



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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San Francisco,  
CA 94103-2479

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Information:  
**415.558.6377**



**SAN FRANCISCO  
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409  
558\*6409

# NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, August 23, 2017**  
 Time: **Not before 9:30 AM**  
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**  
 Case Type: **Variance**  
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: <b>826 - 828 Central Avenue</b> Cross Street(s): <b>McAllister Street</b> Block /Lot No.: <b>1159/017B</b> Zoning District(s): <b>RH-3 /40-X</b> Area Plan: <b>N/A</b>	Case No.: <b>2017-003418VAR</b> Building Permit: <b>N/A</b> Applicant: <b>Rachel Malchow</b> Telephone: <b>415.710.9093</b> E-Mail: <b>malchow.architect@gmail.com</b>

## PROJECT DESCRIPTION

The proposal is to add one dwelling unit in the ground floor of the existing two-unit building. No physical expansion of the building is proposed.

Planning Code Section 135 requires 100 sf of private open space, or 133 sf of common open space. The subject property does not provide any open space for residents.

Planning Code Section 140 requires dwelling units to face a street or alley at least 25 feet wide, or a Code-compliant rear yard. The proposed dwelling unit would not face either a street or Code-compliant rear yard area.

Planning Code Section 132 requires that 20% (12 square feet) of the front setback be landscaped with plants, and 50% (30 square feet) of the front setback be of a permeable material. The proposal does not provide the required landscaping or permeable material in the front setback.

## ADDITIONAL INFORMATION

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://notice.sfplanning.org/2017-003418VAR.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

# GENERAL INFORMATION ABOUT PROCEDURES

## HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

## BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property.

## APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

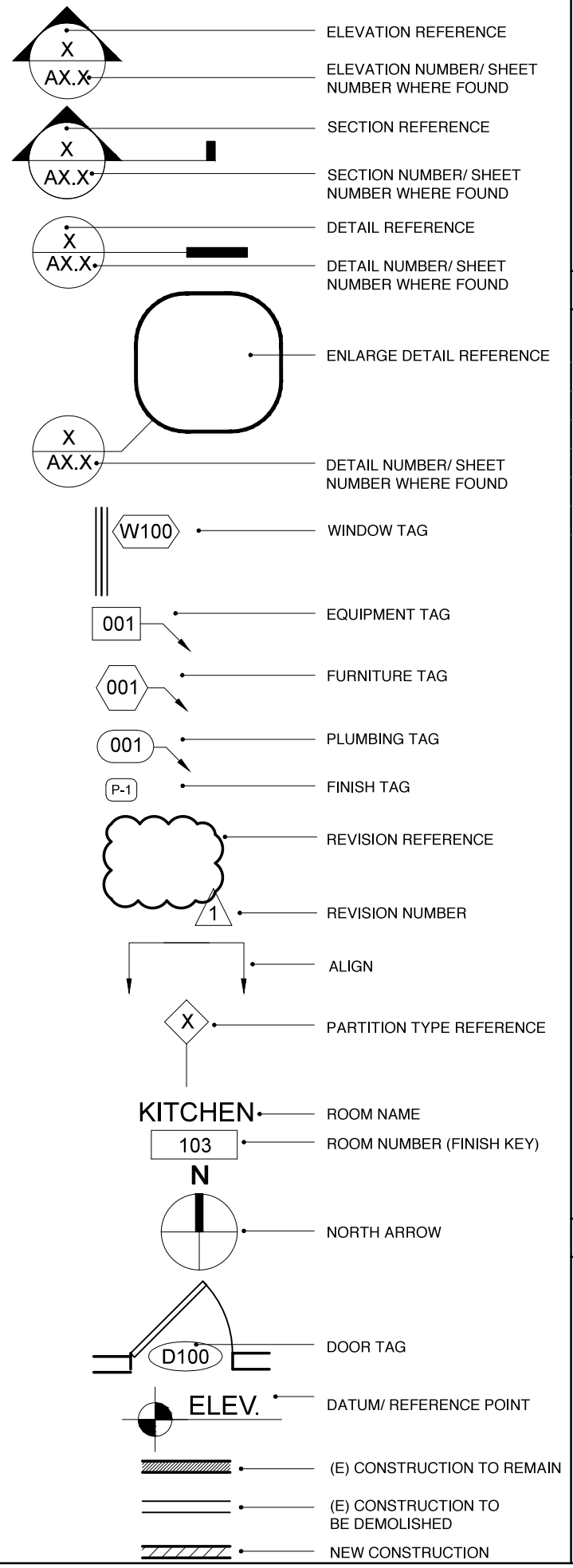
An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

ABBREVIATION

ACOUS. ADJ.	ACOUSTICAL ADJUSTABLE OR ADJACENT	MAX. MET.	MAXIMUM METAL
A.F.F.	ABOVE FINISH FLOOR	MFR. MIN.	MANUFACTURER MINIMUM
ALUM. ANOD.	ALUMINUM ANODIZED	MISC. MTD. MTL.	MISCELLANEOUS MOUNTED METAL
BD. BLDG. BLK'G. B.O.	BOARD BUILDING BLOCKING BOTTOM OF	(N) N.I.C. N.T.S.	NEW NOT IN CONTRACT NOT TO SCALE
CAB. C.L. C.M.U.	CABINET CENTERLINE CONCRETE MASONRY UNIT	O.C. O.D. O.H. OPP.	ON CENTER OUTSIDE DIAMETER OPPOSITE HAND OPPOSITE
COL. CONC. CONT. CPT. C.T.	COLUMN CONCRETE CONTINUOUS CARPET CERAMIC TILE	P.G. P.LAM. PLYWD. POL. P.T.	PAINT GRADE PLASTIC LAMINATE PLYWOOD POLISHED PRESSURE TREATED
DET. DIA. DIM. DN. DWG.	DETAIL DIAMETER DIMENSION DOWN DRAWING	PTD. R. REF. RESIL. R.O. RM.	PAINTED RADIUS REFERENCE RESILIENT ROUGH OPENING ROOM
(E) EA. ELEC.	EXISTING EACH ELECTRIC OR ELECTRICAL	SCHED. S.S. SIM. SPEC. SQ. S.S.D.	SCHEDULE STAINLESS STEEL SIMILAR SPECIFICATIONS SQUARE SEE STRUCTURAL DRAWINGS
ELEV. ENCL. EQ. EQPM. EXH.	ELEVATION ENCLOSURE EQUAL EQUIPMENT EXHAUST	STD. STL. STOR. STRUCT. SUSP.	STANDARD STEEL STORAGE STRUCTURAL SUSPENDED
FIN. FL. F.O. F.O.F. F.O.W. F.R. FRMG. F.R.P.	FINISH FLOOR FACE OF FACE OF FINISH FACE OF WALL FIRE RATED FRAMING FIBERGLASS REINFORCED PANEL	T THK. T'HOLD TRANS. T.O. TYP. U.O.N.	TEMPERED THICK THRESHOLD TRANSPARENT TOP OF TYPICAL UNLESS OTHERWISE NOTED
GA. GALV. GL. GYP. BD.	GAUGE GALVANIZED GLASS GYPSUM BOARD	VEST. V.I.F. WD.	VESTIBULE VERIFY IN FIELD WOOD
HDWR. HDWD. HT.	HARDWARE HARDWOOD HEIGHT	INSUL. INT.	INSULATION INTERIOR
JT. LAM. LAV. LT. FIXT.	JOINT LAMINATE LAVATORY LIGHT FIXTURE		

SYMBOL LEGEND



VARIANCE APPLICATION FOR  
**CENTRAL ADDITIONAL UNIT**  
**828 CENTRAL AVENUE**  
**SAN FRANCISCO, CA**

DRAWING INDEX		VARIANCE APP. 02.10.17
A0.00	COVER SHEET	●
A0.50	PLOT PLAN	●
A2.00	FLOOR PLAN	●
A3.00	EXTERIOR ELEVATION	●

PROJECT INFORMATION			
CLIENT:	MARTIN LAEUCHLI		
SITE ADDRESS:	828 CENTRAL AVENUE SAN FRANCISCO, CA 94115		
NO. OF STORIES:	2 + BASEMENT		
BUILDING HEIGHT:	32' - 5" ABOVE GRADE		
OVERALL BUILDING S.F.:	3,325 S.F.		
PROPOSED AREA OF WORK:	1,190 S.F.		
PROPERTY APN:	1159/017B		
ZONING:	RH-3		
OCCUPANCY TYPE:	EXISTING R-3, PROPOSED R-2		
CONSTRUCTION TYPE:	VB		
SCOPE OF WORK:	(N) DWELLING UNIT AT (E) BASEMENT. REMODEL WINDOW WELL AND FRONT STEPS TO BASEMENT FOR USE AS EGRESS.		
	(E) SF	EXISTING DWELLING SF	PROPOSED DWELLING SF
1ST FLOOR	1,145 SF	1,145 SF	NO CHANGE
2ND FLOOR	1,157 SF	1,157 SF	NO CHANGE
BASEMENT STORAGE	1,023 SF	0 SF	885 SF
BUILDING CODES:	2016 CALIFORNIA RESIDENTIAL CODE 2016 CALIFORNIA BUILDING CODE 2016 CALIFORNIA PLUMBING CODE 2016 CALIFORNIA ELECTRICAL CODE 2016 CALIFORNIA MECHANICAL CODE 2016 CALIFORNIA FIRE CODE 2016 CALIFORNIA ENERGY CODE		
TITLE 24 AND ALL LOCAL AND STATE AMENDMENTS			

PROJECT DIRECTORY		
<b>CLIENT</b> MARTIN LAEUCHLI 828 CENTRAL AVENUE SAN FRANCISCO, CA 94115	<b>ARCHITECT</b> RACHEL MALCHOW ARCHITECT 632 OAK STREET SAN FRANCISCO, CA 94117	<b>CONTRACTOR</b> TBD
TEL: (415) 202-3228 CONTACT MARTIN LAEUCHLI	TEL: (415) 710-9093 CELL: (812) 327-7895 CONTACT RACHEL MALCHOW	

RACHEL MALCHOW,  
ARCHITECT INC.  
632 OAK STREET  
SAN FRANCISCO, CA 94117  
812.327.7895  
MALCHOW.ARCHITECT@GMAIL.COM

PROJECT: **CENTRAL ADDITIONAL UNIT**  
828 CENTRAL AVENUE  
SAN FRANCISCO, CA 94115  
CLIENT: **MARTIN LAEUCHLI**

SHEET NAME	DATE
COVER SHEET	02.10.17
ISSUE	
DELTA	
VARIANCE APPLICATION	

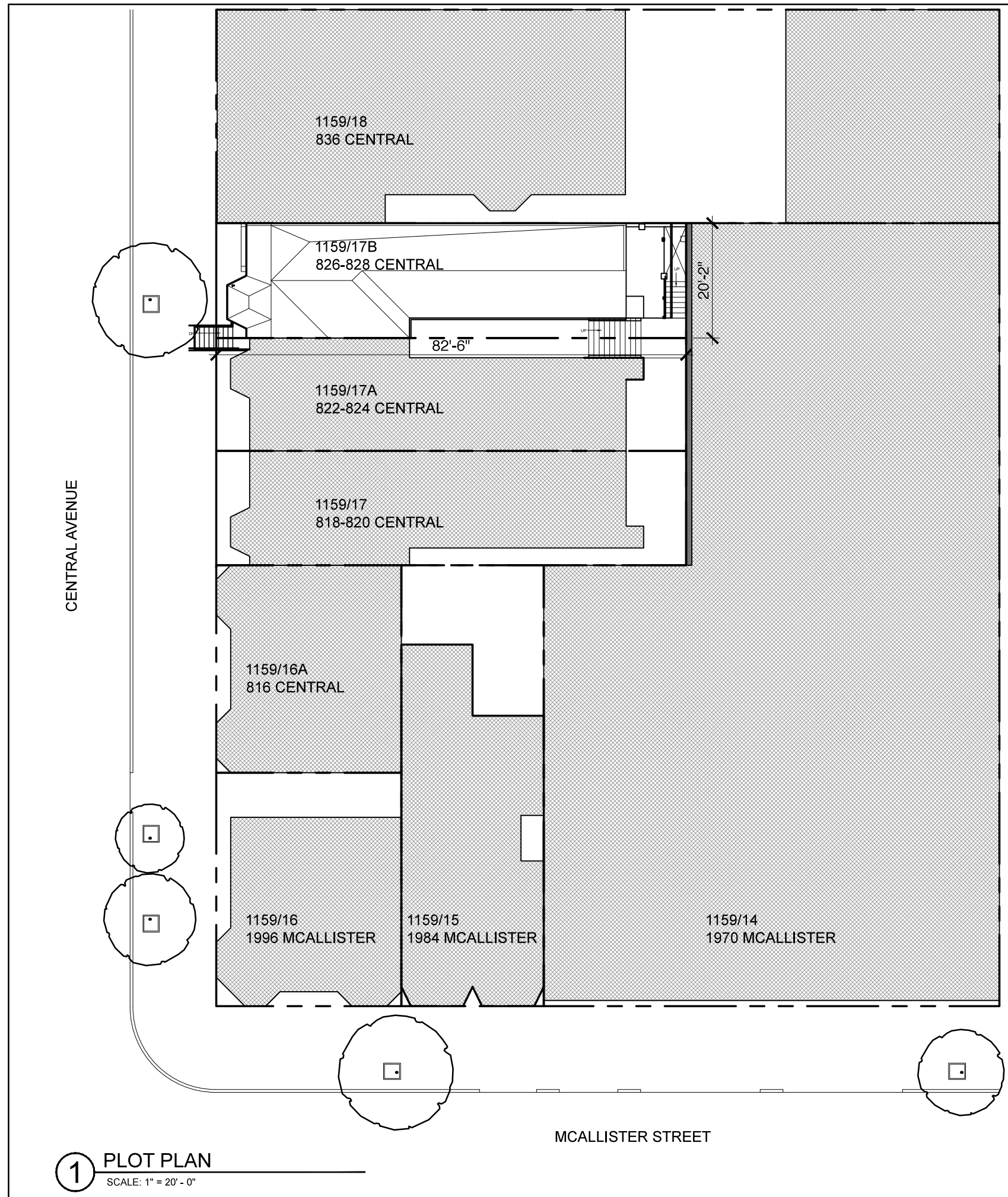
SHEET NO.  
**A0.00**

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PROJECT: **CENTRAL ADDITIONAL UNIT**  
828 CENTRAL AVENUE  
SAN FRANCISCO, CA 94115  
CLIENT: MARTIN LAEUCHLI

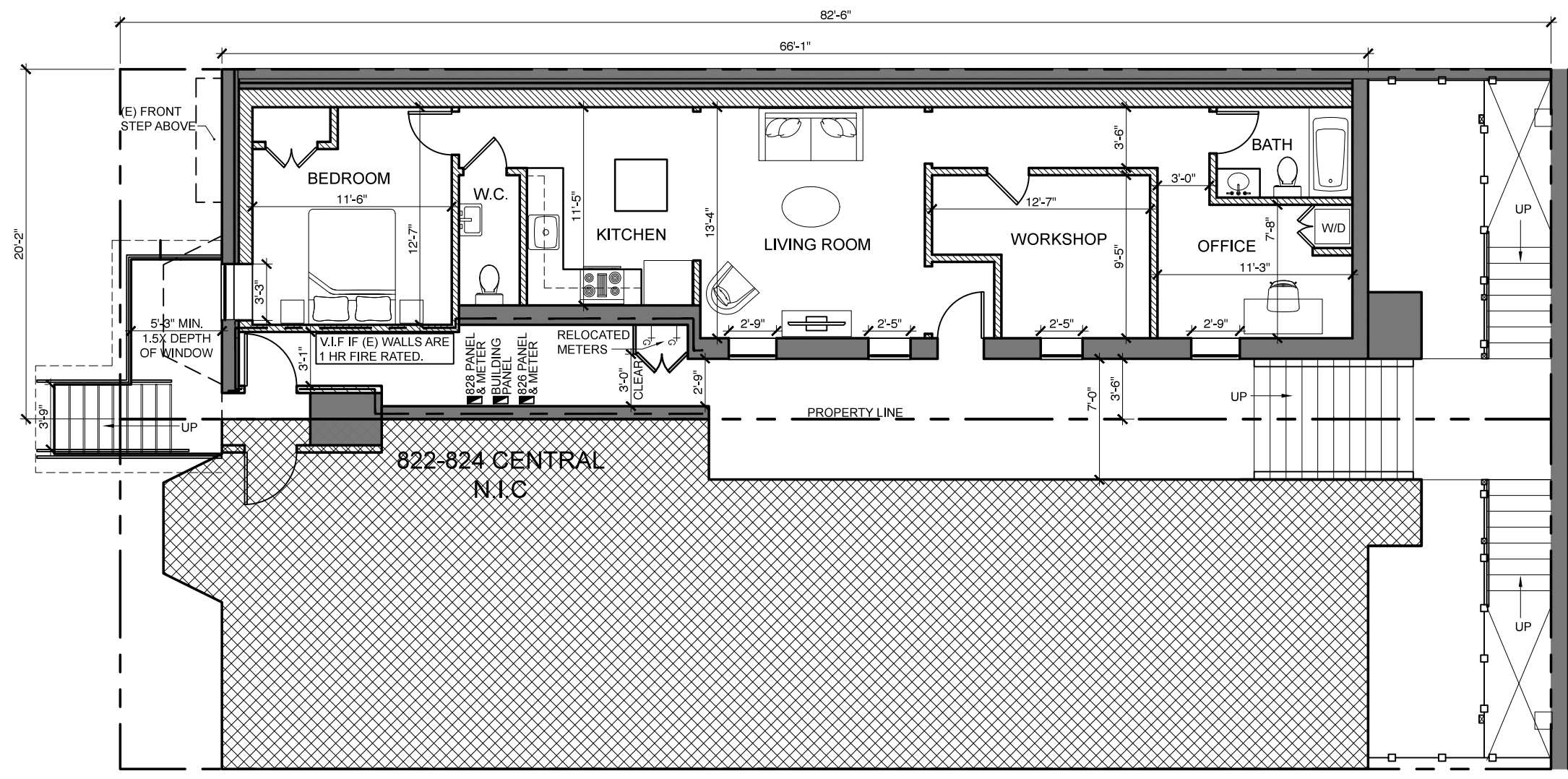
SHEET NAME	ISSUE	DATE
PLOT PLAN	VARIANCE APPLICATION	02.10.17
DELTA		

SHEET NO. **A0.50**



**1** PLOT PLAN  
SCALE: 1" = 20' - 0"

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**1** PROPOSED BASEMENT PLAN  
SCALE: 1/8" = 1' - 0"



**LEGEND**

- EXISTING WALL TO REMAIN
- NEW FULL HEIGHT WALL
- NEW 1 HR FIRE RATED WALL

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**CENTRAL ADDITIONAL UNIT**

828 CENTRAL AVENUE  
SAN FRANCISCO, CA 94115

MARTIN LAEUCHLI

PROJECT:

CLIENT:

SHEET NAME  
EXTERIOR ELEVATIONS

ISSUE  
VARIANCE APPLICATION

DATE  
02.10.17

SHEET NO.

**A3.00**

ROOF  
27'-2"

2ND FLOOR  
16'-1"

1ST FLOOR  
4'-7"

GRADE PLANE  
0'-0"

BASEMENT  
-3'-3"

(N) COMPLIANT  
STAIRS  
3'-0"

(N) WINDOW TYPE,  
(E) OPENING SIZE

WINDOWS SHALL  
BE FIXED.

**1 PROPOSED SOUTH ELEVATION**

SCALE: 1/8" = 1' - 0"

ROOF  
27'-2"

2ND FLOOR  
16'-1"

1ST FLOOR  
4'-7"

GRADE PLANE  
0'-0"

BASEMENT  
-3'-3"

(E) UNIT #2

(E) UNIT #1

(N) UNIT

(N) WINDOW  
3'-3" 3'-6"

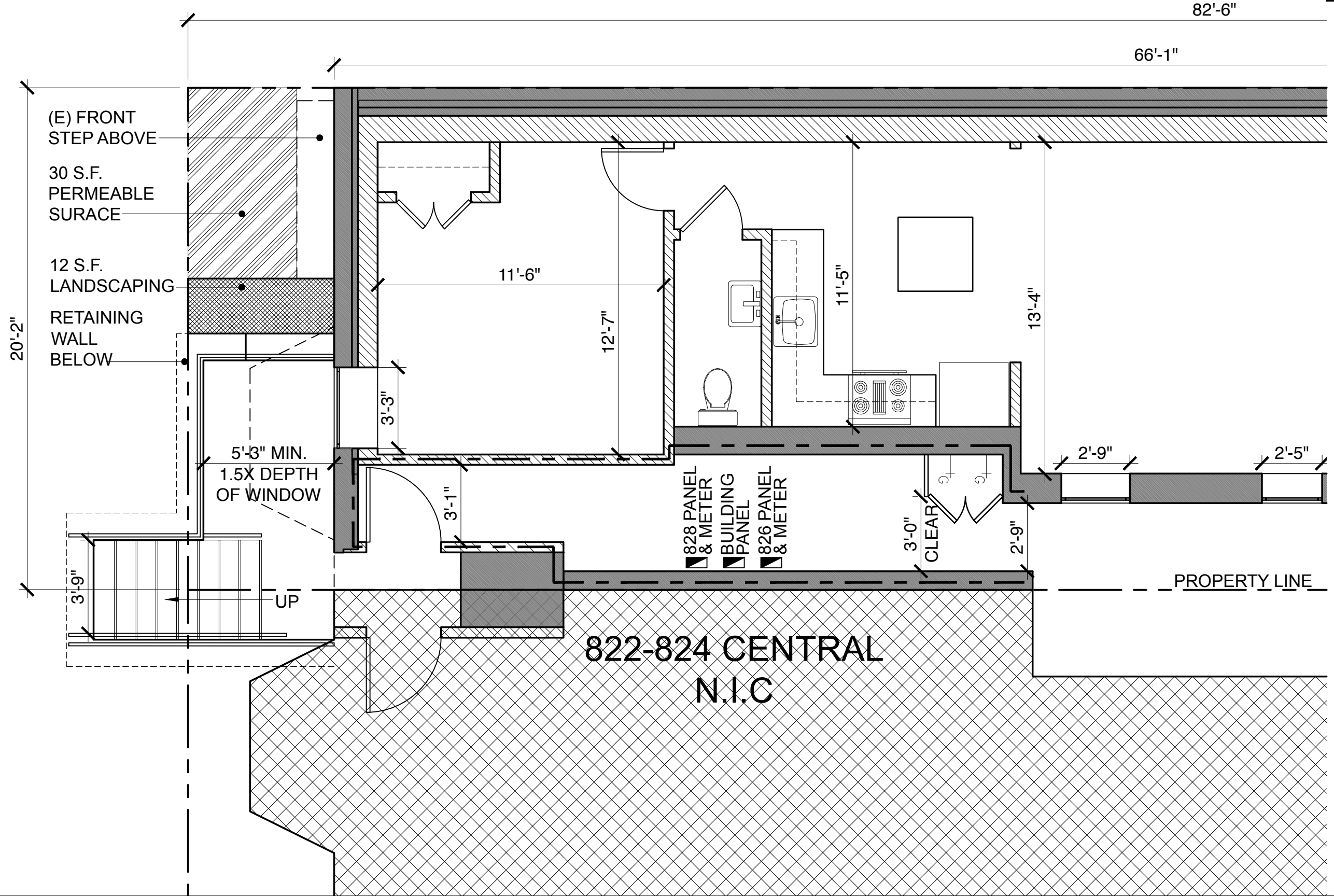
826-828 CENTRAL

822-824 CENTRAL

**2 PROPOSED WEST ELEVATION**

SCALE: 1/8" = 1' - 0"

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DATE: 7.19.17  
SCALE: 1/4" = 1'-0"

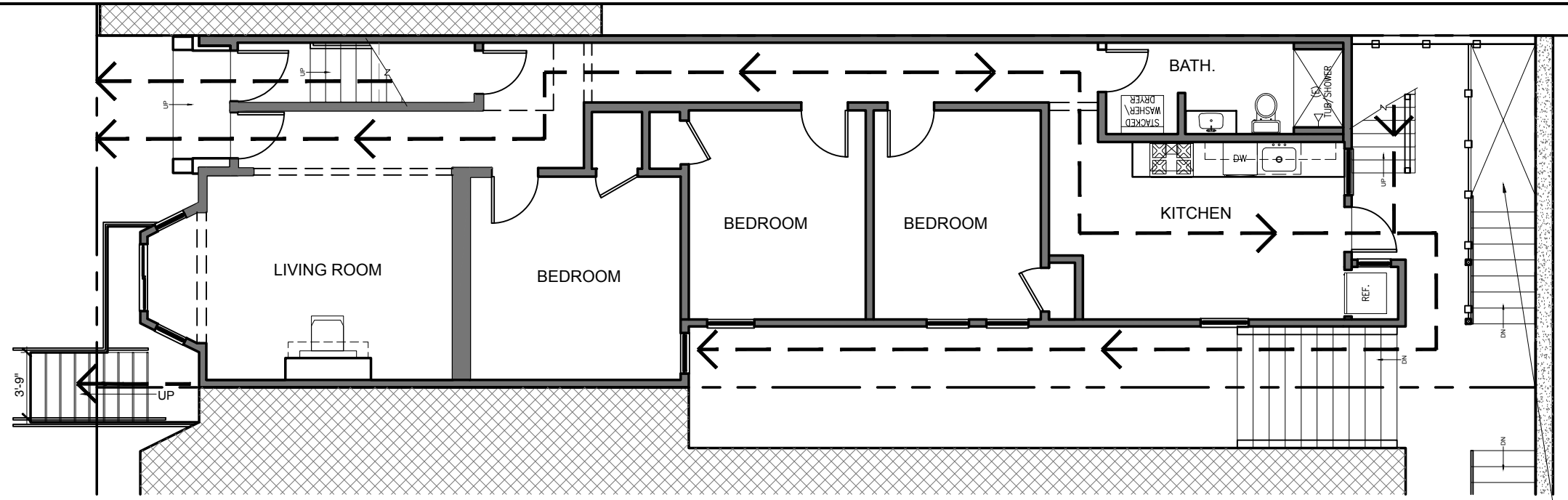
SK-12

RACHEL MAI CHOW ARCHITECT 812 327 7895 6 3 2 0 A K S T R E F T S F C A 9 4 1 1 7

16-011 828 CENTRAL AVE

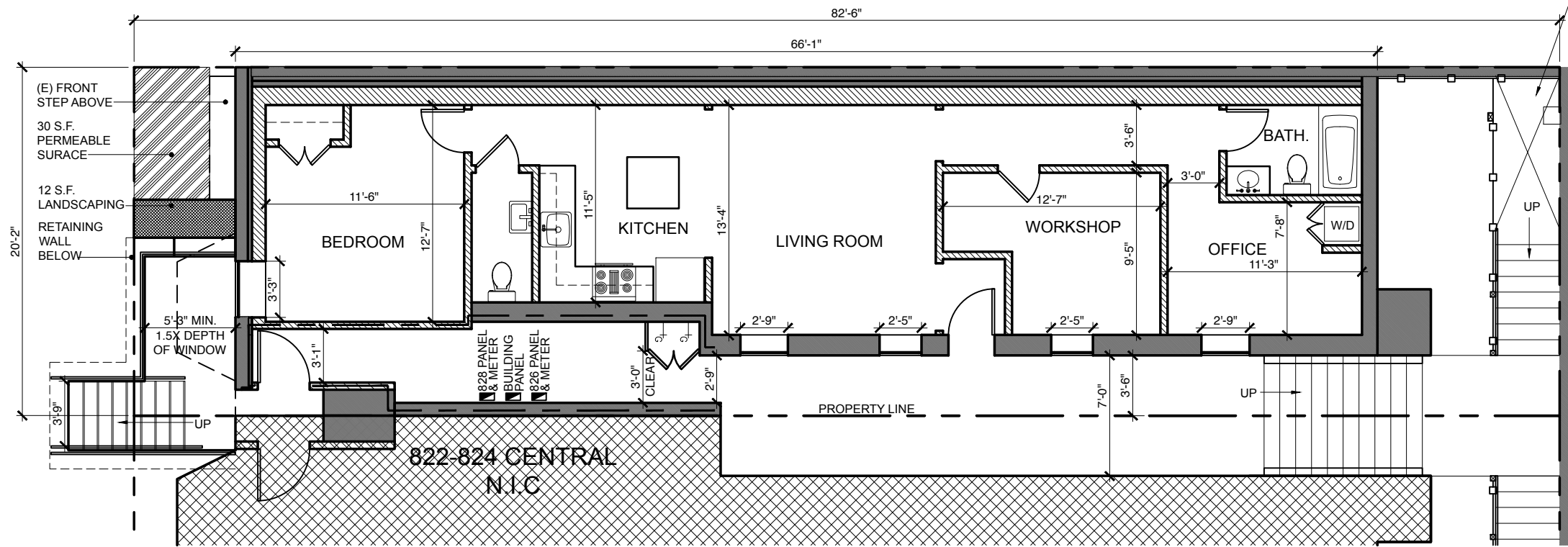


EGRESS



**1** EXISTING GROUND LEVEL  
SCALE: 1/8" = 1' - 0"

PROPOSED LOCATION OF GARBAGE BINS



**0** PROPOSED LOWER LEVEL UNIT  
SCALE: 1/8" = 1' - 0"