



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377



**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, September 27, 2017**
 Time: **Not before 9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 67-69 Belcher Street	Case No.: 2017-003555VAR
Cross Street(s): 14th Street	Building Permit: TBD
Block /Lot No.: 3537/074	Applicant: Daniel Frattin
Zoning District(s): RTO / 40-X	Telephone: (415) 567-9000
Area Plan: Market and Octavia	E-Mail: dfrattin@reubenlaw.com

PROJECT DESCRIPTION

The subject property contains a single-family dwelling in a non-complying building that covers the entire lot. The proposal is to expand the single-family dwelling and modify the existing building within the required rear yard.

SECTION 134 OF THE PLANNING CODE requires a rear yard of 56 feet - 3 inches for the subject property. The project proposes to raise the height of a portion of the existing building which encroaches into the required rear yard by approximately 9 feet (to within 47 feet - 6 inches of the rear property line). The rear portion of the existing building will be reduced by the removal of the roof and modification of side property line walls.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://notice.sfplanning.org/2017-003555VAR.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Nancy Tran** Telephone: **(415) 575-9174** E-Mail: nancy.h.tran@sfgov.org

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

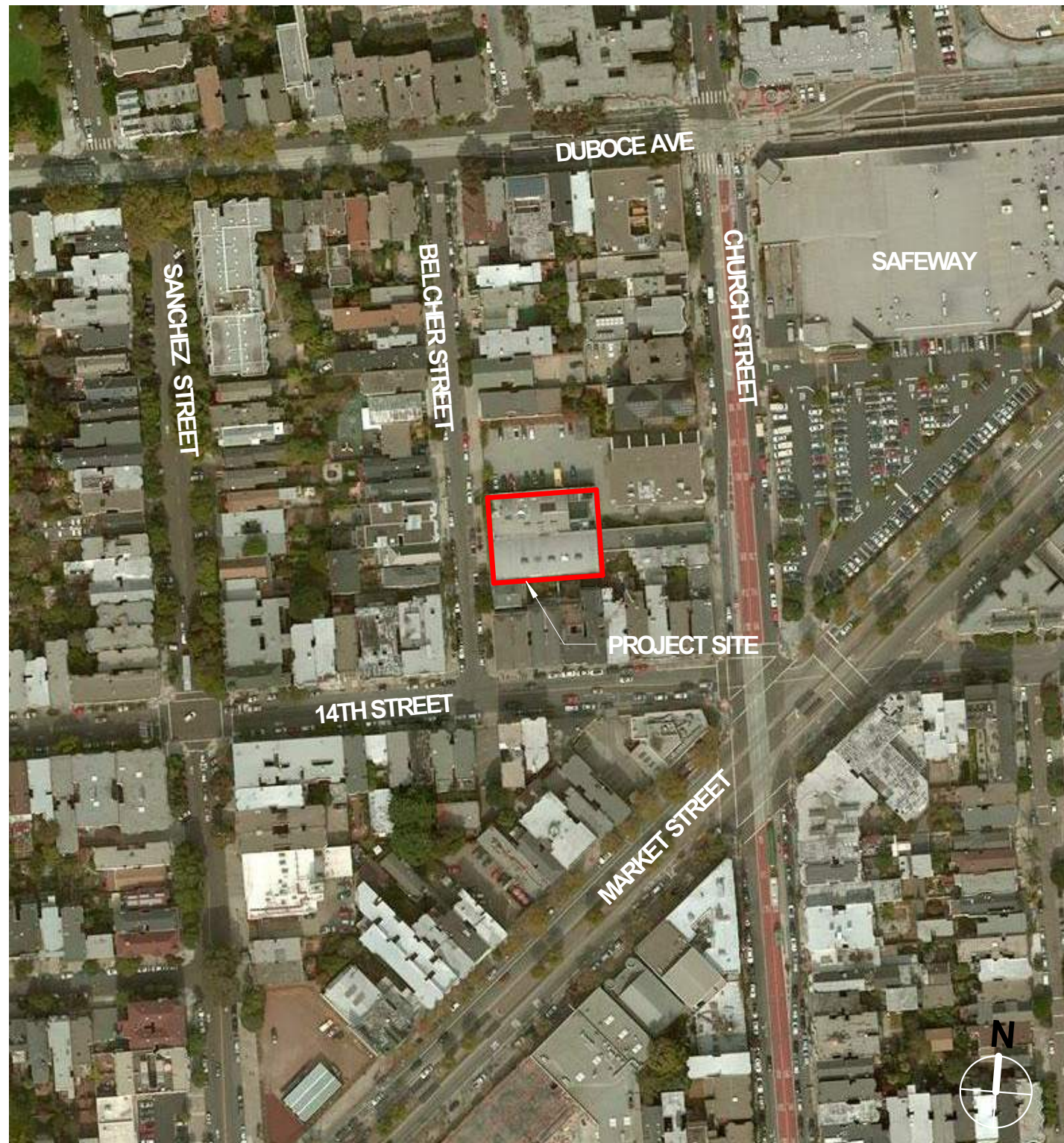
APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

PROJECT SITE



SITE INFORMATION

SITE: 67-69 Belcher Street,
San Francisco, CA 94114

PARCEL BLOCK/LOT: 3537 / 074
ZONING: RTO
LOT AREA / SIZE: 12,500 SF / 125' x 100'
HEIGHT/BULK DISTRICT: 40-X

SETBACKS: Front 0 ft
Side 0 ft
Rear 47'-6" (38% of 125', Variance Requested)
*see site sections for more information

EXISTING PARKING: North Garage (2 Spaces): 400SF
South Garage (5 Spaces): 925 SF

PROPOSED PARKING: North Garage (2 Spaces): 590 SF
NET REDUCTION: (5 Spaces): 735 SF

EXISTING USE: Residential with accessory art space
PROPOSED USE: Residential with accessory art space

EXISTING TREES: (4) Street Trees to remain

DRAWING INDEX

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PROJECT INFORMATION

PROJECT SCOPE: - Demolish existing floors, roof, and interior partitions
- Construct two new floors of living area with a central courtyard
- Minimal front facade improvements

USE / CONSTRUCTION TYPE: Residential / IV (Existing) - IIB (Proposed)

APPLICABLE CODES: 2010 California Building Code *
2010 California Electrical Code *
2010 California Mechanical Code *
2010 California Plumbing Code *
City and County of San Francisco, Municipal Code
* includes all San Francisco Amendments

BUILDING AREA:

	Existing	Proposed
1st Level:	12,103 sf	6,317 sf
2nd Level:	8,965 sf	4,615 sf
TOTAL:	21,068 sf	10,932 sf

PROJECT DESCRIPTION

THE EXISTING PROPERTY AT 67 & 69 BELCHER STREET IS A TWO-STORY BUILDING HOUSING A SINGLE-FAMILY RESIDENCE WITH ACCESSORY ARTS SPACE. THE OVERALL BUILDING FOOTPRINT IS 12,500 GSF AND THE OVERALL BLDG. AREA IS APPROX. 21,000 GSF. THE BUILDING CURRENTLY OCCUPIES THE ENTIRE LOT, WITH 20' HIGH CONCRETE WALLS ALONG THE LENGTH OF EACH PROPERTY LINE. THE BELCHER STREET FACADE HAS TWO ENTRANCES, ONE FOR EACH HALF OF THE PROPERTY. THE EXISTING ROOF IS A COMPOSED OF A SERIES OF CURVED TIMBER BARREL TRUSSES SPANNING 50' EACH.

THE PROPOSED DESIGN RETAINS AND REDUCES THE TOTAL SIZE OF THE EXISTING SINGLE FAMILY RESIDENCE TO 10,932 SF, CREATING AN OPEN REAR AND CENTRAL COURTYARD OF 6,183 GSF BY REMOVING A PORTION OF THE STRUCTURE. THE EXISTING ROOF SHALL BE REPLACED WITH A NEW FLAT ROOF STRUCTURE RAISED 3' TO ALLOW ADEQUATE HEAD HEIGHT ON THE SECOND LEVEL. THE CENTRAL PORTION OF THE NEW SECOND LEVEL ROOF WILL BE SLOPED TO ACCOMMODATE ROOF EQUIPMENT. THE EXTERIOR BUILDING WALLS SHALL REMAIN INTACT WITH THE EXCEPTION OF (A) NEW WINDOWS AND DOORS ALONG BELCHER STREET; (B) ADDITION OF A NEW CENTRAL ENTRY DOOR; AND (C) AT THE NORTH AND SOUTH PROPERTY LINES, PARTIAL REPLACEMENT OF BRICK WITH TRELLISES FOR CLIMBING PLANTS.

PROJECT DIRECTORY

Client Representative
GAR Construction Management
contact: Geoffrey Rosenblatt
tel: (415) 683-1019
email: gr@garcm.com

Land Use Attorney
Reuben, Junius & Rose, LLP
One Bush Street, Suite 600
San Francisco, CA 94104
contact: Daniel Frattin
tel: (415) 567-9000
email: dfrattin@reubenlaw.com

Architect
Lundberg Design
2620 3rd Street
San Francisco, CA 94107
contact: Caroline Nassif
tel: (415) 695-0110 x23
email: caroline@lundbergdesign.com

Structural Engineer
Strandberg Engineering
1511 15th Street
San Francisco, CA 94103
contact: David Strandberg
tel: (415) 778.8726 x101
email: david@strandbergeng.com

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PROJECT SUMMARY TABLE

	EXISTING USES:	EXISTING USES TO BE RETAINED:	NET NEW CONSTRUCTION AND/OR ADDITION:	PROJECT TOTALS:
PROJECT FEATURES				
Dwelling Units	1	1	0	1
Hotel Rooms	-	-	-	-
Parking Spaces	7	2	0	2
Loading Spaces	-	-	-	-
Number of Buildings	1	1	0	1
Height of Building(s)	23' - 8"	23' - 8"	8' - 11"	32' - 7"
Number of Stories	2	2	0	2
Bicycle Spaces	-	-	-	-
GROSS SQUARE FOOTAGE (GSF)				
Residential	21,068 SF	10,932 SF	0 SF	10,932 SF
Retail	-	-	-	-
Office	-	-	-	-
Industrial/PDR <i>Production, Distribution, & Repair</i>	-	-	-	-
Parking	1,325 SF	590 SF	0 SF	590 SF
Other (Specify Use)	-	-	-	-
TOTAL GSF	21,068 SF	10,932 SF	0 SF	10,932 SF

OPEN SPACE

EXISTING CONDITION

Rear Yard **NONE**

45% REAR YARD* **5,640 SF**

PROPOSED

Rear/Central Courtyard 6,183 SF

2nd Level Decks 1,021 SF

TOTAL 7,204 SF

***San Francisco Planning Code Section 209.4. RTO Districts**

Rear Yard - 45% of lot depth or average of adjacent neighbors. If averaged, no less than 25% of lot depth or 15 feet, whichever is greater.

North Neighbor (55 Belcher Street)

Currently Undeveloped

Proposed Development (PPA Case No. 2016-003994)

45'-3" Rear Yard

South Neighbor (91 Belcher Street)

No Rear Yard



AERIAL VIEW - SUBJECT LOT, NORTHWEST CORNER (LOOKING SOUTHEAST)



STREET VIEW - SUBJECT LOT, BELCHER STREET FACADE (LOOKING EAST)



AERIAL VIEW - SUBJECT LOT (LOOKING WEST)



AERIAL VIEW - SUBJECT LOT (LOOKING SOUTHWEST)

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Belcher Street View East
1/32" = 1'-0" **1**



Belcher Street View West
1/32" = 1'-0" **2**



PROPOSED - 4 STORY APARTMENT BUILDING
PPA CASE NO. 2016-003994



ADJACENT LOT - NORTH SIDE - EXISTING EMPTY LOT



ADJACENT LOT - SOUTH SIDE (2 STORY RESIDENCE)

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67 BELCHER WEST FACADE



69 BELCHER WEST FACADE



67-69 BELCHER WEST FACADE - WINDOW



69 BELCHER WEST FACADE - ENTRY DOOR

SITE PHOTOS

67-69 BELCHER STREET
67-69 Belcher Street, San Francisco, CA 94114

Date: 8/25/2017 Rev # Description Date Sheet No.:

Scale: A Planning Set 8/25/2017

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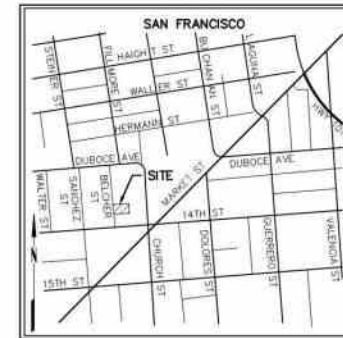


Ralph H. Thomas
RALPH H. THOMAS PLS 4760

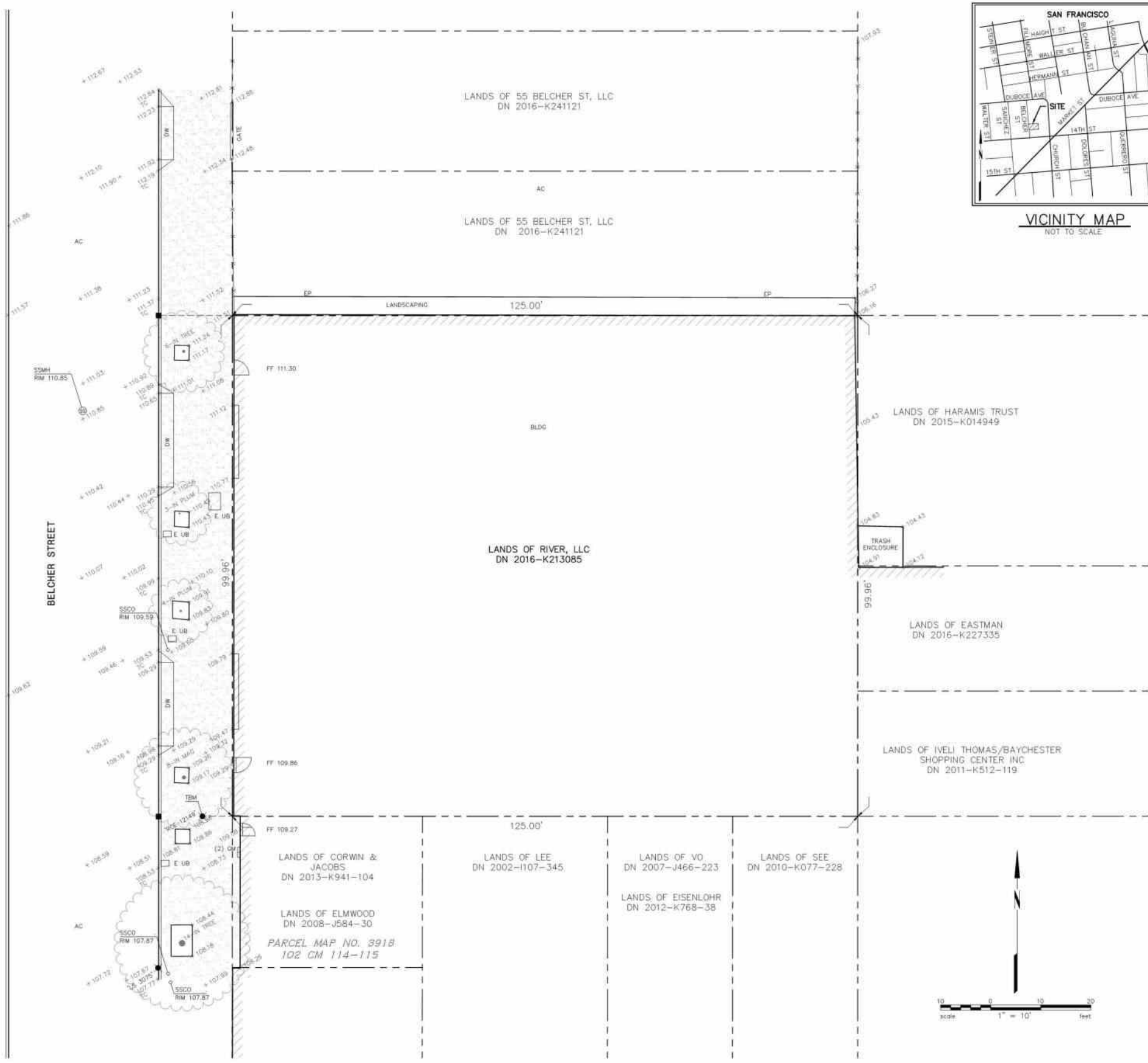


67-69 BELCHER STREET
APN 9437-074
67-69 BELCHER ST., SAN FRANCISCO, CALIFORNIA
TOPOGRAPHIC MAP

Date: JULY 2016	Revisions
Scale: AS SHOWN	
Design: TPA	
Drawn: JAB	
Approved: BHT	
Pub. No. 20160079	
Drawing Number:	
1 OF 1	



VICINITY MAP
NOT TO SCALE



SYMBOLS & LEGEND

- EXISTING**
- FOUND NATL. AND TAG, TAGGED AS SHOWN
 - FOUND L' CUT
 - TREE
 - PROPERTY LINE
 - - - FENCE
 - ▭ CONCRETE

ABBREVIATIONS

- | | |
|---------------------|-------------------------------|
| AC ASPHALT CONCRETE | GM GAS METER |
| BLDG BUILDING | SS SANITARY SEWER |
| DN DOCUMENT NUMBER | SSCO SANITARY SEWER CLEAN OUT |
| DW DRIVEWAY | SSSH SANITARY SEWER MANHOLE |
| E ELECTRIC | TBM TEMPORARY BENCHMARK |
| ELEV ELEVATION | TC TOP FACE OF CURB |
| EP EDGE OF PAVEMENT | UB UTILITY BOX |
| FF FINISHED FLOOR | |

TOPOGRAPHIC NOTES

UNAUTHORIZED CHANGES & USES: THE PROFESSIONAL PREPARING THIS MAP WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THIS MAP. CHANGES TO THIS MAP MUST BE REQUESTED IN WRITING AND MUST BE APPROVED BY THE PROFESSIONAL.

TREE DIAMETERS ARE MEASURED AT CHEST HEIGHT (48"). DRIPLINE DIAMETERS AND TREE SPECIES ARE APPROXIMATE ONLY AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.

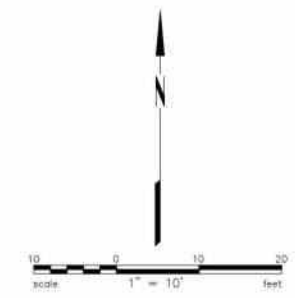
MISCELLANEOUS BOUNDARY INFORMATION SHOWN HEREON WAS OBTAINED FROM THAT PARCEL MAP NO. 3918, FILED IN CONDOMINIUM MAP BOOK 102 PAGES 114-115, SEPTEMBER 5, 2007, SAN FRANCISCO COUNTY RECORDS.

BASIS OF BEARINGS: PARCEL MAP NO. 3918, FILED IN CONDOMINIUM MAP BOOK 102 PAGES 114-115, SEPTEMBER 5, 2007, SAN FRANCISCO COUNTY RECORDS.

THE BEARINGS AND DISTANCES DO NOT REFLECT A FIELD SURVEY AND DO NOT CONSTITUTE A FORMAL BOUNDARY DETERMINATION.

TEMPORARY BENCHMARK: NAIL AND TAG TAGGED 'RCE 12149', LOCATION SHOWN HEREON, ELEVATION 109.03 (DATUM NAVD 88 BY GPS OBSERVATIONS UTILIZING THE CALIFORNIA SURVEY & DRAFTING SUPPLY VSN).

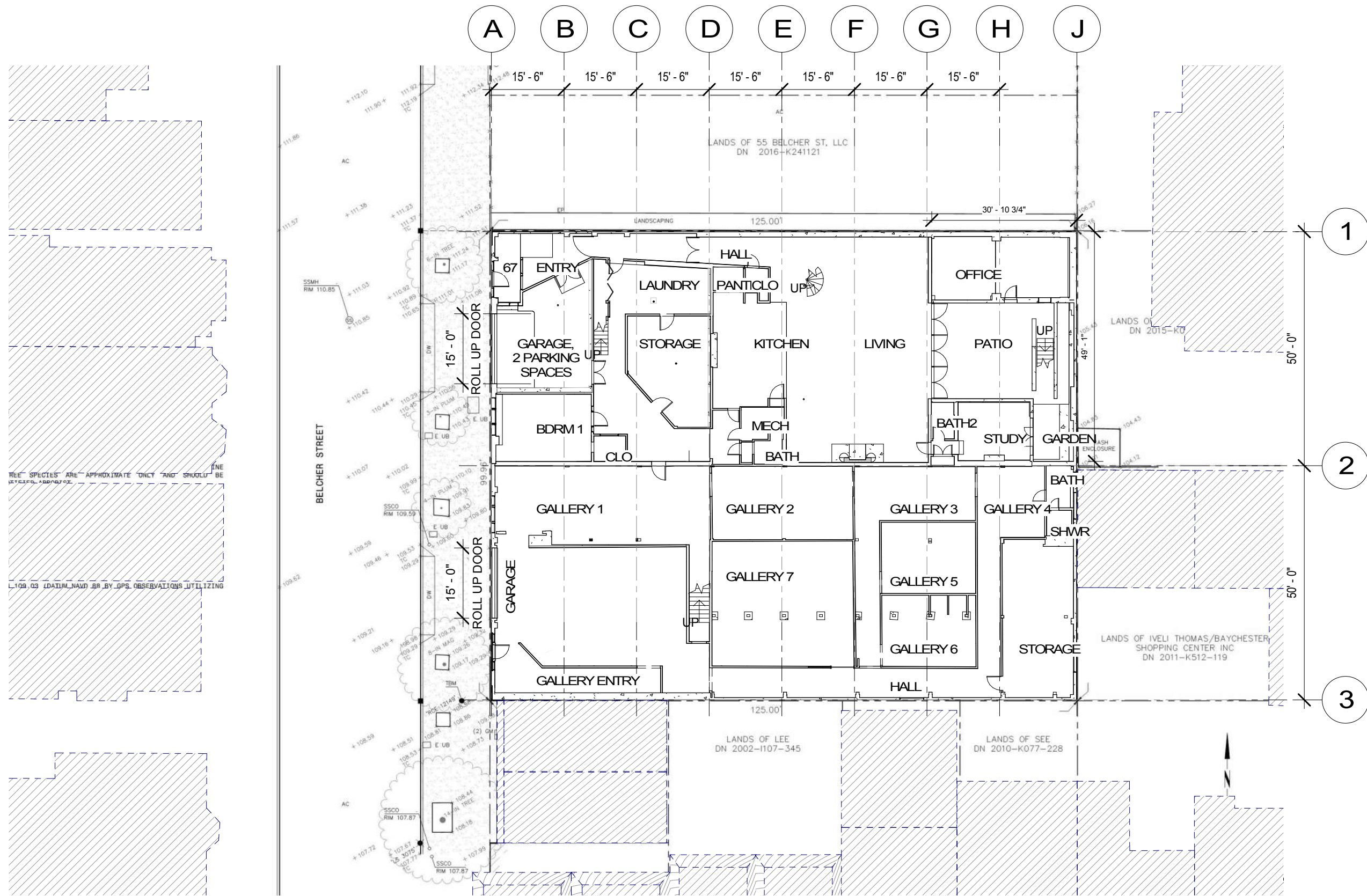
FIELD SURVEY DATE: JUNE 14, 2016.



EXISTING SITE SURVEY

67-69 BELCHER STREET
67-69 Belcher Street, San Francisco, CA 94114

Date:	8/25/2017	Rev #	A	Description	Planning Set	Date	8/25/2017	Sheet No.:	06
Scale:	NTS	All drawings and written material appearing herein constitute original and unpublished work of the Architect and may not be duplicated, used or disclosed without written consent of the Architect.							



EXISTING SITE PLAN

67-69 BELCHER STREET

67-69 Belcher Street, San Francisco, CA 94114

Date: 08/25/2017

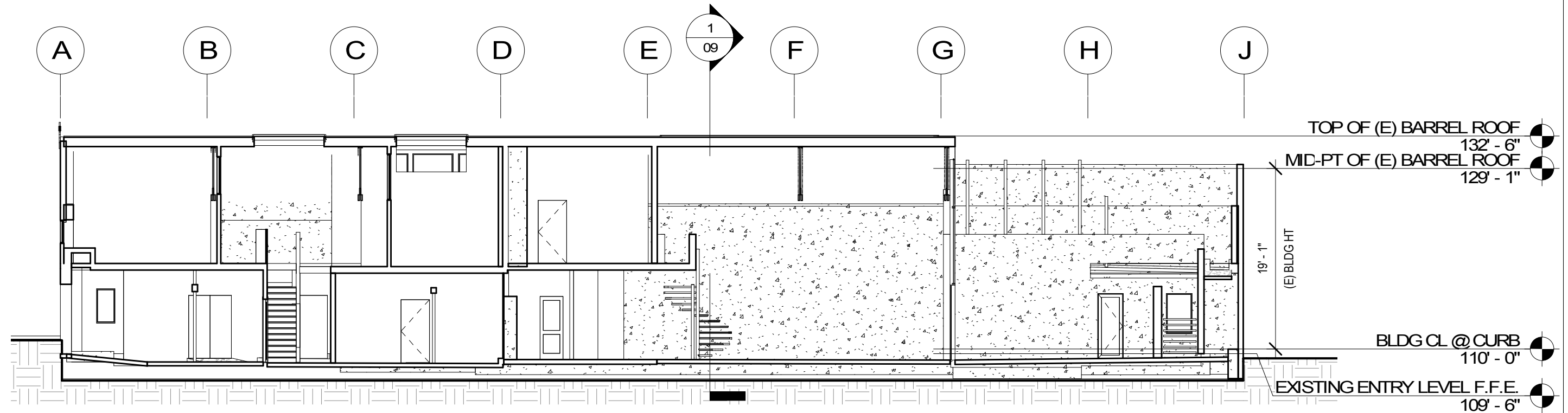
Scale: 1" = 20'-0"

Rev #	Description	Date
A	Planning Set	8/25/2017

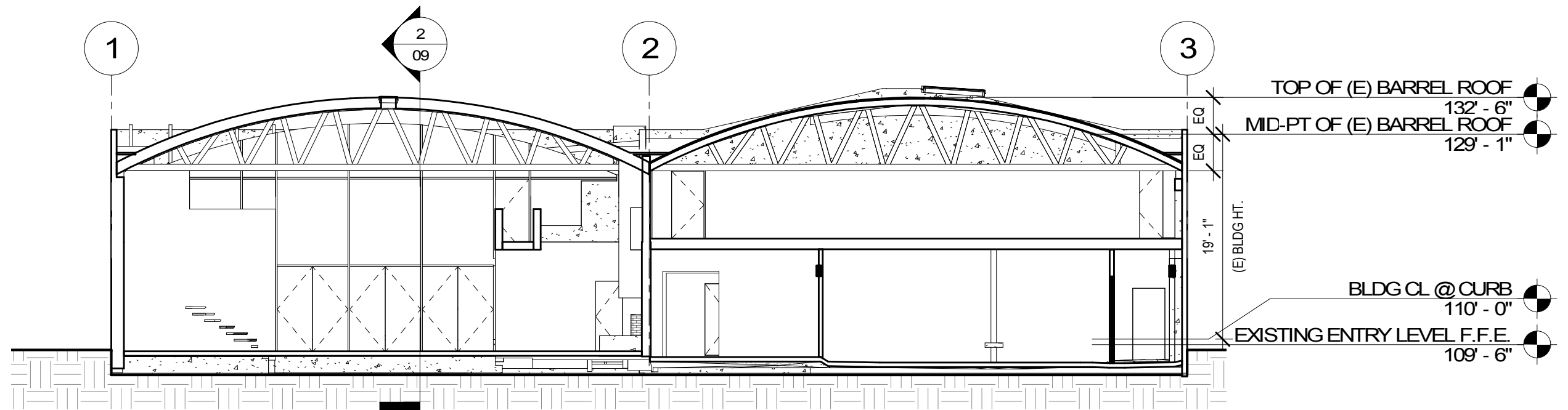
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07






2 EXISTING LONGITUDINAL SECTION (LOOKING NORTH)
1" = 10'-0"



1 EXISTING SHORT SECTION (LOOKING EAST)
1" = 10'-0"

DEMOLITION PLAN LEGEND

-  (E) EXTERIOR WALL TO REMAIN
-  (E) INTERIOR PARTITION TO BE DEMOLISHED
-  (E) FLOOR AREA TO BE DEMOLISHED
-  (E) FLOOR AREA TO BE RETAINED

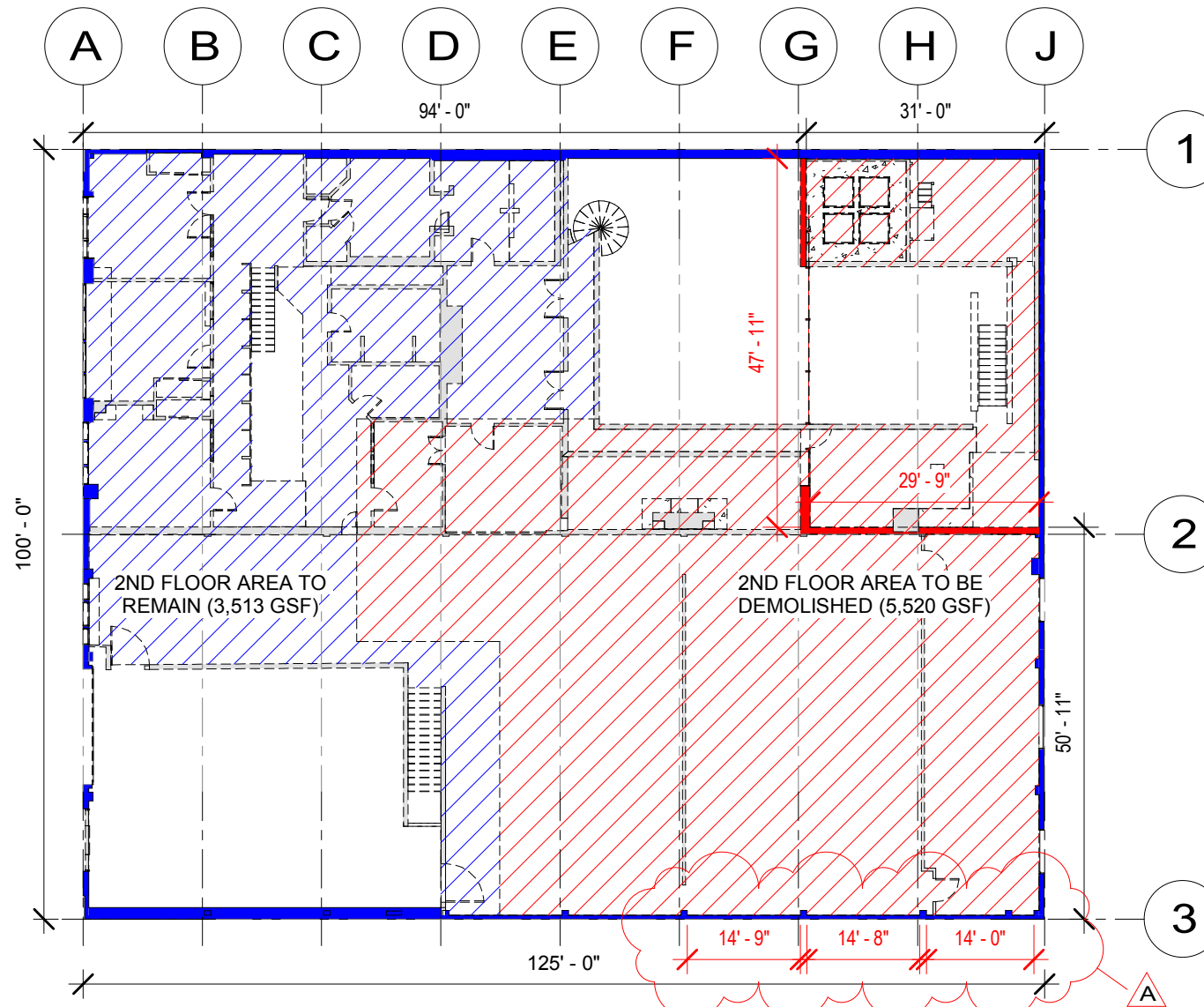
Residential Demolition Definitions Per SF Planning Code Article 317

1. A major alteration of a Residential Building that proposes the Removal of more than 50% of the sum of the Front Facade and Rear facade and also proposes the Removal of more than 65% of the sum of all exterior walls, measured in lineal feet at the foundation level.
2. A major alteration of a Residential Building that proposes the Removal of more than 50% of the Vertical Envelope Elements and more than 50% of the Horizontal elements of the existing building, as measured in square feet of actual surface area.

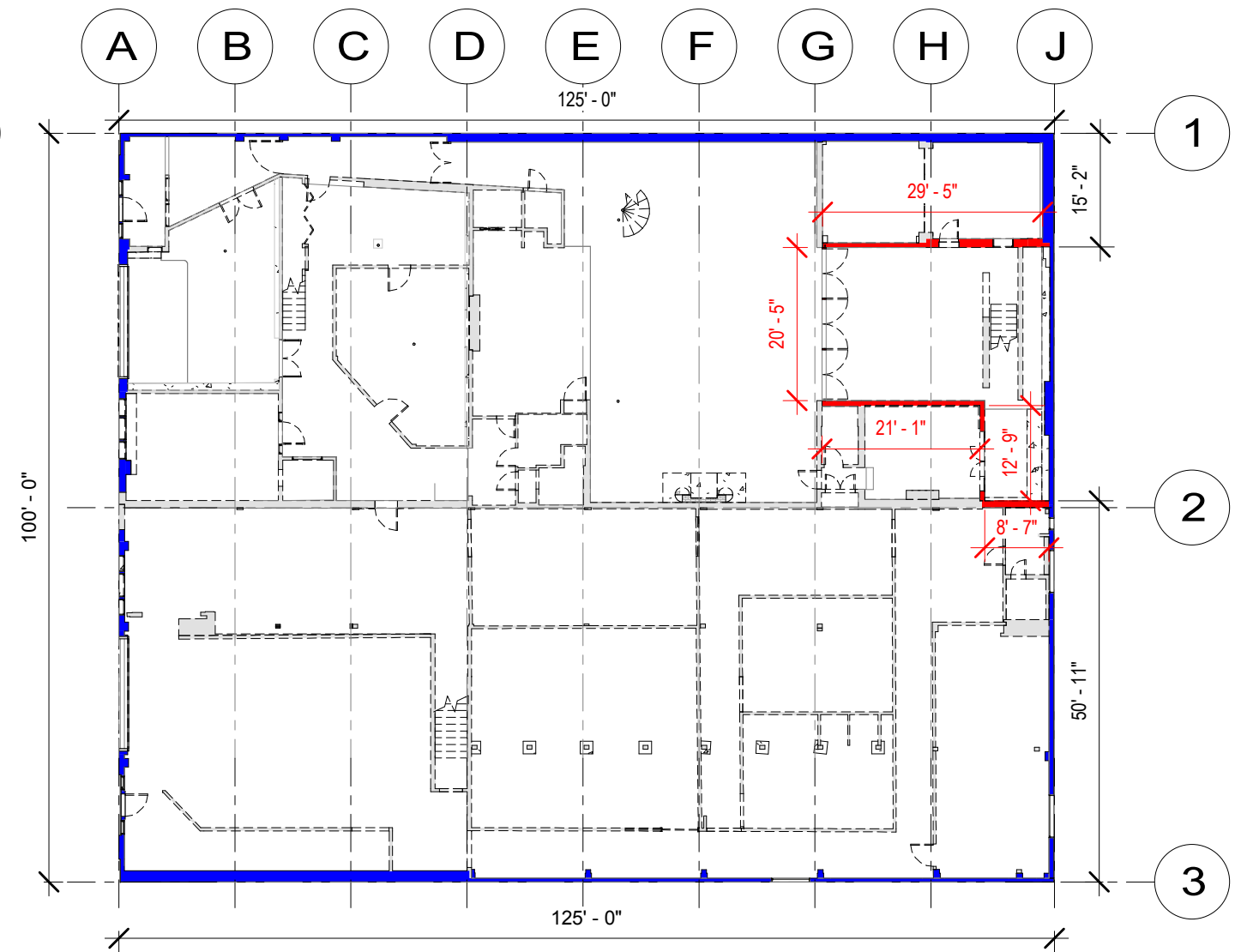
Residential Demolition Calculations Per SF Planning Code Article 317

1. **100% of Exterior Facade Walls shall remain.** Front Facade and Rear Facade to remain intact, with the exception of the addition of a center door to the West facade. (Facade repairs and maintenance acceptable under definition of 'Removal' in SF Planning Code Article 317.B.9)
2. **25.6% of the Vertical Envelope Elements shall be demolished.** 79'-6" of 495'-7" of First Floor Vertical Envelope Elements shall be demolished, 122'-2" of 447'-11" of Second Floor Vertical Envelope Elements shall be demolished.
3. **61% of the existing second level floor shall be demolished.** 5,520 SF of the second floor level shall be demolished out of 9,033 SF total (3,513 SF to remain.)

Proposed project does not qualify as a demolition per Section 317 of the San Francisco Planning Code.



② DEMO PLAN - SECOND FLOOR
1" = 20'-0"



① DEMO PLAN - FIRST FLOOR
1" = 20'-0"



DEMOLITION CALCS

67-69 BELCHER STREET

67-69 Belcher Street, San Francisco, CA 94114

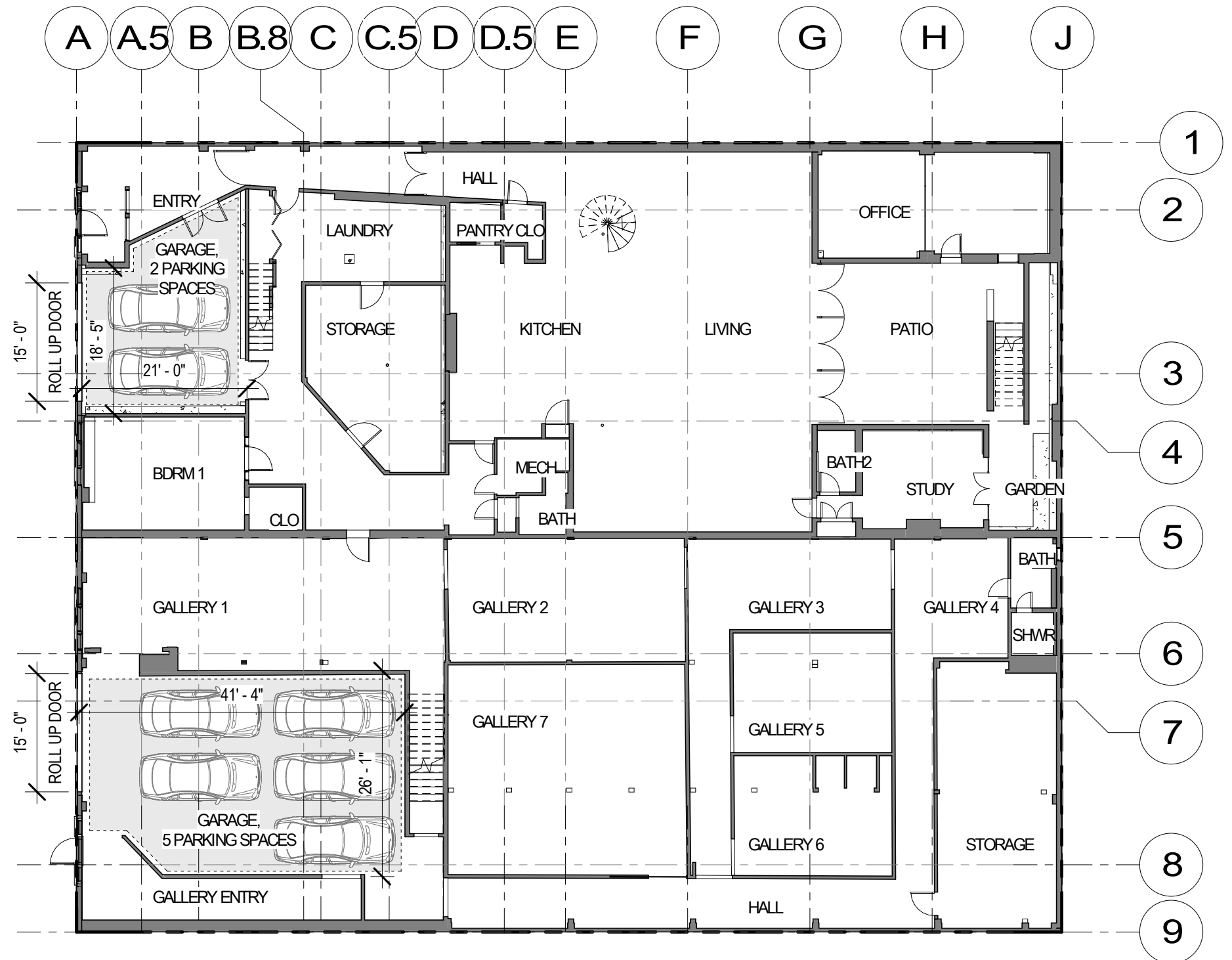
Date: 07/31/2017
Scale: As indicated

Rev #	Description	Date
A	Planning Set	8/25/2017

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10

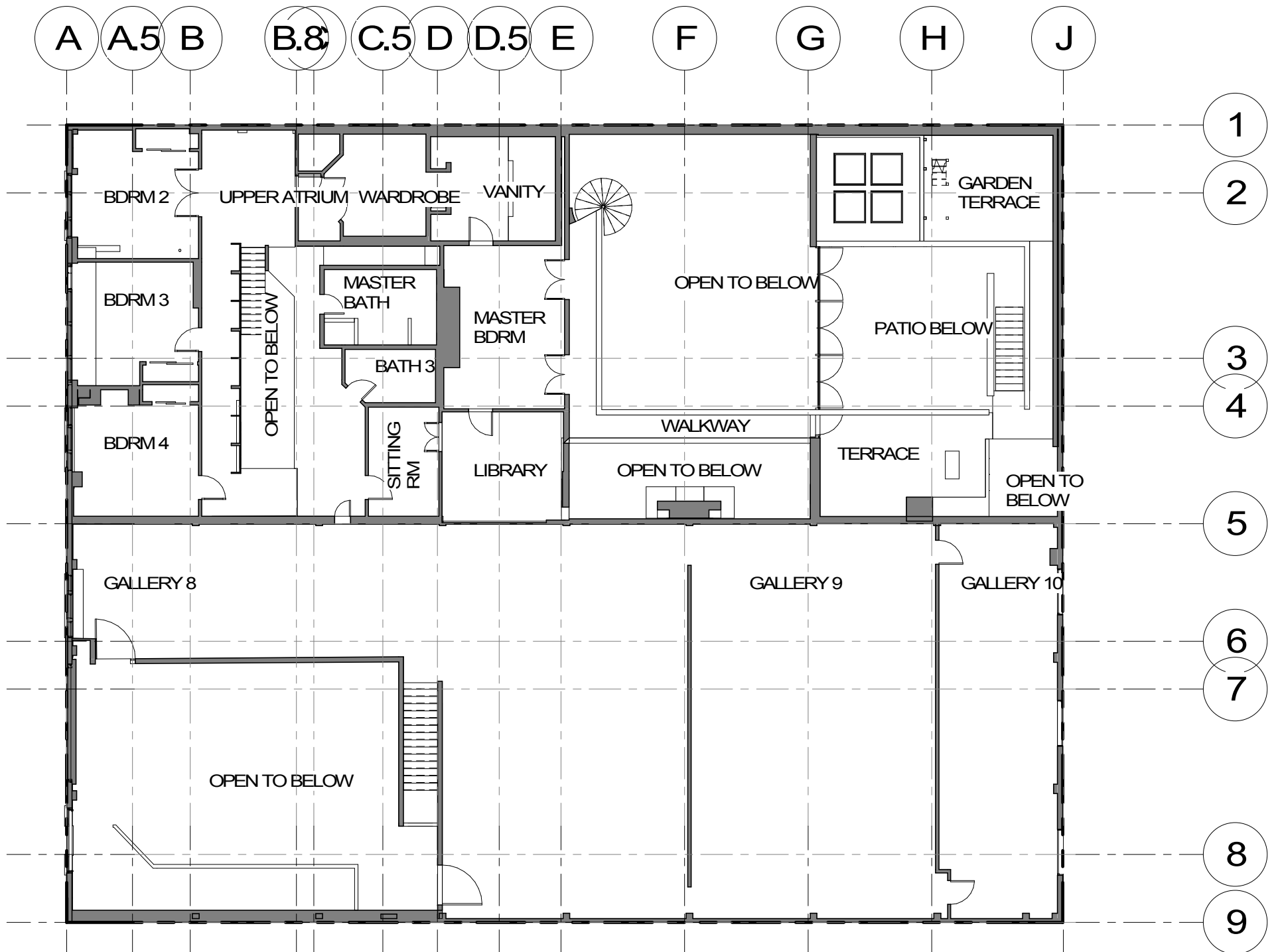


EXISTING PLAN - LEVEL 1
 1/16" = 1'-0" **1**

EXISTING ENTRY LEVEL PLAN

67-69 BELCHER STREET
 67-69 Belcher Street, San Francisco, CA 94114

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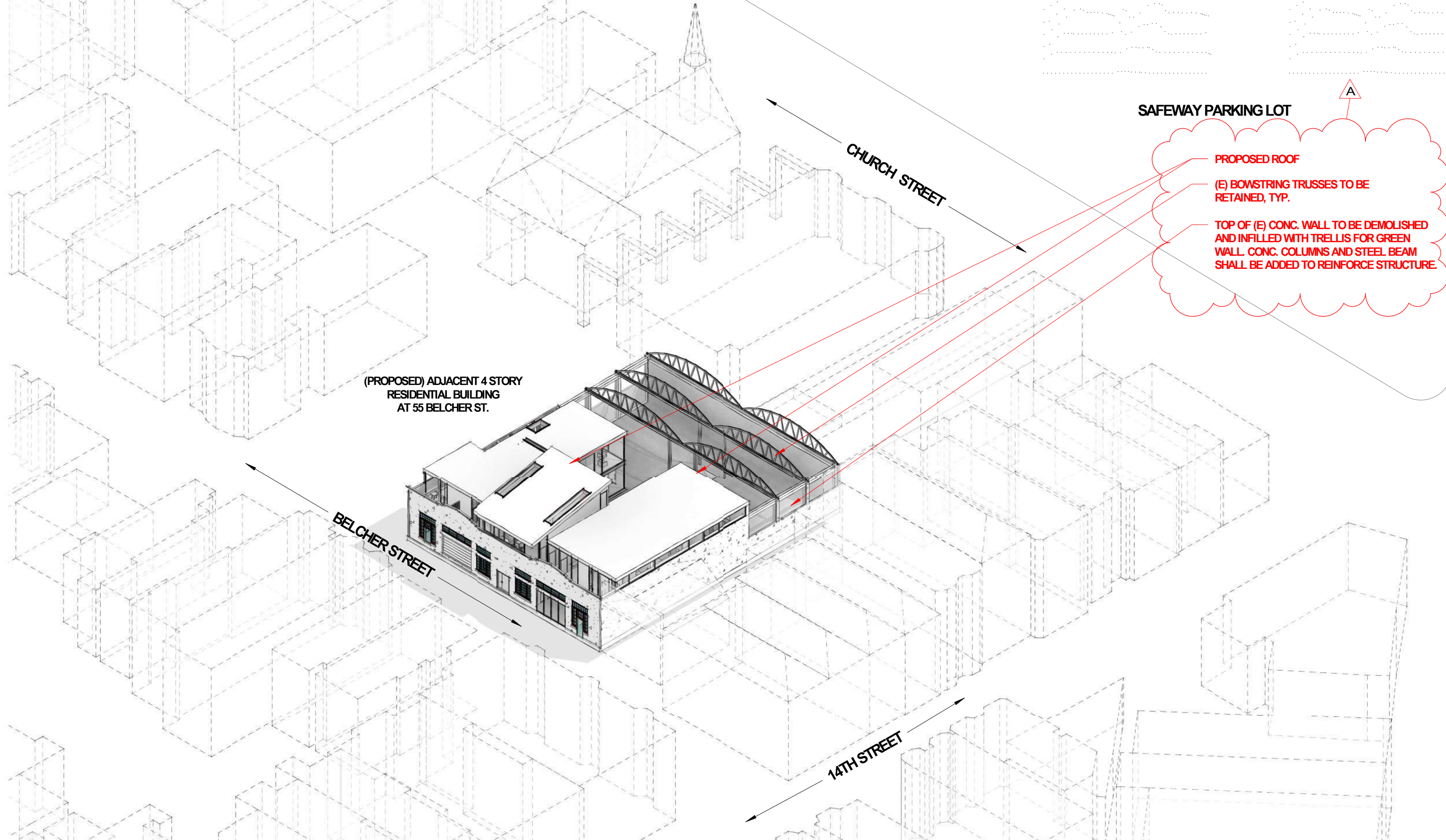
EXISTING PLAN - LEVEL 2 1
 1/16" = 1'-0"



EXISTING SECOND LEVEL PLAN

67-69 BELCHER STREET
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AXONOMETRIC VIEW - SITE CONTEXT

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ER
 Y SEWER
 Y SEWER CLEAN OUT
 Y SEWER MANHOLE
 Y BENCHMARK
 E OF CURB
 BOX

PREPARING THIS MAP
 THORIZED CHANGES TO
 IT BE REQUESTED IN

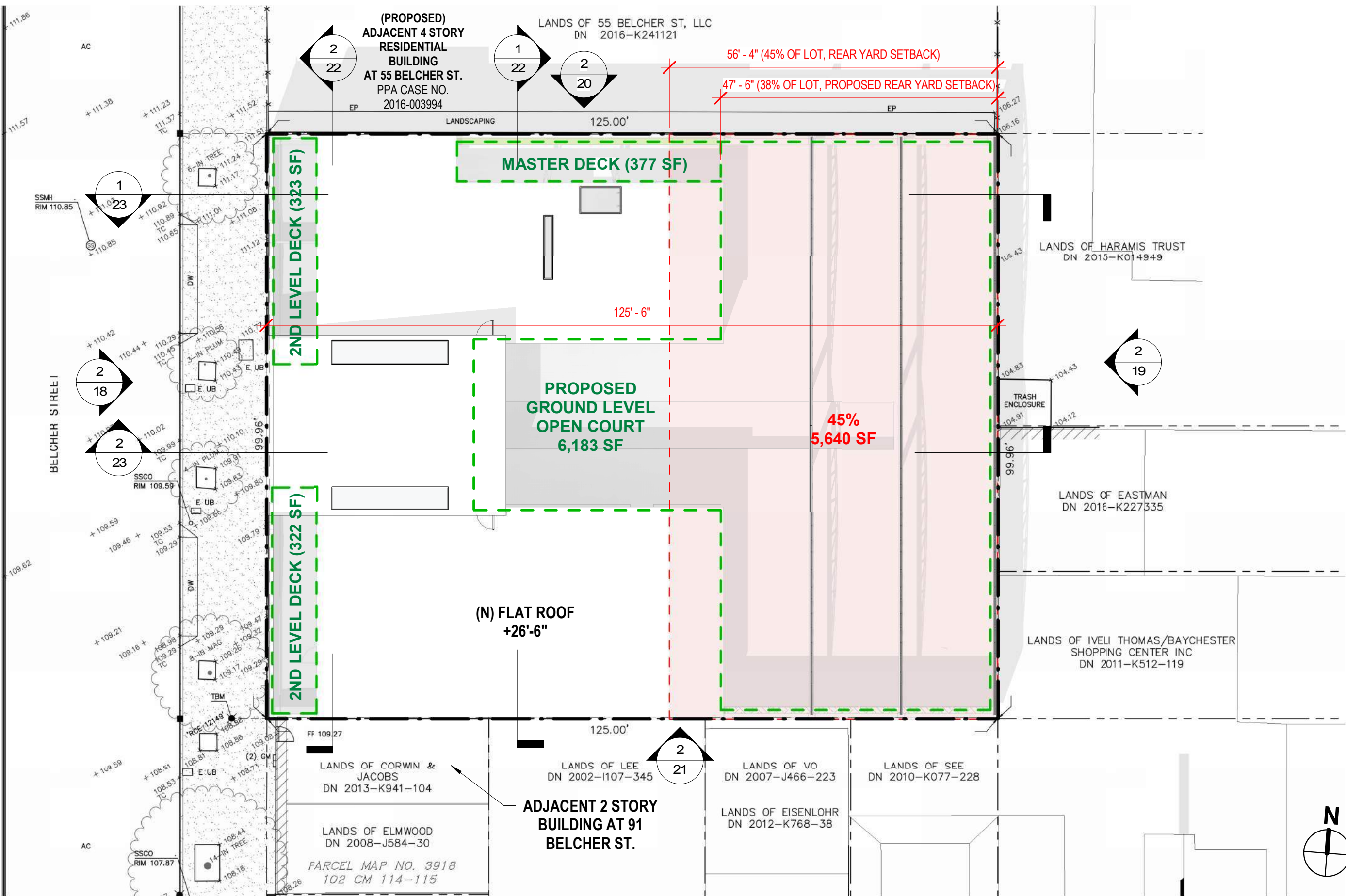
(48"). DRIPLINE
 ILY AND SHOULD BE

WAS OBTAINED FROM
 MAP BOOK 102 PAGES
 RECORDS.

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) COUNTY RECORDS.

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49', LOCATION SHOWN
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PROPOSED SITE PLAN

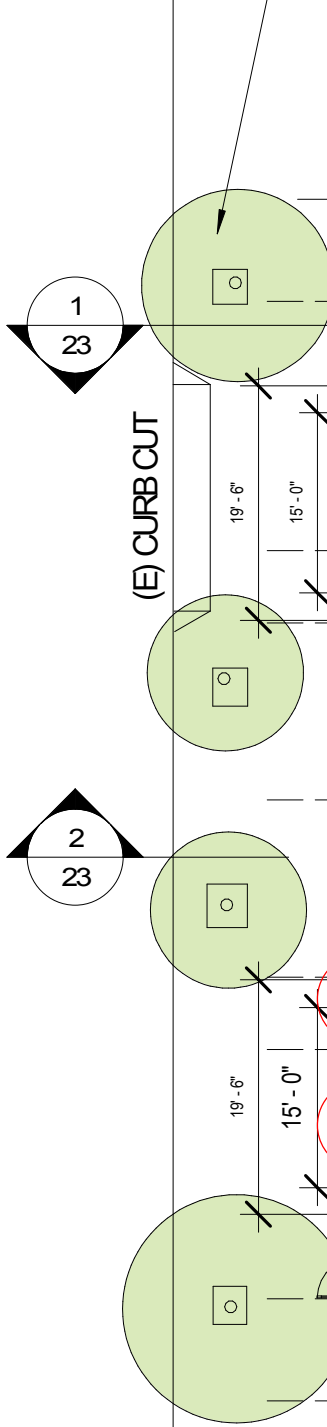
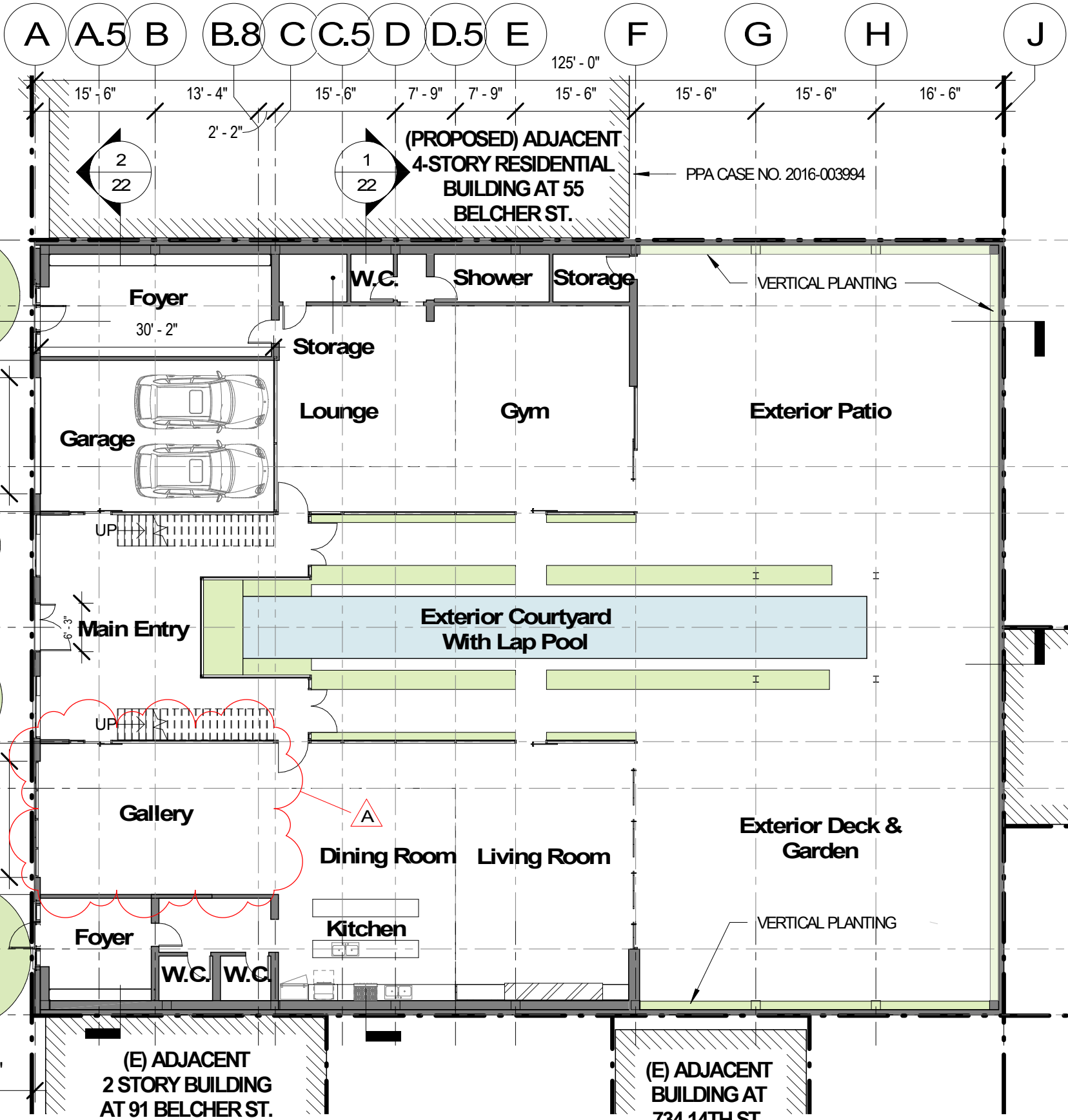
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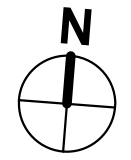


(E) STREET TREES TO REMAIN, TYP. OF 4

BELCHER STREET



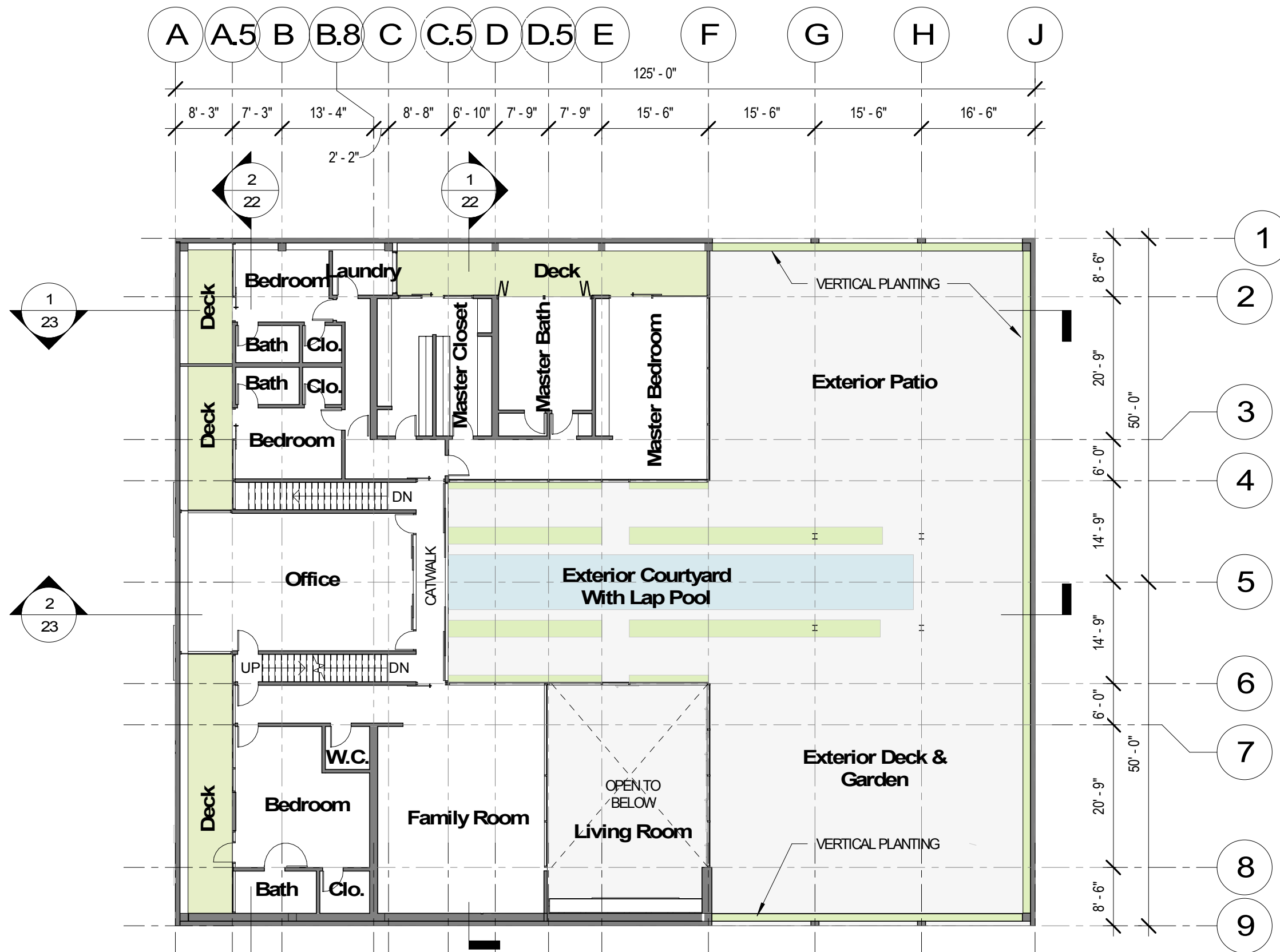
1 PROPOSED PLAN - LEVEL 1
1/16" = 1'-0"



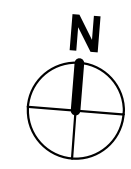
PROPOSED 1ST LEVEL PLAN

67-69 BELCHER STREET
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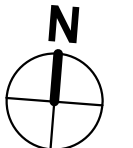
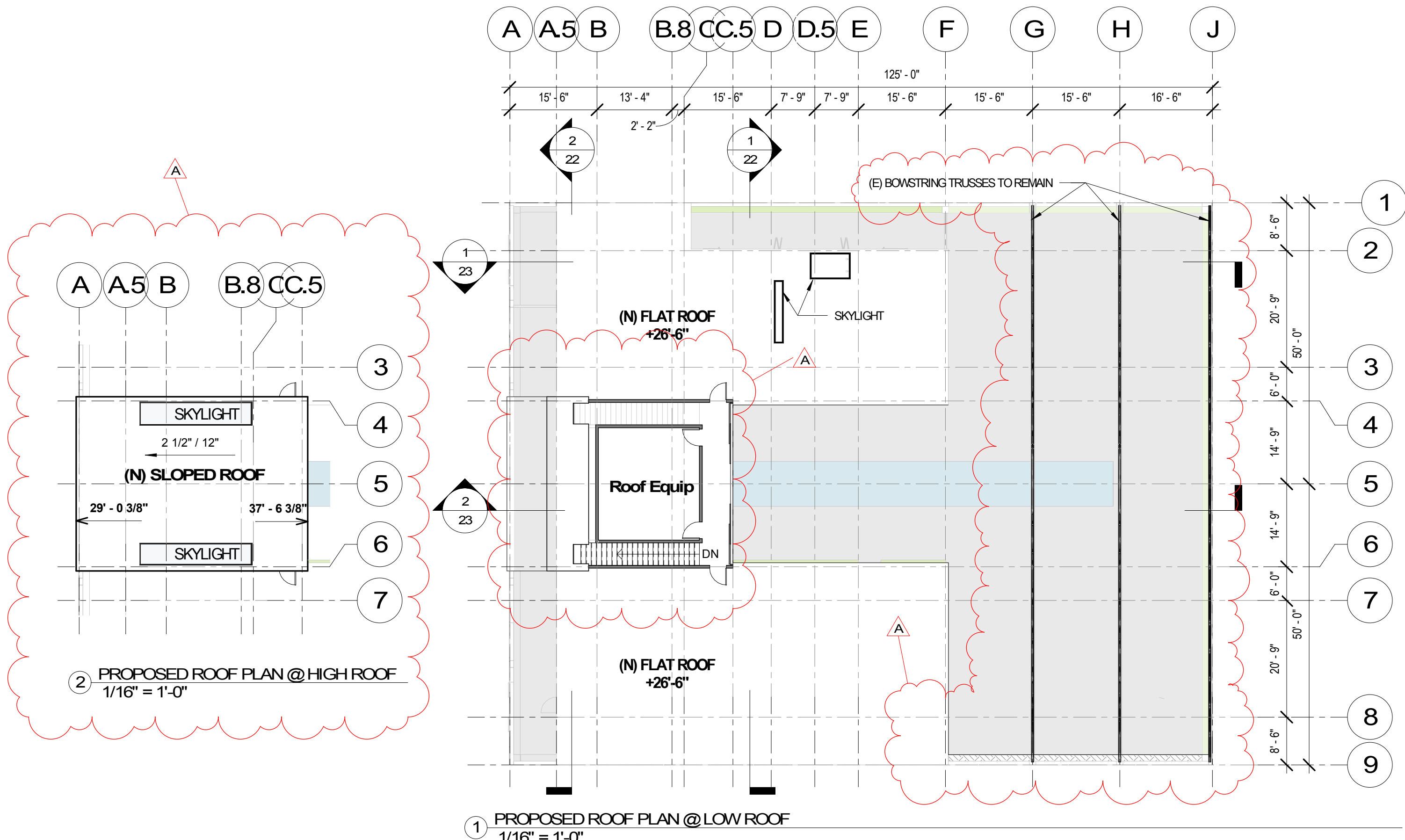
1 PROPOSED 2ND LEVEL PLAN
 1/16" = 1'-0"



PROPOSED 2ND LEVEL PLAN

67-69 BELCHER STREET
 67-69 Belcher Street, San Francisco, CA 94114

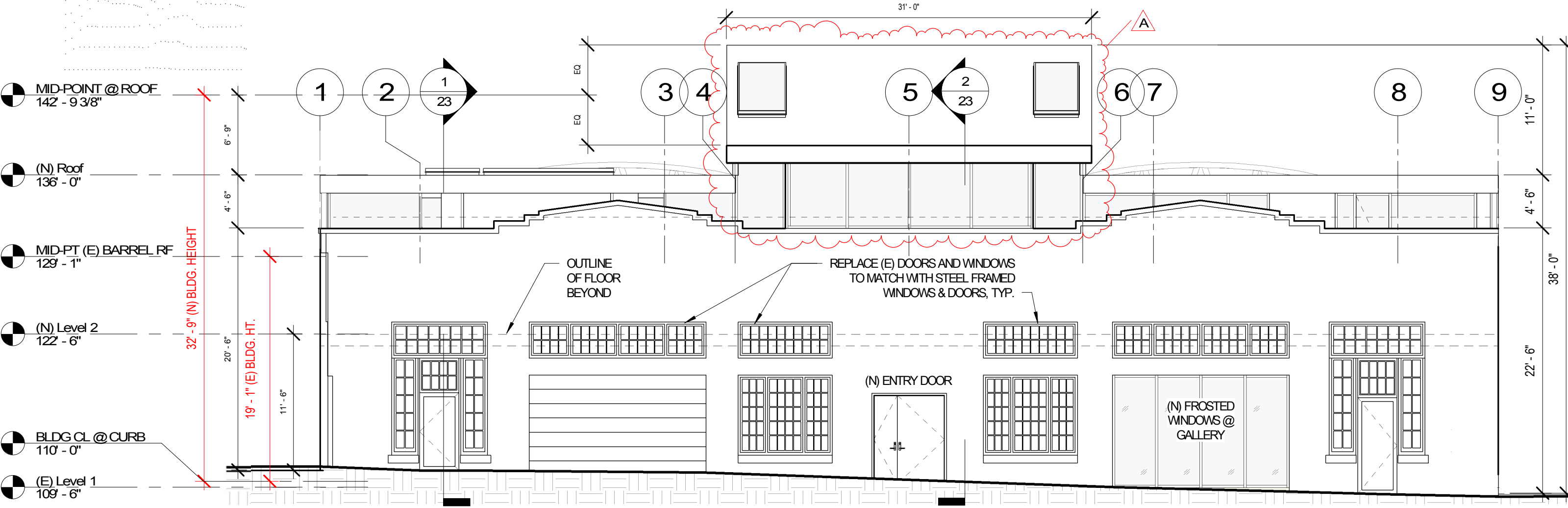
Date:	8/25/2017	Rev #	Description	Date	Sheet No.:
Scale:	1/16" = 1'-0"	A	Planning Set	8/25/2017	
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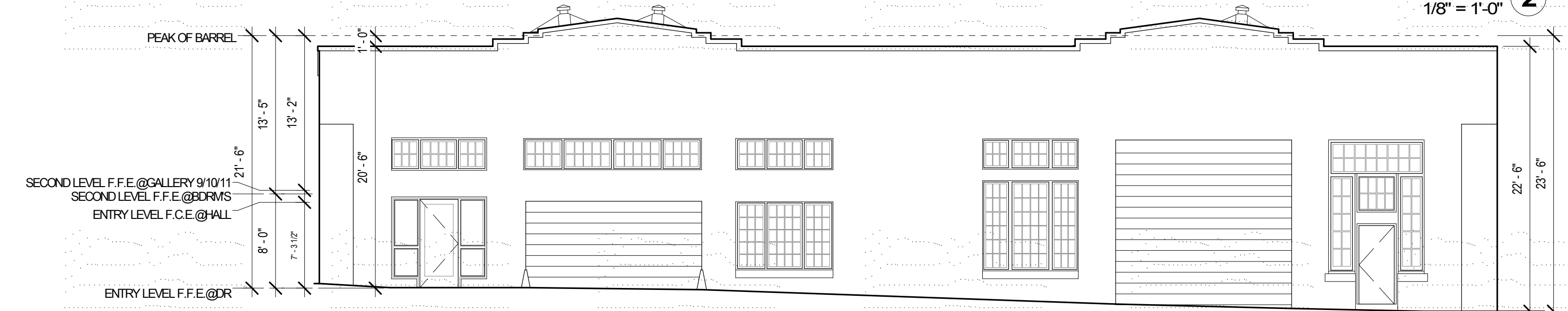
PROPOSED ROOF PLAN

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PROPOSED ELEVATION - WEST
1/8" = 1'-0" **2**



EXISTING ELEVATION - WEST
1/8" = 1'-0" **1**

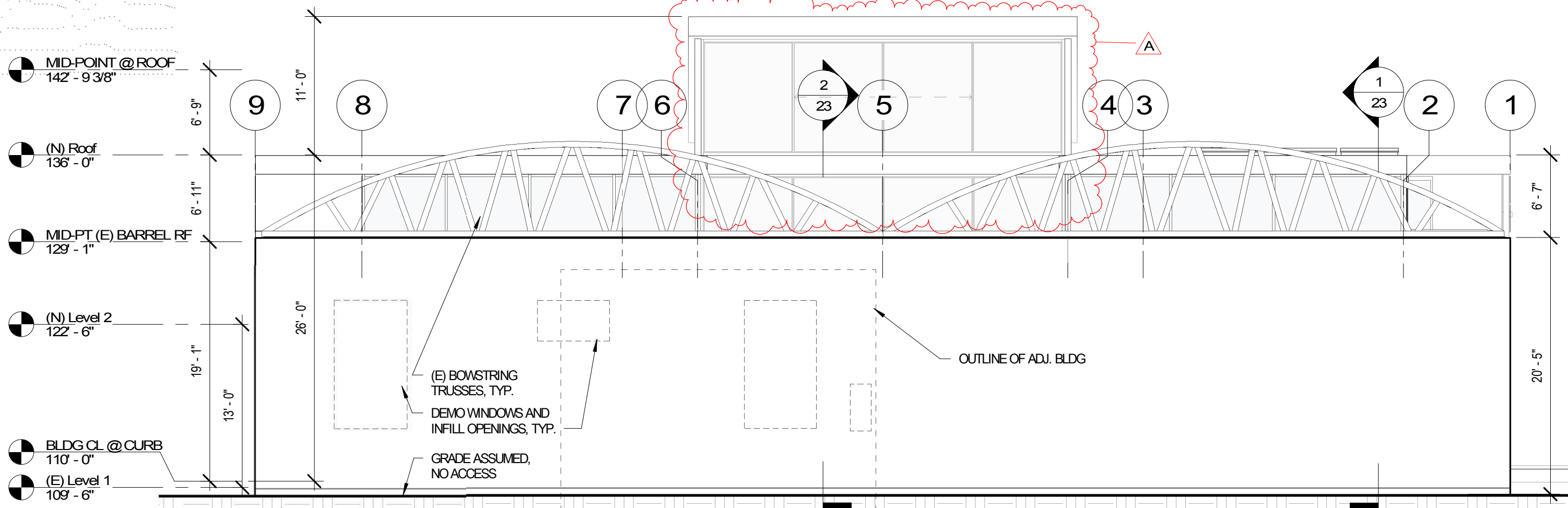


EXTERIOR ELEVATIONS - WEST

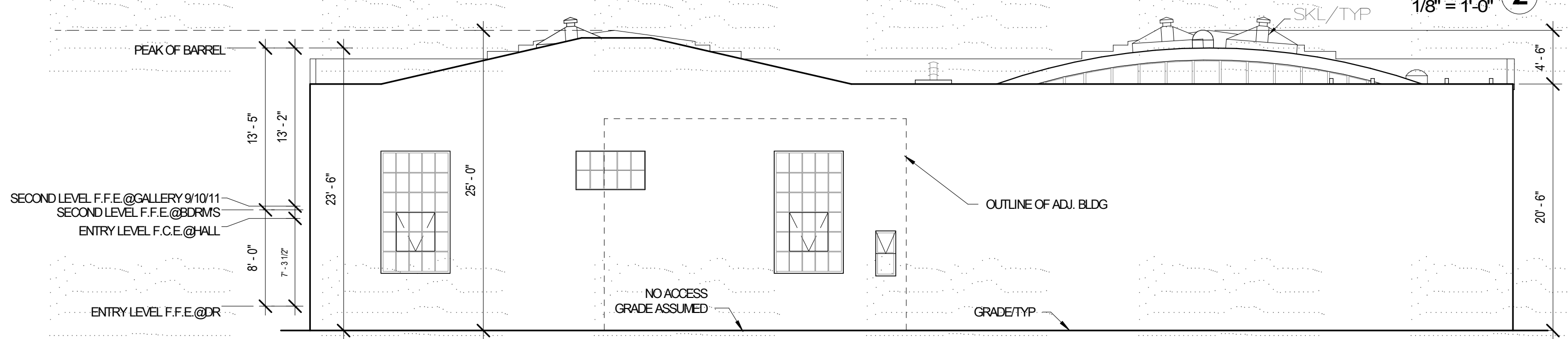
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PROPOSED ELEVATION - EAST 2
 1/8" = 1'-0"



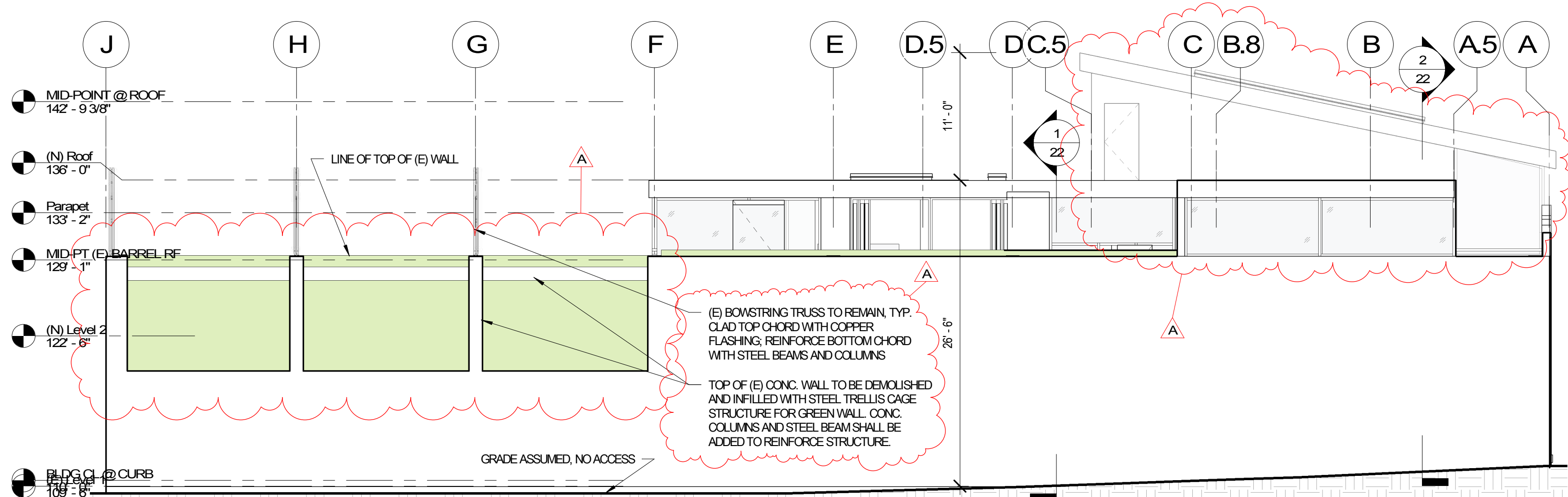
EXISTING ELEVATION - EAST 1
 1/8" = 1'-0"



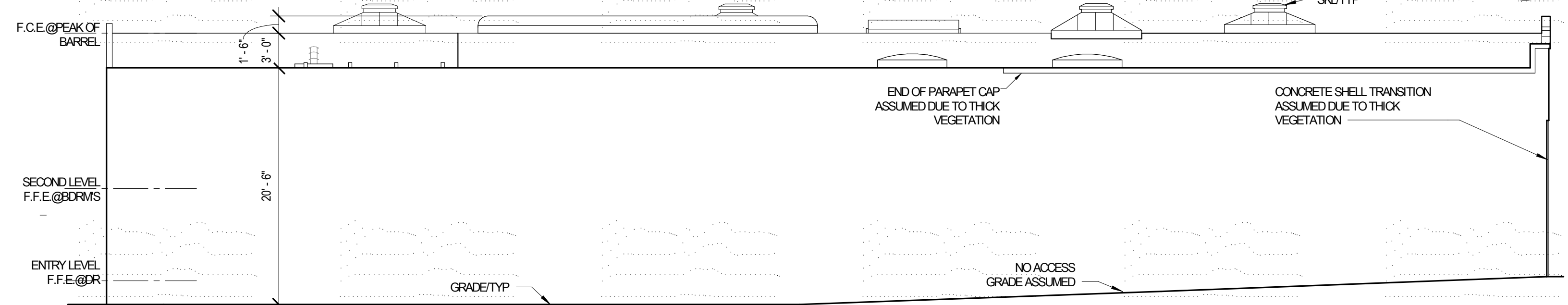
EXTERIOR ELEVATIONS - EAST

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PROPOSED ELEVATION - NORTH 2
1/8" = 1'-0"



EXISTING ELEVATION - NORTH 1
1/8" = 1'-0"

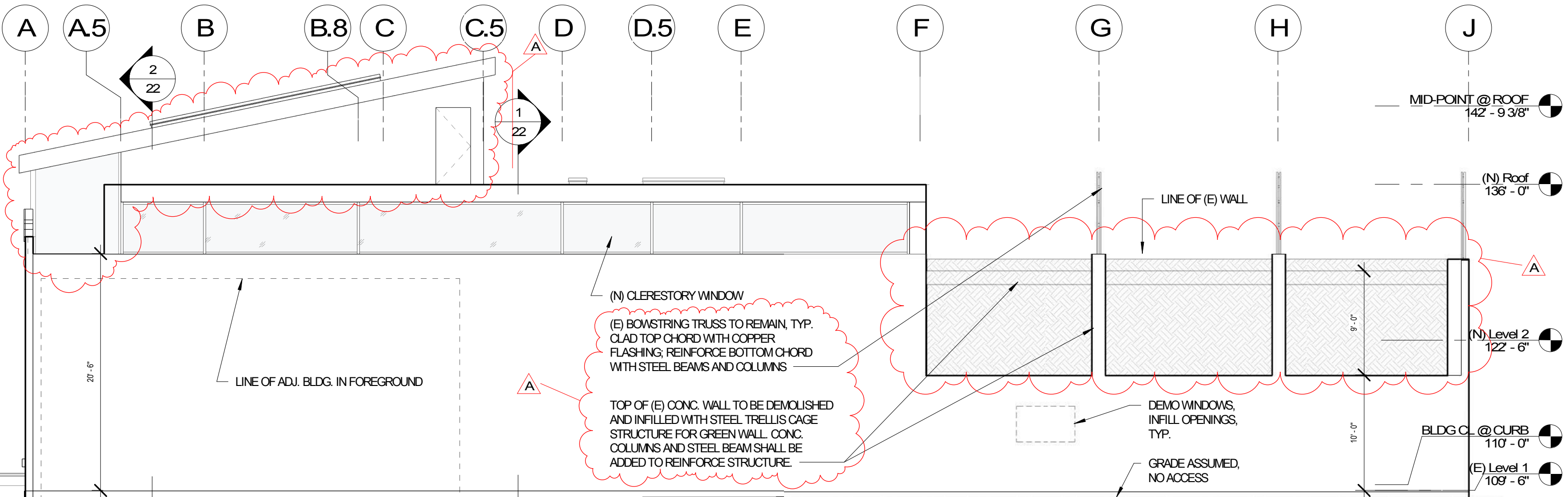


EXTERIOR ELEVATIONS - NORTH

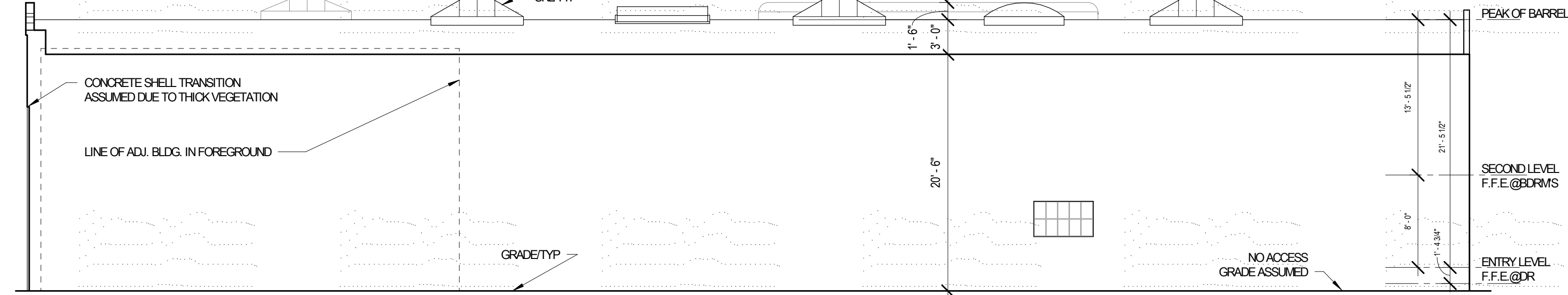
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PROPOSED ELEVATION - SOUTH 2
1/8" = 1'-0"



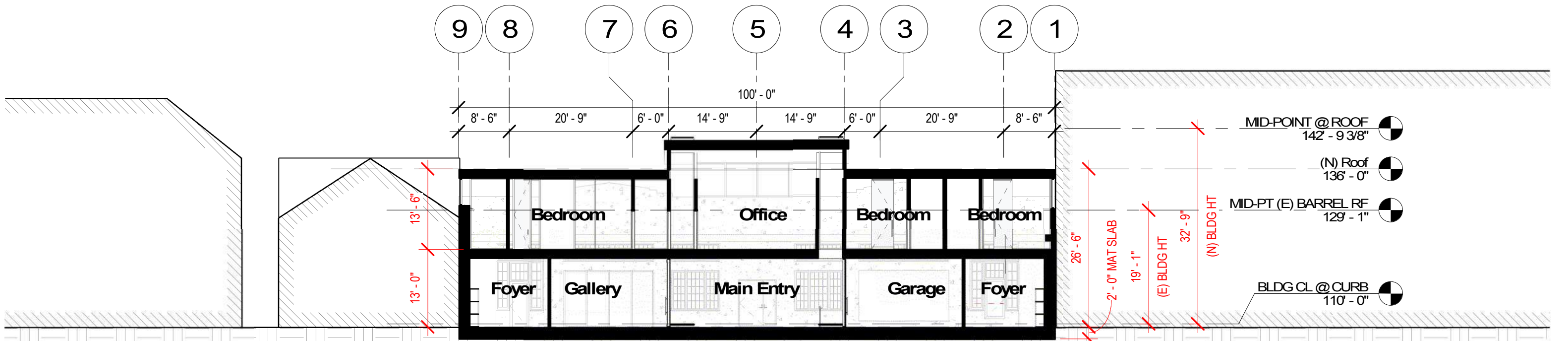
EXISTING ELEVATION - SOUTH 1
1/8" = 1'-0"



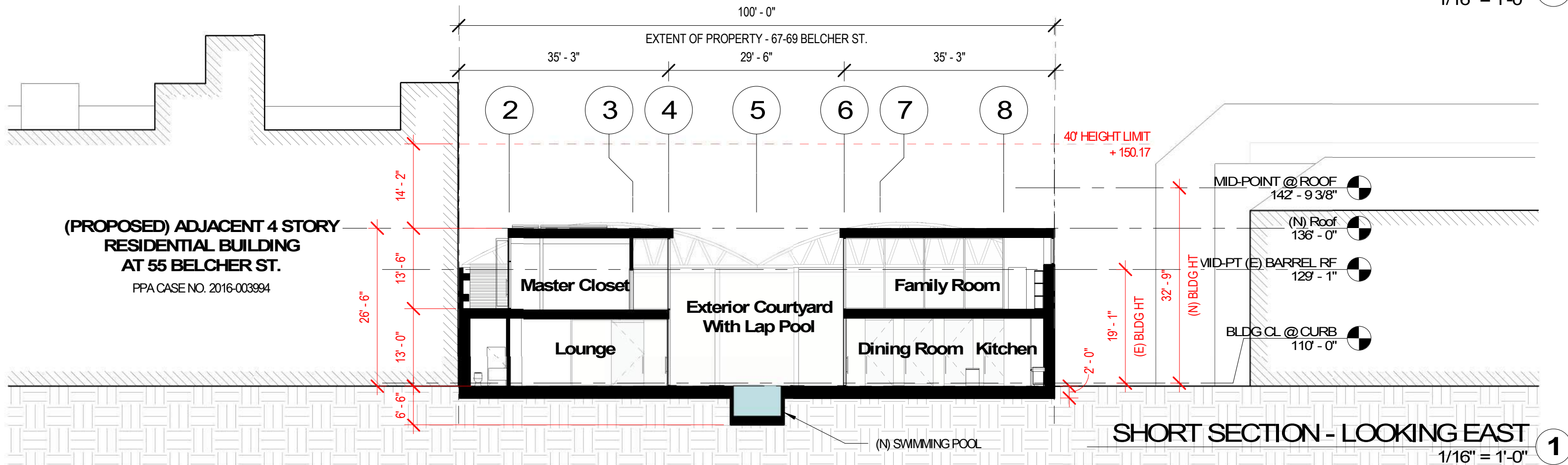
EXTERIOR ELEVATIONS - SOUTH
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Date:	8/25/2017	Rev #	Description	Date	Sheet No.:
Scale:	1/8" = 1'-0"	A	Planning Set	8/25/2017	21

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SHORT SECTION - LOOKING WEST ②
1/16" = 1'-0"



**(PROPOSED) ADJACENT 4 STORY
RESIDENTIAL BUILDING
AT 55 BELCHER ST.**
PPA CASE NO. 2016-003994

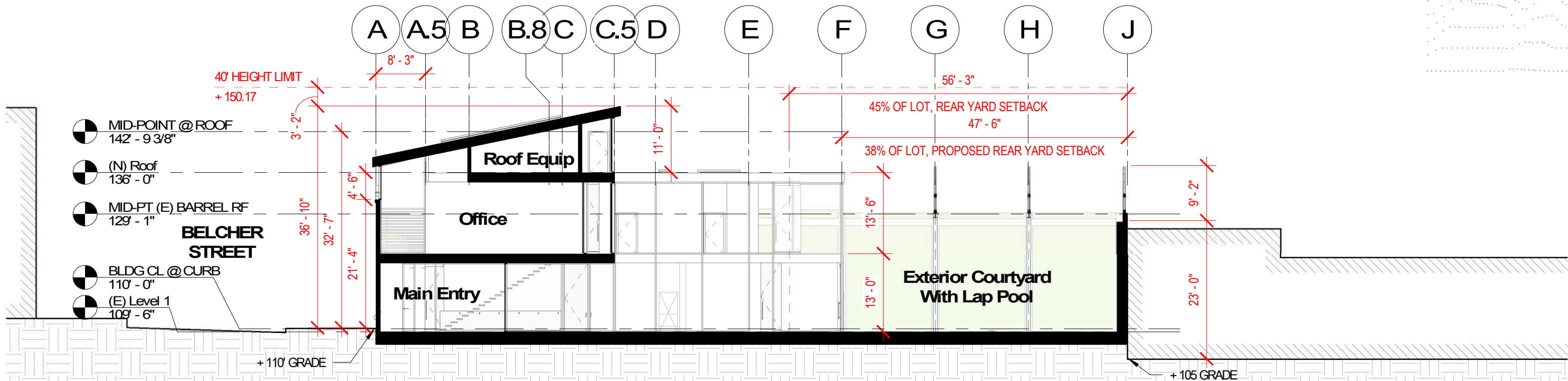
SHORT SECTION - LOOKING EAST ①
1/16" = 1'-0"

PROPOSED N/S SECTION

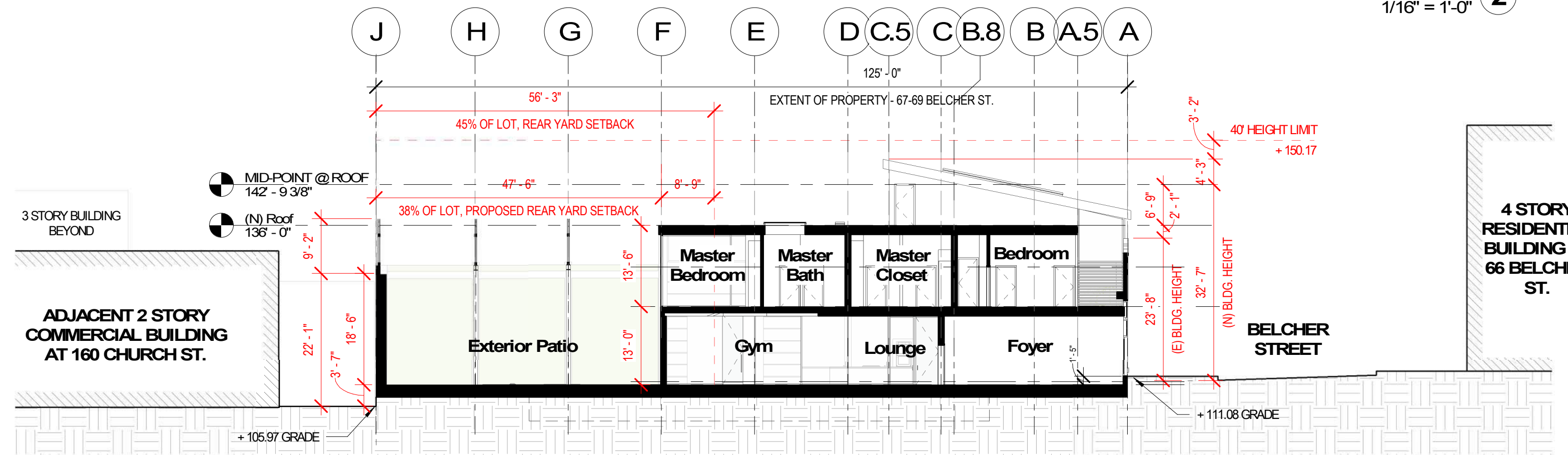
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LONG SECTION - LOOKING NORTH ②
1/16" = 1'-0"



LONG SECTION - LOOKING SOUTH ①
1/16" = 1'-0"



PROPOSED EW SECTION

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AREA SCHEDULE (GSF)

Name	Area	Area Type
------	------	-----------

(E) Level 1

COURTYARD	6,183 SF	Exterior Area
Exterior Area	6,183 SF	

ENTRY	880 SF	Floor Area
NORTH WING	2,705 SF	Floor Area
SOUTH WING	2,732 SF	Floor Area
Floor Area	6,317 SF	
	12,500 SF	

(N) Level 2

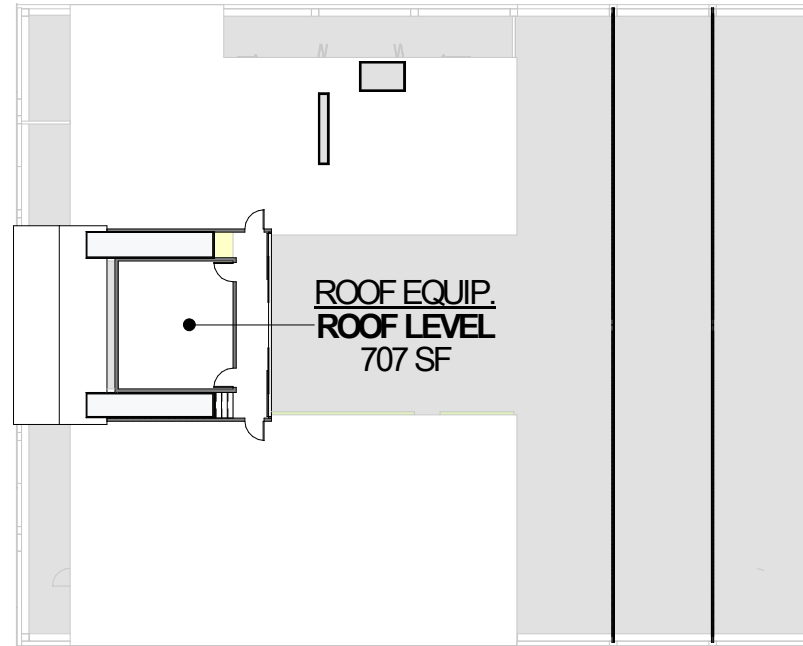
MASTER DECK	377 SF	Exterior Area
SECOND LEVEL DECK	323 SF	Exterior Area
SECOND LEVEL DECK	323 SF	Exterior Area
Exterior Area	1,022 SF	

NORTH WING	2,050 SF	Floor Area
OFFICE	1,090 SF	Floor Area
SOUTH WING	1,592 SF	Floor Area
Floor Area	4,732 SF	
	5,754 SF	

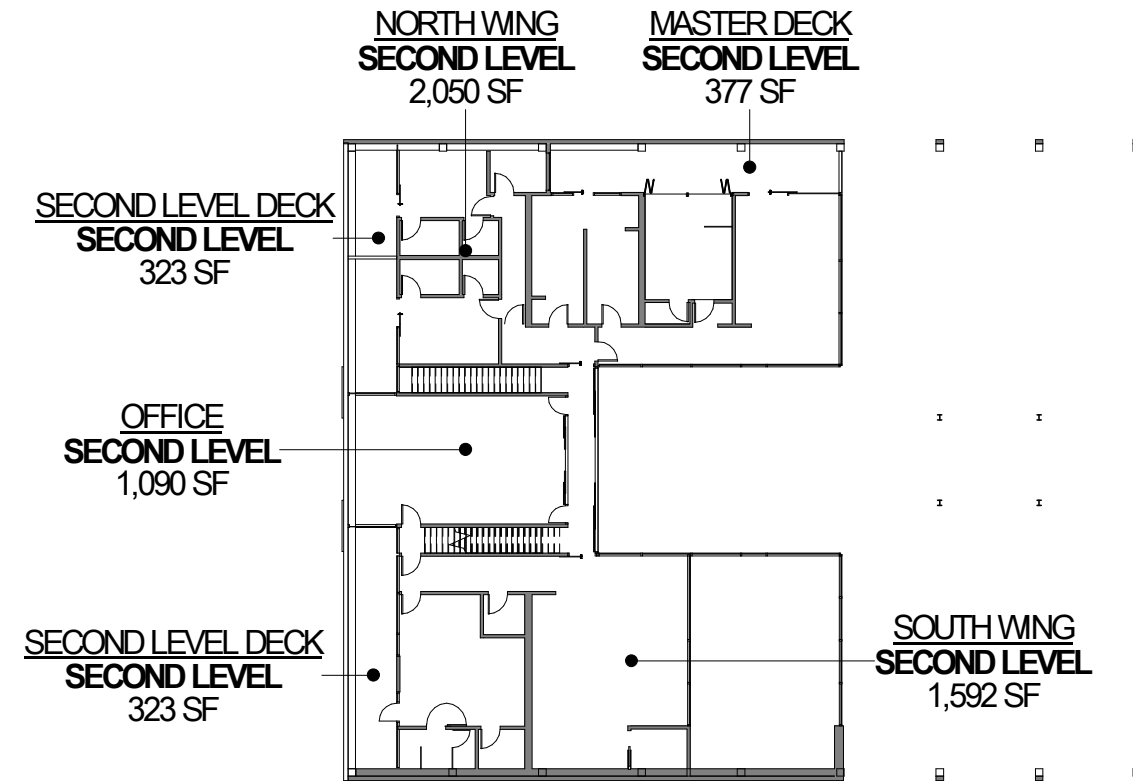
(N) Roof

ROOF EQUIP.	707 SF	Floor Area
Floor Area	707 SF	
	707 SF	

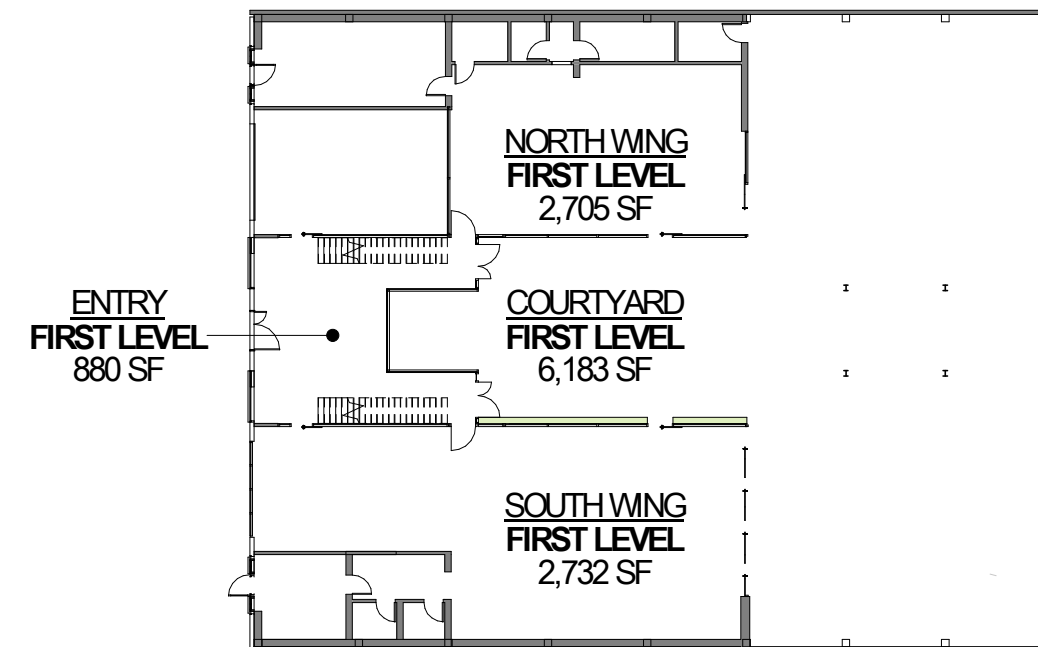
TOTAL FLOOR AREA: 10,932 SF (EXCLUDES FLOOR OPENINGS & ROOF EQUIPMENT STOR.)
TOTAL EXTERIOR AREA: 7,204 SF



③ **Roof Deck Level**
1" = 30'-0"



② **Level 2 (BEDROOMS)**
1" = 30'-0"



① **Level 1 (LIVING)**
1" = 30'-0"



COURTYARD PERSPECTIVE

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