SAN FRANCISCO
PLANNING DEPARTMENT

MEMO

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

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415.558.6409

Planning
Information:
415.558.6377

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

SAN FRANCISCO
PLANNING DEPARTMENT
1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, October 25, 2017**
Time: **Not before 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Rear Yard)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	**2030 Scott Street**	Case No.:	**2017-004517VAR**
Cross Street(s):	**Sacramento St. / California St.**	Building Permit:	**2017.03.15.1565**
		Applicant (agent):	**Rashi Bargoti**
Block /Lot No.:	**0633/009**	Telephone:	**(415) 277-9500**
Zoning District(s):	**RM-2 / 40-X**	E-Mail:	**rashi@kpad.com**
Area Plan:	**N/A**		

PROJECT DESCRIPTION

The proposal is to remove the existing glass conservatory sunroom structure (with storage area below) and a portion of the existing deck and construct a two-story addition with deck above (approximately 15 feet wide by 7 feet deep by 25 feet high) and exterior stairs at the rear of the three-story single-family dwelling.

PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a rear yard of approximately 21 feet, 6 inches. The proposed rear addition with exterior stairs would extend approximately 6 feet, 6 inches into the required rear yard and result in a rear yard of 15 feet; therefore, the project requires a variance from the rear yard requirement of the Planning Code. The existing legal noncomplying one story deck and exterior stairs located within the required rear yard will be retained.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://notice.sfplanning.org/**2017-004517VAR**.pdf

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:
Planner: **Sharon M. Young** Telephone: **(415) 558-6346** E-Mail:**sharon.m.young@sfgov.org**

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. The mailing of such notification will be performed separately.

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

GENERAL NOTES

1. ALL WORK HEREIN SHALL BE DONE IN ACCORDANCE WITH AIA GENERAL CONDITIONS DOCUMENT A-201, LATEST EDITION. ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH ALL PROVISIONS OF PREVAILING APPLICABLE CODES (UBC, UPC, UMC, NEC, ETC.) OF THE STATE OF CALIFORNIA AND THE CITY AND COUNTY OF SAN FRANCISCO. CODE COMPLIANCE SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR. IN THE CASE OF CONFLICT BETWEEN THE DRAWINGS AND APPLICABLE CODES, OR OF CONFLICT WITHIN THE DRAWINGS, THE MOST STRINGENT REQM'TS SHALL APPLY.

2. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL WORK PROVIDED BY ANY AND ALL SUBCONTRACTOR'S. GENERAL NOTES THAT REFER TO "CONTRACTOR" INCLUDE ALL WORK PROVIDED BY SUBCONTRACTORS. CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL GRADES, DIMENSIONS, AND CONDITIONS (INCLUDING BUT NOT LIMITED TO: IRRIGATION PIPES, ELECTRICAL CONDUIT, WATER LINES, DRAINAGE LINES, ETC.) IN FIELD PRIOR TO SUBMITTING PRICES, AND AT APPROPRIATE TIMES DURING THE COURSE OF CONSTRUCTION BEFORE RELATED PROJECT PHASES OR THE START OF ANY RELATED WORK. NO CLAIM SHALL BE ALLOWED FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN REASONABLY INFERRED FROM SUCH AN EXAMINATION.

3. THE CONTRACTOR SHALL VERIFY CLEARANCES FOR FLUES, VENTS, CHASES, SOFFIT FIXTURES, ETC., BEFORE ANY CONSTRUCTION, ORDERING OR INSTALLATION OF ANY ITEM OF WORK.

4. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY WHEN ANY CONDITION IS DISCOVERED IN WORK OR IN C.D. THAT WOULD PREVENT PROPER EXECUTION OF THE CONTRACT DOCUMENTS INCLUDING ANY CONFLICTS BETWEEN THE SITE CONDITIONS AND THE CONTRACT DOCUMENTS, AND ANY CONFLICTS OR AMBIGUITIES WITHIN THE CONTRACT DOCUMENTS.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY COORDINATION AND SEQUENCING OF VARIOUS ARCHITECTS, ENGINEERS, LOCAL AUTHORITIES, MANUFACTURERS, SUPPLIERS, AND INSTALLERS REQUIREMENTS AND FOR THE TIMELY REVIEW OF REQUIRED EQUIPMENT AND MATERIALS FOR INSTALLATION PRIOR TO BEGINNING CONSTRUCTION OR SEQUENCING SUBSEQUENT CONSTRUCTION.

6. EACH SUBCONTRACTOR IS CONSIDERED A SPECIALIST IN HIS/HER RESPECTIVE FIELD AND SHALL, PRIOR TO THE SUBMISSION OF HIS/HER BID AND THE PERFORMANCE OF WORK, NOTIFY THE CONTRACTOR OF ANY WORK CALLED OUT IN THE CONSTRUCTION DOCUMENTS WHICH CANNOT BE EXECUTED AS INDICATED OR CANNOT BE FULLY GUARANTEED. THE CONTRACTOR WILL THEN NOTIFY THE OWNER AND ARCHITECT PRIOR TO ACCEPTANCE OF CONTRACTOR'S BID.

7. THE CONTRACTOR SHALL, AS A PART OF THE CONTRACT, SECURE AND PAY FOR ALL NECESSARY PERMITS AND APPROVALS REQUIRED FOR THE CONSTRUCTION WORK.

8. UNLESS SPECIFICALLY NOTED OTHERWISE IN THE DRAWINGS, ALL WORK, MATERIALS, LABOR, TRANSPORTATION, TOOLS AND EQUIPMENT CALLED FOR ARE TO BE PROVIDED AND INSTALLED BY THE CONTRACTOR AS A PART OF THE CONTRACT FOR CONSTRUCTION.

9. THE DRAWINGS INDICATE THE GENERAL EXTENT OF DEMOLITION AND NEW CONSTRUCTION NECESSARY FOR THE WORK, BUT ARE NOT INTENDED TO BE ALL-INCLUSIVE. ALL DEMOLITION AND ALL NEW WORK NECESSARY TO ALLOW FOR A FINISHED JOB IN ACCORDANCE WITH THE INTENTION OF THE DRAWINGS IS INCLUDED REGARDLESS OF WHETHER SHOWN IN THE DRAWINGS OR MENTIONED IN THE NOTES.

10. ANY ERRORS, OMISSIONS OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.

11. ALL WORK SHALL BE PERFORMED IN A PROFESSIONAL AND WORKMAN-LIKE MANNER IN KEEPING WITH THE HIGHEST STANDARDS OF THE CONSTRUCTION INDUSTRY BY WORKMEN EXPERIENCED AND LICENSED IN THEIR RESPECTIVE TRADES. ALL SUBCONTRACTORS SHALL COORDINATE THEIR WORK AND SCHEDULING WITH THE WORK OF OTHER SUBCONTRACTORS AND/OR THE GENERAL CONTRACTOR, AND SHALL BE RESPONSIBLE FOR HIS/HER OWN MATERIALS, TOOLS AND LABOR, REMOVE HIS TOOLS AND SURPLUS MATERIALS, AS WELL AS ANY DEBRIS RESULTING FROM THIS WORK FROM THE SITE.

12. SOME OF THE THE SPECIFICATIONS APPEAR IN THE FORM OF NOTES AND SCHEDULES IN THE DRAWINGS AND, EXCEPT WHERE SPECIFICALLY CALLED OUT BY MANUFACTURER OR CATALOG NUMBER, ARE GENERIC IN NATURE. UNLESS NOTED OTHERWISE, ALL PRODUCTS ARE TO BE NEW AND UNUSED. ALL PRODUCTS USED IN CONSTRUCTION ARE TO BE COMPATIBLE WITH OTHER PRODUCTS USED WITHIN THE SAME BUILDING COMPONENTS OR SYSTEMS. ALL PRODUCTS ARE TO BE INSTALLED IN STRICT CONFORMANCE WITH THE MFR. PRINTED INSTRUCTIONS, RECOMMENDATIONS, DRAWINGS OR SPECIFICATIONS, AS WELL AS WITH ALL APPLICABLE BUILDING CODES.

13. DETAILS SHOWN ARE REPRESENTATIVE. SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS. VERIFY USE OF SIMILAR DETAILS WITH ARCHITECT PRIOR TO PROCEEDING. LOCATIONS OF SEALANT, CAULKING, AND FLASHING, ETC., SHOWN ON DRAWINGS ARE REPRESENTATIVE. FOLLOW MANUFACTURER'S RECOMMENDATIONS AND STANDARD INDUSTRY PRACTICE.

14. CONTRACTOR IS TO INSTALL ALL MATERIALS AND EQUIPMENT IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. IN THE EVENT THAT MANUFACTURERS SPECIFICATIONS CONFLICT WITH THE DRAWINGS THEN CONTACT THE ARCHITECT FOR RESOLUTION.

15. THE INFORMATION ON EXISTING SITE HAS BEEN PROVIDED TO THE ARCHITECT IN PART BY THE OWNER. THE ACCURACY OF THIS INFORMATION HAS NOT BEEN COMPLETELY VERIFIED AND THE CONTRACTOR MUST BRING DISCOVERED INACCURACIES TO THE ARCHITECT'S ATTENTION DURING THE COURSE OF CONSTRUCTION.

16. THE CONTRACTOR SHALL PROVIDE ANY AND ALL TEMPORARY BRACING AND SHORING REQUIRED TO ADEQUATELY SUPPORT ALL LOADS TO WHICH THE NEW CONSTRUCTION, SOILS, UTILITIES, ETC., MAY BE SUBJECT TO DURING CONSTRUCTION. THE CONTRACTOR SHALL ENGAGE SERVICES OF STRUCTURAL ENGINEER IF REQUIRED.

17. CONTRACTOR SHALL PROVIDE SAMPLES OF REQUESTED SUBMITTALS AND OF ALL PROPOSED MATERIAL SUBSTITUTIONS TO THE ARCHITECT FOR REVIEW. THE ARCHITECT WILL REQUIRE FIVE WORKING DAYS FOR REVIEW OF ALL SUBMITTALS INCLUDING SHOP DRAWINGS, IF ANY. SHOP DRAWINGS AND MATERIALS GIVEN TO THE ARCHITECT WILL HAVE BEEN REVIEWED AND APPROVED BY THE CONTRACTOR. BY SUBMITTING SHOP DRAWINGS AND SUBMITTALS TO THE ARCHITECT, THE CONTRACTOR REPRESENTS THAT THE CONTRACTOR HAS DETERMINED AND VERIFIED MATERIAL, FIELD MEASUREMENTS, AND FIELD CONSTRUCTION RELATED THERETO, AND HAS CHECKED AND COORDINATED THE INFORMATION CONTAINED WITHIN SUCH SUBMITTALS WITH THE REQUIREMENTS OF THE WORK AND OF THE CONTRACT DOCUMENTS. THE ARCHITECT'S REVIEW OF SUBMITTALS AND SHOP DRAWINGS IS FOR CONFIRMATION OF DESIGN INTENT ONLY.

18. CONTRACTOR SHALL PROVIDE ALL SUBMITTALS REQUESTED FOR ARCHITECT'S REVIEW INCLUDING MATERIAL SAMPLES, IN FIELD PAINT-OUTS AND CABINET AND OTHER REQUESTED SHOP DRAWINGS.

19. CONTRACTOR SHALL NOT DUMP NOR ALLOW TO BE DUMPED ANY PLASTER, PAINT, OR SOLID WASTES ON THE SITE OR THROUGH THE SITE WASTE DISPOSAL SYSTEM. THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS OF ALL SUB-CONTRACTORS AND TRADES ON A REGULAR BASIS. THE CONTRACTOR SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS, OR DUST FROM AFFECTING, IN ANY WAY, FINISHED AREAS IN OR OUTSIDE THE JOB SITE.

20. THE CONTRACTOR SHALL CONDUCT THE FINAL CLEANING OF ALL AREAS AFFECTED BY THIS WORK. HE SHALL VISUALLY INSPECT ALL EXTERIOR AND INTERIOR SURFACES AND REMOVE ALL DIRT, WASTE, STAINS, PAINT DROPPINGS, CLEAN AND POLISH ALL GLASS EITHER INSTALLED OR AFFECTED BY THIS WORK.

21. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEEDENCE OVER SCALE DRAWINGS. LARGE SCALE DRAWINGS TAKE PRECEEDENCE OVER SMALLER SCALE DWGS, TYP.S

22. THE CONTRACTOR SHALL TAKE GREAT CARE TO ENSURE THAT KEY ELEMENTS ALIGN AND ARE PLACED ON CENTER AS NOTED IN THE DRAWINGS. CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY ARCHITECT SHOULD ANY DISCREPANCIES OCCUR TO MAINTAIN DESIGN INTENTIONS.

23. ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS NOTED OTHERWISE. CABINET DIMENSIONS AND CLEAR DIMENSIONS ARE TO FACE OF FINISH. CONCRETE AND CONCRETE BLOCK DIMENSIONS ARE TO FACE OF CONCRETE AND CONCRETE BLOCK. ALL VERTICAL DIMENSIONS ARE TO THE TOP OF THE STRUCTURE UNLESS OTHERWISE NOTED.

24. WINDOW AND DOOR DIMENSIONS ARE GIVEN AS UNIT SIZES. THE CONTRACTOR SHALL CO-ORDINATE WITH SPECIFIC MFR. OF DOOR & WINDOW PRODUCTS for REQ'D R.O. DIMENSIONS.

25. THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR THE USE OF ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED. CONTRACTOR AGREES TO PROVIDE A FACSIMILE MACHINE ON THE JOB SITE PREMISES. ALL QUESTIONS, DISCREPANCIES, AND CLARIFICATIONS BROUGHT TO THE ARCHITECTS AND OWNERS ATTENTION WILL BE SENT BY THE CONTRACTOR VIA EMAIL, WITH RECEIPT CONFIRMATION REQUIRED.

26. THESE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE PREPARED BY THE ARCHITECT EXCLUSIVELY AND COPYRIGHT OF THE ARCHITECT ALONE, AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY WRITTEN AGREEMENT WITH THE ARCHITECT.

ABBREVIATIONS

AFF	ABOVE FINISH FLOOR
ADJ	ADJACENT
ALT	ALTERNATE
APPROX	APPROXIMATELY
ARCH	ARCHITECT
BLKG	BLOCKING
BLDG	BUILDING
CAB	CABINET
CLG	CEILING
CLR	CLEAR
CL/CLOS	CLOSET
CONC	CONCRETE
CPT	CARPET
DEMO	DEMOLITION
DET	DETAIL
DIA	DIAMETER
DIM	DIMENSION
DN	DOWN
DRW	DRAWER
DS	DOWNSPOUT
DWG	DRAWING
EA	EACH
EL	ELEVATION
ELECT	ELECTRICAL
EQ	EQUAL
(E)	EXISTING
EXP	EXPOSED
EXT	EXTERIOR
FOF	FACE OF FINISH
FOS	FACE OF STUD
FIN	FINISH
F.A.	FIRE ALARM
F.E.	FIRE EXTINGUISHER
F.E.C.	FIRE EXTINGUISHER
FLR	FLOOR
F.D.	FLOOR DRAIN
FTG	FOOTING
FDN	FOUNDATION
FLUOR	FLUORESCENT
GL	GLASS
GWB	GYPSUM WALL BOARD
HDWR	HARDWARE
HDWD	HARDWOOD
HGT	HEIGHT
HW	HOT WATER
HR	HOUR
INFO	INFORMATION
I.D.	INTERIOR DESIGNER
MFR	MANUFACTURER
MAX	MAXIMUM
MECH	MECHANICAL
MTL	METAL
MIN	MINIMUM
(N)	NEW
N.I.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
NO.	NUMBER
O.C.	ON CENTER
OP'G	OPENING
O.H.	OPPOSITE HAND
PLYWD	PLYWOOD
PT	PRESSURE TREATED
RAD	RADIUS
(R)	RELOCATED
REQ'D	REQUIRED
R	RISER
RF	RESILIENT FLOORING
RM	ROOM
SCHED	SCHEDULE
SEAL	SEALANT
SSD	SEE STRUCTURAL DWGS
SHT	SHEET
SIM	SIMILAR
SPEC'D	SPECIFIED
ST. STL.	STAINLESS STEEL
STOR	STORAGE
T	TREAD
TEL	TELEPHONE
TEMP	TEMPERED
THK	THICKNESS
TME	TO MATCH EXISTING
T.W.	TOP OF WALL
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
VAR	VARIES
V.I.F.	VERIFY IN FIELD
W/	WITH
W/O	WITHOUT
WD	WOOD
WIND	WINDOW

SYMBOLS LEGEND

- EXTERIOR ELEVATION — DRAWING NO. / SHEET NO.
- INTERIOR ELEVATION — DRAWING NO. / SHEET NO.
- WALL SECTION/DETAIL — BUILDING SECTION
- TYPICAL DETAIL REFERENCE
- GRID LINE
- MATCHLINE (SEE: A1.2)
- ELEVATION / DATUM (GRADE/ FLR/ ROOF, 1'-2")
- WINDOW TYPE
- DOOR NUMBER
- MATERIAL COLOR
- WALL TYPE
- ROOM NAME
- ROOM NUMBER
- EQUIPMENT NOTE
- PAIR OF DOORS (PASSIVE LEAF / ACTIVE LEAF)
- (E) WALL TO REMAIN
- (E) WALL TO BE DEMOLISHED
- (N) WALL
- HIDDEN OR ABOVE

SITE ANALYSIS

BLOCK & LOT #	0633/009
ZONING CLASSIFICATION	RM-2
YEAR BUILT	1900
LOT AREA	1,947 SF
EXISTING NUMBER OF STORIES (NO CHANGE)	2
EXISTING GROSS FLOOR AREA	2,671 SF
PROPOSED GROSS FLOOR AREA	2,783 SF
(E) HT (NO CHANGE)	42'-8"
NUMBER OF UNITS (NO CHANGE)	1

APPLICABLE CODES

PROJECT DESCRIPTION: RESIDENTIAL REMODEL GARAGE: CONVERTING PARTIALLY TO HABITABLE SPACE AND LOWERING (E) GARAGE LEVEL BY APPROX. 2' - 0".
FIRST LEVEL: REMODELING KITCHEN AND REPLACE GLASS CONSERVATORY STRUCTURE W/ FRAME STRUCTURE TO INCLUDE (N) ROOF DECK

PROJECT LOCATION: 2030 SCOTT ST

COUNTY: SAN FRANCISCO

CONSTRUCTION TYPE: TYPE V

PREVAILING CODE: ALL PROPOSED CONSTRUCTION COMPLIES WITH THE FOLLOWING:

2016 CALIFORNIA BUILDING CODE WITH SAN FRANCISCO CITY AMENDMENTS

SHEET INDEX

DWG #	DRAWING TITLE	ISSUE DATE
ARCHITECTURAL DRAWINGS		
A0.0	TITLE SHEET	05.23.17
A1.0	EXTERIOR ELEVATIONS W/ ADJ. BLDGS	05.23.17
A1.1	SITEPLAN - EXISTING + PROPOSED	05.23.17
A2.0	FLOOR PLANS DEMO - GARAGE, FIRST FLOOR, SECOND FLOOR	05.23.17
A2.1	FLOOR PLANS PROPOSED - GARAGE, FIRST FLOOR, SECOND FLOOR	05.23.17
A3.0	EXTERIOR ELEVATIONS - NORTH-WEST FACADE DEMO	05.23.17
A3.1	EXTERIOR ELEVATIONS - NORHT-WEST FACADE PROPOSED	05.23.17
A3.2	EXTERIOR ELEVATIONS - SOUTH-EAST + WEST DEMO	05.23.17
A3.3	EXTERIOR ELEVATIONS - SOUTH-EAST + WEST PROPOSED	05.23.17
A3.4	SECTIONS - DEMO	05.23.17
A3.5	SECTIONS - PROPOSED	05.23.17

SUN ROOM BUILT IN 1977

PROJECT DIRECTORY

OWNER	ARCHITECT	CONTRACTOR	STRUCTURAL ENGINEER
LELAH ADLER	KARIN PAYSON ARCHITECTURE + DESIGN	TBD	FTF ENGINEERING, INC
2030 SCOTT STREET	C/O KARIN PAYSON		C/O RANDY COLLINS
SAN FRANCISCO, CA 94115	17 JACK KEROUAC ALLEY		1916 McALLISTER STREET
CONTACT: 415.922.1976	SAN FRANCISCO, CA 94133		SAN FRANCISCO, CA 94115
	CONTACT: 415.277.9500		CONTACT: 415.931.8460

VICINITY MAP

N.T.S

17 Jack Kerouac Alley
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2030 SCOTT STREET
SCOTT
RESIDENTIAL REMODEL
SAN FRANCISCO, CA 94115

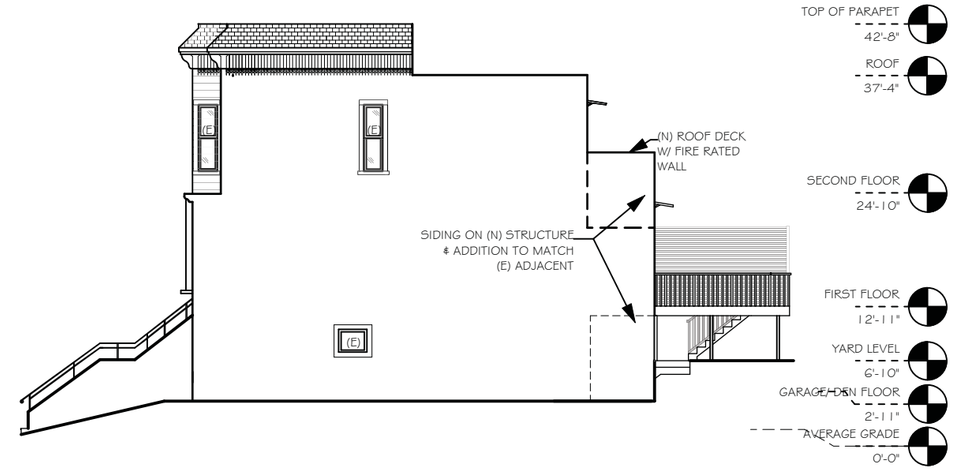
Drawing Title
TITLE SHEET

VARIANCE PERMIT

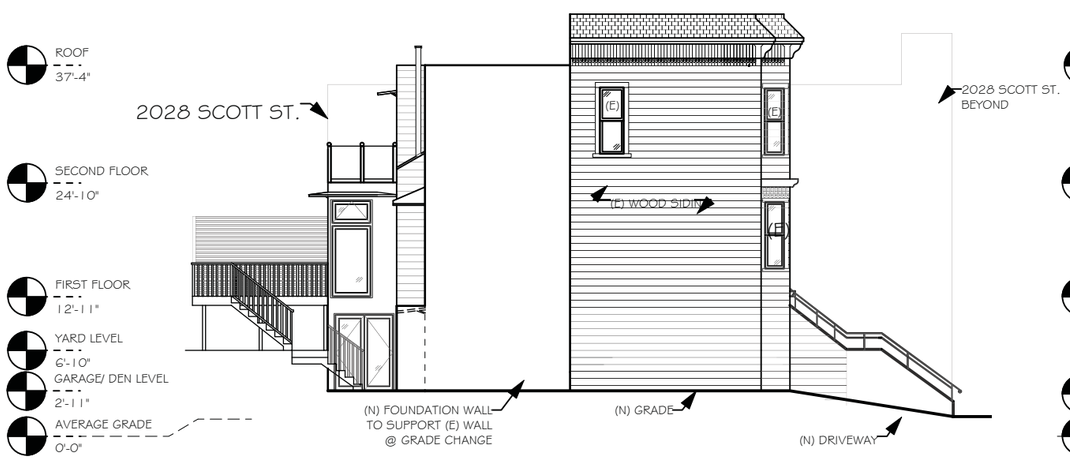
By: KP/ RB
Date: 05.23.17
Scale: AS NOTED
Drawing No.
A0.0

Project No. 1605

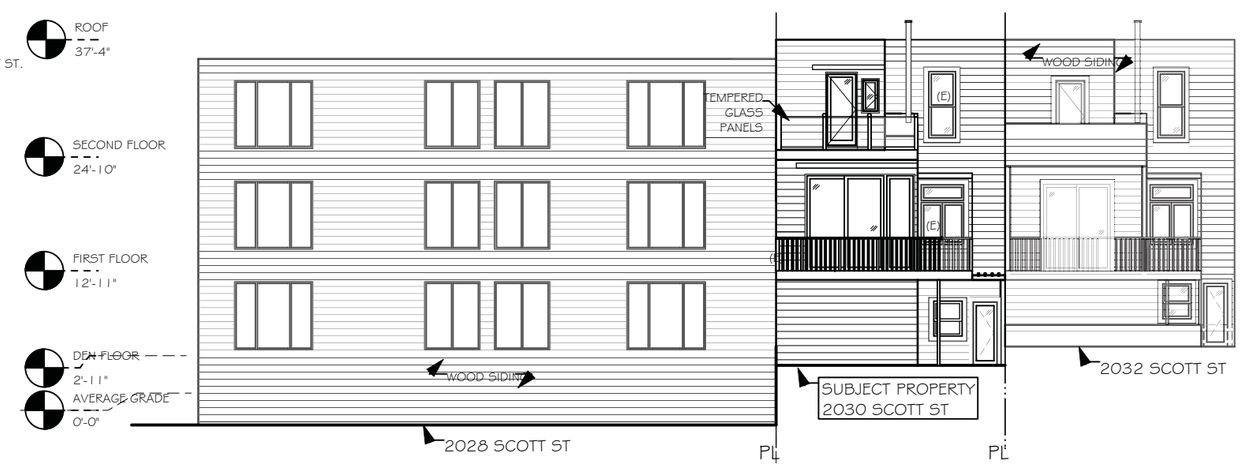
4 FRONT ELEVATION - PROPOSED
Scale: 1/16" = 1'-0"



3 SOUTH-EAST FACADE- PROPOSED
Scale: 1/16" = 1'-0"



2 NORTH-WEST FACADE - PROPOSED
Scale: 1/16" = 1'-0"



1 BACK ELEVATION - PROPOSED
Scale: 1/16" = 1'-0"

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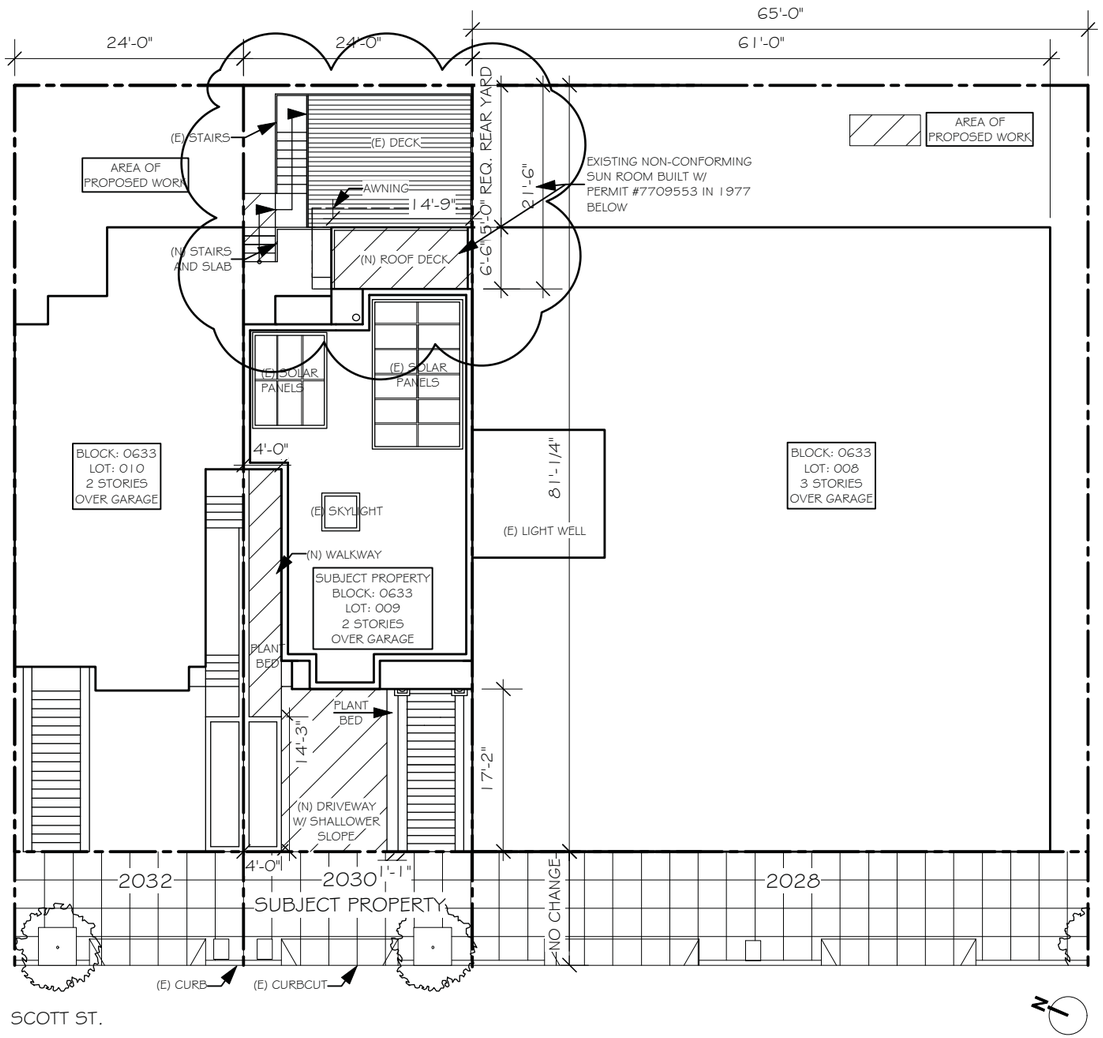
2030 SCOTT STREET
SCOTT
RESIDENTIAL REMODEL
SAN FRANCISCO, CA 94115

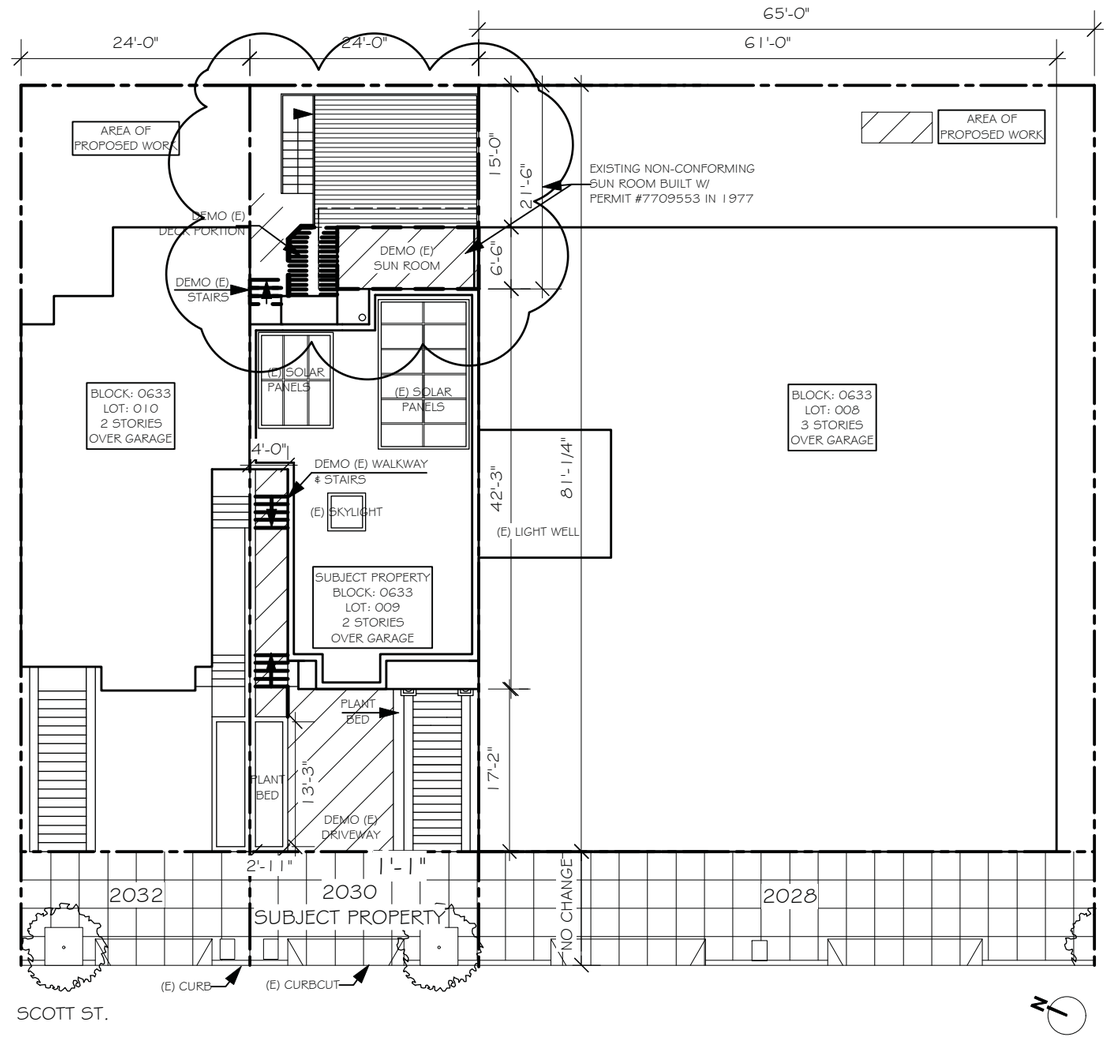
Drawing Title
EXTERIOR ELEVATIONS W/ ADJ. BLDGS

VARIANCE PERMIT

By KP/ RB
Date 05.23.17
Scale 1/16"=1'-0"
Drawing No.
A1.0
Project No. 1605



2 SITE AND ROOF PLAN - PROPOSED
Scale: 1/16" = 1'-0"



1 SITE AND ROOF PLAN - DEMO
Scale: 1/16" = 1'-0"

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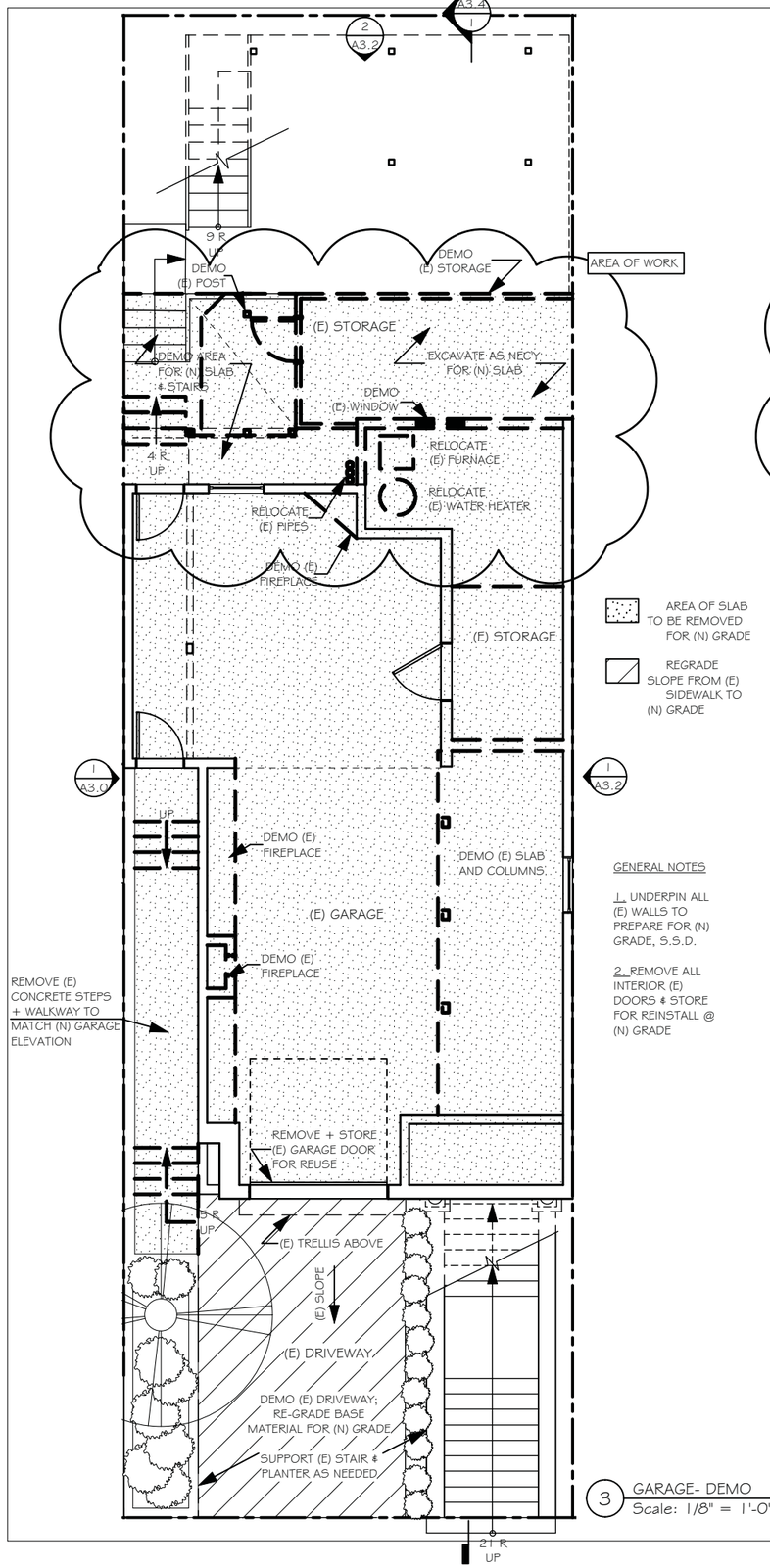
2030 SCOTT STREET
SCOTT
RESIDENTIAL REMODEL
SAN FRANCISCO, CA 94115

Drawing Title
SITE PLAN
EXISTING
+
PROPOSED

VARIANCE PERMIT

By KP / RB
Date 05.23.2017
Scale 1/16"=1'-0"
Drawing No.
A1.1
Project No. 1605

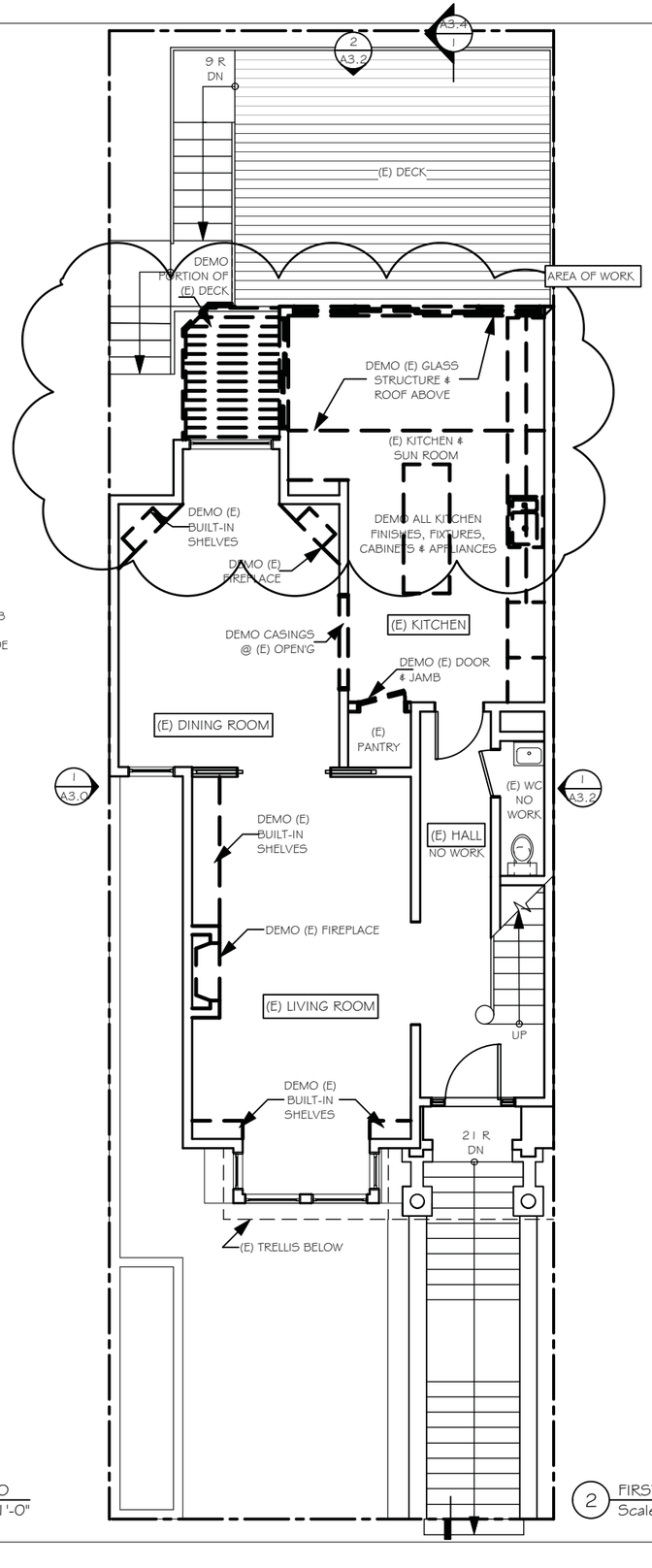


GENERAL NOTES

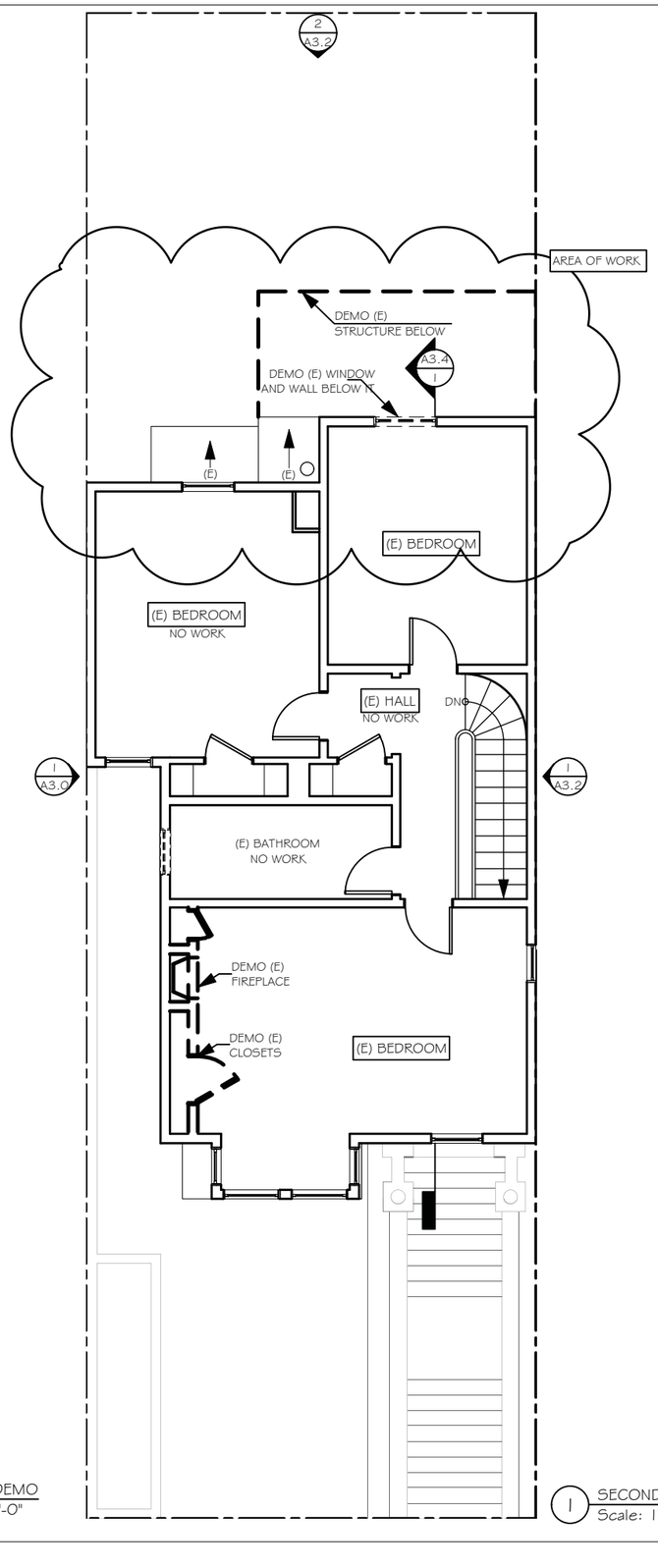
1. UNDERPIN ALL (E) WALLS TO PREPARE FOR (N) GRADE, S.S.D.

2. REMOVE ALL INTERIOR (E) DOORS & STORE FOR REINSTALL @ (N) GRADE

3 GARAGE- DEMO
Scale: 1/8" = 1'-0"



2 FIRST FLOOR- DEMO
Scale: 1/8" = 1'-0"



1 SECOND FLOOR- DEMO
Scale: 1/8" = 1'-0"

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2030 SCOTT STREET
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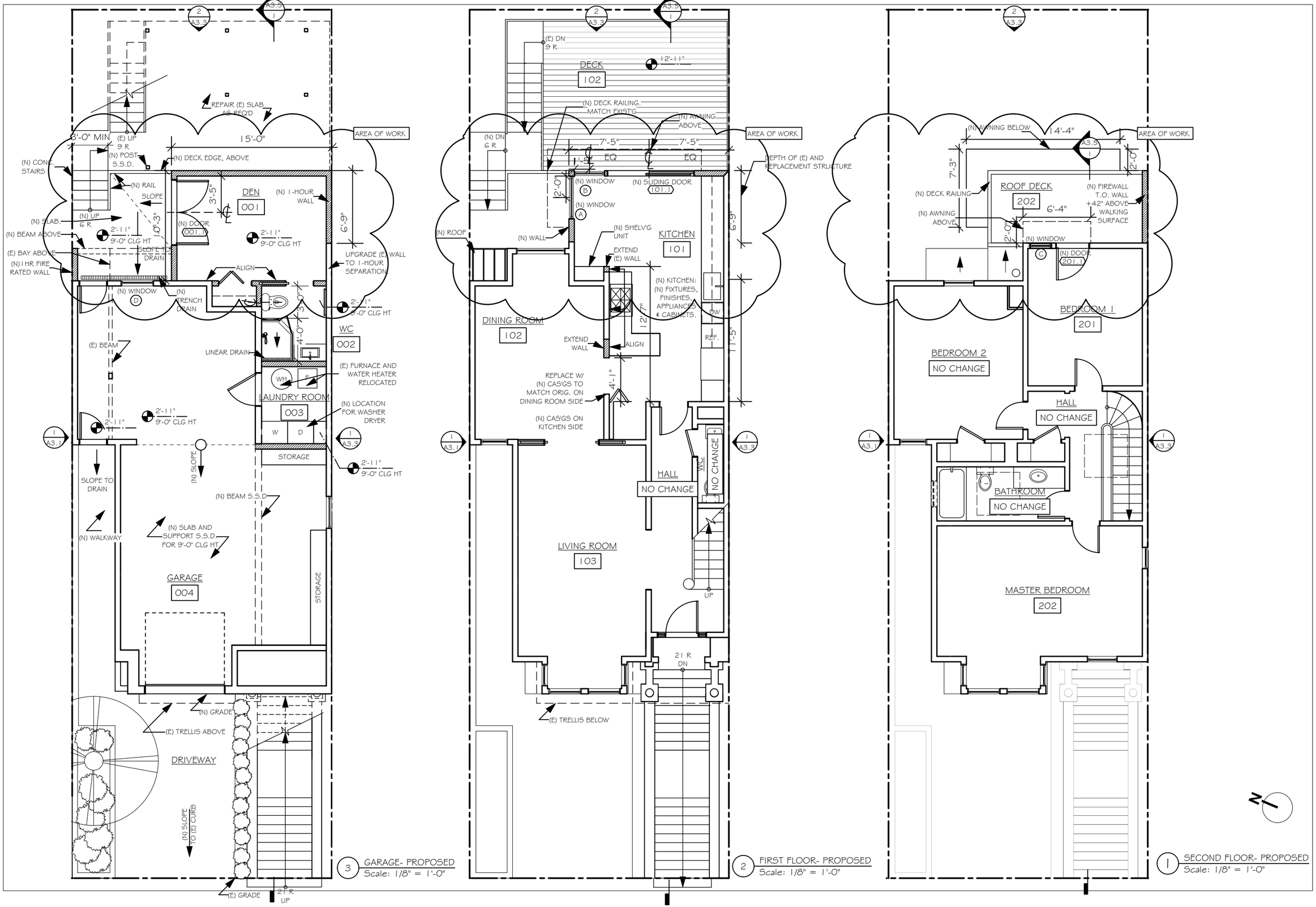
SAN FRANCISCO, CA 94115

Drawing Title
FLOOR PLANS
DEMO

GARAGE
FIRST FLOOR
SECOND FLOOR

VARIANCE
PERMIT

By	KP / RB
Date	05.23.17
Scale	1/8"=1'-0"
Drawing No.	A2.0
Project No.	1605



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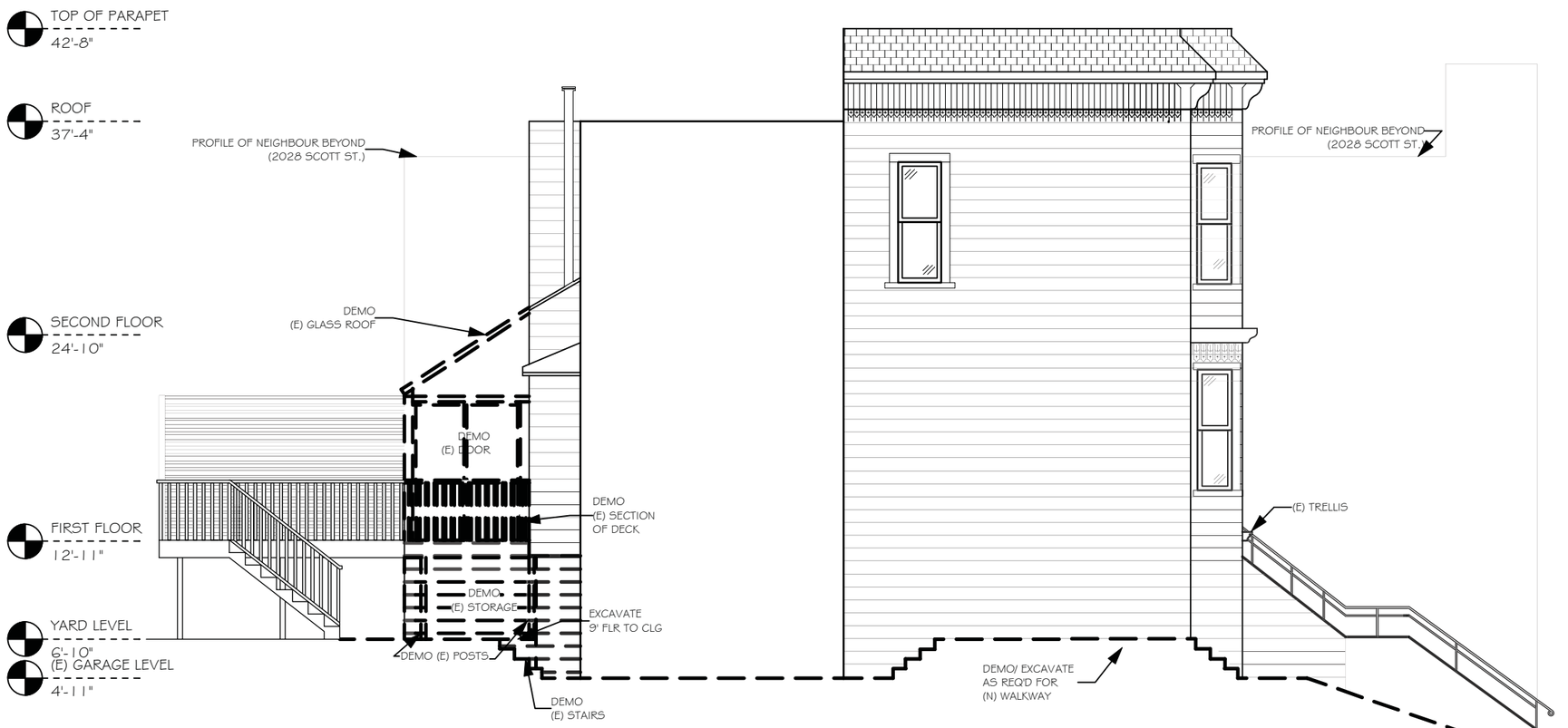
Drawing Title
FLOOR PLANS PROPOSED

GARAGE
FIRST FLOOR
SECOND FLOOR

VARIANCE PERMIT

By	KP / RB
Date	05.23.17
Scale	1/8"=1'-0"
Drawing No.	A2.1
Project No.	1605



1 NORTH-WEST FACADE- DEMO
Scale: 1/8" = 1'-0"

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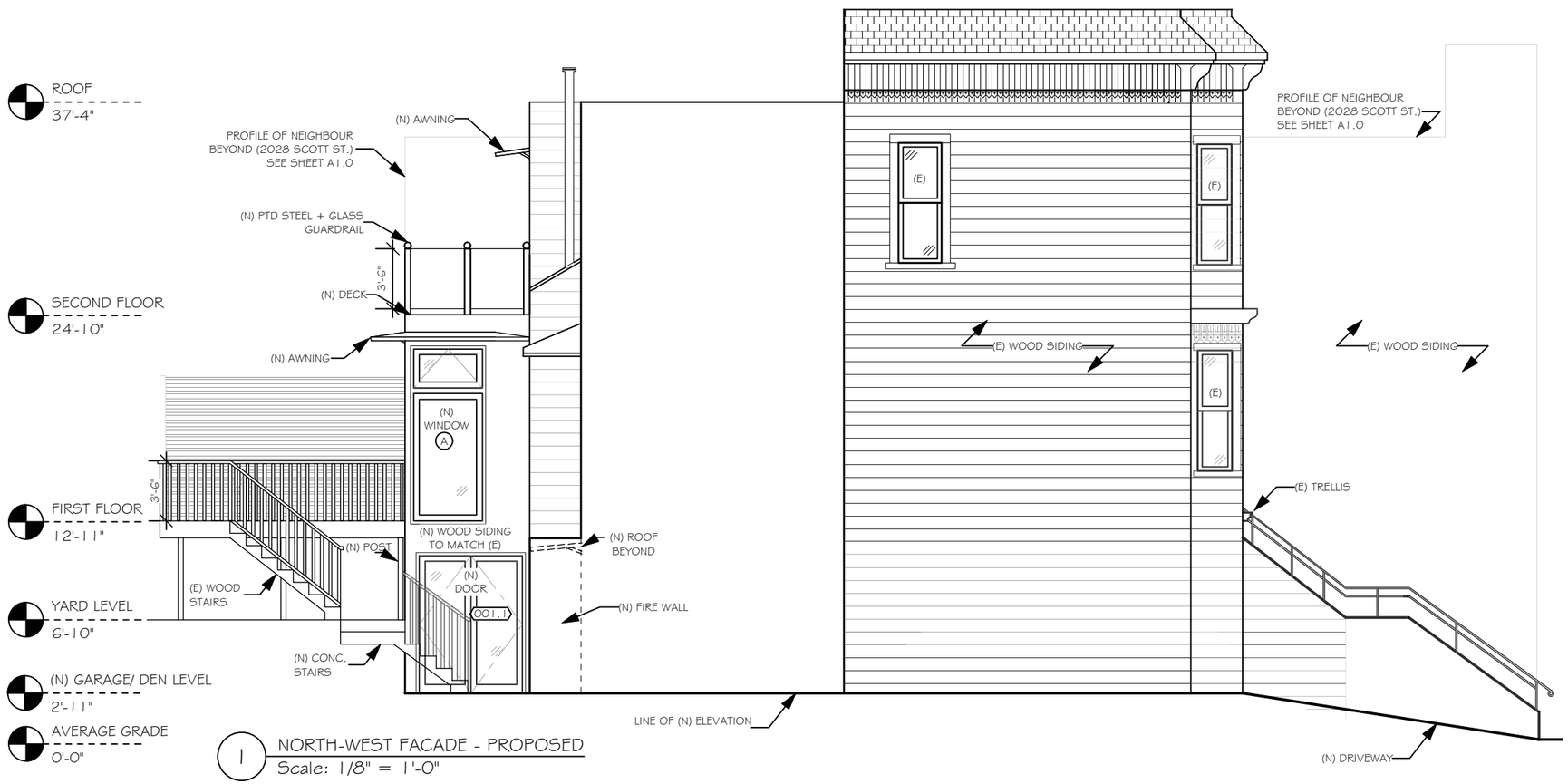
Drawing Title
EXTERIOR ELEVATIONS

NORTH-WEST FACADE DEMO

VARIANCE PERMIT

By: KP/ RB
Date: 05.23.17
Scale: 1/8"=1'-0"
Drawing No.
A3.0
Project No. 1605



1 NORTH-WEST FACADE - PROPOSED
Scale: 1/8" = 1'-0"

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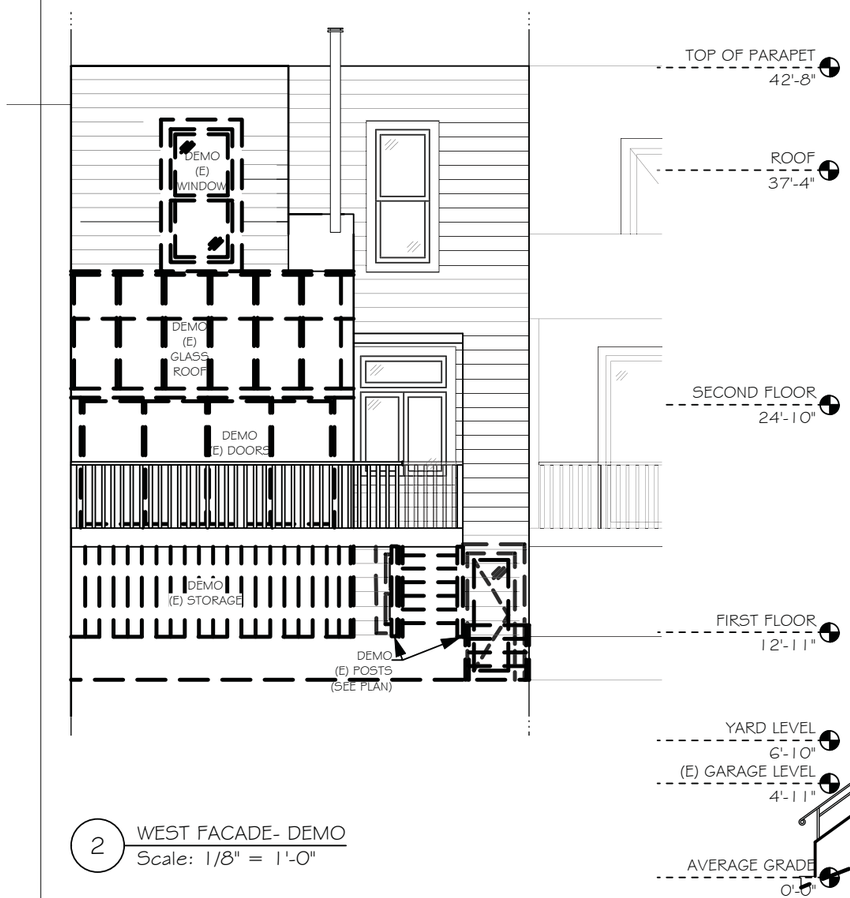
Drawing Title
EXTERIOR ELEVATIONS

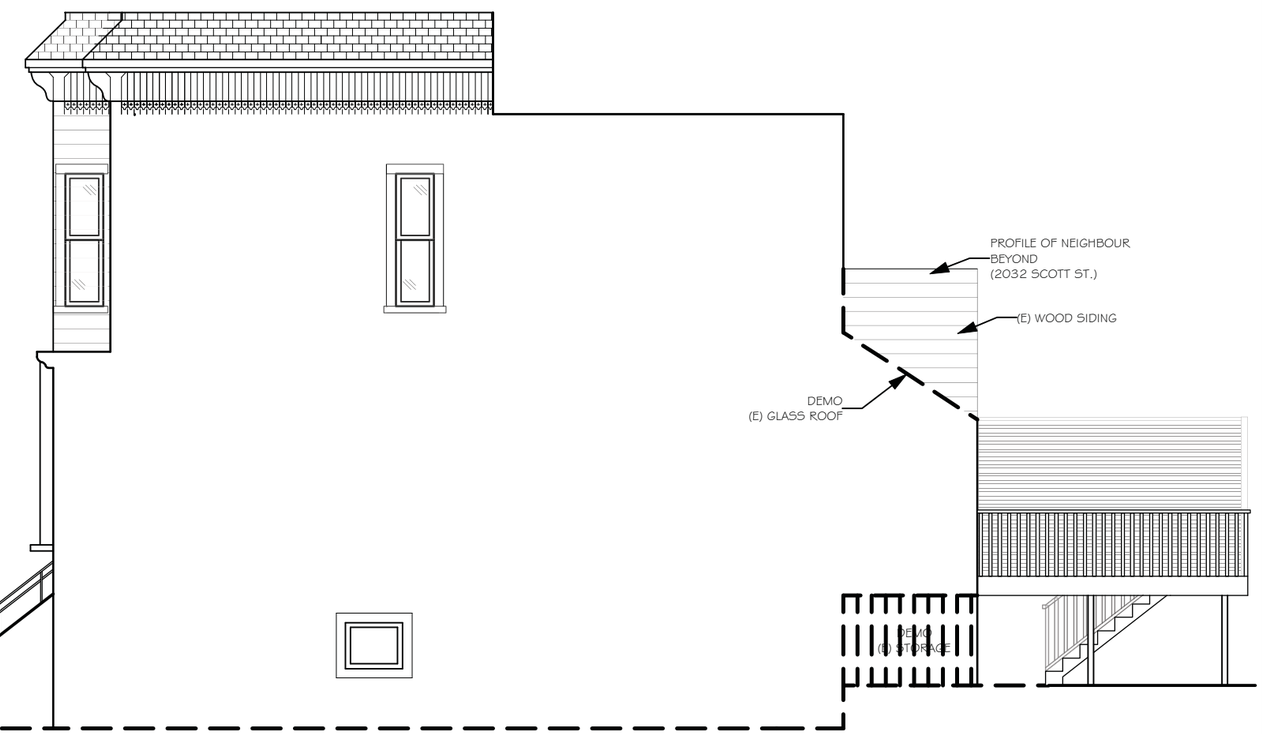
NORTH-WEST FACADE PROPOSED

VARIANCE PERMIT

By	KP/ RB
Date	05.23.17
Scale	1/8"=1'-0"
Drawing No.	A3.1
Project No.	1605



2 WEST FACADE- DEMO
Scale: 1/8" = 1'-0"



1 SOUTH-EAST FACADE- DEMO
Scale: 1/8" = 1'-0"

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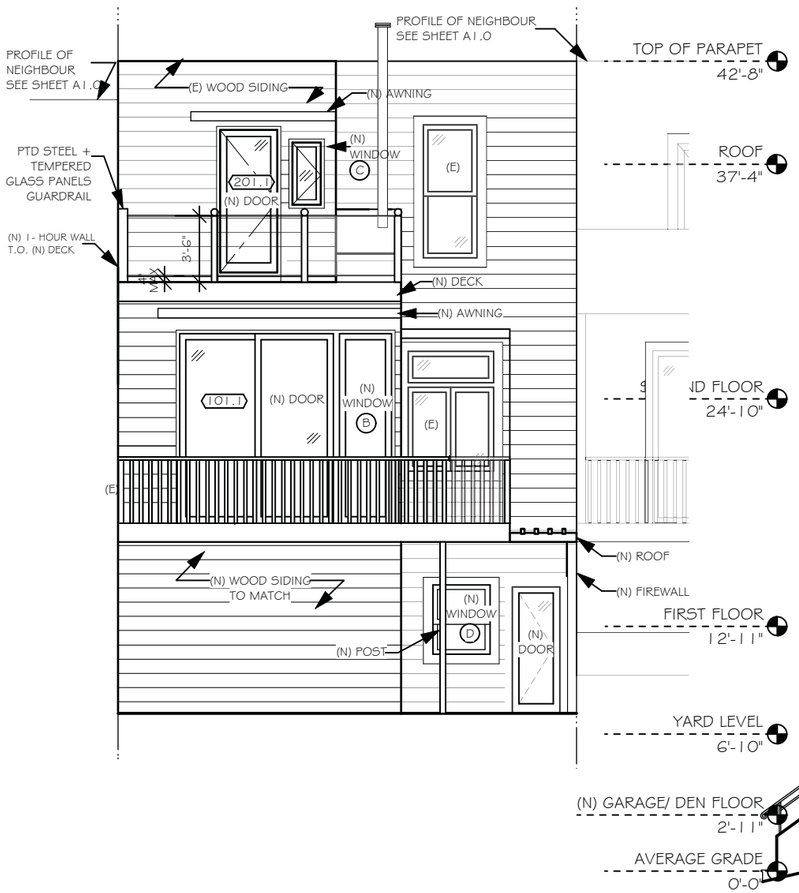
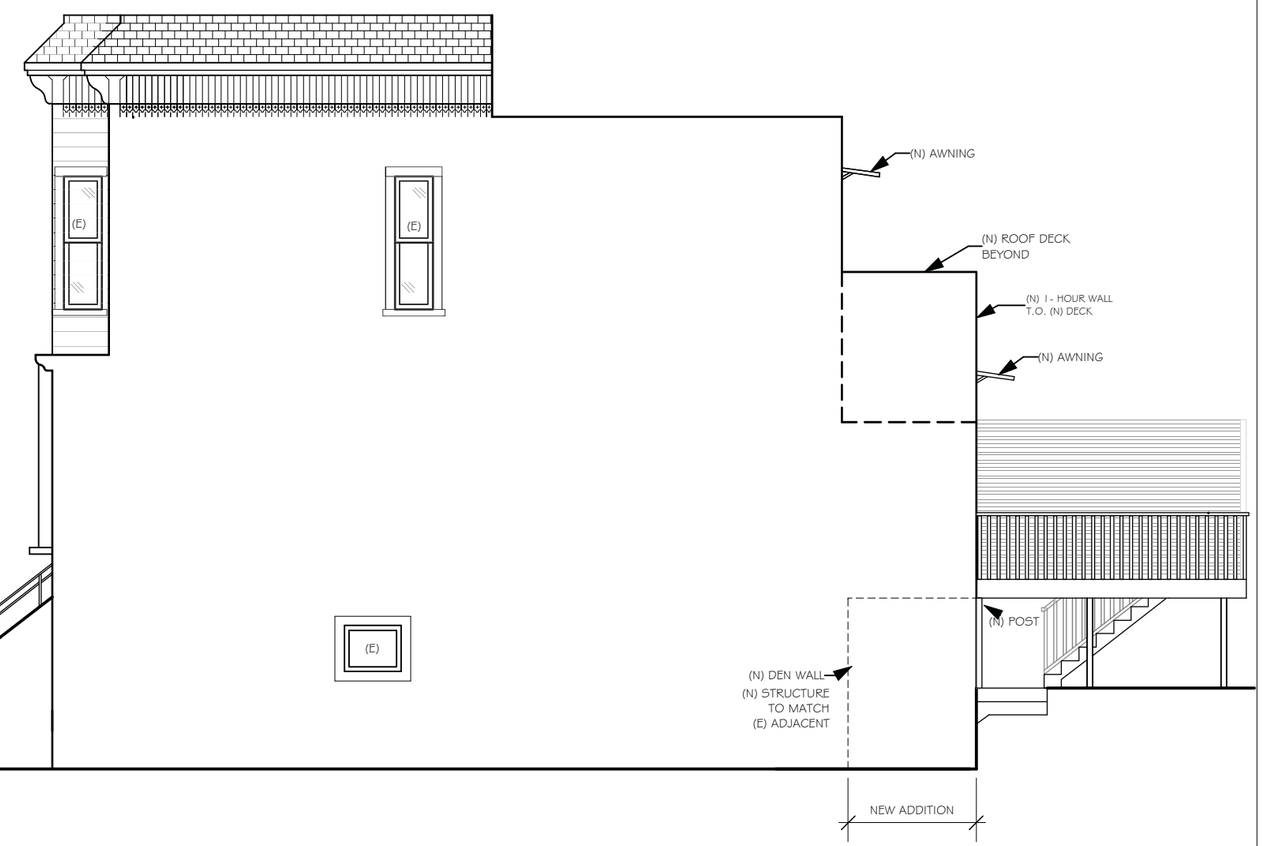
Drawing Title
EXTERIOR ELEVATIONS
-
SOUTH-EAST
+
WEST
DEMO

VARIANCE PERMIT

By KP/ RB
Date 05.23.17
Scale 1/8"=1'-0"
Drawing No.
A3.2
Project No. 1605



2 WEST FACADE- PROPOSED
Scale: 1/8" = 1'-0"



1 SOUTH-EAST FACADE- PROPOSED
Scale: 1/8" = 1'-0"

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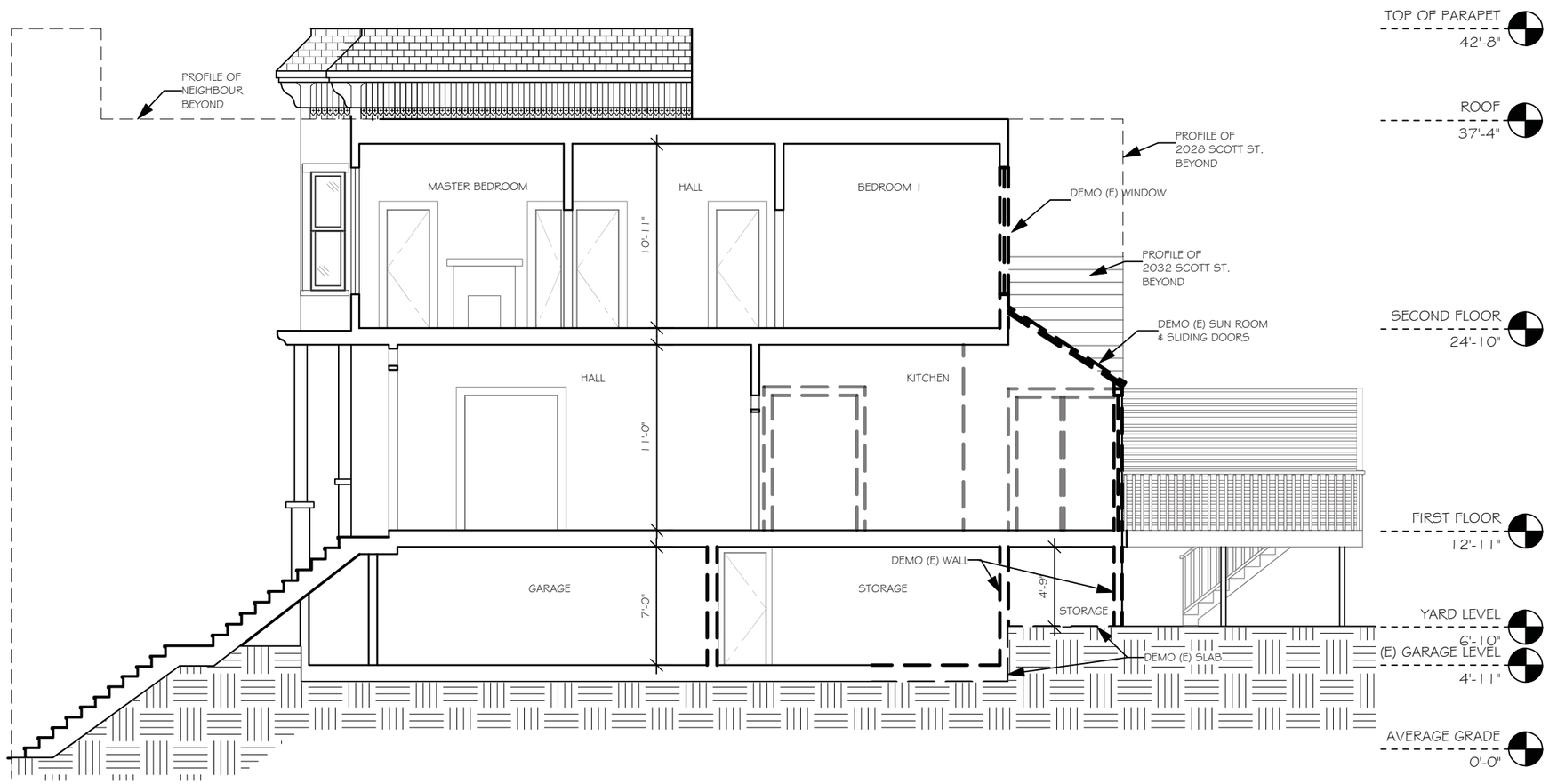
Drawing Title
EXTERIOR ELEVATIONS - SOUTH-EAST + WEST PROPOSED

VARIANCE PERMIT

By: KP/ RB
Date: 05.23.17
Scale: 1/8"=1'-0"
Drawing No.

A3.3

Project No. 1605



1 EAST - WEST SECTION - DEMO
Scale: 1/8" = 1'-0"

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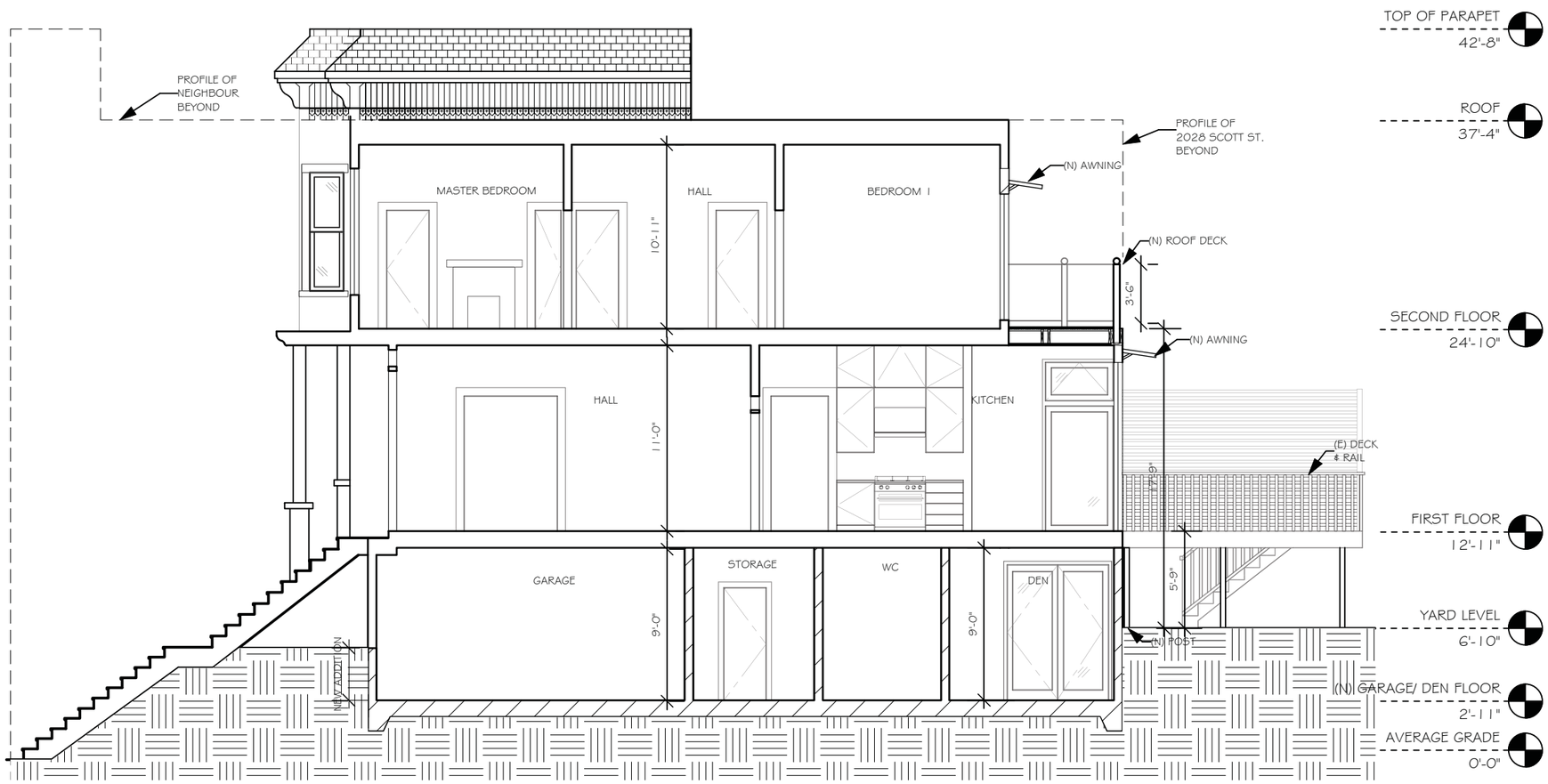
Drawing Title
SECTIONS

DEMO

VARIANCE PERMIT

By KP/ RB
Date 05.23.17
Scale 1/8"=1'-0"
Drawing No.
A3.4

Project No. 1605



1 EAST - WEST SECTION - PROPOSED
Scale: 1/8" = 1'-0"

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Drawing Title
SECTIONS

PROPOSED

VARIANCE PERMIT

By KP/ RB
Date 05.23.17
Scale 1/8"=1'-0"
Drawing No.
A3.5

Project No. 1605