVE THE PROJECT BROOM CLEAN, WINDOWS AND FIXTURES WASHED AND DEBRIS REMOVED FROM THE SITE.
12. THE CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER, THE ARCHITECT, THE ENGINEERS, THE CONSULTANTS AND EACH OF THEIR OFFICERS, EMPLOYEES AND AGENTS FROM ANY AND ALL LIABILITY, CLAIMS, LOSSES OR DAMAGES ARISING FROM THE PERFORMANCE OF WORK DESCRIBED HEREIN BUT NOT INCLUDING THE SOLE NEGLIGENCE OF THE OWNER, THE DESIGNER, THE ENGINEERS, THE CONSULTANTS, AND EACH OF THEIR OFFICERS, EMPLOYEES AND AGENTS.
13. MEP WORK IS DESIGN BUILD. MEP WORK IS TO BE DONE UNDER SEPARATE CONTRACT AND PERMITS.

SCOPE OF WORK

- REMOVAL OF NON-STRUCTURAL WALLS AS INDICATED ON SHEET A1.0
- CONSTRUCTION OF NEW WALLS AS INDICATED ON SHEET A1.0
- NEW CABINETS, APPLIANCES, PLUMBING FIXTURES AND FINISHES
- NEW ELECTRICAL RECEPTACLES, COMMUNICATIONS OUTLETS, LIGHTING AND VENTILATION
- CONSTRUCTION OF ONE (N) RESIDENTIAL UNITS IN CONJUNCTION WITH SOFT STORY RETROFITTING OF THE BUILDING UNDER PERMIT #201502198804

PLANNING ADU SUMMARY

WIN	LIGHT AND VENTILATION CALCULATIONS – SEE ELEVATION ON A3.01
	UNIT A OCCUPIED FLOOR AREA: 321.5 SF
	UNIT 001 GLAZED AREA REQUIRED: 25.7 SF (8.0% OF OCC. FL. AREA)
	UNIT 001 VENTILATED AREA REQUIRED: 12.9 SF (4.0% OF OCC. FL. AREA)
①	UNIT 001 GLAZED AREA PROPOSED: 36.65 SF (18.0% OF OCC. FL. AREA)
	UNIT 001 VENTILATED AREA PROPOSED: 18.33 SF (9.0% OF OCC. FL. AREA)

PROPOSED ADDITIONAL RESIDENTIAL UNITS = 1

EXPOSURE

SEE ASTERISKED DIMENSION @ SITE PLAN A3.0 FOR PLAN CLEARANCE REQUIREMENT.
 SEE ASTERISKED DIMENSION @ SECTIONS ON SHT. A4.0 FOR VERTICAL 45° ANGLE CLEARANCE.

PARKING AND BICYCLE STORAGE

EXISTING PARKING SPACES: 1
 PROPOSED ADDITIONAL PARKING SPACES: 0
 EXISTING BICYCLE STORAGE: 0
 PROPOSED BICYCLE STORAGE: 1 SEE A1/2
 (E) PARKING (1) / (E) UNITS (7) X 8 TOTAL UNITS AFTER ADU = 1.143
 (1 BIKE SPACE)
 SEE 1/A1.00 FOR LOCATION

COMMON AVAILABLE OPEN SPACE + OPEN SPACE FOR ADU

6 UNITS X 137 SF PER UNIT = 822 SF REQUIRED AVAILABLE OPEN SPACE
 AVAILABLE TOTAL PRIVATE OPEN SPACE PROVIDED = REAR YARD 12'-3" X 22'-0": 269.5 SF

NOTE: BASIC REQUIRED OPEN SPACE CANNOT BE PROVIDED. WAIVER REQUESTED.

STREET TREES

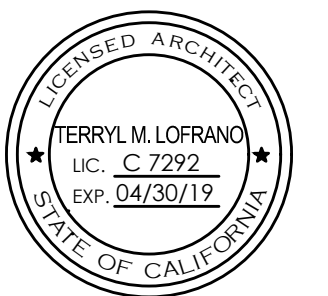
EXISTING 0
 PROPOSED 0

LOFRANO
 ARCHITECTURE
 SCULPTURE
 DESIGN
 35 FERNWOOD WAY
 SAN RAFAEL, CA 94901
 415.710.6020

**1375 Sacramento St.
 ADU**

1375 Sacramento St.
 San Francisco, CA 94109

BLOCK/LOT: 0247/025



NO.	DATE	ISSUES AND REVISIONS	BY
1.	07/07/17	PERMIT	
3.	10/26/17	PERMIT REVISION	

PROJECT NUMBER: #####
 PROJECT NAME: 1375 Sacramento St.

DESCRIPTION

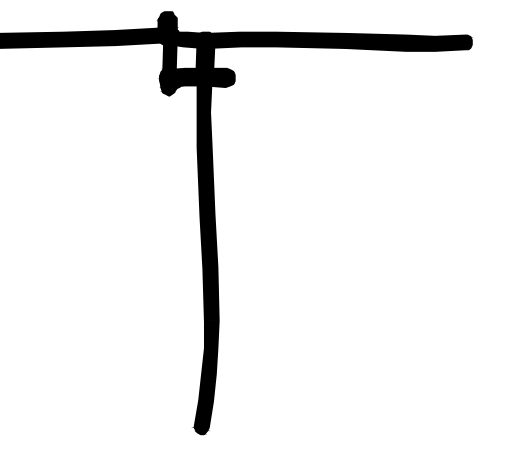
PROJECT INFORMATION

SHEET SCALE: AS SHOWN

SHEET NUMBER

A0.0

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT



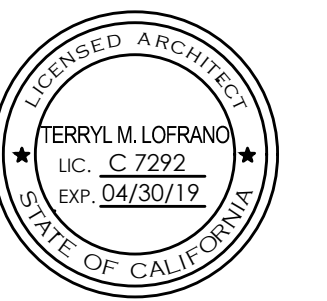
6. 07/25/16 PERMIT

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1.	07/07/17	PERMIT	
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3.	10/25/17	PERMIT REVISION	

PROJECT NUMBER: #####
PROJECT NAME: 1375 Sacramento St.

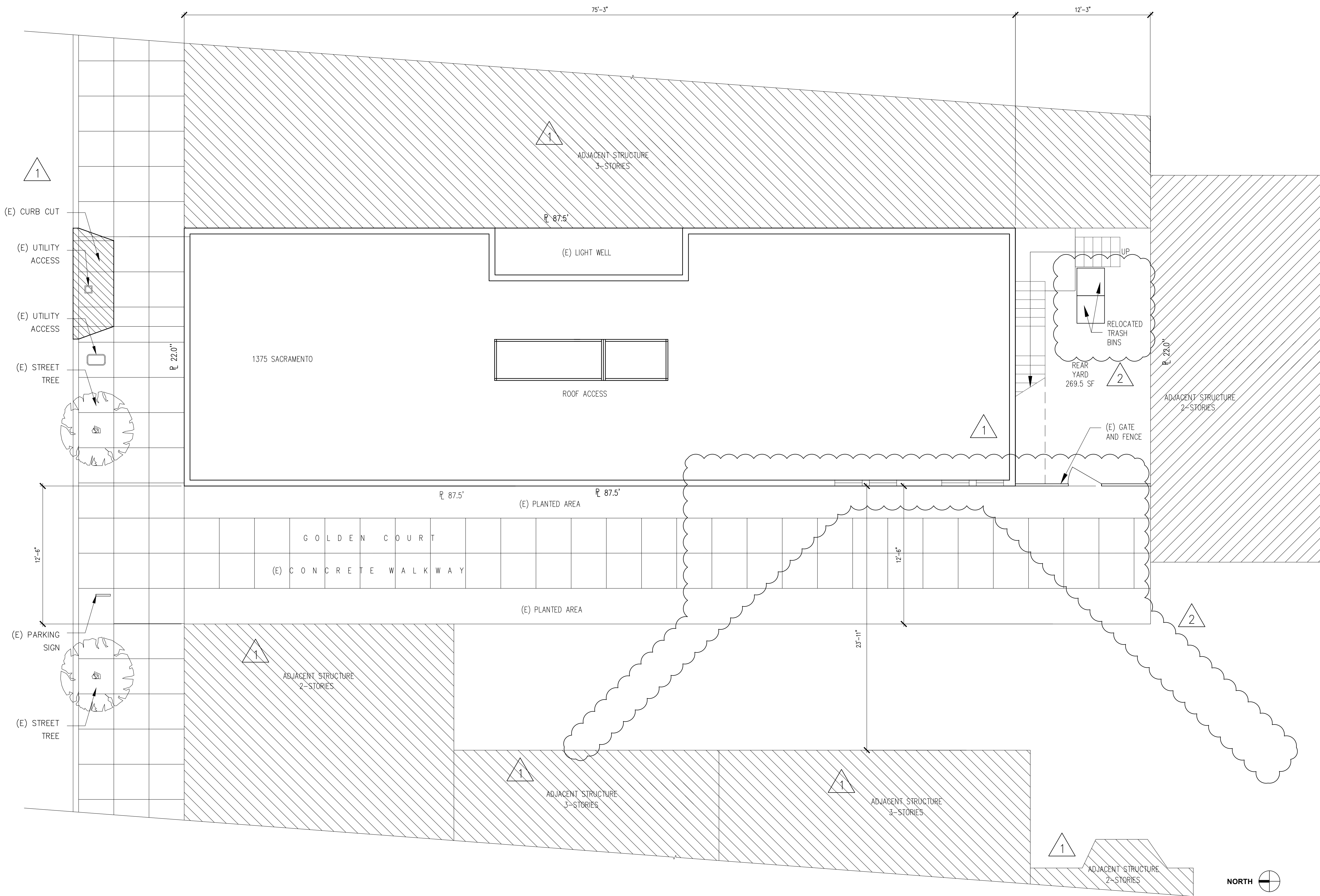
DESCRIPTION: **SITE PLAN**

SHEET SCALE: AS SHOWN

SHEET NUMBER

A0.1

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SITE PLAN
SCALE: 1/4"=1'-0"

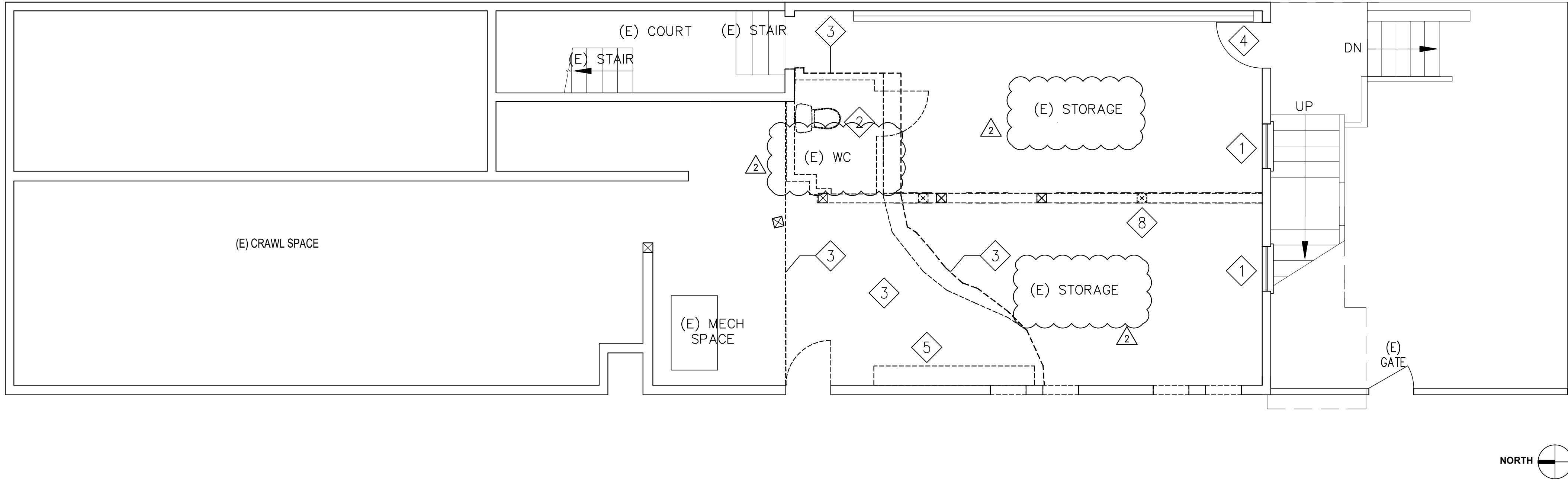
1

SHEET NOTES

1. PROTECT ALL (E) CONSTRUCTION FINISHES TO REMAIN, TYP.
2. PATCH & REPAIR (E) DAMAGED PARTITIONS THROUGHOUT AREA OF WORK AS REQUIRED TO MATCH EXISTING ADJACENT WALLS, U.O.N. PATCH ALL HOLES IN (E) WALLS.

LEGEND

- (E) CONSTRUCTION TO BE DEMOLISHED - NON-BEARING PARTITIONS
- _____ (E) CONSTRUCTION TO REMAIN
- ===== (N) FULL HEIGHT WALL OR INFILLED OPENING
- (N) PARTIAL HEIGHT PARTITION OR CABINET WALL
- ===== (N) 1-HR RATED WALL
- (E) EXISTING
- (N) NEW
- — — — — ALIGNED



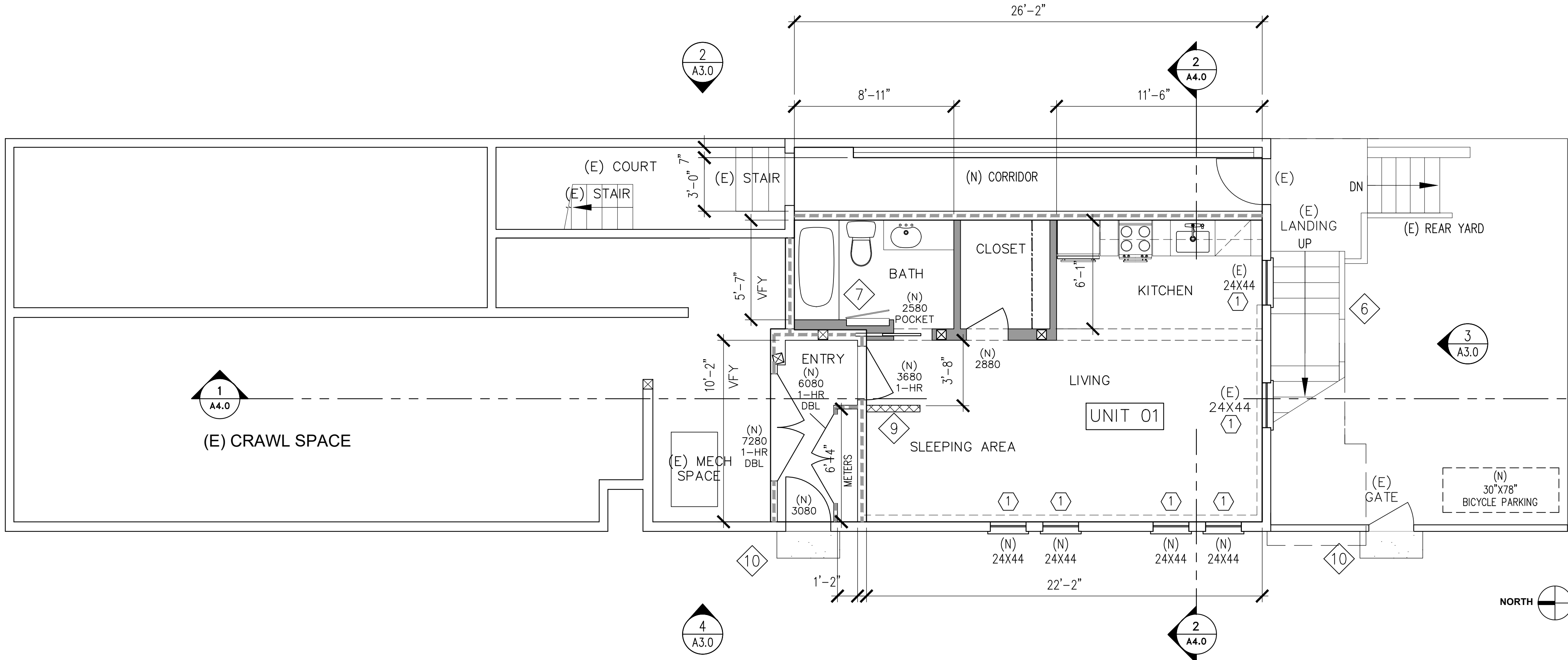
EXISTING AND DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

1

KEYNOTES

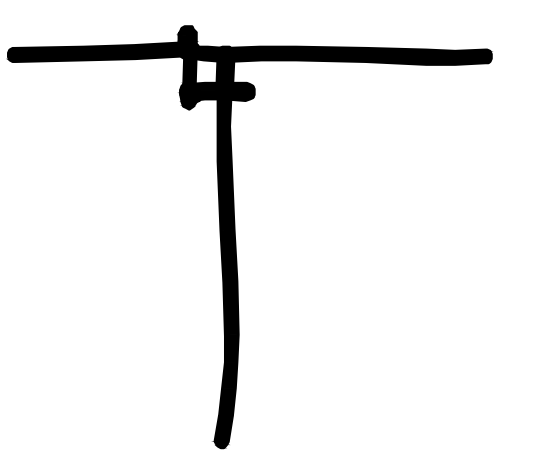
- 1 (E) WINDOW TO REMAIN.
- 2 REMOVE BATHROOM FIXTURES AND FITTINGS.
- 3 DEMOLISH (E) CONCRETE STEPS AND SLAB.
- 4 (E) DOOR TO REMAIN.
- 5 GAS METERS TO BE RELOCATED SEE PLAN 2/-.
- 6 REAR STAIRS AND LANDING TO YARD.
- 7 MEDICINE CABINET.
- 8 DEMOLISH (E) COL.
- 9 42" PARTIAL HT PTN.
- 10 (N) CONCRETE PAD.



CONSTRUCTION PLAN

SCALE: 1/4" = 1'-0"

2



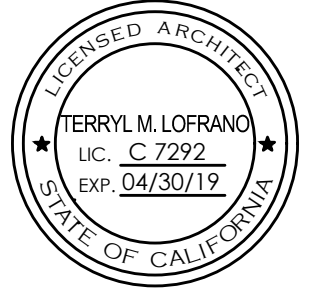
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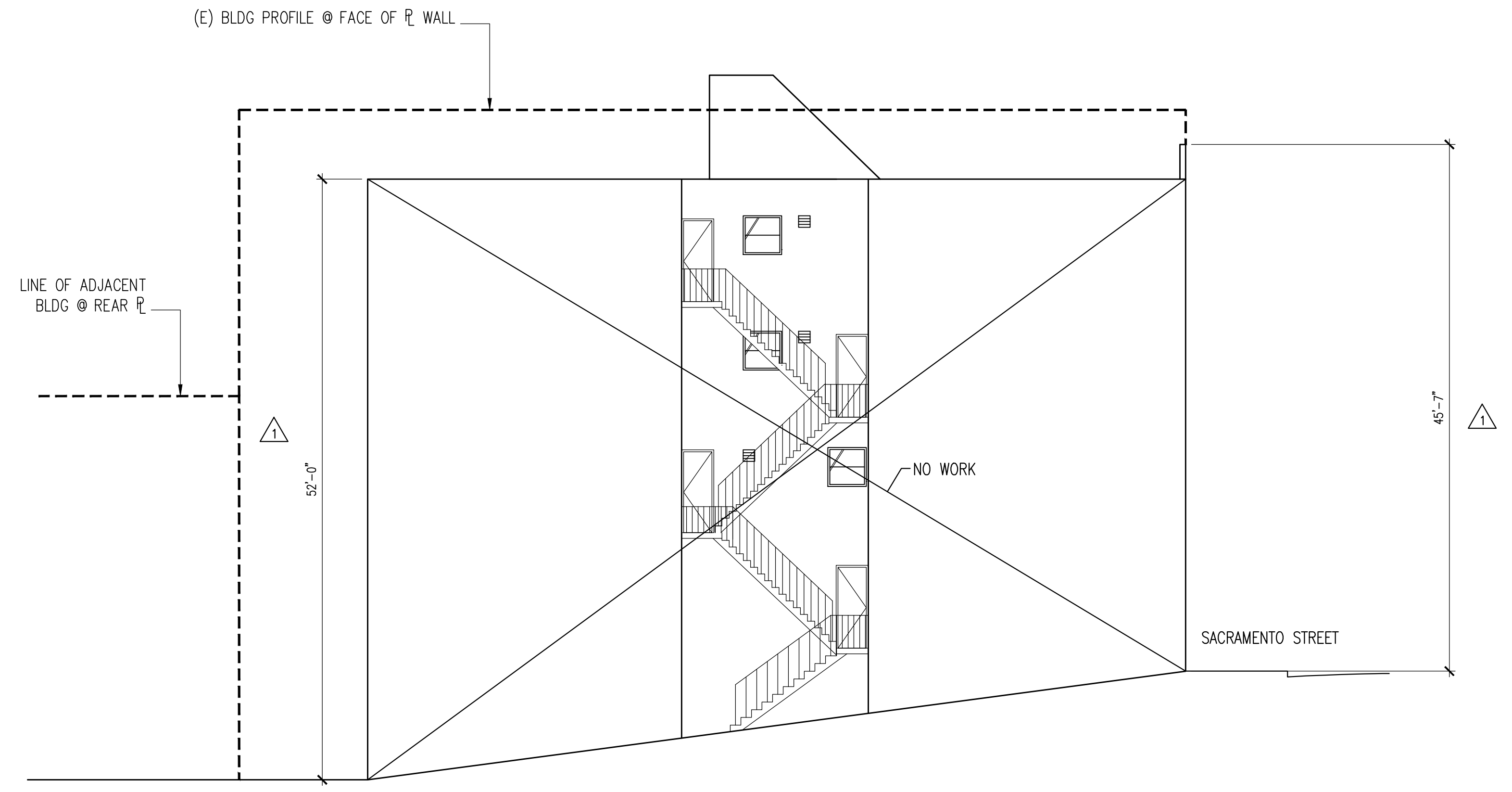
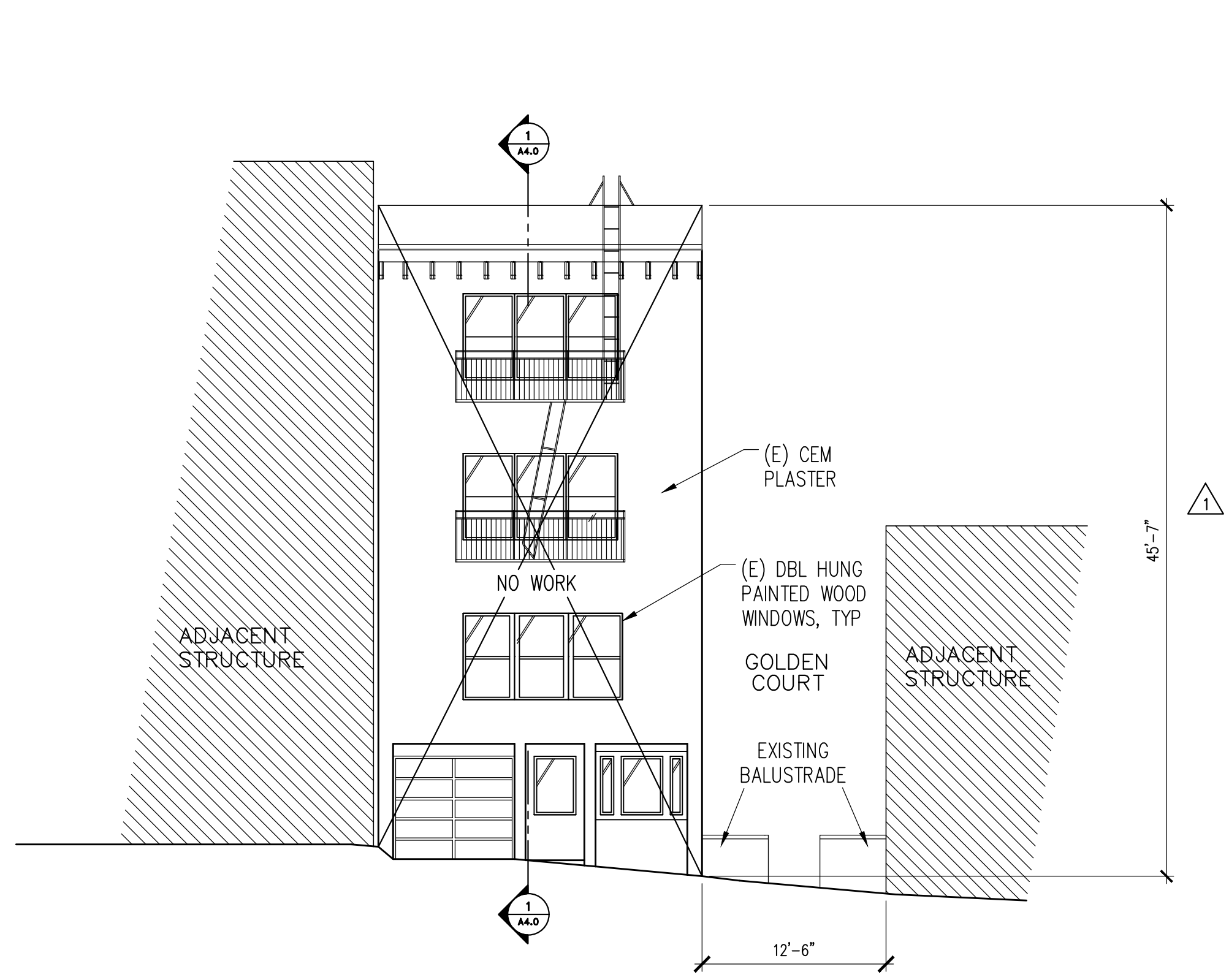
PROJECT NUMBER: #####
PROJECT NAME: 1375 Sacramento St.

DESCRIPTION:
DEMOLITION AND CONSTRUCTION PLANS

SHEET SCALE: AS NOTED
SHEET NUMBER:

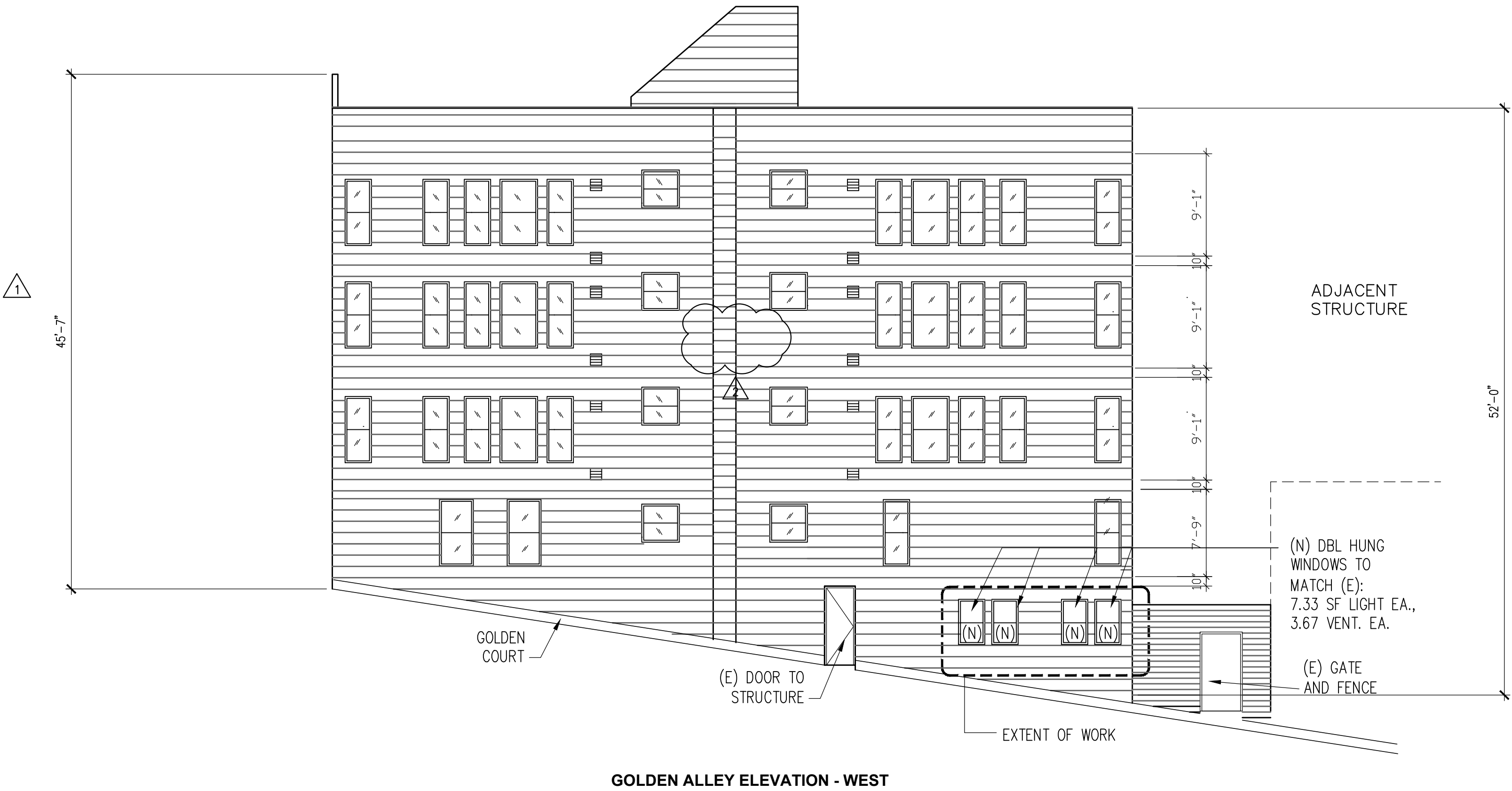
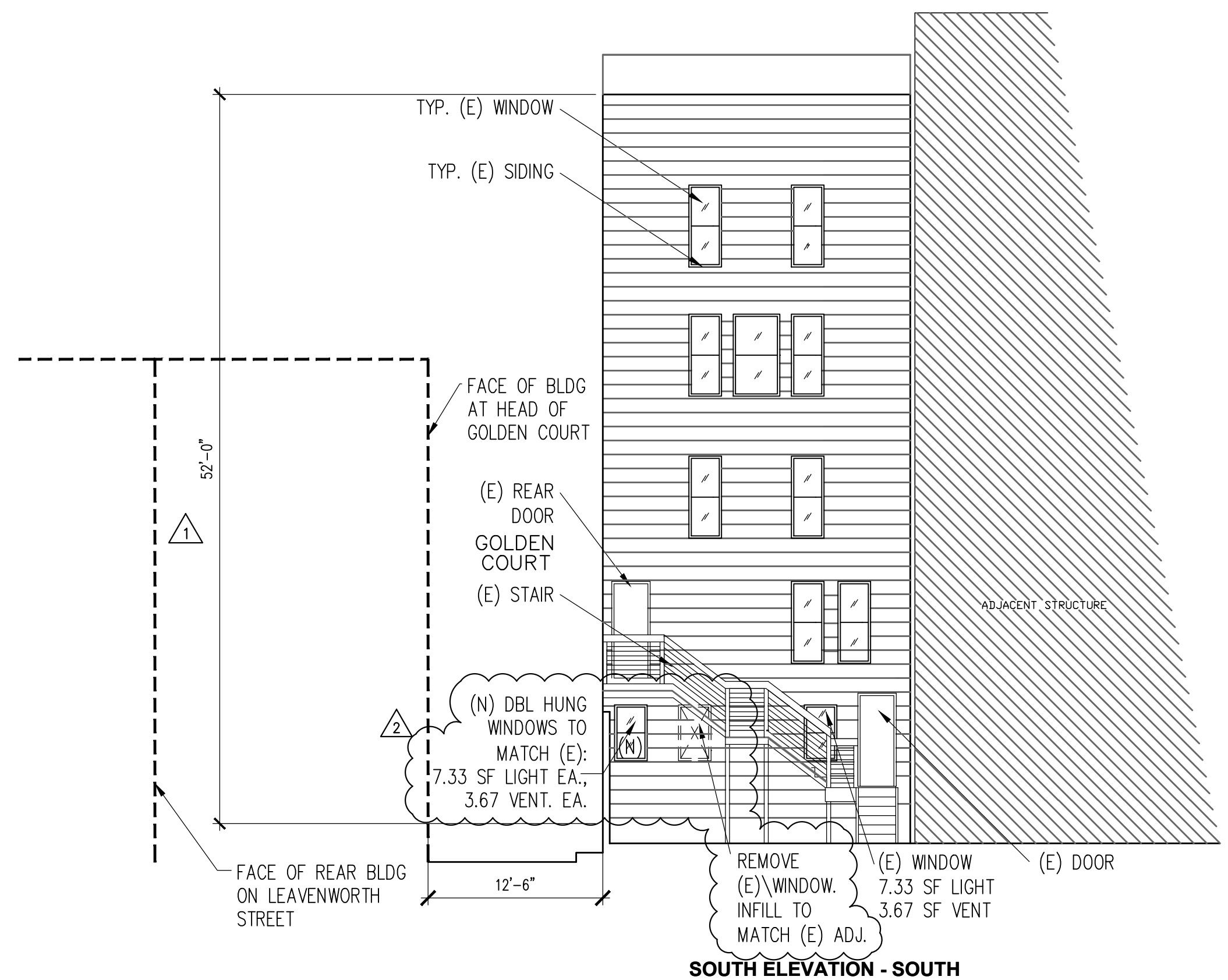
A1.0

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NORTH ELEVATION
SCALE: 1/8"=1'-0" **1**

EAST ELEVATION
SCALE: 1/8"=1'-0" **2**



SOUTH ELEVATION
SCALE: 1/8"=1'-0" **3**

WEST ELEVATION
SCALE: 1/8"=1'-0" **4**

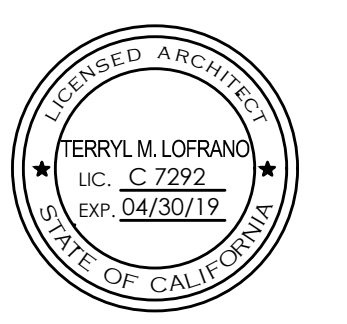
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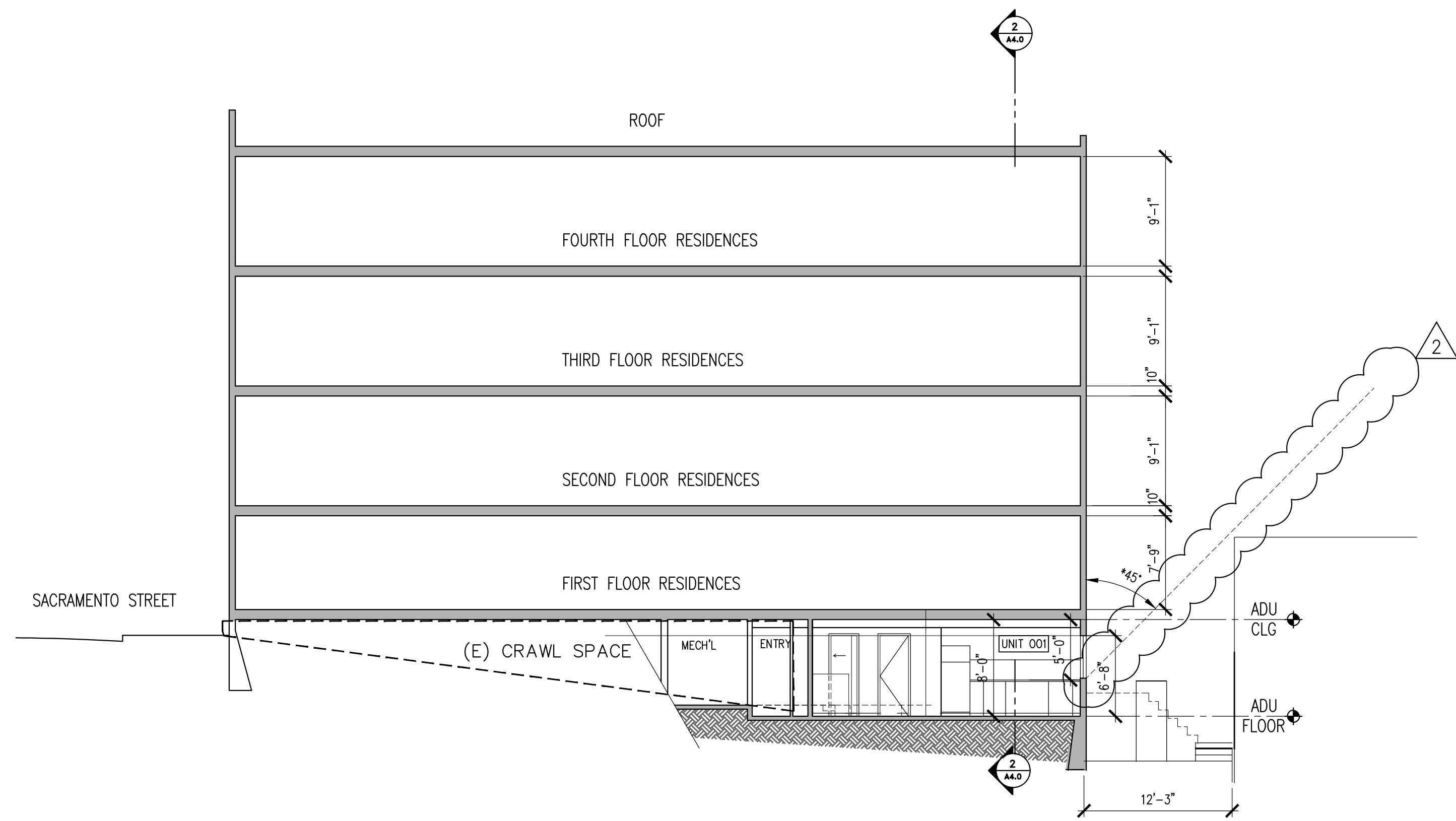
NO.	DATE	ISSUES AND REVISIONS	BY
1.	07/07/17	PERMIT	
2.	08/02/17	PERMIT REVISION	
3.	10/25/17	PERMIT REVISION	

PROJECT NUMBER: #####
PROJECT NAME: 1375 Sacramento St.

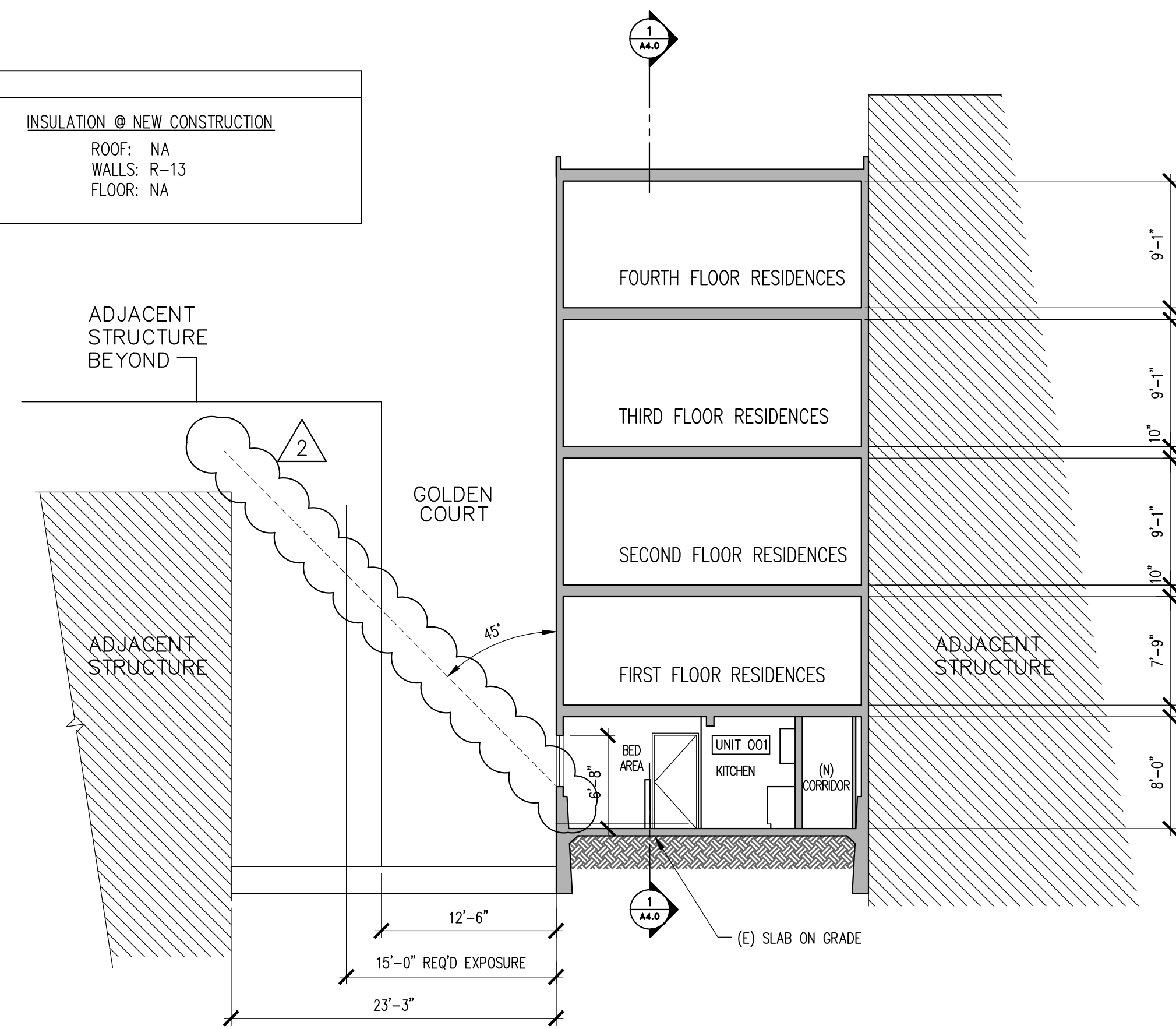
DESCRIPTION: **ELEVATIONS**

SHEET SCALE: AS SHOWN
SHEET NUMBER: **A3.0**

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INSULATION NOTES	
EXISTING INSULATION	INSULATION @ NEW CONSTRUCTION
ROOF: R-30	ROOF: NA
WALLS: R-13	WALLS: R-13
FLOOR: R-19	FLOOR: NA



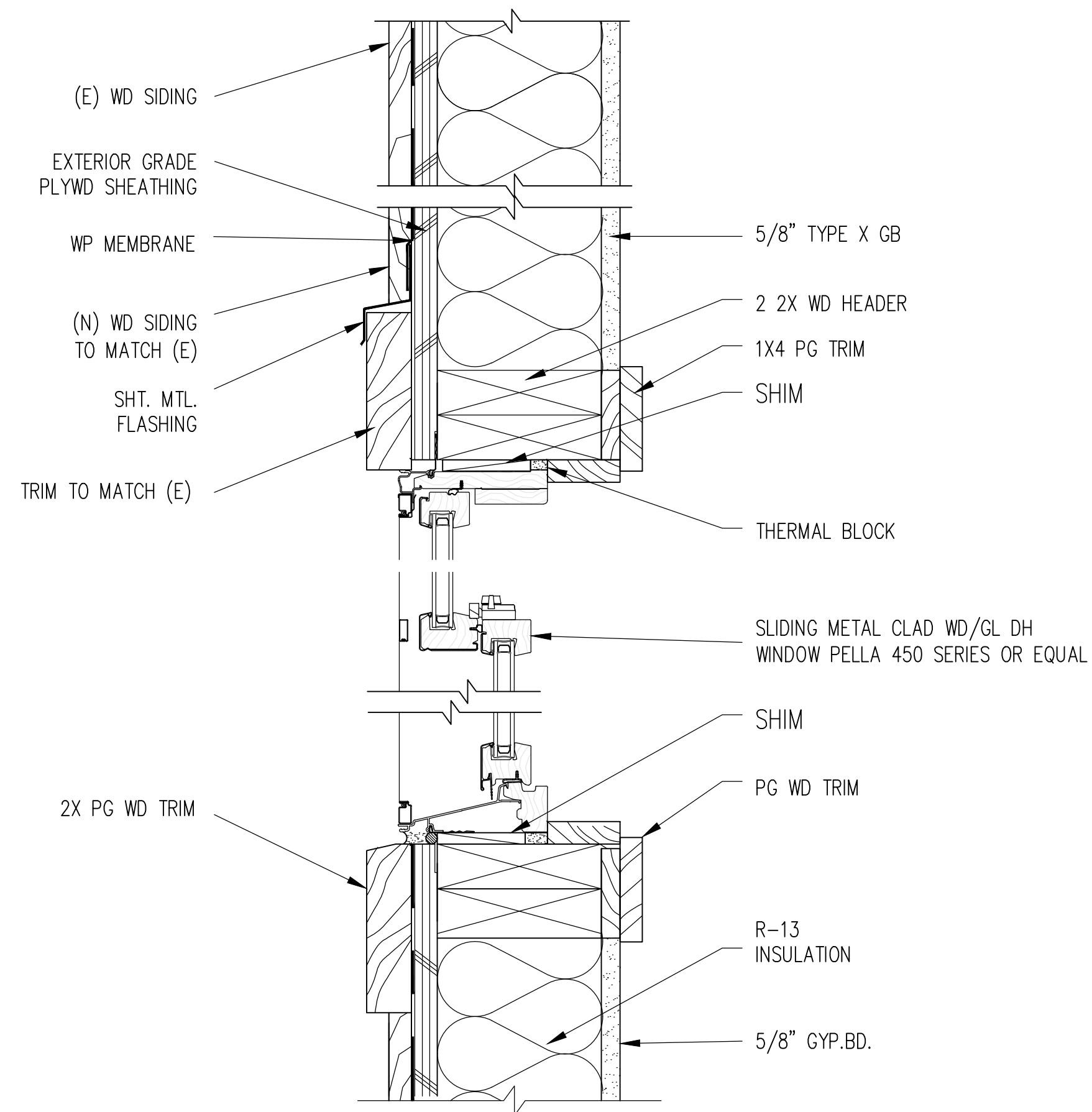
NORTH/SOUTH SECTION
SCALE: 1/8"=1'-0"

1

EAST/WEST SECTION
SCALE: 1/8"=1'-0"

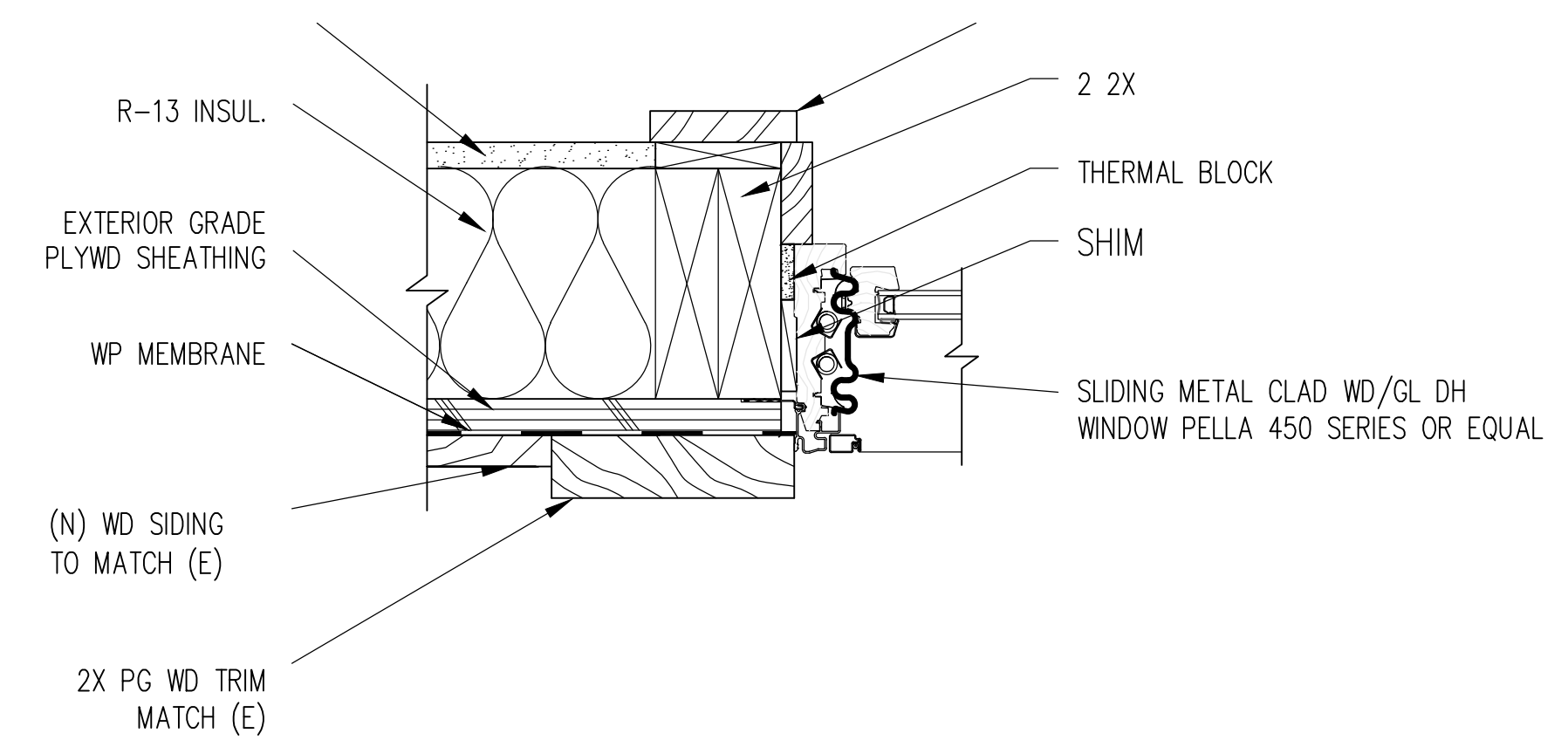
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NO.	DATE	ISSUES AND REVISIONS	BY
1.	07/07/17	PERMIT	
2.	10/25/17	PERMIT REVISION	



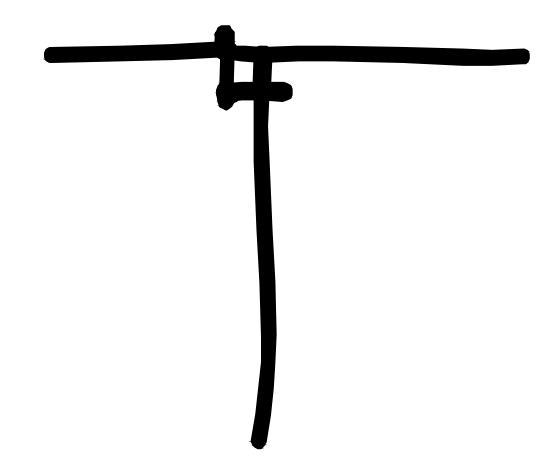
SECTION @ WINDOW JAMB
SCALE: NO SCALE

4



VERTICAL SECTION @ WINDOW
SCALE: NO SCALE

3



6. 07/25/16 PERMIT

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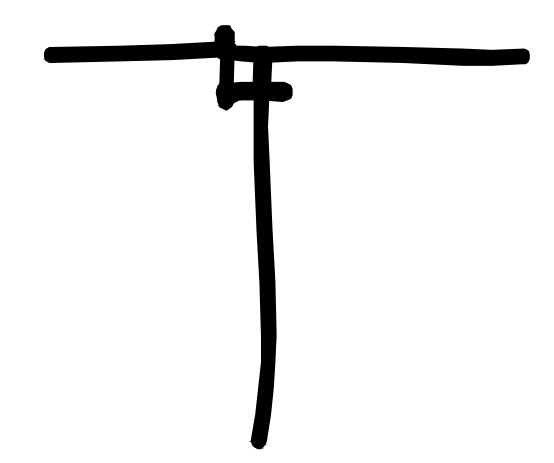
PROJECT NUMBER: #####
PROJECT NAME: 1375 Sacramento St.

DESCRIPTION: **SECTIONS AND DETAILS**

SHEET SCALE: AS SHOWN
SHEET NUMBER:

A4.0

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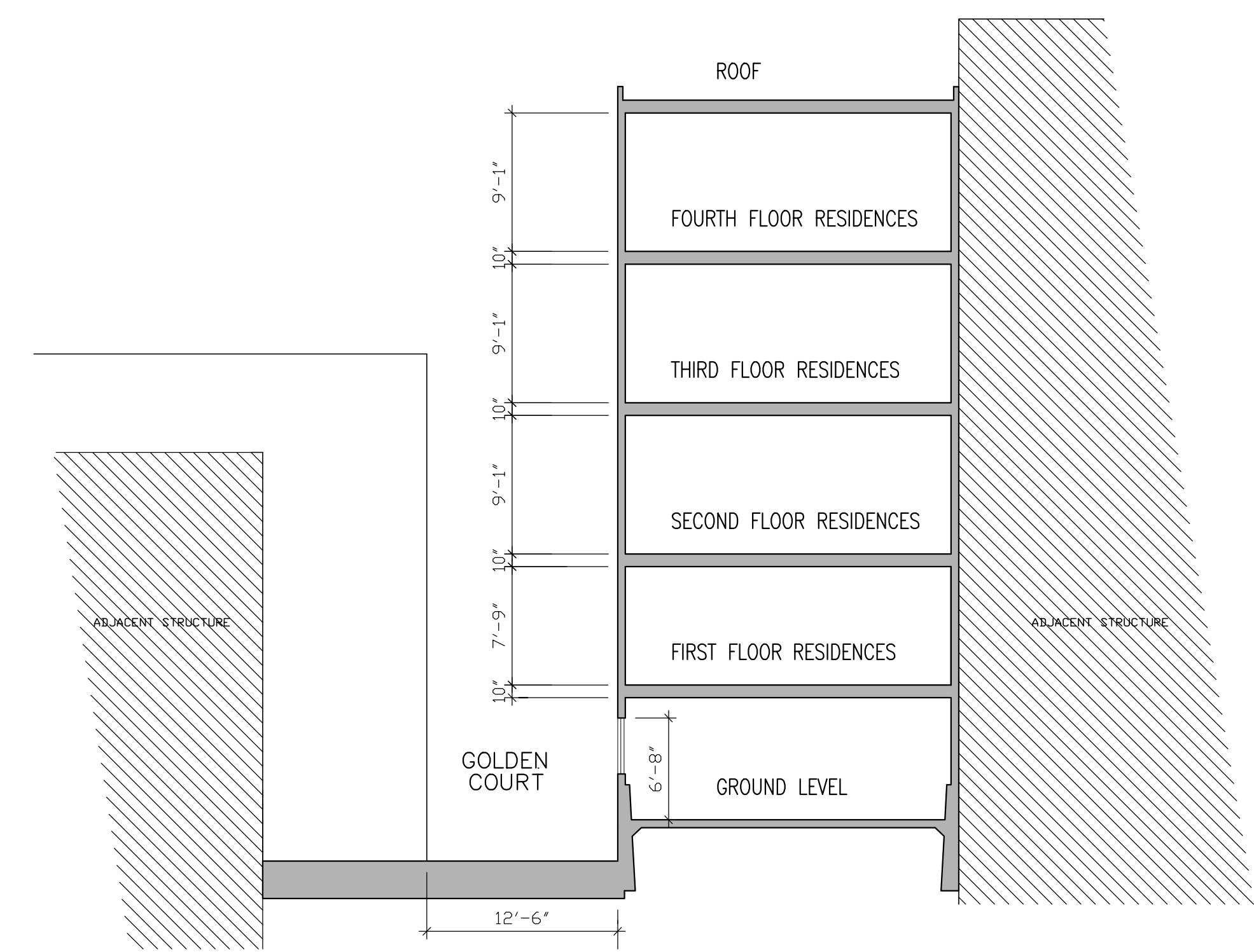
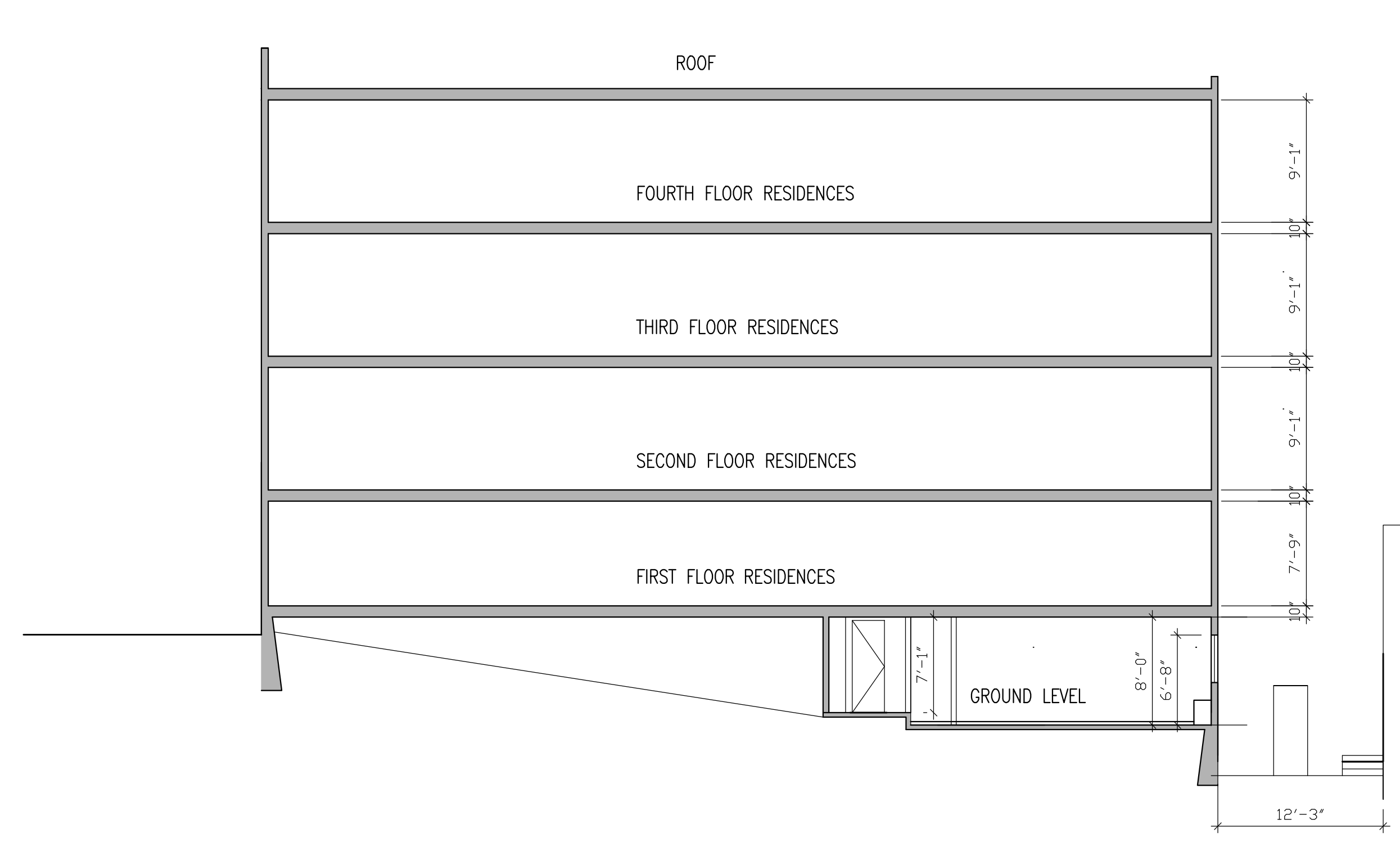
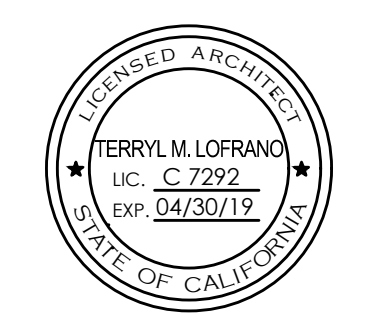
6. 07/25/16 PERMIT

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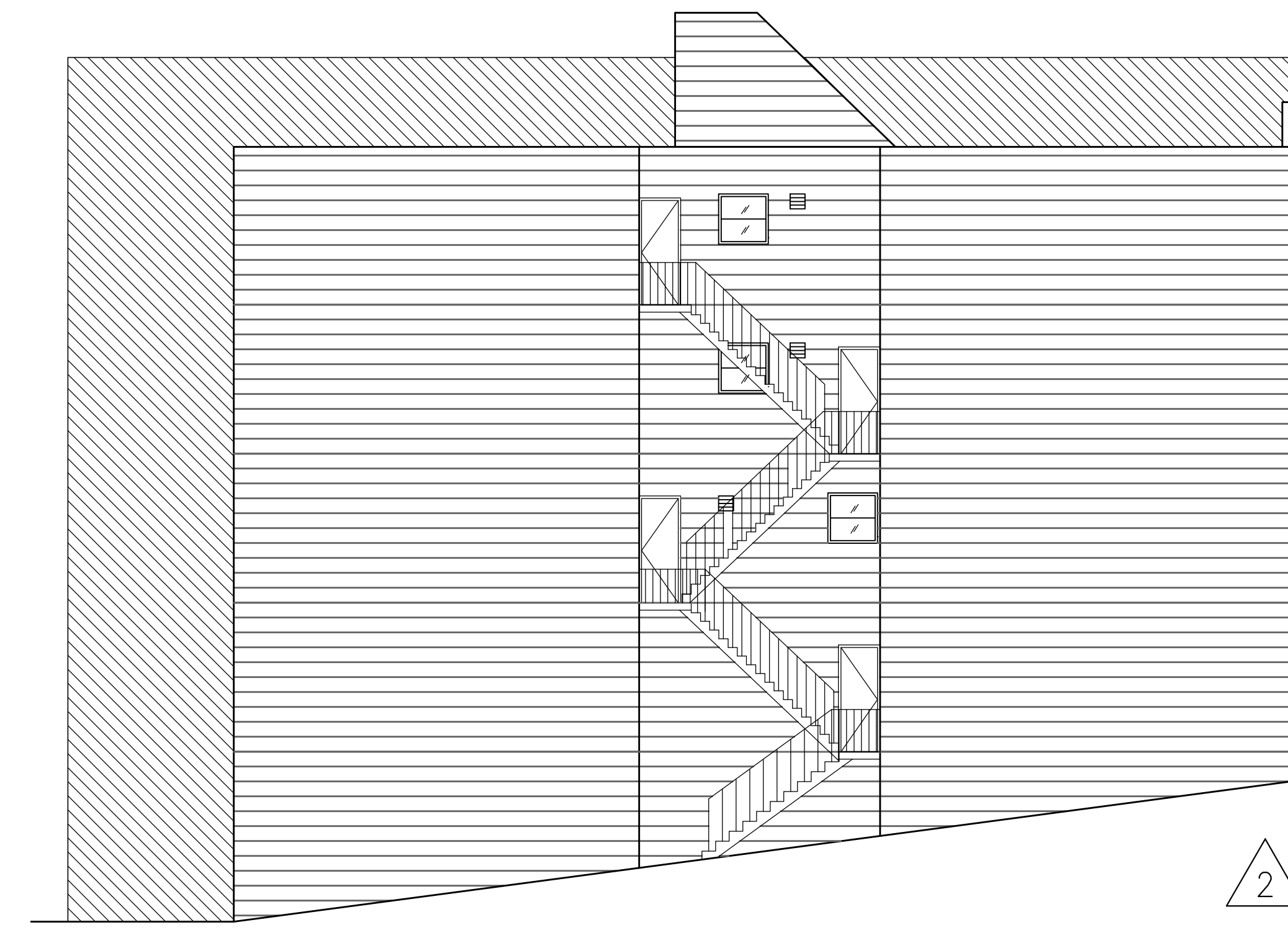
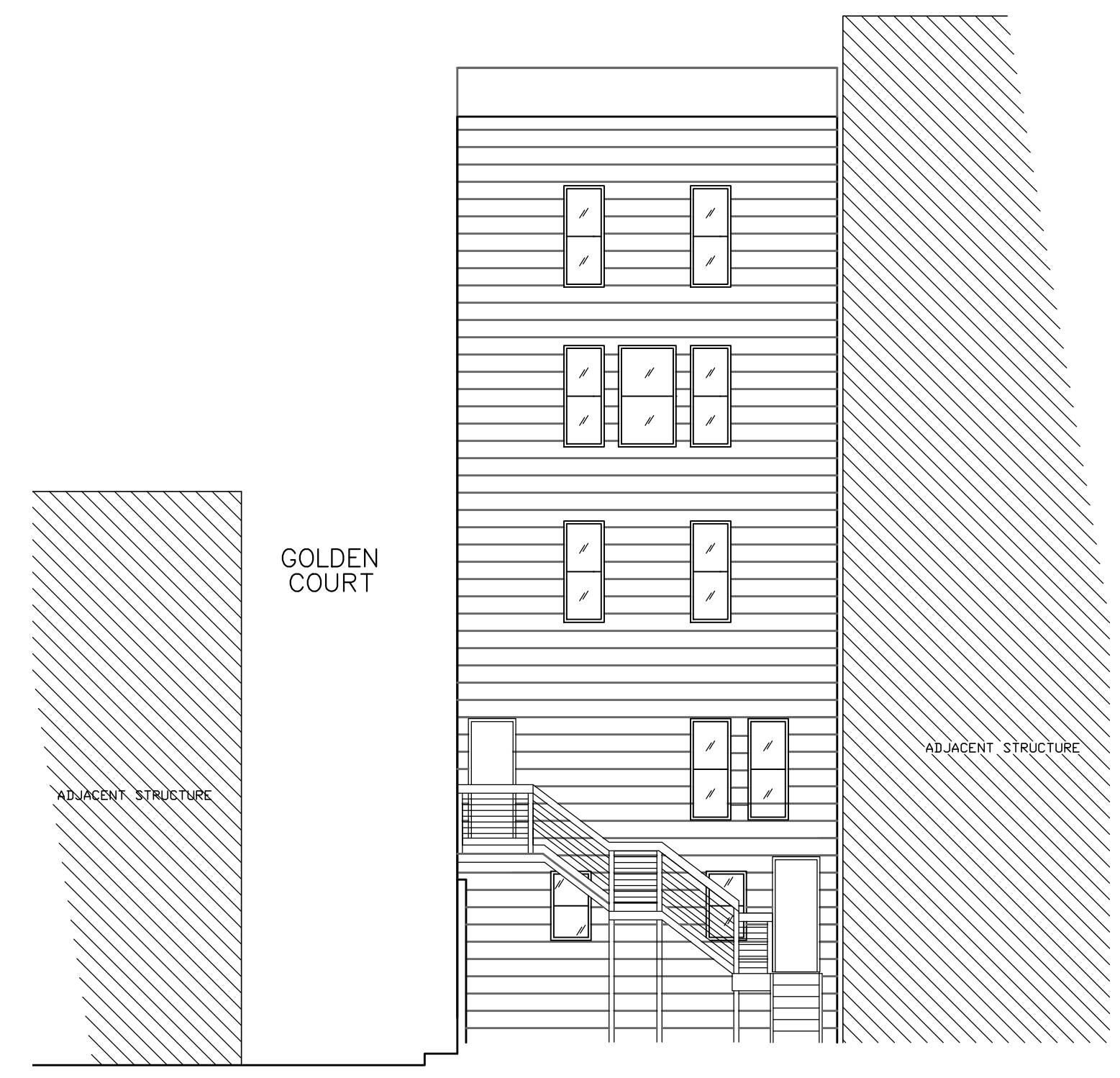
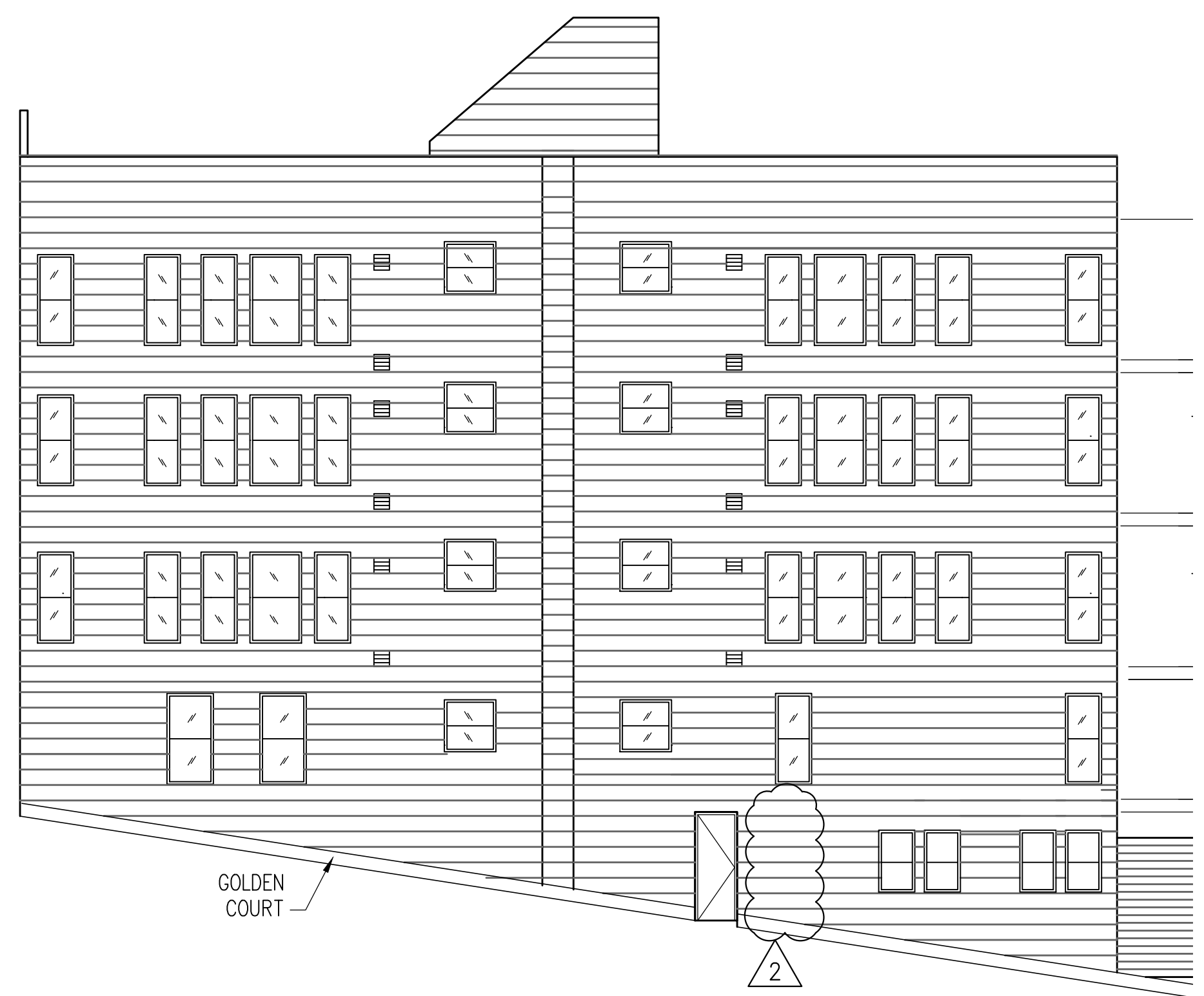
EXISTING NORTH/SOUTH SECTION
 SCALE: 1/8"=1'-0"

1

EXISTING EAST/WEST SECTION
 SCALE: 1/8"=1'-0"

2

NO.	DATE	ISSUES AND REVISIONS	BY
3.	10/25/17	PERMIT REVISION	



EXISTING WEST ELEVATION @ GOLDEN ALLEY
 SCALE: 1/8"=1'-0"

3

EXISTING SOUTH ELEVATION
 SCALE: 1/8"=1'-0"

4

EXISTING EAST ELEVATION
 SCALE: 1/8"=1'-0"

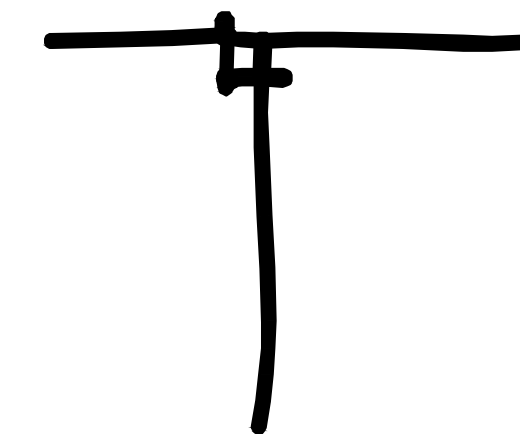
3

PROJECT NUMBER: ####
 PROJECT NAME: 1375 Sacramento St.

DESCRIPTION: **EXISTING SECTIONS AND ELEVATIONS**

SHEET SCALE: AS SHOWN
 SHEET NUMBER: **A5.0**

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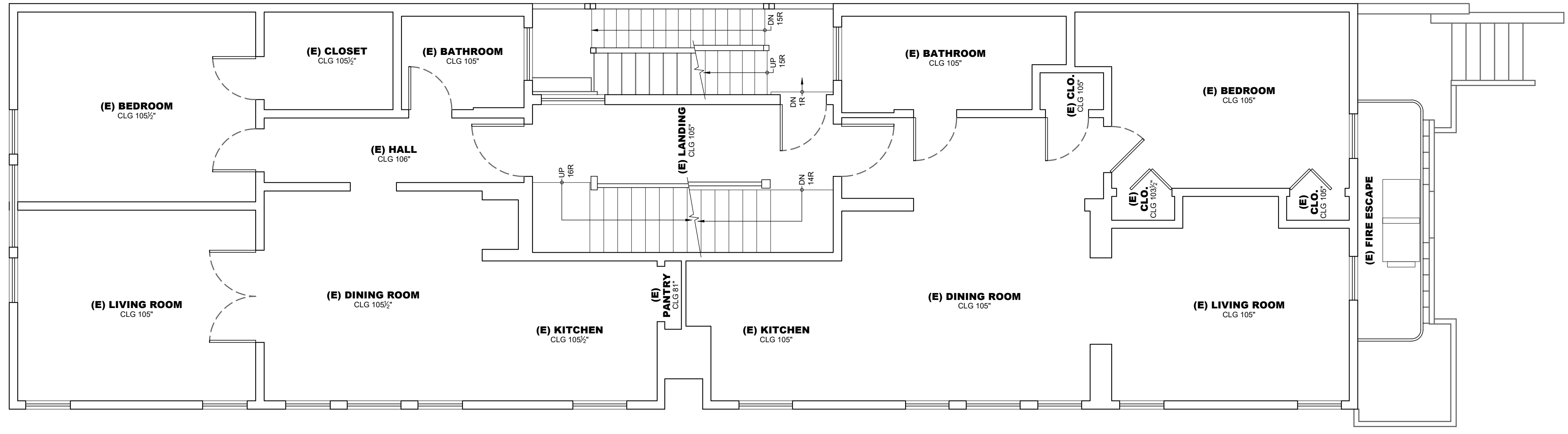
6. 07/25/16 PERMIT

LOFRANO
ARCHITECTURE
SCULPTURE
DESIGN
35 FERNWOOD WAY
SAN RAFAEL, CA 94901
415.710.6020

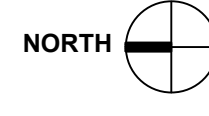
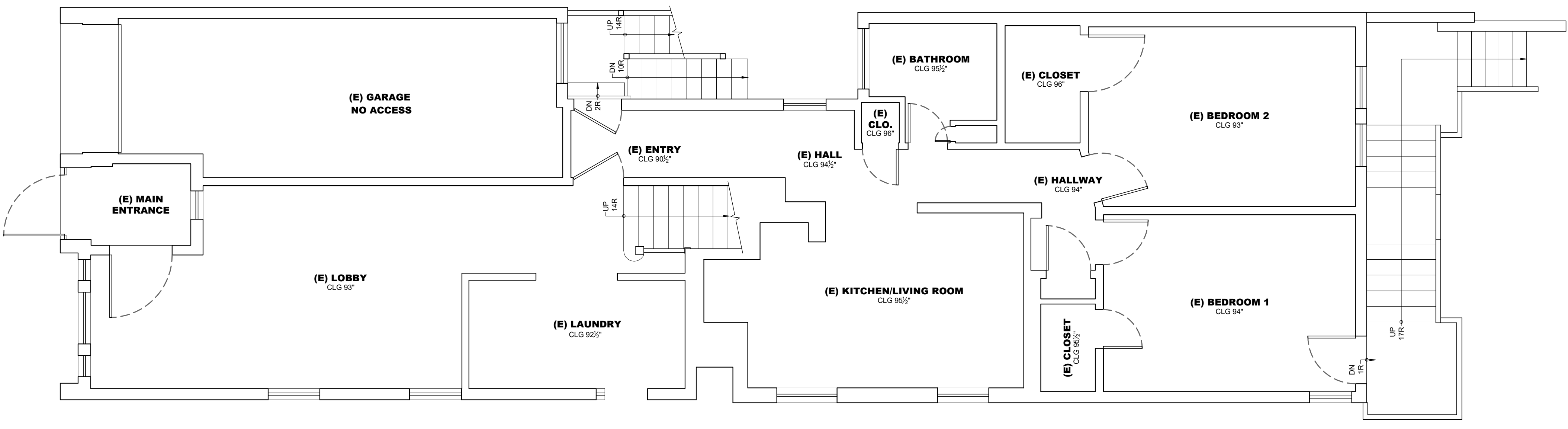
**1375 Sacramento St.
ADU**

1375 Sacramento St.
San Francisco, CA 94109

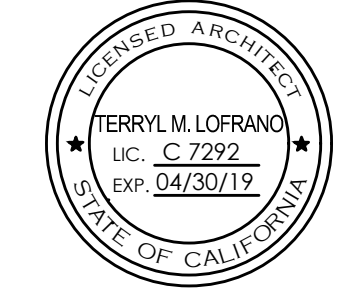
BLOCK/LOT: 0247/025



EXISTING 2ND, 3RD AND 4TH FLOOR PLANS
SCALE: 1/4"=1'-0" **1**



EXISTING 1ST FLOOR PLAN
SCALE: 1/4"=1'-0" **2**



NO.	DATE	ISSUES AND REVISIONS	BY
2	3.	10/25/17 PERMIT REVISION	

PROJECT NUMBER: #####
PROJECT NAME: 1375 Sacramento St.

DESCRIPTION: **EXISTING UPPER FLOOR PLANS**

SHEET SCALE: AS SHOWN
SHEET NUMBER: **A6.0**

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