



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

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**SAN FRANCISCO  
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

# NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, May 24, 2017**  
 Time: **Not before 9:30 AM**  
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**  
 Case Type: **Variance**  
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	<b>590 Lombard Street</b>	Case No.:	<b>2017-003581VAR</b>
Cross Street(s):	<b>Powell</b>	Building Permit:	<b>201612094617</b>
Block /Lot No.:	<b>0063/018</b>	Applicant:	<b>Jody Knight</b>
Zoning District(s):	<b>RM-2 / 40-X</b>	Telephone:	<b>(415) 567-9000</b>
Area Plan:	<b>N/A</b>	E-Mail:	<b>jknight@reubenlaw.com</b>

## PROJECT DESCRIPTION

The subject lot is a corner lot with one existing residential structure containing 3 dwelling units. The proposal is to legalize a previous horizontal expansion (infill) of an existing 4th floor penthouse, to comply with Enforcement Case #2016-004830ENF. The horizontal expansion, totaling approximately 35 square feet, was approved in error under Building Permit Application No. 201511303738. The proposal also includes an approximately 240 square foot roof deck abutting the subject penthouse, which, is located within the required rear yard. (The roof deck requires notification but is not the subject of this variance request.).

**SECTION 134 OF THE PLANNING CODE** requires a minimum rear yard of approximately 49'-10" for the subject property. As the existing penthouse encroaches into the required rear yard by approximately 10 feet, the area of horizontal expansion is within the required rear yard; therefore the project requires a variance.

## ADDITIONAL INFORMATION

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://notice.sfplanning.org/2017-003581VAR.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

**FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:**

Planner: **Nicholas Foster** Telephone: **(415) 575-9167** E-Mail: [nicholas.foster@sfgov.org](mailto:nicholas.foster@sfgov.org)

# GENERAL INFORMATION ABOUT PROCEDURES

## HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

## BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311 or 312, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property.

## APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

VARIANCE SUBMITTAL FOR STAIR TO ROOF LEVEL BEDROOM AT UNIT 590 + 35 SF AT UPPER ENVELOPE

REVISION PERMIT TO BPA 201409126230 AND 201511303738 TO TO COMPLY WITH PLANNING ENFORCEMENT 2016-004830

590, 592 & 594 LOMBARD STREET  
SAN FRANCISCO, CA

PRODUCT TYPE: MULTI-FAMILY ATTACHED TRIPLEX CONDOMINIUM

CLIENT: 592 LOMBARD EVP LLC  
ADDRESS: 3375 Mount Diablo Boulevard Lafayette, CA 94549

ARCHITECT: DANIELIAN ASSOCIATES  
60 CORPORATE PARK, IRVINE, CA 92606  
(949) 474-6030 FAX: (949) 474-1422  
www.danielian.com

SHEET INDEX

NO. SHEET TITLE

ARCHITECTURAL	T-1	TITLE SHEET
	T-2	EXISTING CONDITIONS/ DESIGN CONCEPT
	T-3	CODE SHEET
	G-1	ABBREVIATIONS & SYMBOLS
	G-2	GENERAL NOTES
	G-3	GENERAL NOTES
	G-4	GENERAL NOTES
	A-0	SITE PLAN
	A-1	EXISTING FLOOR PLANS - LEVEL 1 & 2
	A-2	EXISTING FLOOR PLANS - LEVEL 3 & 4
	A-3	PROPOSED FLOOR PLANS - LEVEL 0 & 1
	A-4	PROPOSED FLOOR PLANS - LEVEL 2 & 3
	A-5	PROPOSED FLOOR PLANS - LEVEL 4 & ROOF
	A-6	PROPOSED UTILITY PLANS - LEVEL 2 & 3
	A-7	PROPOSED UTILITY PLANS - LEVEL 2 & 3
	A-8	PROPOSED UTILITY PLANS - LEVEL 4 & ROOF
	A-9	PROPOSED SECTION A
	A-10	PROPOSED SECTION B
	A-11	PROPOSED SECTION C
	A-12	PROPOSED SECTIONS D, E & F
	A-13	EXISTING & PROPOSED SOUTH ELEVATION
	A-14	EXISTING & PROPOSED NORTH ELEVATION
	A-15	EXISTING & PROPOSED EAST ELEVATION
	A-16	EXISTING & PROPOSED WEST ELEVATION
	FP-1	FIRE-RESISTIVE CONSTRUCTION DETAILS
	FP-2	FIRE-RESISTIVE CONSTRUCTION DETAILS
	D-1	ARCHITECTURAL DETAILS
	D-2	ARCHITECTURAL DETAILS
		TOTAL ARCHITECTURAL SHEETS
	27	
	EN-1	ENERGY CALCULATIONS
STRUCTURAL	S1-0	STRUCTURAL NOTES AND INDEX
	S1-A	TYPICAL WOOD DETAILS
	S1-B	TYPICAL WOOD DETAILS
	S1-A	TYPICAL WOOD DETAILS
	S1-B	TYPICAL WOOD DETAILS
	S2	FOUNDATION AND BASEMENT FRAMING PLAN
	S3	FIRST AND SECOND FLOOR FRAMING PLANS
	S4	THIRD AND FOURTH FLOOR FRAMING PLANS
	S5	PENTHOUSE (FOURTH FLOOR) FRAMING PLAN
	S6	STRUCTURAL DETAILS
	S7	STRUCTURAL DETAILS
	S8	STRUCTURAL DETAILS
	S9	STRUCTURAL DETAILS
		TOTAL STRUCTURAL SHEETS
	12	
		TOTAL SHEETS
	39	



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NO.	DATE	REVISION
1	2/2/15	BLDG DEPT CORRECTIONS
2	1/19/15	HISTORIC CORRECTIONS
3	12/15/15	HISTORIC/BLDG DEPT. CORR.
4	5/1/16	CLIENT REVISIONS
5	1/22/16	CLIENT REVISIONS
6	1/20/16	PLANNING ENFORCEMENT
7	1/13/17	PLANNING ENFORCEMENT
8	2/5/17	PLANNING ENFORCEMENT
9	3/2/17	PLAN ENF. - VARIANCE SUB.

CODE ANALYSIS

OCCUPANCY TYPE	R-2 / U
CONSTRUCTION TYPE	V A
BUILDING HEIGHT	4 STORIES + BASEMENT
SPRINKLERS	NFPA 13
-NOTE: FIRE SPRINKLER SYSTEM TO BE DEFERRED SUBMITTAL.	
CALIFORNIA BUILDING CODE	2013 EDITION
CALIFORNIA GREEN BUILDING STANDARDS CODE	2013 EDITION
CALIFORNIA MECHANICAL CODE	2013 EDITION
CALIFORNIA PLUMBING CODE	2013 EDITION
CALIFORNIA ELECTRICAL CODE	2013 EDITION
2013 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS	

**FIRE RESISTIVE CONSTRUCTION ANALYSIS**

AUTOMATIC FIRE-SPRINKLER SYSTEM REQUIRED PER CBC SECTION 903.2.8 - GROUP R OCCUPANCY

ALLOWABLE HEIGHT:  
PER TABLE 503 - R-2 OCCUPANCY W/ TYPE VA (1 HR) CONSTRUCTION: 3 STORIES + 4'

ALLOWABLE HEIGHT INCREASES:  
INSTALL AN NFPA-13 SPRINKLER SYSTEM FOR ADDITIONAL STORY ALLOWANCE AND 60' MAXIMUM HEIGHT PER SECTION 504.2.

MAXIMUM ALLOWABLE HEIGHT = 4 STORIES AND 60'

ALLOWABLE AREA:  
PER TABLE 503 - R-2 OCCUPANCY W/ TYPE VA (1 HR) CONSTRUCTION: 12,000 MAX ALLOWABLE TOTAL SQUARE FOOTAGE AT ANY FLOOR

ALLOWABLE AREA INCREASES:  
PER 506.3 - WITH INSTALLATION OF NFPA 13 SPRINKLER SYSTEM, AREA IS ALLOWED TO INCREASE AN ADDITIONAL 200% = 12,000 SF X 2 = 24,000 SF ADDITIONAL = 12,000 SF + 24,000 SF = 36,000 SF PER FLOOR

PER 506.4.1 - FOR BUILDINGS MORE THAN 2 STORIES ABOVE THE GRADE PLANE, MULTIPLE ALLOWABLE AREA BY 2 FOR TOTAL BUILDING ALLOWABLE AREA = 36,000 SF X 2 = 72,000 SF ALLOWABLE FOR BUILDING

FRONTAGE INCREASES ALLOWABLE PER 506.2 NOT NEEDED/TAKEN.

MAXIMUM ALLOWABLE AREA = 36,000 SF PER FLOOR + 72,000 SF TOTAL GROSS BUILDING AREA

GROSS BUILDING AREA:  
FIRST FLOOR = 2,305 SF X 36,000 SF  
SECOND FLOOR = 1,659 SF X 36,000 SF  
THIRD FLOOR = 2,125 SF X 36,000 SF  
TOTAL AREA = 6,805 SF X 72,000 SF

PER SECTION 420.2.4 420.5.1 HOUR DWELLING SEPARATION BETWEEN UNITS AT COMMON HALL AND FLOOR/CELLING ASSEMBLIES PER SECTION  
PER SECTION 1207.11 & 1207.9, HALLS AND FLOORS SEPARATING THE UNITS, INTERIOR COMMON CORRIDORS AND GARAGES SHALL HAVE SOUND RESISTANT RATING OF STC45 AND ICG45 OVER UNITS.

**EXITING**

EXITS REQUIRED:  
PER SEC 1015.1 EX. 1 - ONE MEANS OF EGRESS IS PERMITTED FOR R-2 OCCUPANCIES WITHIN AND FROM INDIVIDUAL DWELLING UNIT WITH A MAXIMUM OCCUPANT LOAD OF 20 WHERE DWELLING UNIT IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM (NFPA 13 OR ISR).

LARGEST UNIT, 592 = 2277 SF / 200 = 11 OCCUPANTS < 20 ALLOWED

ONE EXIT ALLOWED FROM UNITS

TWO DWELLING UNITS EXITING AT THE SECOND FLOOR TO THE INTERIOR EXIT STAIR ALLOWED PER TABLE 1021.2 WHERE AS 4 DWELLING UNITS ARE ALLOWED ONE COMMON EXIT.

ONE EXIT ALLOWED FROM BUILDING

TRAVEL DISTANCE:  
PER TABLE 1021.2(1) - R OCCUPANCY WITH 1 EXIT = 125' (W/ NFPA 13 OR ISR SPRINKLERS).

MAXIMUM TRAVEL DISTANT AT EACH UNIT:  
UNIT 590 = 125' X 150' ALLOWED  
UNIT 592 = 125' X 150' ALLOWED  
UNIT 594 = 104' X 150' ALLOWED

MAXIMUM TRAVEL DISTANCE NOT EXCEEDED

**CORRIDORS**  
PER TABLE 1010.1 - EXIT CORRIDOR TO BE 1 HOUR RATED WITH NFPA 13 OR ISR SPRINKLERS  
BUILDING ONE HOUR THROUGHOUT, PROVIDE PROTECTED OPENINGS AT EXIT CORRIDOR.

**ACCESSIBILITY**

EXEMPT:  
PER SEC 1102.A - ACCESSIBILITY REQUIRED FOR BUILDINGS WITH 4 OR MORE CONDOMINIUM UNITS.  
THREE CONDOMINIUM UNITS < FOUR TRIGGERING REQUIREMENT - EXEMPT

AREA CALCULATIONS

**PRE-EXISTING (ORIGINAL)**

TOTAL GROSS BUILDING	
INCLUDES COMMON EXT COURT/CORRIDOR SPACE AND STAIRWELLS - ALL AREA TO PERIMETER OF BLDG.	
LEVEL 1	2205 SQ. FT.
LEVEL 2	1126 SQ. FT.
LEVEL 3	2124 SQ. FT.
LEVEL 4	516 SQ. FT.
TOTAL AREA	5970 SQ. FT.
UNIT 590	
TOTAL LIVING AREA	886 SQ. FT.
UNIT 592	
TOTAL LIVING AREA	1343 SQ. FT.
UNIT 594	
TOTAL LIVING AREA	439 SQ. FT.
TOTAL LIVING AREA	3218 SQ. FT.

**PROPOSED (AS-BUILT)**

TOTAL GROSS BUILDING	
INCLUDES COMMON EXT COURT/CORRIDOR SPACE AND STAIRWELLS - ALL AREA TO PERIMETER OF BLDG.	
LEVEL 0	1452 SQ. FT.
LEVEL 1	2305 SQ. FT.
LEVEL 2	1625 SQ. FT.
LEVEL 3	2125 SQ. FT.
LEVEL 4	733 SQ. FT.
TOTAL AREA	8238 SQ. FT.
(+ 2268 SQ. FT. = 28% GROSS INCREASE)	
UNIT 590	
LEVEL 2	946 SQ. FT.
LEVEL 3	427 SQ. FT.
LEVEL 4	423 SQ. FT.
TOTAL LIVING AREA	1646 SQ. FT.
(+ 810 F.T. = 48% INCREASE)	
GARAGE	
	216 SQ. FT.
UNIT 592	
LEVEL 2	1009 SQ. FT.
LEVEL 3	1140 SQ. FT.
LEVEL 4	128 SQ. FT.
TOTAL LIVING AREA	2277 SQ. FT.
(+ 884 SQ. FT. = 39% INCREASE)	
GARAGE	
	216 SQ. FT.
UNIT 594	
LEVEL 0	1310 SQ. FT.
LEVEL 1	1405 SQ. FT.
TOTAL LIVING AREA	2715 SQ. FT.
(+ 1774 SQ. FT. = 75% INCREASE)	
UNFINISHED STORAGE	
	86 SQ. FT.
GARAGE	
	193 SQ. FT.
TOTAL LIVING AREA	6606 SQ. FT.
(+ 3468 SQ. FT. = 52% INCREASE)	

STRUCTURAL ENGINEER

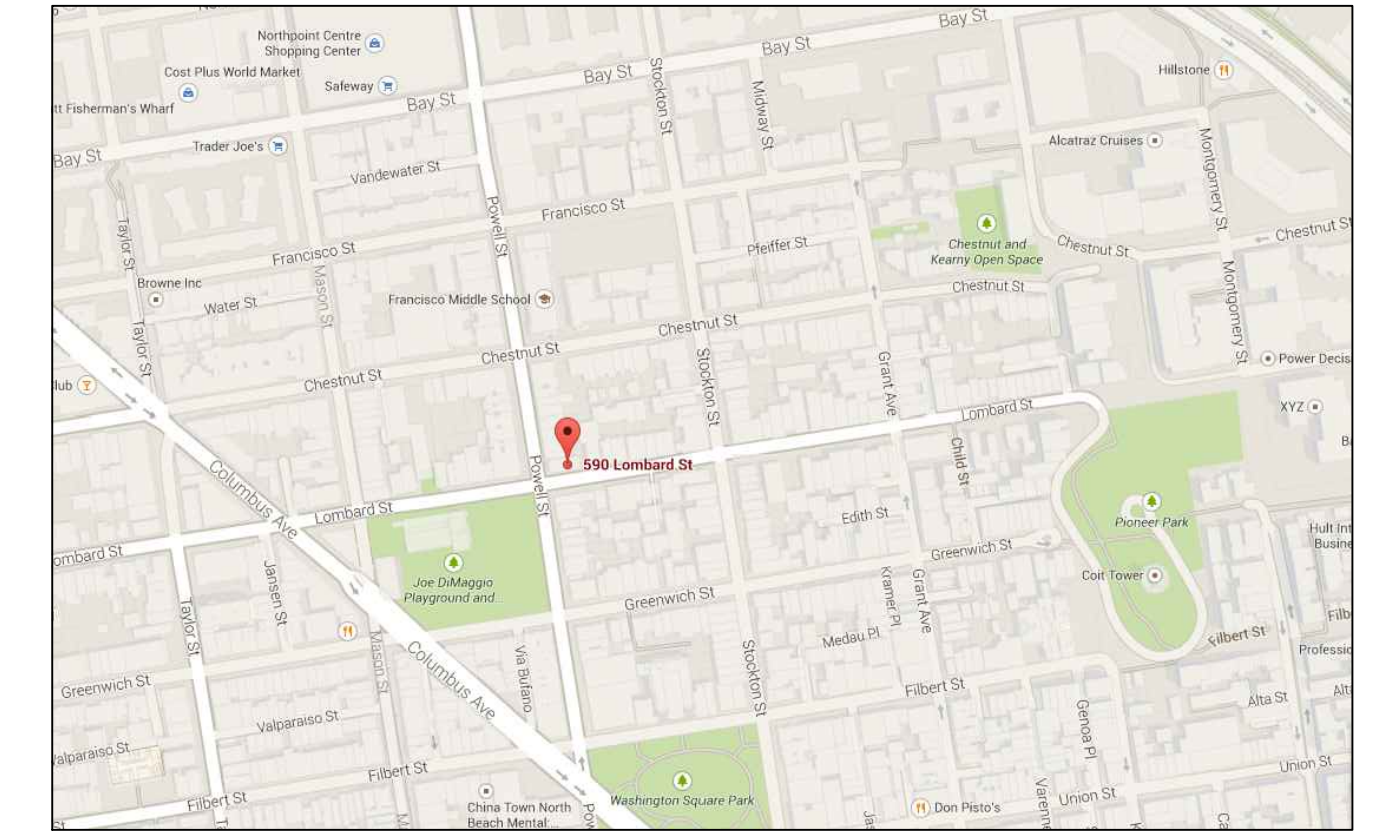
JAMES LO  
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2451 Harrison Street  
San Francisco, CA 94110  
(415) 642-7722 ext.1111 jlo@santosurrutia.com

SOILS ENGINEER

CAL ENGINEERING  
903 Ventura Avenue  
Berkeley, CA 94707  
(510)524-1494

ENERGY CONSULTANT

NRG COMPLIANCE  
P.O. BOX 3777  
Santa Rosa, CA 95402  
707-237-6957



VIA GOOGLEMAPS.COM

PROJECT TITLE

Lombard Tri Plex

PROJECT NUMBER 14033.00

SHEET TITLE

TITLE SHEET

ISSUE DATE:

①	-
②	-
③	-
④	-
⑤	-
⑥	-
SHEET NO.	

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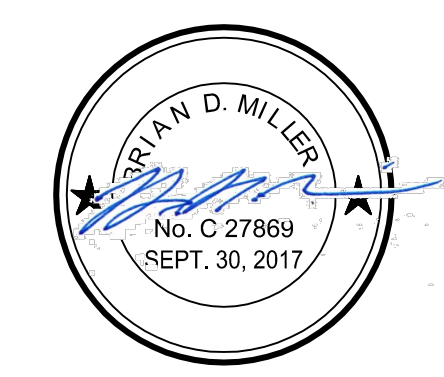
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9	3/2/17	PLAN ENF. - VARIANCE SUB.

PROJECT TITLE  
**Lombard Tri Plex**

PROJECT NUMBER 14033.00

SHEET TITLE

**EXISTING DEMO**

**FLOOR PLANS**

ISSUE DATE:

② -  
② -  
②  
②  
②

SHEET NO.

**A-2**

**DEMO LEGEND**

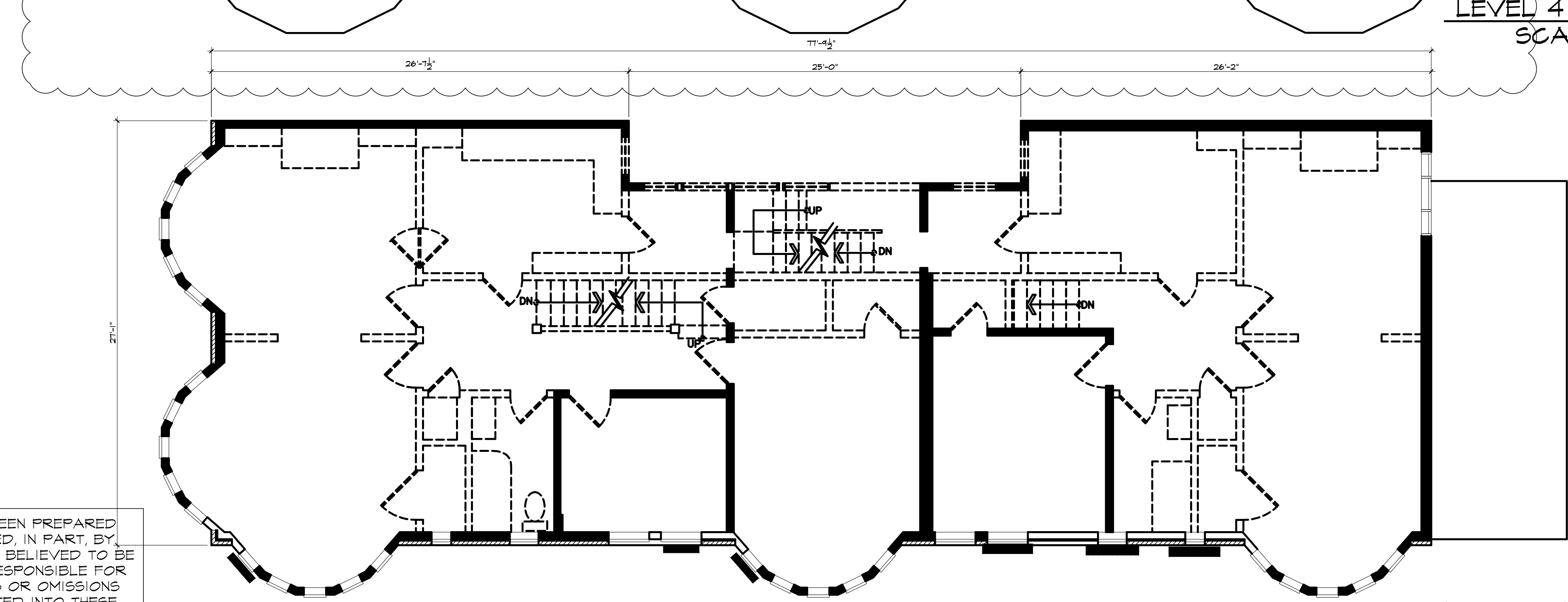
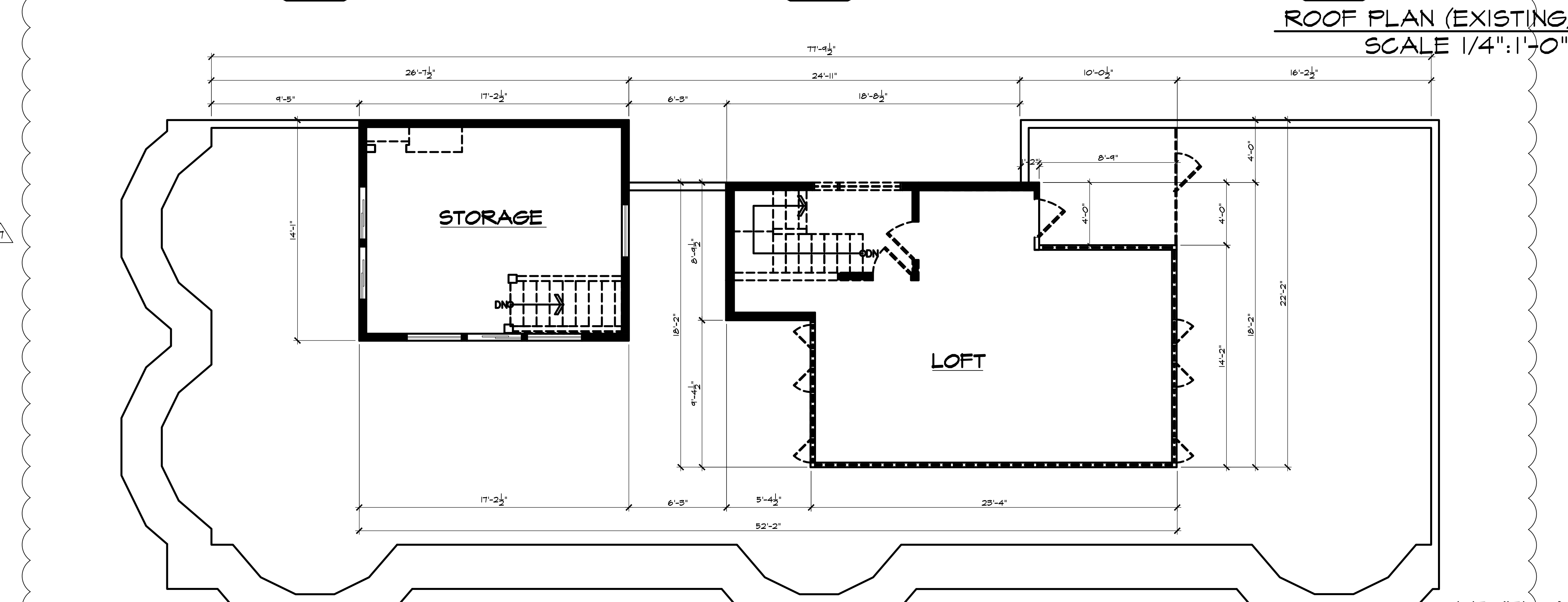
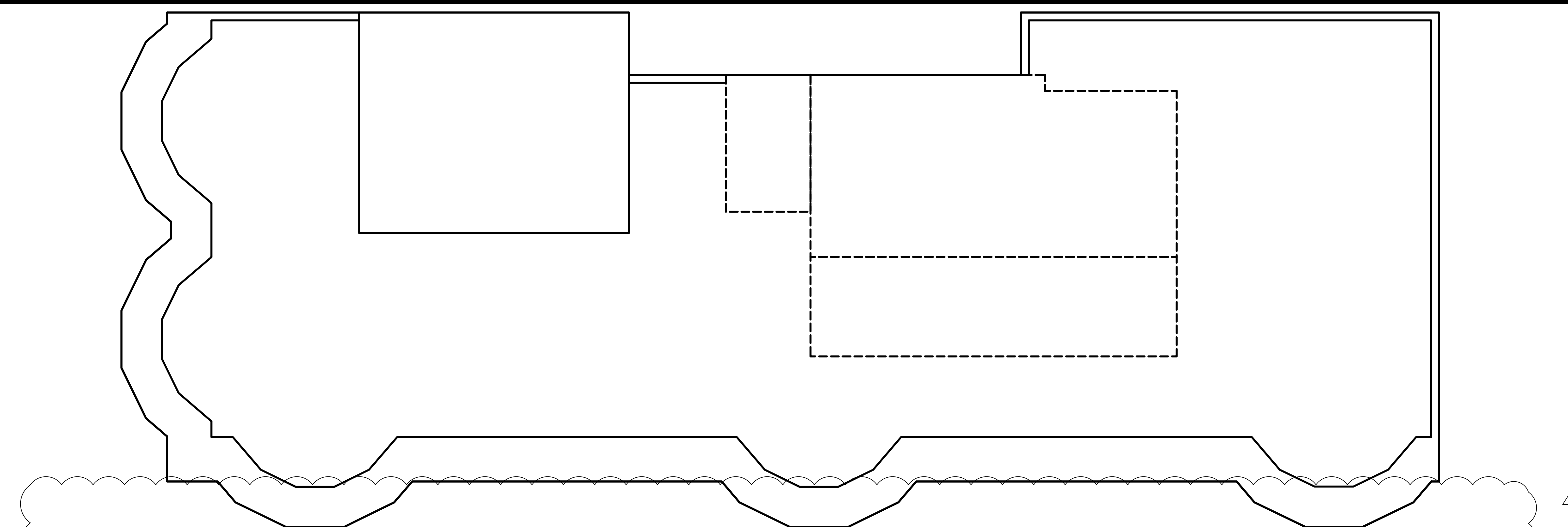
- EXISTING DOOR TO BE REMOVED.
- EXISTING DOOR TO REMAIN.
- EXISTING WALL TO BE REMOVED.
- EXISTING WALL TO REMAIN. CLEAN AND PREP WALL FOR NEW FINISH.

**DEMO GENERAL NOTES**

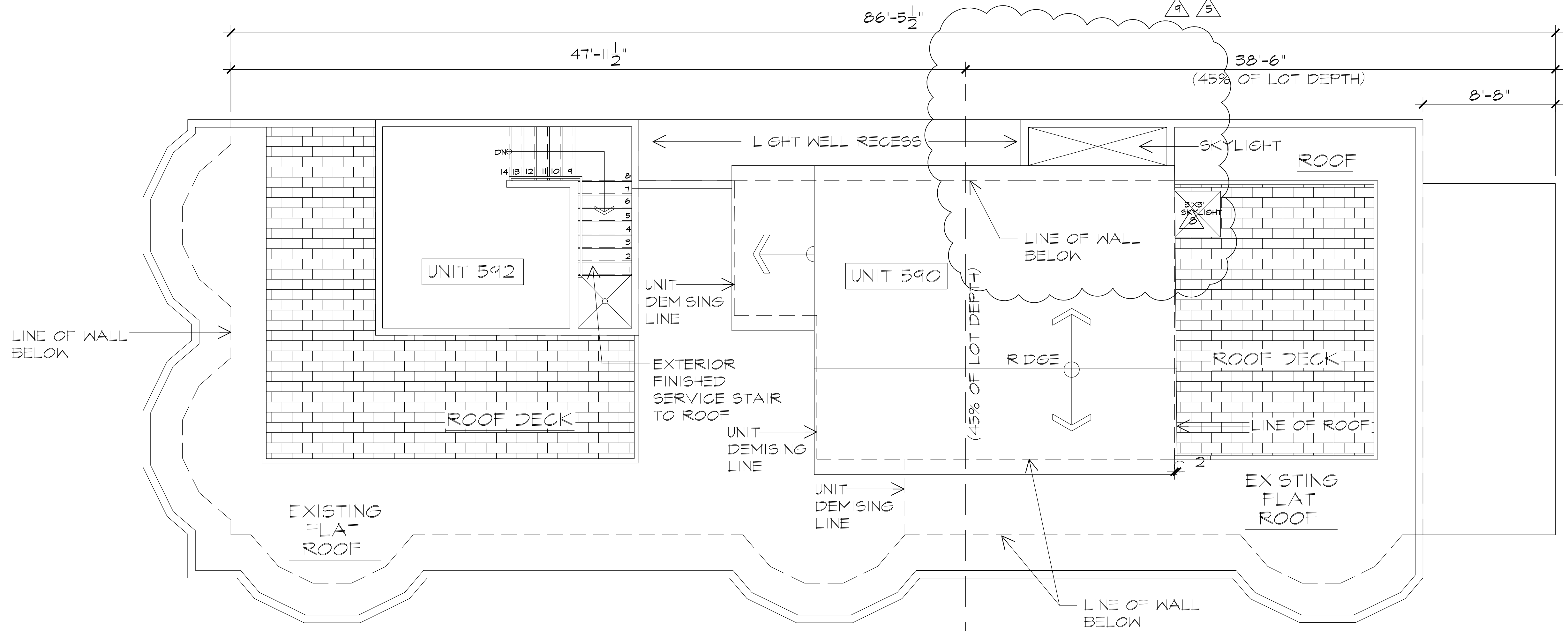
- (1) Removal of more than 25 percent of the surface of all external walls facing a public street(s)
  - a. All exterior wall facades facing Lombard and Powell to remain untouched with the exception of 2 garage roll up doors one on Lombard and one on Powell, to be replaced with new milled obscured glass window systems fitting the existing openings. No removal of wall surfaces = Less than 25% surface impact.
- (2) Removal of more than 50 percent of all external walls from their function as all external walls
  - a. No removal of exterior walls proposed. Existing footprint to be maintained.
- (3) Removal of more than 25 percent of external walls from function as either external or internal walls
  - a. No removal of exterior walls proposed. Existing footprint to be maintained.
- (4) Removal of more than 75 percent of the building's existing internal structural framework or floor plates unless the City determines that such removal is the only feasible means to meet the standards for seismic loads.
  - a. Removal of existing structural walls is roughly 461 lineal feet and the demolished walls are roughly 3271 resulting in 102% interior walls demolished, but all floors to remain in place. With one new floor level to be added as a basement (two floor levels in lieu of the existing extra tall garage level facing Powell).

**AREA CALCULATIONS**

EXISTING	
<b>TOTAL GROSS BUILDING</b>	
INCLUDES COMMON EXT COURT/CORRIDOR SPACE AND STAIRWELLS - ALL AREA TO PERIMETER OF BLDG.	
LEVEL 1	2209 SQ. FT
LEVEL 2	1126 SQ. FT
LEVEL 3	2124 SQ. FT
LEVEL 4	916 SQ. FT
<b>TOTAL AREA</b>	<b>5475 SQ. FT</b>
<b>UNIT 540</b>	
TOTAL LIVING AREA	886 SQ. FT
<b>UNIT 542</b>	
TOTAL LIVING AREA	1545 SQ. FT.
<b>UNIT 544</b>	
TOTAL LIVING AREA	494 SQ. FT
<b>TOTAL LIVING AREA</b>	<b>2925 SQ. FT</b>

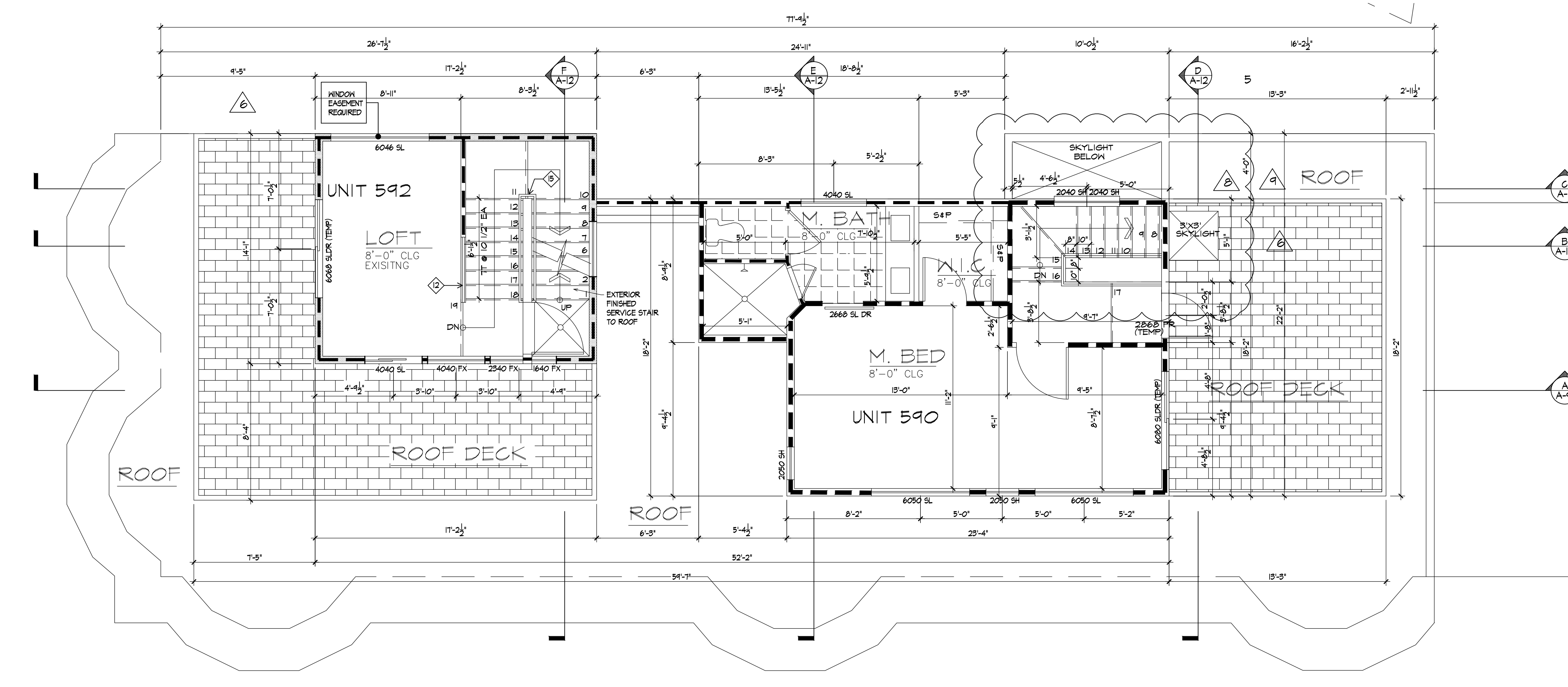


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### FLOOR PLAN KEYNOTES

- 1 EXISTING BRICK VENEER SEE EXTERIOR ELEVATIONS.
- 2 EXISTING LAP SIDING SEE EXTERIOR ELEVATIONS.
- 3 +36" KITCHEN ISLAND.
- 4 FREE STANDING TUB TO BE SELECTED BY OWNER.
- 5 NON-ABSORBENT CERAMIC TILED SHOWER OVER FULL MORTAR BED TO 2" MINIMUM ABOVE THE DRAIN INLET AS SELECTED BY OWNER (RS07.2 & RS03.8) WITH THERMOPAN GLASS ENCLOSURE AND DOOR AS SELECTED BY OWNER, PROVIDE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE CPC 418.0. NEW SHOWER COMPARTMENTS SHALL HAVE FINISHED INTERIOR OF 1024 SQUARE INCHES AND SHALL BE CAPABLE OF ENCOMPASSING A 30" CIRCLE, THE CLEARANCE SHALL BE MAINTAINED UP TO 10" OF HEIGHT ABOVE THE DRAIN, SHOWER DOOR MIN. 22" CLEAR UNOBSTRUCTED OPENING PER SEC. 411.T. THE FINISHED FLOOR SLOPE SHALL BE MIN 1/4" AND MAX 1/2" PER FOOT PER SEC. 411.6
- 6 EXISTING IRON WROUGHT IRON GATE TO REMAIN.
- 7 48" RANGE W/ HOOD ABOVE, VENT TO OUTSIDE
- 8 DBL OVEN W/ MICROWAVE
- 9 KITCHEN DOUBLE SINK WITH GARBAGE DISPOSAL
- 10 WASHER WITH DRAIN PAN
- 11 4" Ø DRYER VENT THRU ROOF.
- 12 42" GUARD RAIL REFER TO PLANS.
- 13 36" HANDRAIL, REFER TO PLANS.
- 14 EXTERIOR WATER PROOF / FIRE RATED STAIRS AT GARAGES FINISH BY PLY-DECK OR SIM.
- 15 MIN. 1-3/4" THICK SOLID WOOD DOOR, SELF CLOSING AND SELF LATCHING.
- 16 TANKLESS WATER HEATER, WALL MOUNTED PER MANUF. SPECIFICATIONS, VENT THRU WALL PER MANUFACTURER'S RECOMMENDATION AND CPC, SEE PLUMBING DRAWINGS BY OTHERS 1/2" DRYWALL ON CEILING AND WALLS AT GARAGE SIDE
- 17 MAXIMUM FLOW RATES OF FIXTURES PER CPC 402.2 & CALIFORNIA ENERGY COMMISSION:  
WATER CLOSETS: 1.28 GPM  
SHOWERHEADS: 2.5 GPM  
LAUNDRY FAUCETS: 2.2 GPM  
SINK FAUCETS: 2.5 GPM
- 18 ALL AIR DUCTS TERMINATIONS SHALL BE A MINIMUM OF 3' AWAY FROM ANY OPENINGS INTO THE BUILDING PER CMC 504.3
- 19 WHOLE HOUSE FAN AIRSCAPE 4.4EWHF.
- 20 HYDRONIC HEAT SYSTEM MANIFOLD.
- 21 OBTURATED GLASS MALL SYSTEM BY OWNER.
- 22 ELECTRIC METER VERIFY LOCATION & CLEARANCE W/ UTILITY CO.
- 23 FIRE MONITOR PANEL VERIFY W/ FIRE DEPT.
- 24 GAS METER, VERIFY W/ UTILITY CO.



### WALL LEGEND

- ALL WALLS/ FLOORS TO BE 1 HOUR RATED. SEE DETAILS ON FF SHEETS.
- ALL CEILING TO BE 5/8" TYPE X MINIMUM PER CGC 406.3.4 AND 420
- \* INTERIOR NON-BEARING WALLS EXEMPT PER CGC TABLE 601
- \* EXTERIOR SIDE OF EXISTING WALLS FACING LOMBARD AND PONELL EXEMPT PER TABLE 602 WITH SEPARATION TO CENTER OF STREET IN EXCESS OF 30'. INTERIOR SIDE TO BE 1 HOUR.
- EXISTING WALL TO REMAIN CLEAN AND PREP WALL FOR NEW FINISH.
- FULL HEIGHT 2x4 STUD WALL.
- FULL HEIGHT 2x6 STUD WALL (2x6 MAY OCCUR)
- FULL HEIGHT 2x6 PLUMBING WALL.

### PROPOSED (AS-BUILT)

TOTAL GROSS BUILDING	
INCLUDES COMMON EXT COURT/CORRIDOR SPACE AND STAIRWELLS - ALL AREA TO PERIMETER OF BLDG.	
LEVEL 0	1452 SQ. FT.
LEVEL 1	2509 SQ. FT.
LEVEL 2	1625 SQ. FT.
LEVEL 3	2125 SQ. FT.
LEVEL 4	783 SQ. FT.
TOTAL AREA	8294 SQ. FT.
<b>UNIT 590</b>	
LEVEL 2	546 SQ. FT.
LEVEL 3	421 SQ. FT.
LEVEL 4	428 SQ. FT.
TOTAL LIVING AREA	1696 SQ. FT.
GARAGE	216 SQ. FT.
<b>UNIT 592</b>	
LEVEL 2	1009 SQ. FT.
LEVEL 3	1140 SQ. FT.
LEVEL 4	128 SQ. FT.
TOTAL LIVING AREA	2277 SQ. FT.
GARAGE	216 SQ. FT.
<b>UNIT 594</b>	
LEVEL 0	510 SQ. FT.
LEVEL 1	1409 SQ. FT.
TOTAL LIVING AREA	2719 SQ. FT.
UNFINISHED STORAGE	28 SQ. FT.
GARAGE	195 SQ. FT.
TOTAL LIVING AREA	6686 SQ. FT.

### REFERENCE NOTES

- FOR REFERENCE TO: SHEET G-1
- SYMBOLS AND ABBREVIATIONS: SHEET G-1
- FOUNDATION INFORMATION: T-1 (INDEX) STRUCTURAL DRAWING / DETAILS BY OTHERS, GENERAL NOTES SECTION 5A
- FRAMING INFORMATION: STRUCTURAL DRAWINGS / DETAILS BY OTHERS, GENERAL NOTES SECTION 6A
- ELECTRICAL INFORMATION: T-1 (INDEX) ELECTRICAL PLANS G-1 and GENERAL NOTES SECTION 16A
- INTERIOR FINISH SCHEDULE: GENERAL NOTES SECTIONS 9, 10A
- EXT. HARDSCAPE, STEPS, PLANTERS, ETC.: LANDSCAPE DRAWINGS BY OTHERS, CIVIL DRAWINGS BY OTHERS

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NO.	DATE	REVISION
1	2/2/15	BLDG DEPT CORRECTIONS
2	11/9/15	HISTORIC CORRECTIONS
3	12/15/15	HISTORIC/BLDG DEPT. CORR.
4	5/1/16	CLIENT REVISIONS
5	7/22/16	CLIENT REVISIONS
6	11/30/16	PLANNING ENFORCEMENT
7	1/15/17	PLANNING ENFORCEMENT
8	2/3/17	PLANNING ENFORCEMENT
9	3/2/17	PLAN ENF. - VARIANCE SUB.

PROJECT TITLE  
**Lombard Tri Plex**

PROJECT NUMBER  
**14033.00**

SHEET TITLE

**PROPOSED**  
**LEVEL 4**  
**ROOF**  
**FLOOR PLANS**

ISSUE DATE:

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SHEET NO.  
**A-5**



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PROJECT TITLE

Lombard  
Tri Plex

PROJECT NUMBER 14033.00

SHEET TITLE

OVERLAY  
LEVEL 4  
FLOOR PLANS

ISSUE DATE:

© -

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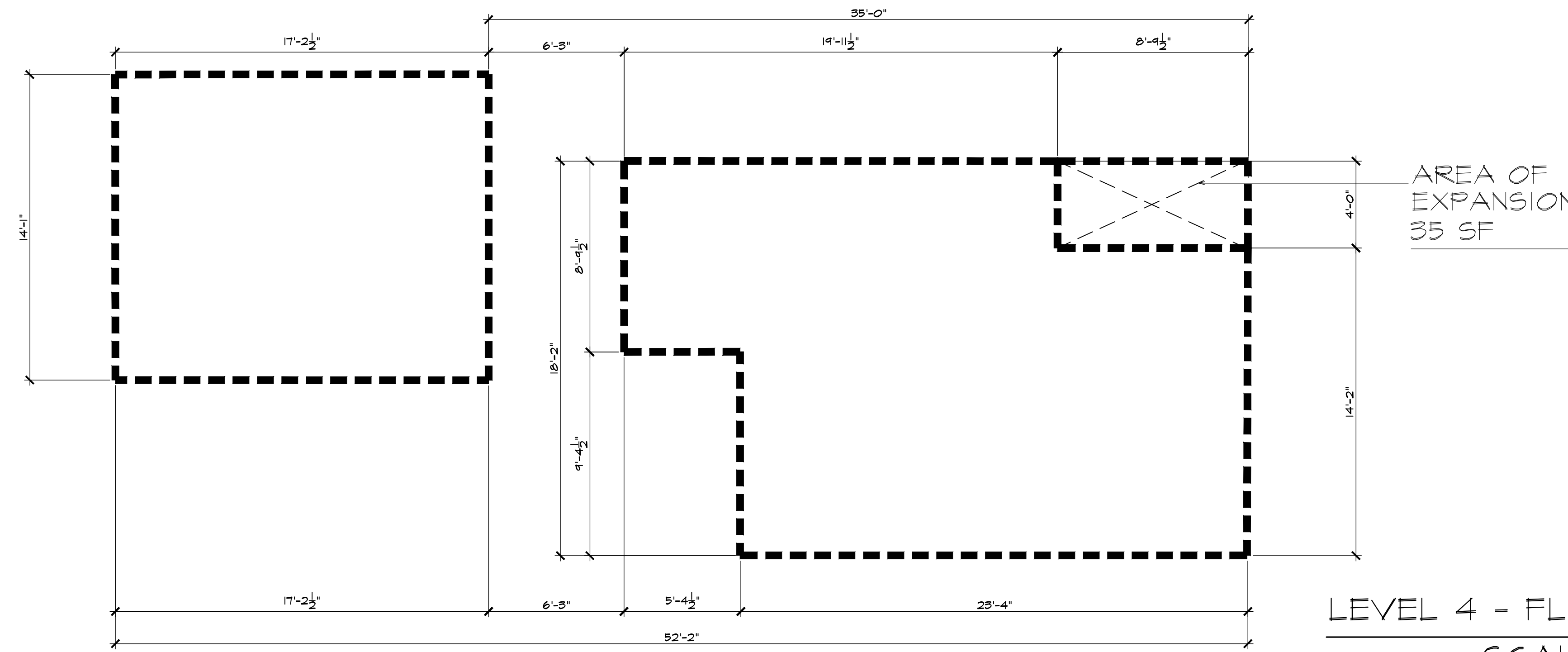
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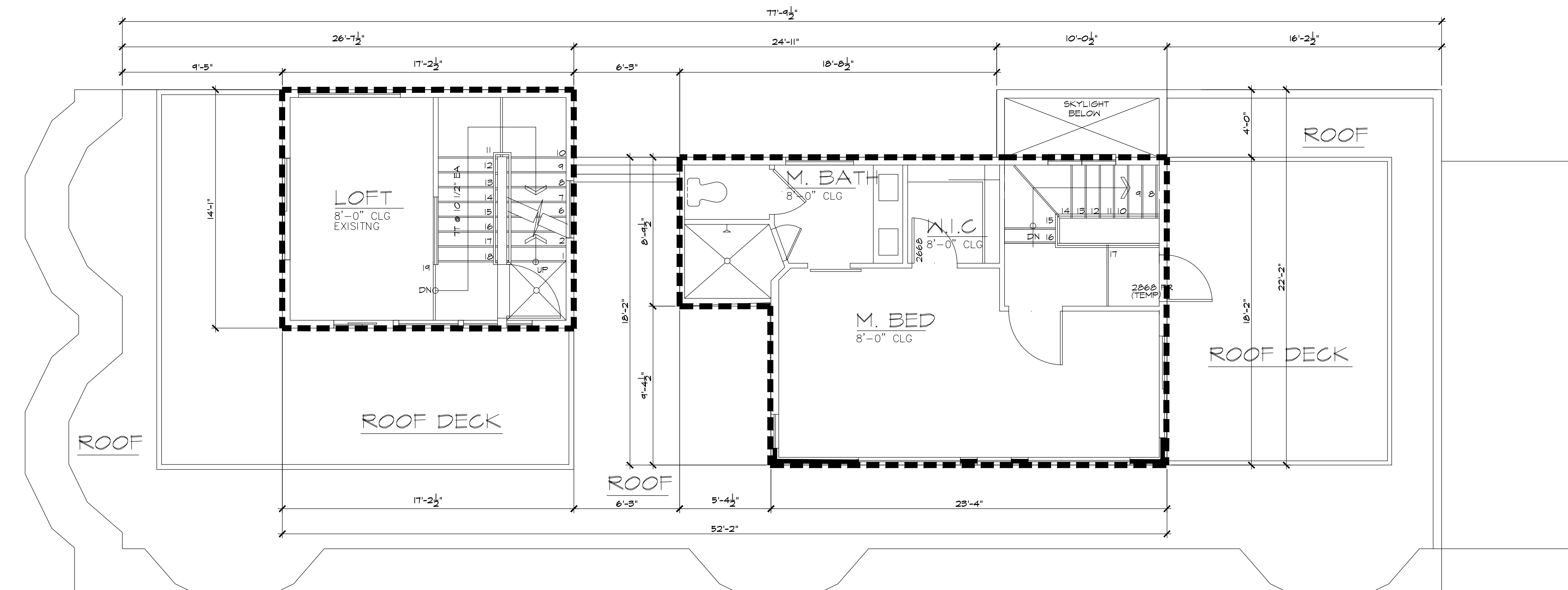
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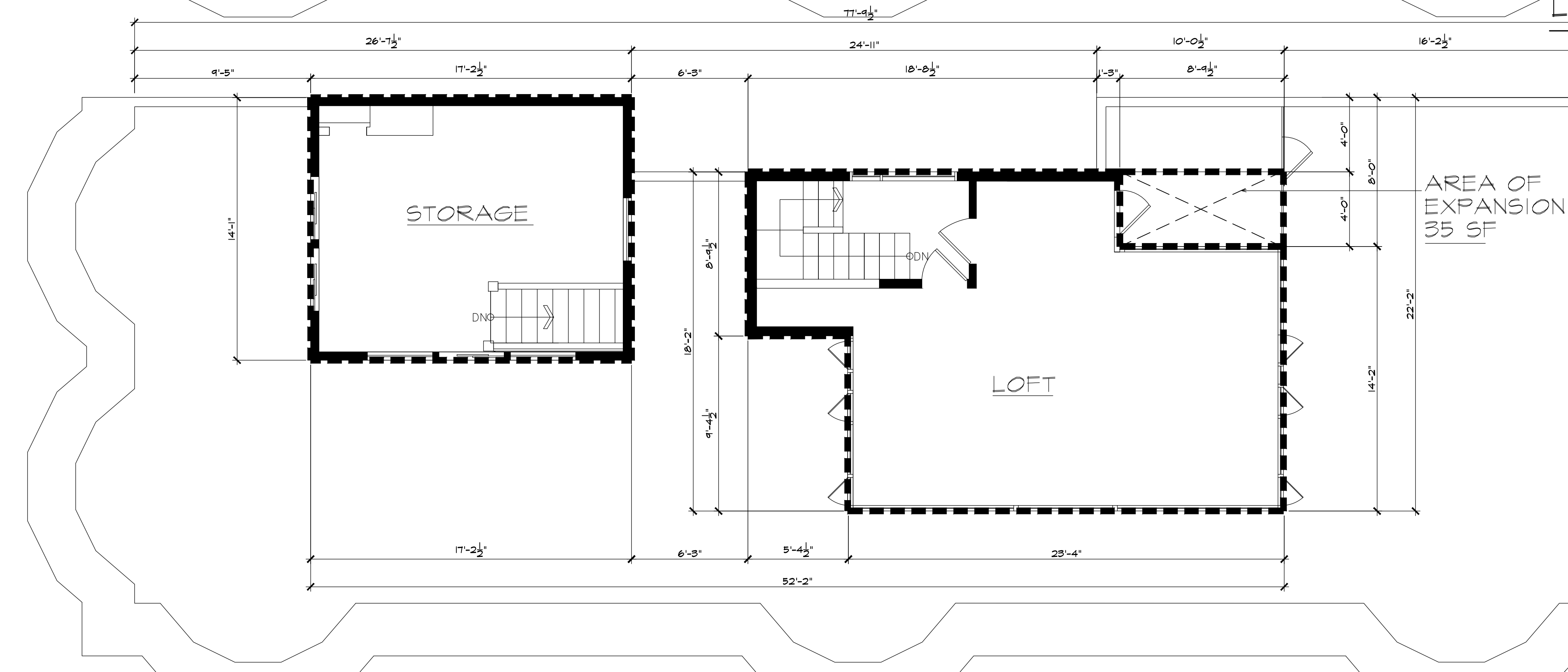
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LEVEL 4 - FLOOR PLAN - overlay  
SCALE 1/4" : 1'



LEVEL 4 - FLOOR PLAN - proposed  
SCALE 1/4" : 1'



LEVEL 4 - FLOOR PLAN - existing  
SCALE 1/4" : 1'

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ELEVATION NOTES

- EXTERIOR MATERIALS:
- 1.1 EXISTING HORIZONTAL SIDING.
  - 1.2 EXISTING BRICK VENEER.
  - 1.3 NEW HORIZONTAL SIDING TO MATCH EXISTING.
  - 1.4 SOFFITS/BOTTOM OF CANTILEVERED AREAS, HARDIE PANEL.
- ROOFING:
- 5.1 EXISTING PITCHED PROFILE TILE ROOF AT 4:12 SLOPE.
  - EXISTING BUILT UP LOW SLOPE ROOF.

NOTE TO ALL SUBCONTRACTORS:  
REFER TO ARCHITECTURAL DETAILS FOR LOCATION OF ELASTOMERIC MEMBRANE UNDER EXTERIOR MATERIALS.



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PROJECT TITLE

Lombard Tri Plex

PROJECT NUMBER 14033.00

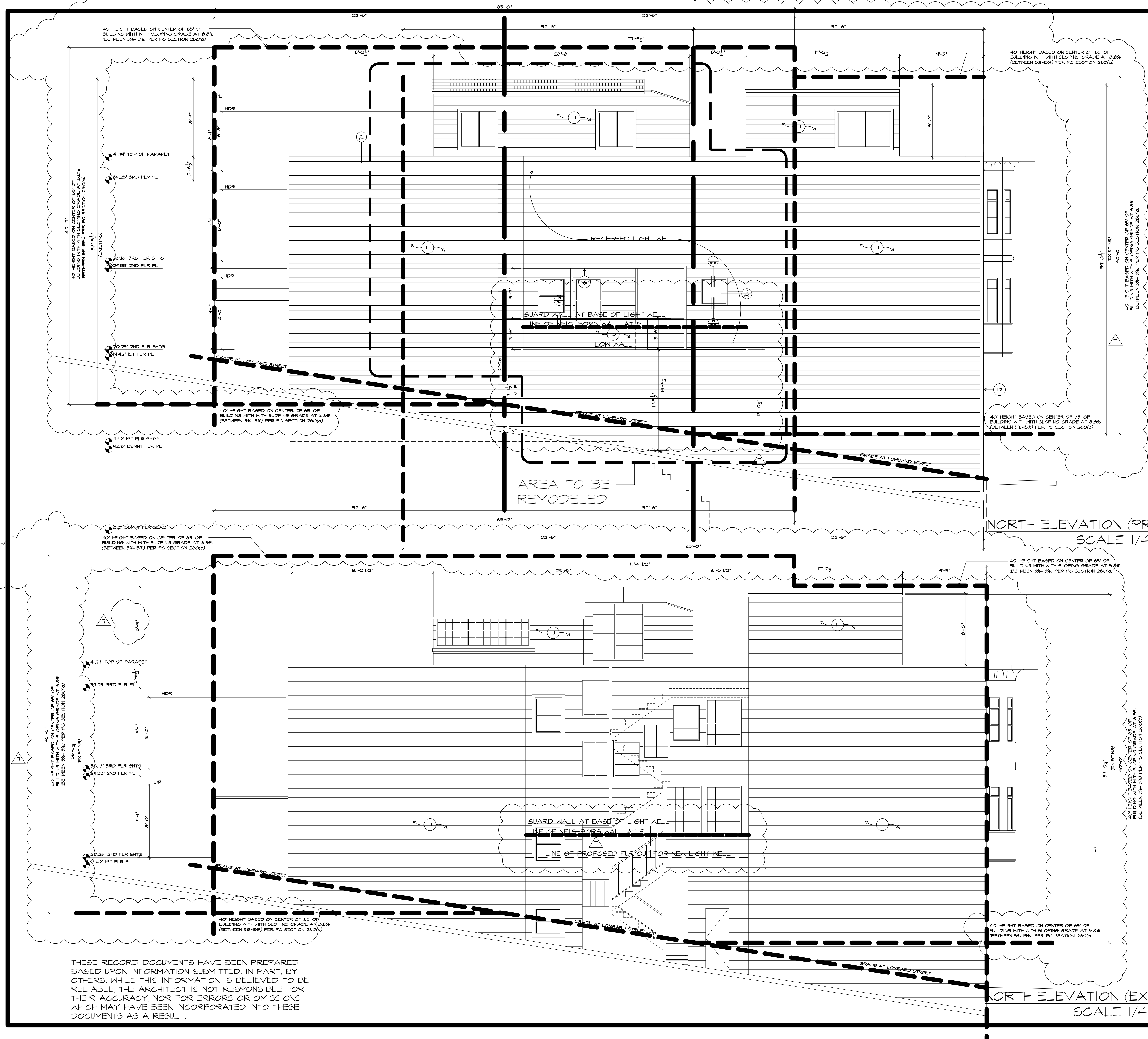
SHEET TITLE

EXTERIOR ELEVATION

ISSUE DATE:

- © -
- © -
- ©
- ©
- ©

SHEET NO.



NORTH ELEVATION (PROPOSED)  
SCALE 1/4" = 1'-0"

NORTH ELEVATION (EXISTING)  
SCALE 1/4" = 1'-0"

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**ELEVATION NOTES**

- EXTERIOR MATERIALS:  
 1.1 EXISTING HORIZONTAL SIDING.  
 1.2 EXISTING BRICK VENEER.  
 1.3 NEW HORIZONTAL SIDING TO MATCH EXISTING.  
 1.4 SOFFITS/BOTTOM OF CANTILEVERED AREAS: HARDIE PANEL.
- ROOFING:  
 5.1 EXISTING PITCHED PROFILE TILE ROOF AT 4:12 SLOPE.  
 EXISTING BUILT UP LOW SLOPE ROOF.

NOTE TO ALL SUBCONTRACTORS:  
 REFER TO ARCHITECTURAL DETAILS FOR LOCATION OF ELASTOMERIC MEMBRANE UNDER EXTERIOR MATERIALS.



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PROJECT TITLE  
**Lombard Tri Plex**

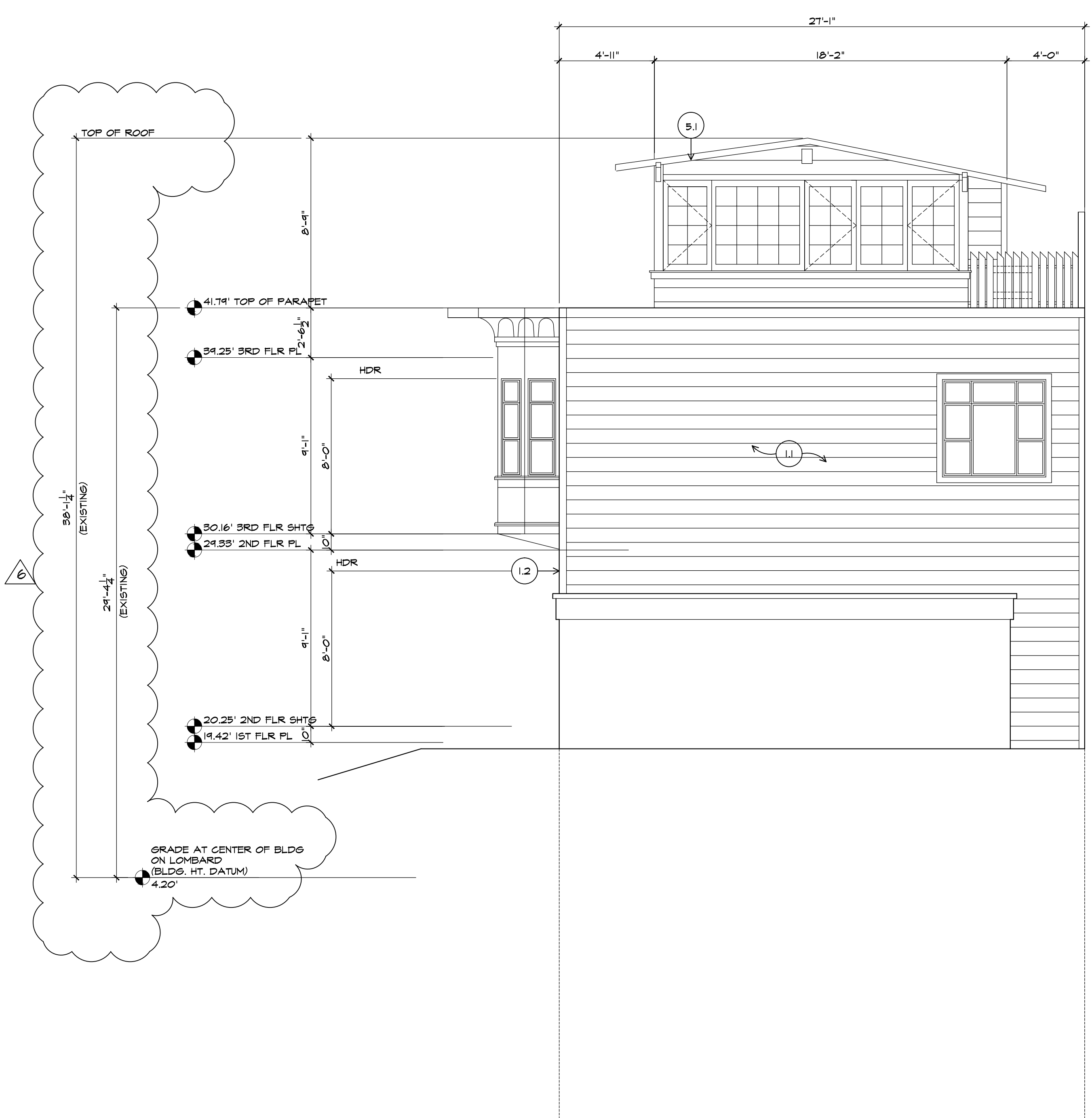
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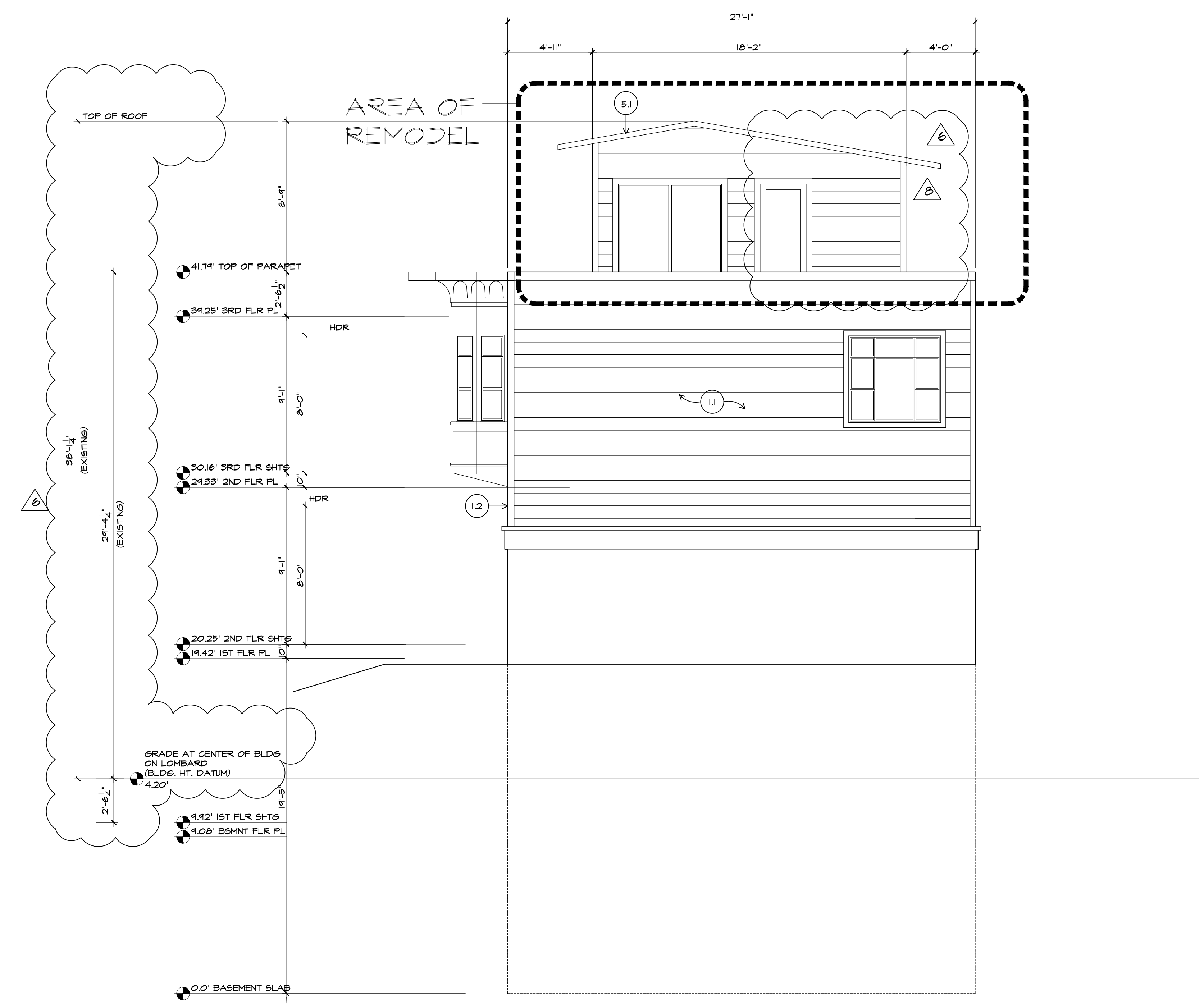
**EXTERIOR ELEVATION**

ISSUE DATE:  
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SHEET NO.  
**A-16**



**EAST ELEVATION (EXISTING)**  
 SCALE 1/4" = 1'-0"



**EAST ELEVATION (PROPOSED)**  
 SCALE 1/4" = 1'-0"

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