



**SAN FRANCISCO  
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

# NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, October 25, 2017**  
 Time: **Not before 9:30 AM**  
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**  
 Case Type: **Variance**  
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: <b>717-719 Guerrero Street</b>	Case No.: <b>2017-001983VAR</b>
Cross Street(s): <b>19<sup>th</sup> Street</b>	Building Permit: <b>N/A</b>
Block /Lot No.: <b>3597/101 &amp; 102</b>	Applicant: <b>Troy Kashanipour</b>
Zoning District(s): <b>RTO-M / 45-X</b>	Telephone: <b>(415) 431-0869</b>
Area Plan: <b>Mission</b>	E-Mail: <b>tk@tkworkshop.com</b>

## PROJECT DESCRIPTION

The project proposes to demolish an existing stair and to construct new stairs and decks including a firewall along the northern side property line of a three-story, two-dwelling unit residential building.

**PER SECTION 134 OF THE PLANNING CODE** the subject property is required to have a rear yard of 22 feet - 6 inches. The existing stairs extend to within 15 feet - 8 inches of the rear property line. The proposed decks and stairs will extend to within 10 feet of the rear property line. Therefore, the project requires a variance from the rear yard requirement (Section 134) of the Planning Code.

## ADDITIONAL INFORMATION

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://notice.sfplanning.org/2017-001983VAR.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

**FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:**

Planner: **Kimberly Durandet** Telephone: **(415) 575-6816** E-Mail: [kimberly.durandet@sfgov.org](mailto:kimberly.durandet@sfgov.org)

# GENERAL INFORMATION ABOUT PROCEDURES

## HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

## BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311 or 312, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

## APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

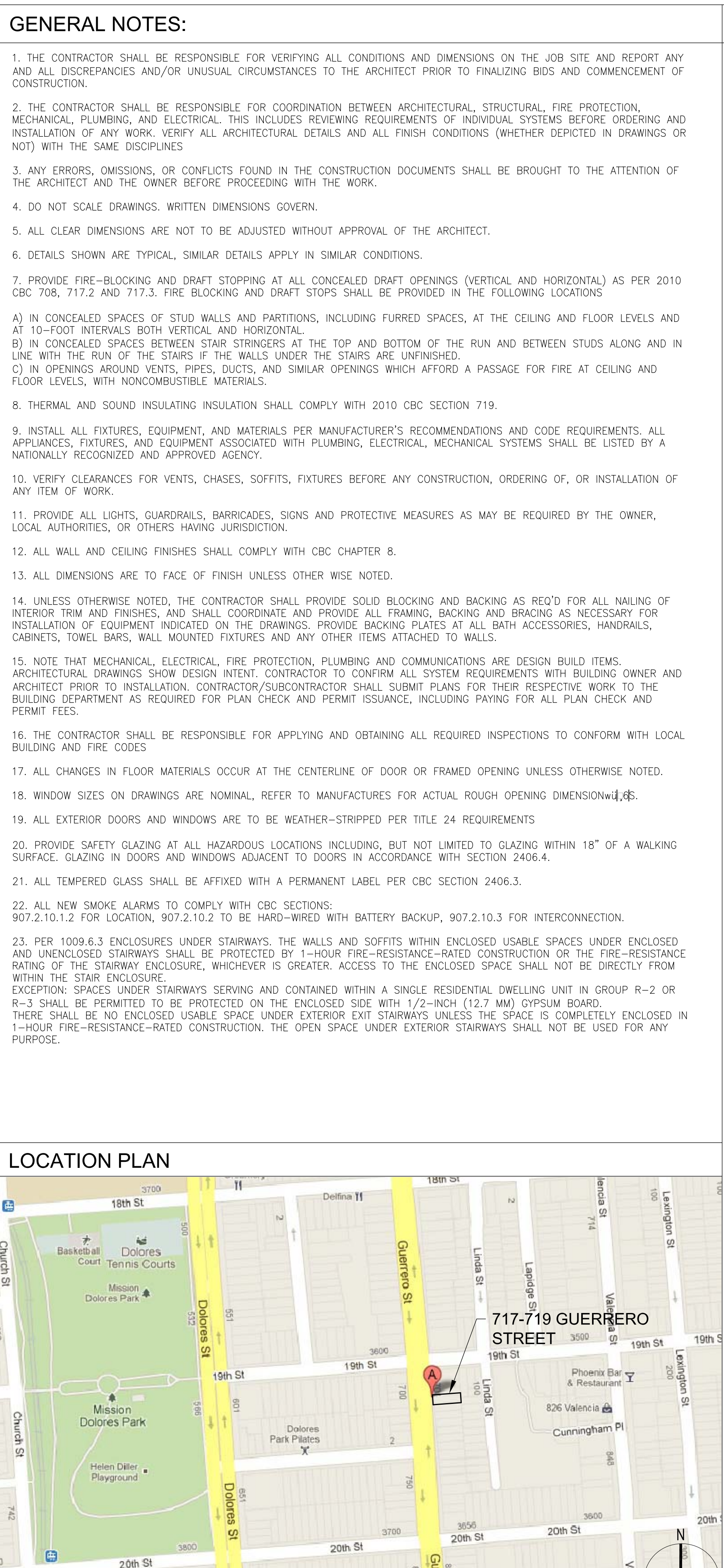
Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

# NEW DECK AND STAIR REPLACEMENT

## 717-719 GUERRERO STREET, SAN FRANCISCO, CALIFORNIA 94110

DRAWING LIST	SYMBOLS	GENERAL NOTES:	ABBREVIATIONS:
A0.0 PROJECT INFORMATION A0.1 EXISTING & PROPOSED SITE PLANS A0.2 SITE PHOTOS & RENDERINGS A1.0 EXISTING FLOOR PLANS / DEMOLITION PLANS A2.0 PROPOSED FLOOR PLANS A3.0 EXISTING ELEVATIONS A3.1 PROPOSED ELEVATIONS	CEILING MOUNTED FIXTURE WALL MOUNTED FIXTURE EXTERIOR OR WATERPROOF LIGHT FIXTURE WALL WASH LIGHT FIXTURE RECESSED CEILING MOUNTED FIXTURE FLUORESCENT LIGHT FIXTURE SMOKE ALARM CARBON MONOXIDE ALARM TELEPHONE INTERCOM DUPLEX OUTLET: 16" A.F.F. DUPLEX GFI OUTLET DUPLEX SWITCHED OUTLET DATA/TELEPHONE OUTLET DOUBLE DUPLEX, COUNTER HT DOUBLE DUPLEX OUTLET: 16" A.F.F. COUNTER HEIGHT DUPLEX OUTLET HALF SWITCHED DUPLEX OUTLET DIRECTIONAL EXIT SIGN FAN THERMOSTAT SWITCH DIMMER SWITCH 3-WAY SWITCH DOOR TAG CEILING HEIGHT TAG ELEVATION FIXTURE TAG, P-PLUMBING, E-EQUIPMENT DRAWING REVISION TAG DETAIL KEY INTERIOR ELEVATION KEY SECTION/ELEVATION KEY	1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS AND DIMENSIONS ON THE JOB SITE AND REPORT ANY AND ALL DISCREPANCIES AND/OR UNUSUAL CIRCUMSTANCES TO THE ARCHITECT PRIOR TO FINALIZING BIDS AND COMMENCEMENT OF CONSTRUCTION. 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN ARCHITECTURAL, STRUCTURAL, FIRE PROTECTION, MECHANICAL, PLUMBING, AND ELECTRICAL. THIS INCLUDES REVIEWING REQUIREMENTS OF INDIVIDUAL SYSTEMS BEFORE ORDERING AND INSTALLATION OF ANY WORK. VERIFY ALL ARCHITECTURAL DETAILS AND ALL FINISH CONDITIONS (WHETHER DEPICTED IN DRAWINGS OR NOT) WITH THE SAME DISCIPLINES. 3. ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER BEFORE PROCEEDING WITH THE WORK. 4. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. 5. ALL CLEAR DIMENSIONS ARE NOT TO BE ADJUSTED WITHOUT APPROVAL OF THE ARCHITECT. 6. DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS. 7. PROVIDE FIRE-BLOCKING AND DRAFT STOPPING AT ALL CONCEALED DRAFT OPENINGS (VERTICAL AND HORIZONTAL) AS PER 2010 CBC 708, 717.2 AND 717.3. FIRE BLOCKING AND DRAFT STOPS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS A) IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10-FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL. B) IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF THE STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED. C) IN OPENINGS AROUND VENTS, PIPES, DUCTS, AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS. 8. THERMAL AND SOUND INSULATING INSULATION SHALL COMPLY WITH 2010 CBC SECTION 719. 9. INSTALL ALL FIXTURES, EQUIPMENT, AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS AND CODE REQUIREMENTS. ALL APPLIANCES, FIXTURES, AND EQUIPMENT ASSOCIATED WITH PLUMBING, ELECTRICAL, MECHANICAL SYSTEMS SHALL BE LISTED BY A NATIONALLY RECOGNIZED AND APPROVED AGENCY. 10. VERIFY CLEARANCES FOR VENTS, CHASES, SOFFITS, FIXTURES BEFORE ANY CONSTRUCTION, ORDERING OF, OR INSTALLATION OF ANY ITEM OF WORK. 11. PROVIDE ALL LIGHTS, GUARDRAILS, BARRICADES, SIGNS AND PROTECTIVE MEASURES AS MAY BE REQUIRED BY THE OWNER, LOCAL AUTHORITIES, OR OTHERS HAVING JURISDICTION. 12. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH CBC CHAPTER 8. 13. ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED. 14. UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL PROVIDE SOLID BLOCKING AND BACKING AS REQ'D FOR ALL NAILING OF INTERIOR TRIM AND FINISHES, AND SHALL COORDINATE AND PROVIDE ALL FRAMING, BACKING AND BRACING AS NECESSARY FOR INSTALLATION OF EQUIPMENT INDICATED ON THE DRAWINGS. PROVIDE BACKING PLATES AT ALL BATH ACCESSORIES, HANDRAILS, CABINETS, TOWEL BARS, WALL MOUNTED FIXTURES AND ANY OTHER ITEMS ATTACHED TO WALLS. 15. NOTE THAT MECHANICAL, ELECTRICAL, FIRE PROTECTION, PLUMBING AND COMMUNICATIONS ARE DESIGN BUILD ITEMS. ARCHITECTURAL DRAWINGS SHOW DESIGN INTENT. CONTRACTOR TO CONFIRM ALL SYSTEM REQUIREMENTS WITH BUILDING OWNER AND ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR/SUBCONTRACTOR SHALL SUBMIT PLANS FOR THEIR RESPECTIVE WORK TO THE BUILDING DEPARTMENT AS REQUIRED FOR PLAN CHECK AND PERMIT ISSUANCE, INCLUDING PAYING FOR ALL PLAN CHECK AND PERMIT FEES. 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING AND OBTAINING ALL REQUIRED INSPECTIONS TO CONFORM WITH LOCAL BUILDING AND FIRE CODES 17. ALL CHANGES IN FLOOR MATERIALS OCCUR AT THE CENTERLINE OF DOOR OR FRAMED OPENING UNLESS OTHERWISE NOTED. 18. WINDOW SIZES ON DRAWINGS ARE NOMINAL, REFER TO MANUFACTURERS FOR ACTUAL ROUGH OPENING DIMENSIONS. 19. ALL EXTERIOR DOORS AND WINDOWS ARE TO BE WEATHER-STRIPPED PER TITLE 24 REQUIREMENTS 20. PROVIDE SAFETY GLAZING AT ALL HAZARDOUS LOCATIONS INCLUDING, BUT NOT LIMITED TO GLAZING WITHIN 18" OF A WALKING SURFACE. GLAZING IN DOORS AND WINDOWS ADJACENT TO DOORS IN ACCORDANCE WITH SECTION 2406.4. 21. ALL TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL PER CBC SECTION 2406.3. 22. ALL NEW SMOKE ALARMS TO COMPLY WITH CBC SECTIONS: 907.2.10.1.2 FOR LOCATION, 907.2.10.2 TO BE HARD-WIRED WITH BATTERY BACKUP, 907.2.10.3 FOR INTERCONNECTION. 23. PER 1009.6.3 ENCLOSURES UNDER STAIRWAYS. THE WALLS AND SOFFITS WITHIN ENCLOSED USABLE SPACES UNDER ENCLOSED AND UNENCLOSED STAIRWAYS SHALL BE PROTECTED BY 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION OR THE FIRE-RESISTANCE RATING OF THE STAIRWAY ENCLOSURE, WHICHEVER IS GREATER. ACCESS TO THE ENCLOSED SPACE SHALL NOT BE DIRECTLY FROM WITHIN THE STAIR ENCLOSURE. EXCEPTION: SPACES UNDER STAIRWAYS SERVING AND CONTAINED WITHIN A SINGLE RESIDENTIAL DWELLING UNIT IN GROUP R-2 OR R-3 SHALL BE PERMITTED TO BE PROTECTED ON THE ENCLOSED SIDE WITH 1/2-INCH (12.7 MM) GYPSUM BOARD. THERE SHALL BE NO ENCLOSED USABLE SPACE UNDER EXTERIOR EXIT STAIRWAYS UNLESS THE SPACE IS COMPLETELY ENCLOSED IN 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION. THE OPEN SPACE UNDER EXTERIOR STAIRWAYS SHALL NOT BE USED FOR ANY PURPOSE.	A.C. AIR CONDITIONING A.C. TILE ACOUSTIC TILE ACCESS. ACCESSIBLE ACOUST. ACOUSTICAL A.D. AREA DRAIN ADJ. ADJACENT ADJUST. ADJUSTABLE A.E.S. ABOVE EXISTING SLAB A.E.S.S. ARCHITECTURAL EXPOSED STRUCTURAL STEEL A.F.F. ABOVE FINISHED FLOOR AGGR. AGGREGATE AL. ALUMINUM ALUM. ALUMINUM APPROX. APPROXIMATELY ARCH. ARCHITECTURAL ASB. ASBESTOS ASPH. ASPHALT @ AT  BD. BOARD BITUM. BITUMINOUS BLDG. BUILDING BLK. BLOCK BLK'G BLOCKING BM. BEAM B.O. BOTTOM OF BOT. BOTTOM  CAB. CABINET C.B. CATCH BASIN CEM. CEMENT CER. CERAMIC C.I. CAST IRON C.L. CENTER LINE CLG. CEILING CLKG. CAULKING  CLO. CLOSET CLR. CLEAR C.M.U. CONCRETE MASONRY UNIT CNTR. COUNTER CO. TRANSLUCENT CORIAN COL. COLUMN COM. COMPACT CONC. CONCRETE CONN. CONNECTION CONSTR. CONSTRUCTION CONT. CONTINUOUS CORR. CORRIDOR C.S.C.I. CONTRACTOR SUPPLIED CONTRACTOR INSTALLED  C.T. CERAMIC TILE CTR. CENTER CTSK. COUNTERSUNK  DBL. DOUBLE DEPT. DEPARTMENT DET. DETAIL D.F. DRINKING FOUNTAIN DIA. DIAMETER DIM. DIMENSION DN. DOWN D.O. DOOR OPENING DRESS. DRESSING D.S. DOWNSPOUT D.S.P. DRY STANDPIPE DTL. DETAIL DWC. DRAWING  E. EAST E. (E) EXISTING EA. EACH E.J. EXPANSION JOINT EL. ELEVATION  ELEC. ELECTRICAL ELEV. ELEVATOR EMER. EMERGENCY ENCL. ENCLOSURE E.P. ELECTRICAL PANEL BOARD  EQ. EQUAL EQT. EQUIPMENT ESC. ESCALATOR E.W.C. ELECTRIC WATER COOLER  EXIST. EXISTING EXP. EXPANSION EXPO. EXPOSED EXT. EXTERIOR  F.A. FIRE ALARM F.B. FLAT BAR F.D. FLOOR DRAIN FDN. FOUNDATION F.E.C. FIRE EXTINGUISHER CABINET F.H.C. FIRE HOSE CABINET  FIN. FINISH FIXT. FIXTURE F.L. FLOW LINE FLASH. FLASHING FLUOR. FLUORESCENT F.O. FACE OF F.O.C. FACE OF CONCRETE F.O.F. FACE OF FINISH F.O.S. FACE OF STUDS F.P. FIRE PROOF F.P.R.'G FIRE PROOFING F.R. FIRE RETARDANT F.T. FIRE TREATED FT. FOOT/FEET FTG. FOOTING F.S. FULL SIZE FURR. FURRING FUT. FUTURE  GA. GAUGE GALV. GALVANIZED G.B. GRAB BAR G.C. GENERAL CONTRACTOR G.H. GARMENT HOOK GLASS GLASS GND. GROUND GR. GRADE GSM. GALVANIZED SHEET METAL G.W.B. GYPSUM WALLBOARD GYP. GYPSUM GYPBD. GYPSUM BOARD  H.B. HOSE BIBB H.C. HOLLOW CORE HD. HAND HDWD. HARDWOOD H.M. HOLLOW METAL HORIZ. HORIZONTAL HR. HOUR HT. HEIGHT  I.D. INSIDE DIAMETER INSUL. INSULATION INT. INTERIOR  JAN. JANITOR JT. JOINT  KIT. KITCHEN  L. ANGLE LAM. LAMINATE LAV. LAVATORY LL. LANDLORD LKR. LOCKER LT. LIGHT  MANUF. MANUFACTURER MAX. MAXIMUM M.C. MEDICINE CABINET MDF. MEDIUM DENSITY FIBERBOARD MECH. MECHANICAL MEMB. MEMBRANE MFR. MANUFACTURER MILL WK. MILLWORK M.H. MANHOLE MIN. MINIMUM MIR. MIRROR MISC. MISCELLANEOUS M.O. MASONRY OPENING MTL. METAL MTD. MOUNTED MUL. MULLION MWC. MILLWORK CONTRACTOR  N. NORTH (N) NEW N.I.C. NOT IN CONTRACT NO. NUMBER NOM. NOMINAL N.T.S. NOT TO SCALE # NUMBER  O.A. OVERALL OBS. OBSCURE O.C. ON CENTER O.D. OUTSIDE DIAMETER OFF. OFFICE  OP'G OPENING OPP. OPPOSITE OPP. HD. OPPOSITE HAND O.S.C.I. OWNER SUPPLIED CONTRACTOR INSTALLED  P. PAINT PC. PRECAST CONCRETE PCS. PIECES PL. PLATE PLAM. PLASTIC LAMINATE  PLAS. PLASTER PLYWD. PLYWOOD POL. POLISHED PR. PAIR PRCST. PRECAST PT. POINT P.T.D. PAPER TOWEL DISPENSER PTD. PAINTED P.T.D./R. PAPER TOWEL DISPENSER RECEPTACLE COMBINATION PTN. PARTITION P.T.R. PAPER TOWEL RECEPTACLE PU. POLYURETHANE PY. POLYCARBONATE  Q.T. QUARRY TILE  R. RISER RAD. RADIUS RCP. REFLECTED CEILING PLAN R.D. ROOF DRAIN ROWD. REDWOOD REF. REFERENCE REFR. REFRIGERATOR REINF. REINFORCED REG. REGISTER REQ. REQUIRED RESIL. RESILIENT RET. RETARDANT RGR. REGISTER (CASH) RM. ROOM R.O. ROUGH OPENING R.W.L. RAIN WATER LEADER  S. SOUTH S.B.O. SUPPLIED BY OWNER S.C. SOLID CORE S.C.D. SEAT COVER DISPENSER SCH. SCHEDULE SCHD. SCHEDULE(D) S.D. SOAP DISPENSER S.E. SECTION S.E.D. SEE ELECTRICAL DRAWINGS SH. SHELF SHR. SHOWER SHT. SHEET SIM. SIMILAR S.M.D. SEE MECHANICAL DRAWINGS S.N.D. SANITARY NAPKIN DISPENSER S.N.R. SANITARY NAPKIN RECEPTACLE S.P.D. SEE PLUMBING DRAWINGS SPEC. SPECIFICATION SPEC'D SPECIFIED SQ. SQUARE S.S.D. SEE STRUCTURAL DRAWINGS S.S.K. SERVICE SINK SST. STAINLESS STEEL ST. STONE STA. STATION STD. STANDARD STL. STEEL STOR. STORAGE STRUCT. STRUCTURAL SUSP. SUSPENDED SYM. SYMMETRICAL  T. TREAD T.B. TOWEL BAR TC. TOP OF CURB T.C. TERRA COTTA TEMP. TEMPERED TER. TERRAZZO THK. THICK T.O. TOP OF T.O.C. TOP OF CONCRETE T.O.P. TOP OF PAVEMENT T.O.S. TOP OF SLAB T.S. TUBE STEEL TYP. TYPICAL  U.NE.Q. UNEQUAL U.O.N. UNLESS OTHERWISE NOTED UR. URINAL  V.I.F. VERIFY IN FIELD VERT. VERTICAL VEST. VESTIBULE  W. WEST W/ WITH W.C. WATER CLOSET WD. WOOD WDD. WINDOW W/O WITHOUT WP. WALLPAPER WT. WEIGHT

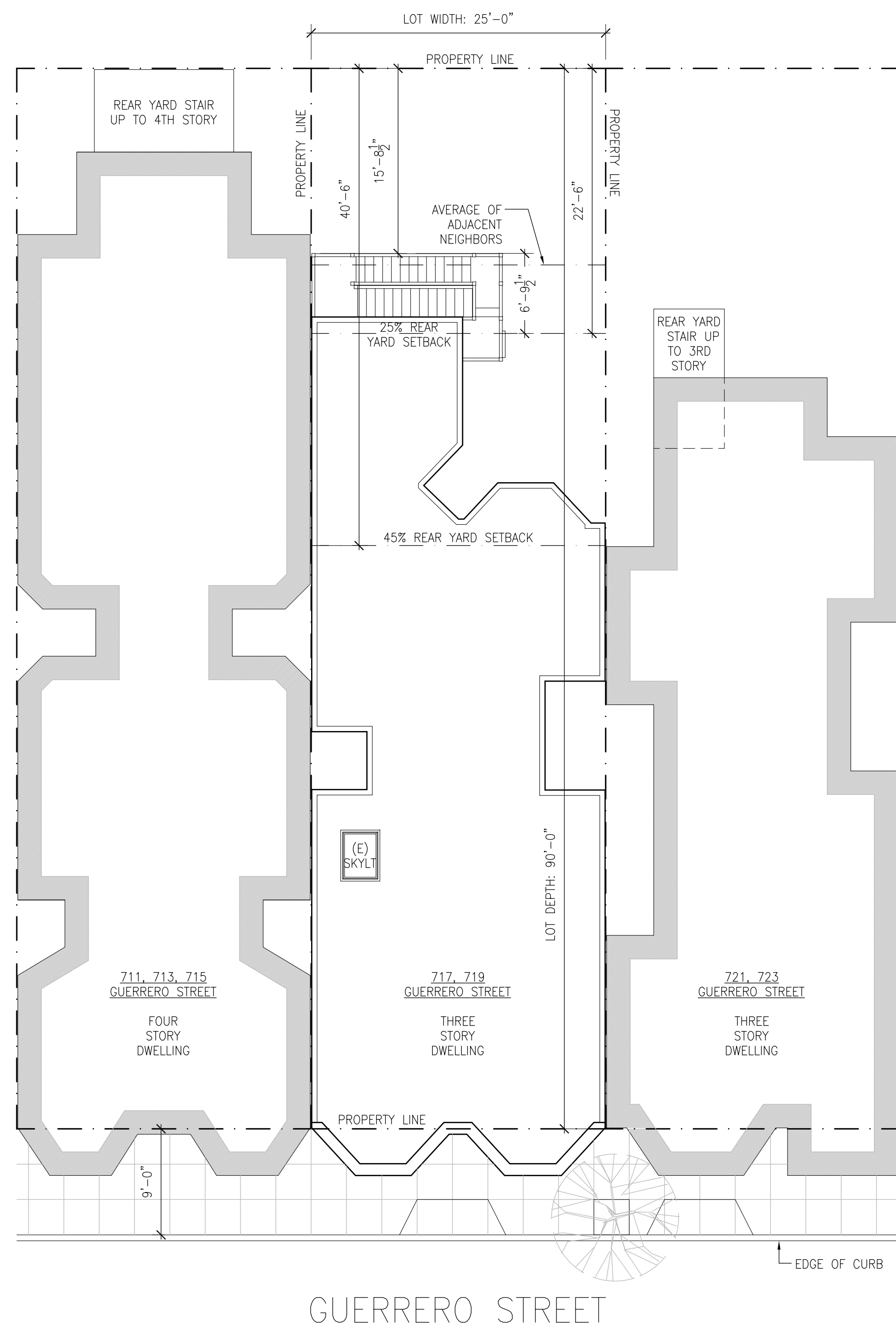
APPLICABLE REGULATIONS & STANDARDS	SCOPE OF WORK THIS PROJECT:	BUILDING & PLANNING DEPARTMENT NOTES:
<ul style="list-style-type: none"><li>2016 CALIFORNIA BUILDING CODE WITH SAN FRANCISCO AMENDMENTS.</li><li>2016 CALIFORNIA MECHANICAL CODE WITH SAN FRANCISCO AMENDMENTS.</li><li>2016 CALIFORNIA PLUMBING CODE WITH SAN FRANCISCO AMENDMENTS.</li><li>2016 CALIFORNIA ELECTRICAL CODE WITH SAN FRANCISCO AMENDMENTS.</li><li>2016 CALIFORNIA FIRE CODE WITH SAN FRANCISCO AMENDMENTS.</li><li>ENERGY CODE - TITLE 24 - CALIFORNIA CODE OF REGULATIONS</li><li>LIFE SAFETY CODE, 2016 EDITION NFPA 72</li><li>NFPA 13, 2016 EDITION</li></ul> APPLICABLE STANDARDS: UL-UNDERWRITERS LABORATORIES FIRE RESISTIVE DIRECTORY-2016 EDITION UL-UNDERWRITERS LABORATORIES BUILDING MATERIALS DIRECTORY-2016 EDITION SMACNA - FIRE SMOKE AND RADIATION DAMPER INSTALLATION GUIDE FOR HVAC SYSTEMS, 3RD EDITION	<ul style="list-style-type: none"><li>CREATION OF HABITABLE SPACE AT THE GROUND FLOOR OF THE BUILDING TO BE USED AS A GUEST BEDROOM AND ON-SUITE BATHROOM. NEW WINDOWS AND DOORS AS REQUIRED.</li><li>REDESIGN OF THE REAR YARD STAIR.</li><li>NEW DECKS AT THE 2ND AND 3RD FLOOR WITH ALTERATIONS AS NEEDED FOR NEW DOORS ON TO DECK &amp; STAIR</li></ul>	<p><b>BUILDING OWNER:</b> OWNERS: STEPHANIE &amp; JUAN-CARLOS VALDERRAMOS 719 GUERRERO STREET SAN FRANCISCO CA 94110 PHONE: 917.680.0097 EMAIL: STEPHANIE.VALDERRAMOS@GMAIL.COM, JCVALDERRAMOS@GMAIL.COM</p> <p>JENNIFER SASLAW 717 GUERRERO STREET JSASLAW@GMAIL.COM PHONE: 415.572.6077</p> <p><b>ARCHITECT:</b> TROY KASHANIPOUR ARCHITECTURE 2325 3RD STREET, SUITE 401 SAN FRANCISCO CA, 94107 PHONE/FAX: 415.431.0868 CELL: 415.290.8844 TK@TKWORKSHOP.COM</p> <p><b>ENGINEERING:</b> STRUCTURAL ENGINEERING: DERRICK ROORDA 1207 REGENT STREET ALAMEDA CA, 94501 PHONE: 510.814.1809 EMAIL: DERRICK.D.ROORDA@GMAIL.COM</p> <p><b>BLOCK/LOT:</b> BLOCK 3597 LOT 101-102 (2 LOTS)</p> <p><b>ZONING:</b> RTO-M</p> <p><b>USE:</b> TWO UNIT RESIDENTIAL</p> <p><b>OCCUPANCY:</b> R-3</p> <p><b>NUMBER OF STORIES/BASEMENTS:</b> 3/0</p> <p><b>TYPE OF CONSTRUCTION:</b> V-B</p> <p>BUILDING IS NOT EQUIPPED WITH AUTOMATIC FIRE SPRINKLER SYSTEM. NONE WILL BE PROVIDED UNDER THIS PERMIT APPLICATION</p>



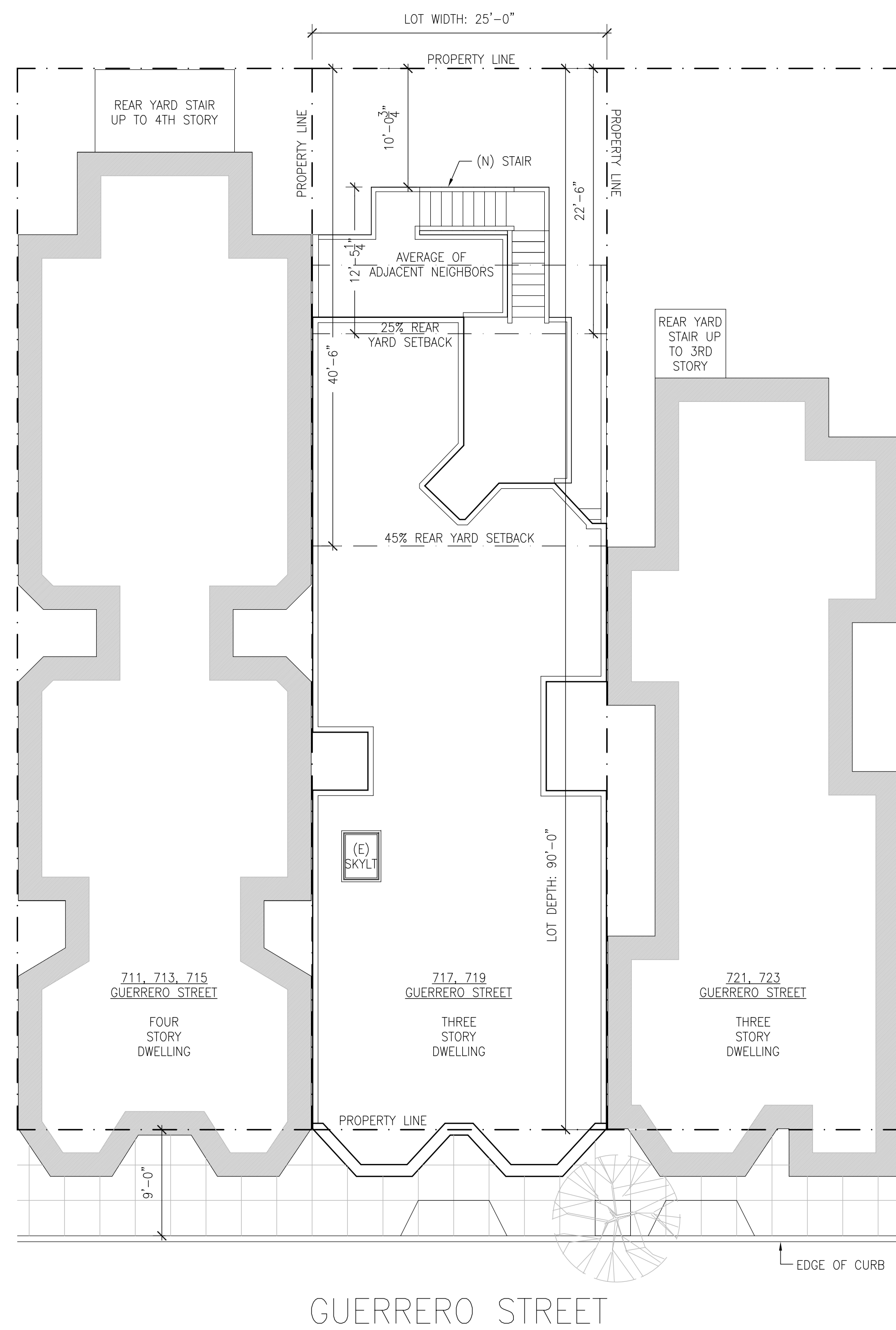
ABBREVIATIONS:	PROJECT INFORMATION
A.C. AIR CONDITIONING A.C. TILE ACOUSTIC TILE ACCESS. ACCESSIBLE ACOUST. ACOUSTICAL A.D. AREA DRAIN ADJ. ADJACENT ADJUST. ADJUSTABLE A.E.S. ABOVE EXISTING SLAB A.E.S.S. ARCHITECTURAL EXPOSED STRUCTURAL STEEL A.F.F. ABOVE FINISHED FLOOR AGGR. AGGREGATE AL. ALUMINUM ALUM. ALUMINUM APPROX. APPROXIMATELY ARCH. ARCHITECTURAL ASB. ASBESTOS ASPH. ASPHALT @ AT  BD. BOARD BITUM. BITUMINOUS BLDG. BUILDING BLK. BLOCK BLK'G BLOCKING BM. BEAM B.O. BOTTOM OF BOT. BOTTOM  CAB. CABINET C.B. CATCH BASIN CEM. CEMENT CER. CERAMIC C.I. CAST IRON C.L. CENTER LINE CLG. CEILING CLKG. CAULKING  CLO. CLOSET CLR. CLEAR C.M.U. CONCRETE MASONRY UNIT CNTR. COUNTER CO. TRANSLUCENT CORIAN COL. COLUMN COM. COMPACT CONC. CONCRETE CONN. CONNECTION CONSTR. CONSTRUCTION CONT. CONTINUOUS CORR. CORRIDOR C.S.C.I. CONTRACTOR SUPPLIED CONTRACTOR INSTALLED  C.T. CERAMIC TILE CTR. CENTER CTSK. COUNTERSUNK  DBL. DOUBLE DEPT. DEPARTMENT DET. DETAIL D.F. DRINKING FOUNTAIN DIA. DIAMETER DIM. DIMENSION DN. DOWN D.O. DOOR OPENING DRESS. DRESSING D.S. DOWNSPOUT D.S.P. DRY STANDPIPE DTL. DETAIL DWC. DRAWING  E. EAST E. (E) EXISTING EA. EACH E.J. EXPANSION JOINT EL. ELEVATION  ELEC. ELECTRICAL ELEV. ELEVATOR EMER. EMERGENCY ENCL. ENCLOSURE E.P. ELECTRICAL PANEL BOARD  EQ. EQUAL EQT. EQUIPMENT ESC. ESCALATOR E.W.C. ELECTRIC WATER COOLER  EXIST. EXISTING EXP. EXPANSION EXPO. EXPOSED EXT. EXTERIOR  F.A. FIRE ALARM F.B. FLAT BAR F.D. FLOOR DRAIN FDN. FOUNDATION F.E.C. FIRE EXTINGUISHER CABINET F.H.C. FIRE HOSE CABINET  FIN. FINISH FIXT. FIXTURE F.L. FLOW LINE FLASH. FLASHING FLUOR. FLUORESCENT F.O. FACE OF F.O.C. FACE OF CONCRETE F.O.F. FACE OF FINISH F.O.S. FACE OF STUDS F.P. FIRE PROOF F.P.R.'G FIRE PROOFING F.R. FIRE RETARDANT F.T. FIRE TREATED FT. FOOT/FEET FTG. FOOTING F.S. FULL SIZE FURR. FURRING FUT. FUTURE  GA. GAUGE GALV. GALVANIZED G.B. GRAB BAR G.C. GENERAL CONTRACTOR G.H. GARMENT HOOK GLASS GLASS GND. GROUND GR. GRADE GSM. GALVANIZED SHEET METAL G.W.B. GYPSUM WALLBOARD GYP. GYPSUM GYPBD. GYPSUM BOARD  H.B. HOSE BIBB H.C. HOLLOW CORE HD. HAND HDWD. HARDWOOD H.M. HOLLOW METAL HORIZ. HORIZONTAL HR. HOUR HT. HEIGHT  I.D. INSIDE DIAMETER INSUL. INSULATION INT. INTERIOR  JAN. JANITOR JT. JOINT  KIT. KITCHEN  L. ANGLE LAM. LAMINATE LAV. LAVATORY LL. LANDLORD LKR. LOCKER LT. LIGHT  MANUF. MANUFACTURER MAX. MAXIMUM M.C. MEDICINE CABINET MDF. MEDIUM DENSITY FIBERBOARD MECH. MECHANICAL MEMB. MEMBRANE MFR. MANUFACTURER MILL WK. MILLWORK M.H. MANHOLE MIN. MINIMUM MIR. MIRROR MISC. MISCELLANEOUS M.O. MASONRY OPENING MTL. METAL MTD. MOUNTED MUL. MULLION MWC. MILLWORK CONTRACTOR  N. NORTH (N) NEW N.I.C. NOT IN CONTRACT NO. NUMBER NOM. NOMINAL N.T.S. NOT TO SCALE # NUMBER  O.A. OVERALL OBS. OBSCURE O.C. ON CENTER O.D. OUTSIDE DIAMETER OFF. OFFICE  OP'G OPENING OPP. OPPOSITE OPP. HD. OPPOSITE HAND O.S.C.I. OWNER SUPPLIED CONTRACTOR INSTALLED  P. PAINT PC. PRECAST CONCRETE PCS. PIECES PL. PLATE PLAM. PLASTIC LAMINATE  PLAS. PLASTER PLYWD. PLYWOOD POL. POLISHED PR. PAIR PRCST. PRECAST PT. POINT P.T.D. PAPER TOWEL DISPENSER PTD. PAINTED P.T.D./R. PAPER TOWEL DISPENSER RECEPTACLE COMBINATION PTN. PARTITION P.T.R. PAPER TOWEL RECEPTACLE PU. POLYURETHANE PY. POLYCARBONATE  Q.T. QUARRY TILE  R. RISER RAD. RADIUS RCP. REFLECTED CEILING PLAN R.D. ROOF DRAIN ROWD. REDWOOD REF. REFERENCE REFR. REFRIGERATOR REINF. REINFORCED REG. REGISTER REQ. REQUIRED RESIL. RESILIENT RET. RETARDANT RGR. REGISTER (CASH) RM. ROOM R.O. ROUGH OPENING R.W.L. RAIN WATER LEADER  S. SOUTH S.B.O. SUPPLIED BY OWNER S.C. SOLID CORE S.C.D. SEAT COVER DISPENSER SCH. SCHEDULE SCHD. SCHEDULE(D) S.D. SOAP DISPENSER S.E. SECTION S.E.D. SEE ELECTRICAL DRAWINGS SH. SHELF SHR. SHOWER SHT. SHEET SIM. SIMILAR S.M.D. SEE MECHANICAL DRAWINGS S.N.D. SANITARY NAPKIN DISPENSER S.N.R. SANITARY NAPKIN RECEPTACLE S.P.D. SEE PLUMBING DRAWINGS SPEC. SPECIFICATION SPEC'D SPECIFIED SQ. SQUARE S.S.D. SEE STRUCTURAL DRAWINGS S.S.K. SERVICE SINK SST. STAINLESS STEEL ST. STONE STA. STATION STD. STANDARD STL. STEEL STOR. STORAGE STRUCT. STRUCTURAL SUSP. SUSPENDED SYM. SYMMETRICAL  T. TREAD T.B. TOWEL BAR TC. TOP OF CURB T.C. TERRA COTTA TEMP. TEMPERED TER. TERRAZZO THK. THICK T.O. TOP OF T.O.C. TOP OF CONCRETE T.O.P. TOP OF PAVEMENT T.O.S. TOP OF SLAB T.S. TUBE STEEL TYP. TYPICAL  U.NE.Q. UNEQUAL U.O.N. UNLESS OTHERWISE NOTED UR. URINAL  V.I.F. VERIFY IN FIELD VERT. VERTICAL VEST. VESTIBULE  W. WEST W/ WITH W.C. WATER CLOSET WD. WOOD WDD. WINDOW W/O WITHOUT WP. WALLPAPER WT. WEIGHT	<p>CLIENTS: STEPHANIE &amp; JUAN-CARLOS VALDERRAMOS 719 GUERRERO STREET stephanie.valderramos@gmail.com JENNIFER SASLAW 717 GUERRERO STREET SAN FRANCISCO CA 94110 PHONE: 415.572.6077 jsaslav@gmail.com</p> <p>ISSUE: ISSUED FOR VARIANCE 02.16.17 PRE-APPLICATING MEETING 02.17.17</p> <p>DATE:</p> <p>CONSULTANT:</p> <p>APPROVAL</p> <p>DRAWN: TK CHECKED: TK SCALE: NONE</p> <p><b>PROJECT INFORMATION</b> <b>A0.0</b></p>

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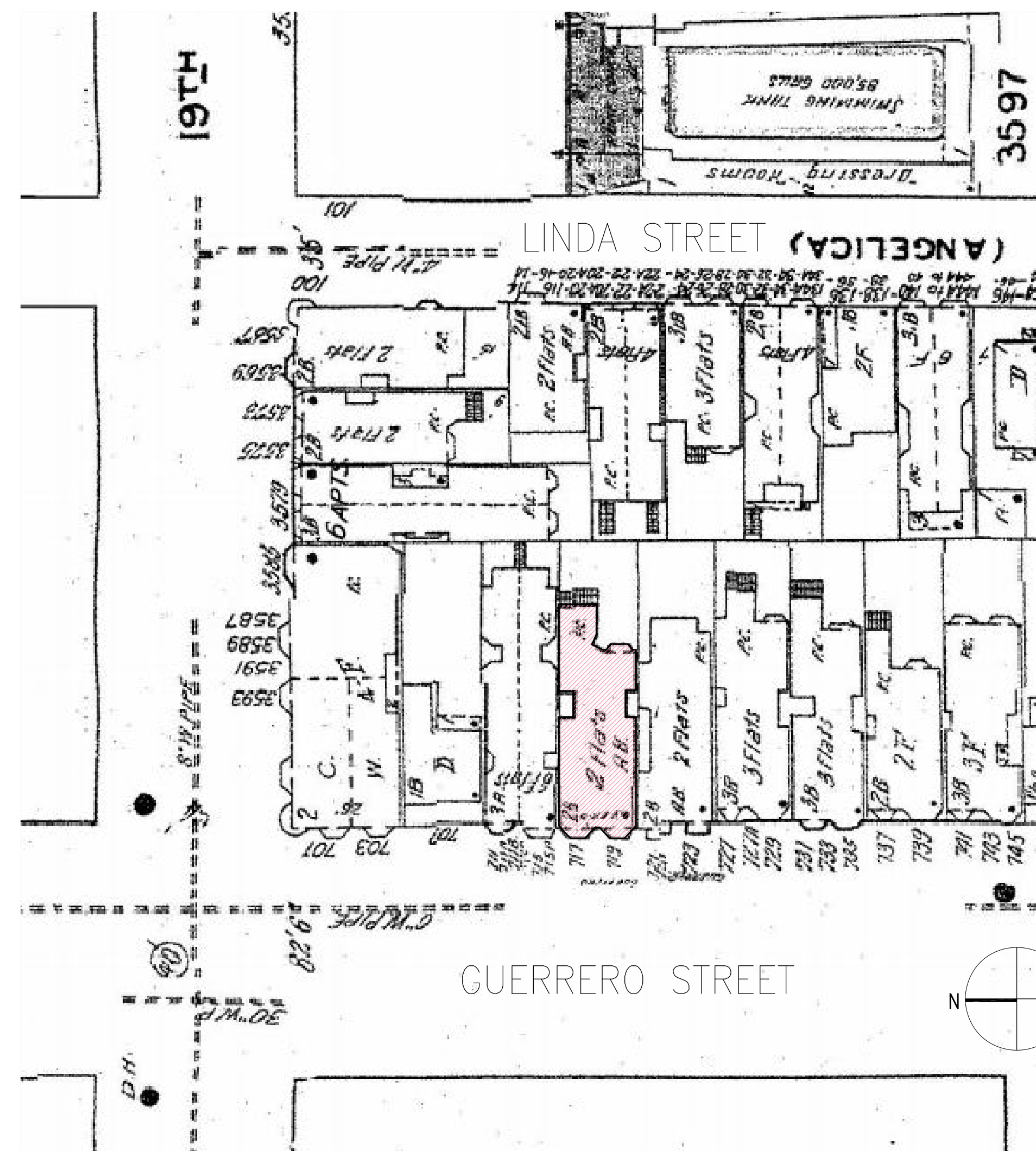
717-719 GUERRERO STREET



1 EXISTING SITE PLAN  
SCALE: 1/8" = 1'-0"



2 PROPOSED SITE PLAN  
SCALE: 1/8" = 1'-0"



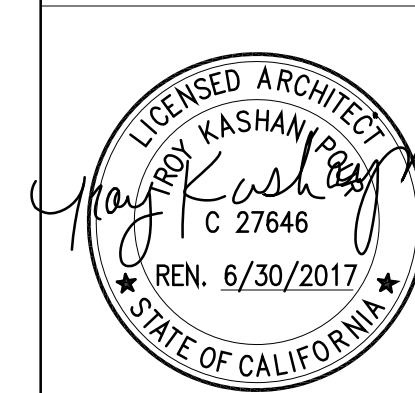
3 HISTORIC SANBORN MAP  
SCALE: NTS

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EXISTING & PROPOSED SITE PLANS

A0.1



EXISTING REAR VIEW OF ADJACENT BUILDING ON THE SOUTH



EXISTING REAR VIEW OF SUBJECT PROPERTY



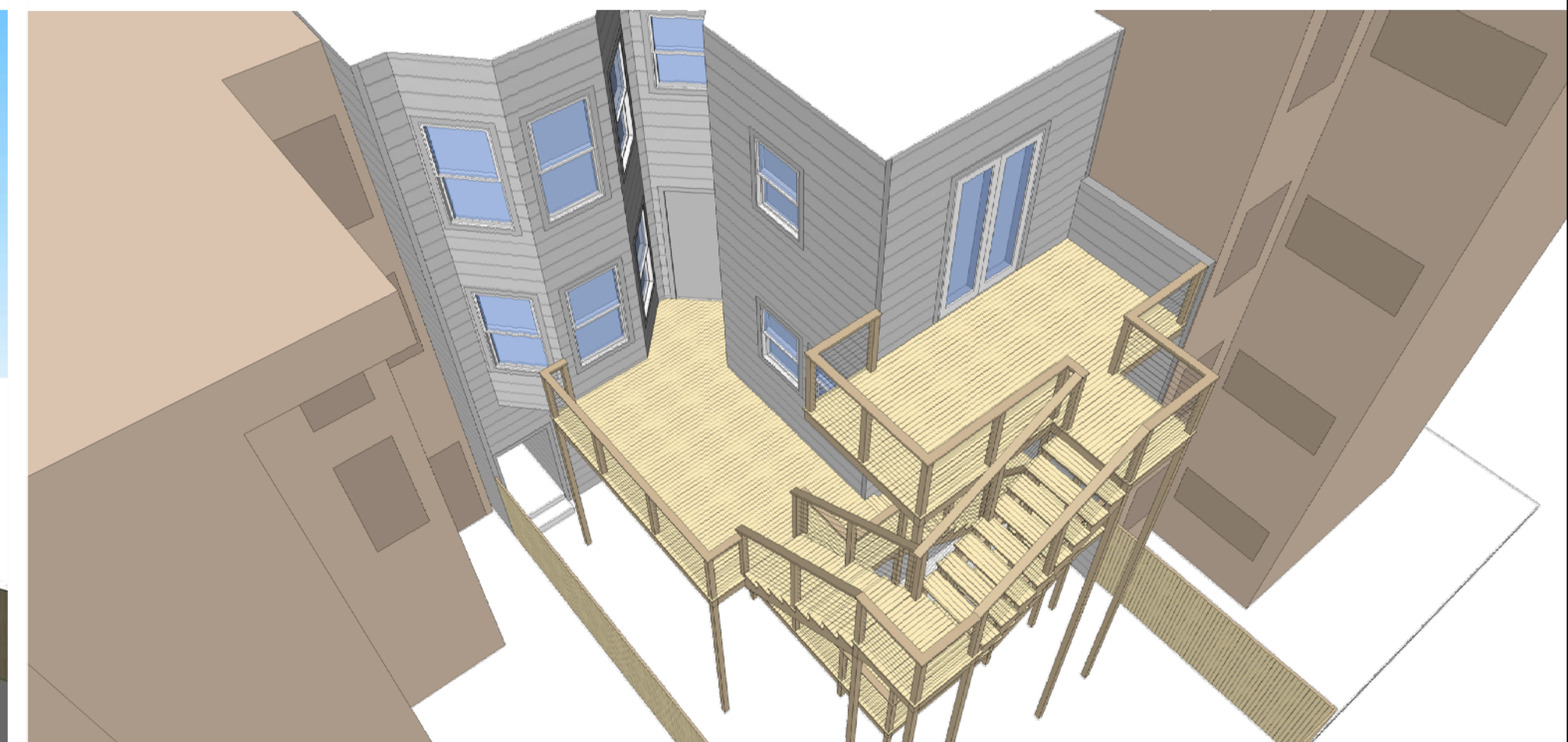
EXISTING REAR VIEW OF ADJACENT BUILDING ON THE NORTH



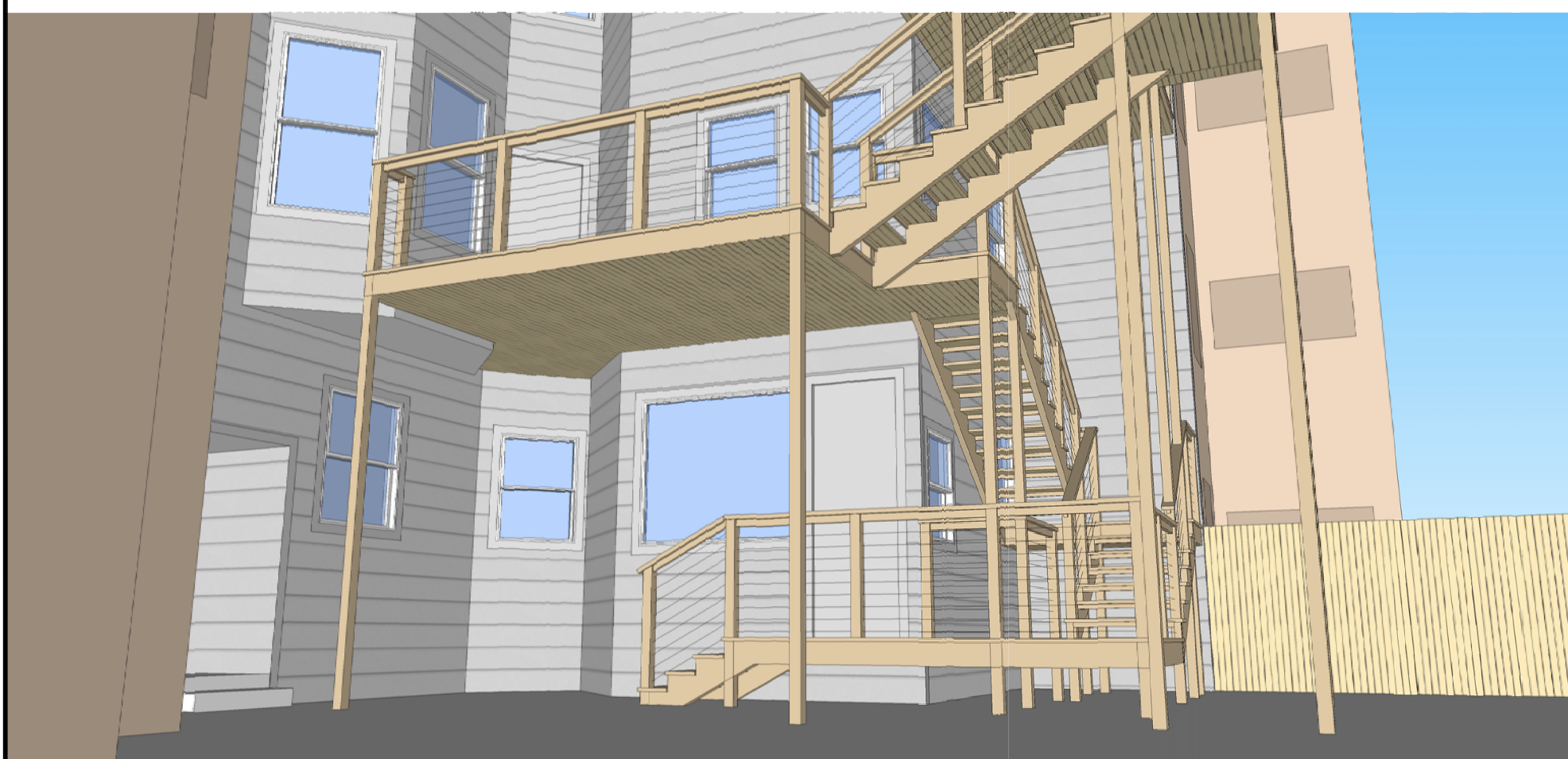
PROPOSED EAST VIEW



PROPOSED SOUTH VIEW



PROPOSED BIRD'S EYE VIEW



PROPOSED VIEW OF LOWER DECK



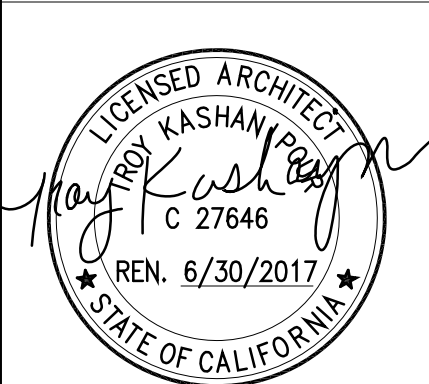
PROPOSED VIEW OF UPPER DECK

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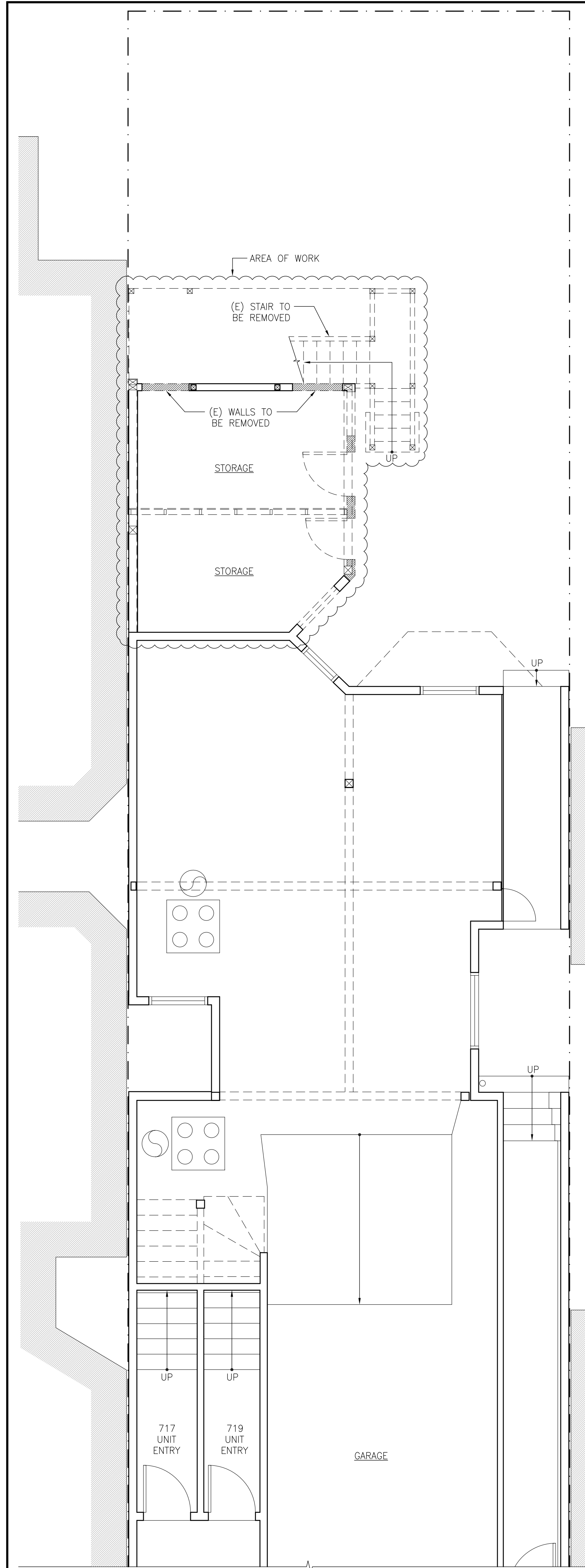
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SITE PHOTOS & RENDERINGS

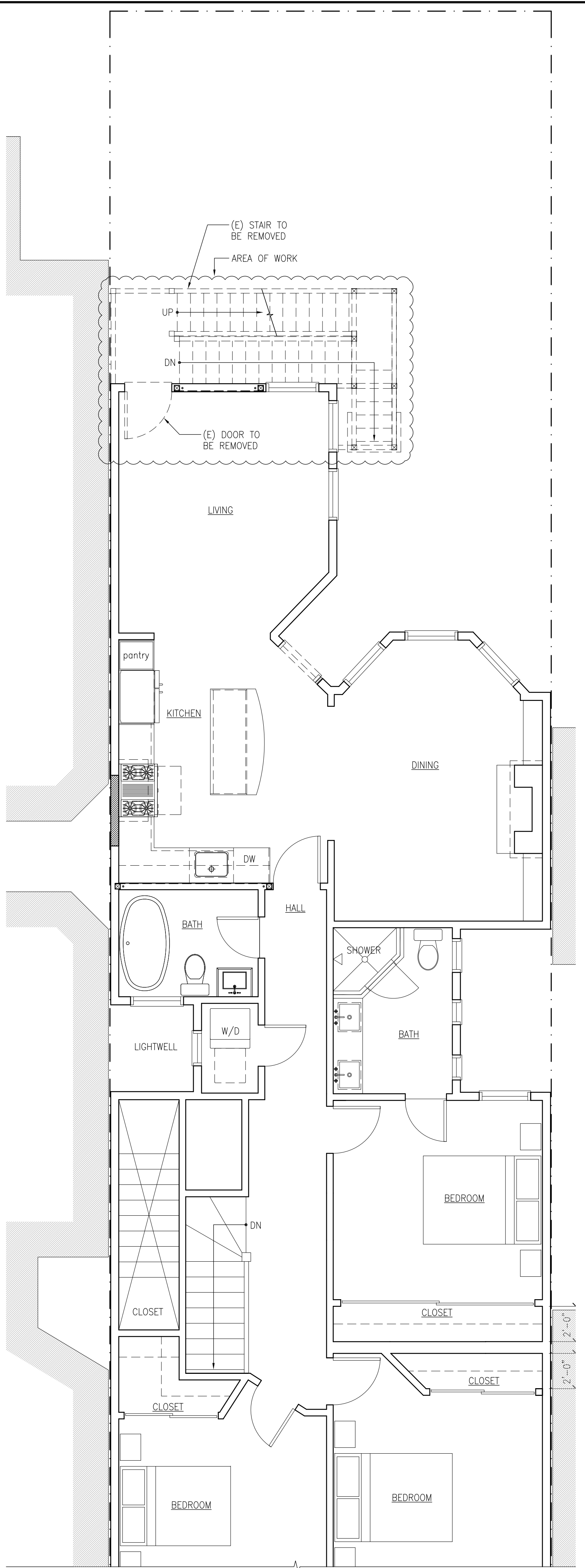
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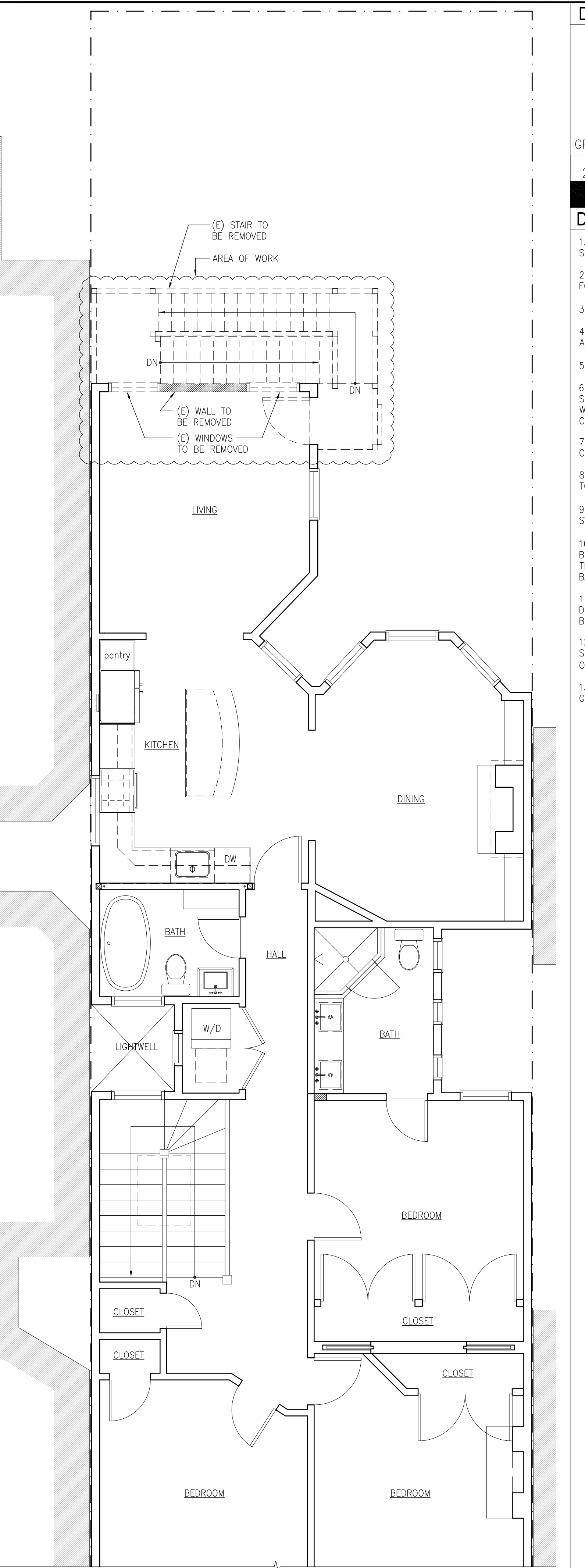
717-719 GUERRERO STREET



1 EXISTING FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

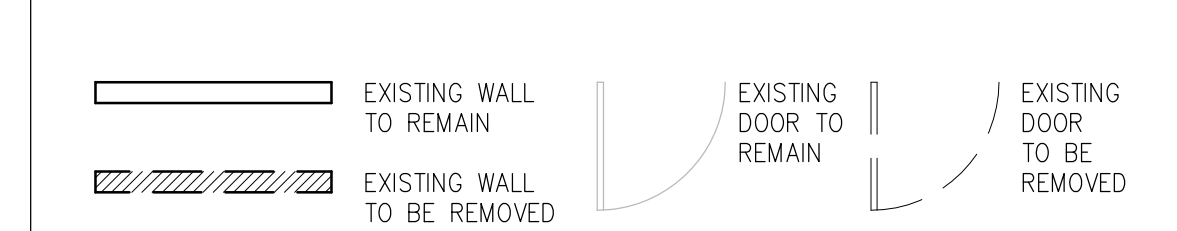


2 EXISTING SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



3 EXISTING THIRD FLOOR PLAN  
SCALE: 1/4" = 1'-0"

DRAWING LEGEND:



GRAPHIC SCALE



DEMOLITION GENERAL NOTES:

- (N) DENOTES NEW ITEMS. (E) DENOTES EXISTING ITEMS. ITEMS WITHOUT SYMBOLS SHALL BE CONSIDERED TO BE EXISTING.
- S.S.D. FOR EXTENT OF FOUNDATION & FLOOR SLABS TO REMAIN. REMOVE OTHER FOUNDATIONS & GROUND LEVEL CONCRETE SLAB IN PREPARATION FOR WORK AS NOTED.
- PROVIDE TEMPORARY SHORING AS NECESSARY/REQD.
- PROVIDE TEMPORARY UNDERPINNING OF STRUCTURES ON SUBJECT PROPERTY & ON ADJACENT PROPERTIES AS REQD.
- COORDINATE ALL DEMOLITION W/ (N) CONSTRUCTION.
- COMPLY WITH CONSTRUCTION WASTE RECYCLING PROGRAM AS REQUIRED BY CITY OF SAN FRANCISCO. MATERIAL NOT SPECIFIED TO BE SALVAGED OR REINSTALLED IN NEW WORK SHALL BE CONSIDERED AS SCRAP AND SHALL BE DISPOSED OF BY THE GENERAL CONTRACTOR.
- ALL (E) ELECTRICAL, PLUMBING & MECHANICAL SYSTEMS SHALL BE TERMINATED PER CORRESPONDING 2010 CALIFORNIA CODE & ANY DESIGN-BUILD DRAWINGS.
- CUTTING WORK SHALL BE DONE WITH MINIMUM DAMAGE TO SURROUNDING SURFACES TO BE RETAINED.
- EXPPOSE FRAMING PRIOR TO ANY DEMOLITION. DO NOT ENDANGER (E) STRUCTURAL SYSTEMS. NOTIFY ARCHITECT AND STRUCTURAL ENGINEER OF ANY STRUCTURAL CONFLICTS.
- ALL ELECTRICAL, DATA, AND TELEPHONE OUTLETS LOCATED WITHIN (E) PARTITIONS TO BE DEMOLISHED ARE TO BE REMOVED U.O.N. TO BE SAVED. ALL ELECTRICAL, DATA, TELEPHONE WIRING AND CONDUITS FROM PARTITIONS AND CEILING ARE TO BE REMOVED BACK TO PANEL BOARD TERMINALS U.O.N.
- REMOVE ALL NOTED INTERIOR PARTITIONS, EQUIPMENT, CEILINGS, FLOORING, FLOOR DECK, ROOFING, ROOF DECK, AND UTILITIES. ANY ADDITIONAL ITEMS ENCOUNTERED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR ADDITIONAL INSTRUCTIONS.
- ALL ITEMS AND SYSTEMS TO BE ADDRESSED BY DESIGN / BUILD CONTRACTORS SHALL BE IDENTIFIED AND DIRECTIONS SPECIFIED IN THE REQUIRED CONTRACT DOCUMENTS OF THE APPROPRIATE DESIGN / BUILD CONTRACTOR.
- WALL, FLOOR, AND CEILING FRAMING LUMBER IN GOOD REPAIR SHALL BE SALVAGED. G.C. TO COORDINATE WITH ARCHITECT AND STRUCTURAL ENGINEER FOR REUSE.

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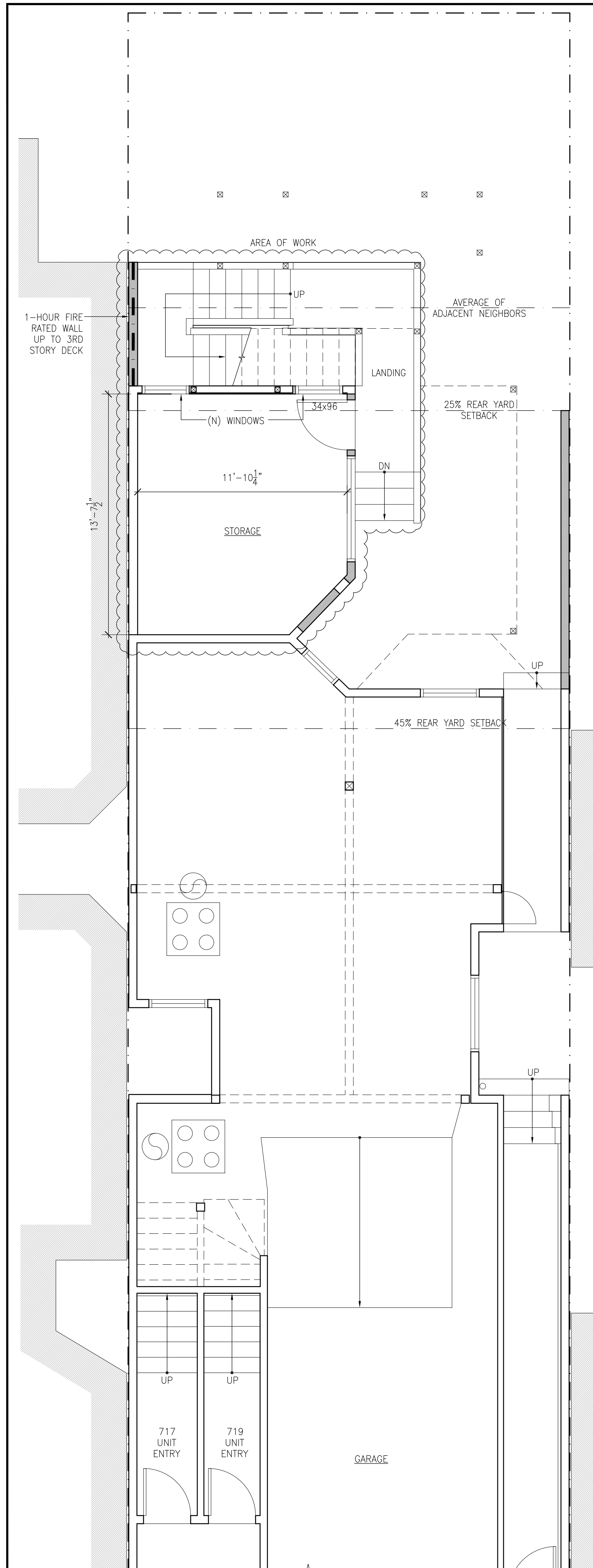
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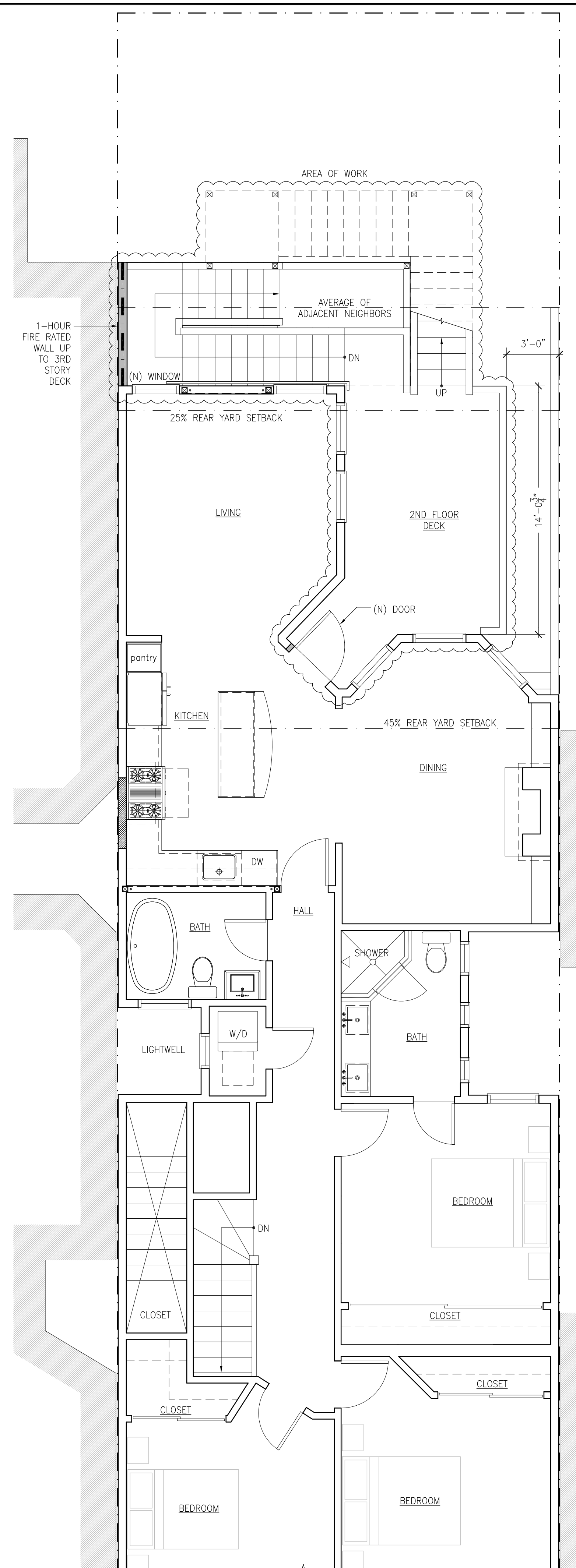
EXISTING & DEMOLITION FLOOR PLANS

A1.0

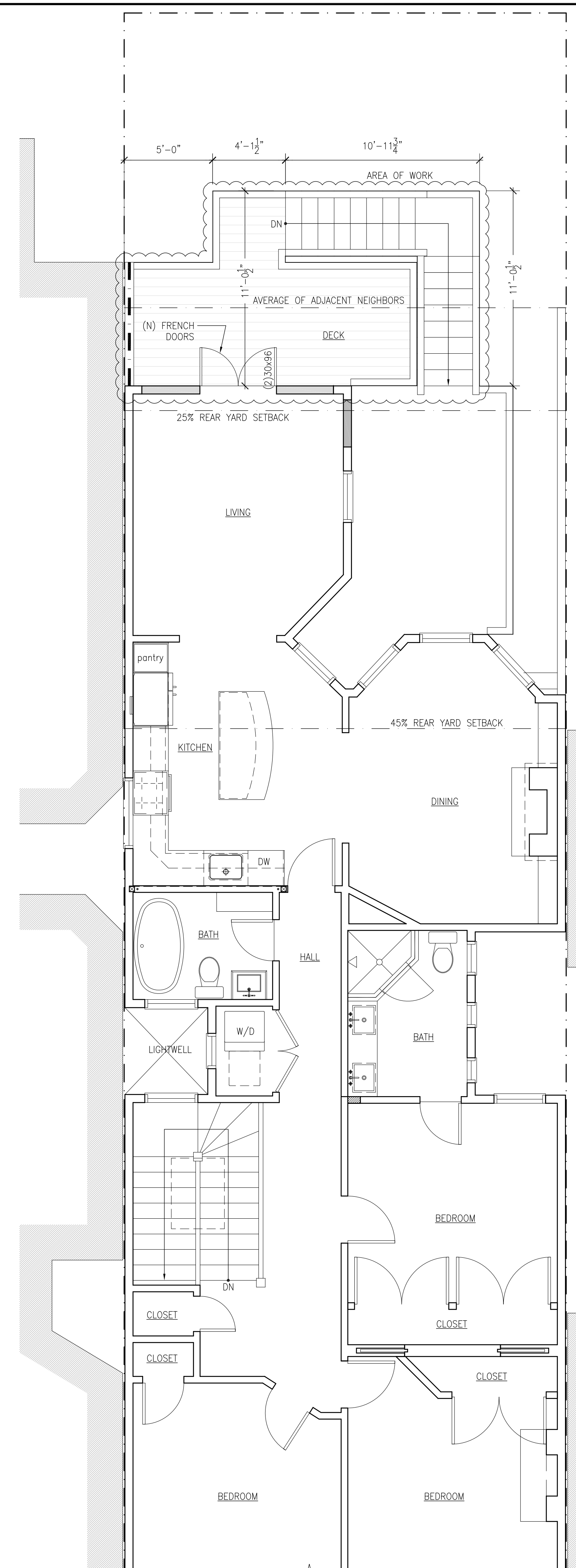




1 PROPOSED FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



2 PROPOSED SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

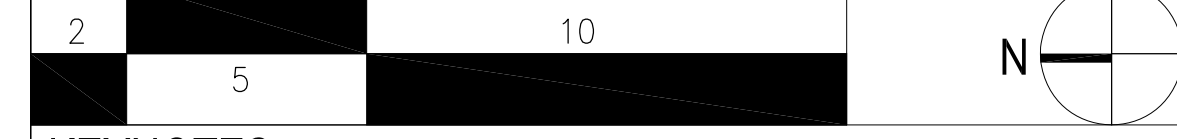


3 PROPOSED THIRD FLOOR PLAN  
SCALE: 1/4" = 1'-0"

**DRAWING LEGEND:**

- EXISTING WALLS
- NEW WALL
- 1-HR RATED WALL

**GRAPHIC SCALE**



**KEYNOTES:**

- 1 PROVIDE SOLID BACKING FOR ALL WALL MOUNTED FIXTURES, CABINERY AND APPLIANCES. G.C. TO COORDINATE LOCATION.
- 2 (N) WINDOW OR SKYLIGHT. MINIMUM U-VALUE PER TITLE 24 REQUIREMENTS TABLE 118A AND S.H.G.C. PER TABLE 116B, U MAX=0.40 AND REQUIREMENTS OF TITLE 24 CALCULATIONS.
- 3 PROVIDE MOISTURE RESISTANT GYP BOARD AT BATHROOM WALLS AND SOFFIT, PRIMED AND PAINTED PER OWNER SELECTION. PROVIDE CEMENTITIOUS BACKING BOARD WHERE REQ'D FOR TILE INSTALLATION. ASSEMBLIES PER TILE COUNCIL OF AMERICA STANDARD DETAILS.
- 4 PROVIDE 5/8" TYPE "X" FIRE RATED DRYWALL AT PROPERTY LINE WALLS WHERE (E) DRYWALL IS REPLACED.
- 5 PROVIDE R-13 INSULATION AT 2x4 FRAMED WALLS, R-19 INSULATION AT 2x6 FRAMED WALLS & UNDER FLOOR AS REQUIRED BY TITLE 24 ENERGY CALCULATIONS. TYPICAL THROUGHOUT.
- 6 TOILET, LAUNDRY, AND KITCHEN EXHAUST TERMINATION 3'-0" MINIMUM FROM PROPERTY LINES AND BUILDING OPENINGS PER CMC 504.5.
- 7 EXHAUST FAN TO PROVIDE MIN. 5 AIR CHANGES PER HOUR AND PER REQUIREMENTS OF CMC 403.7 TABLE 4-4 AND SOURCE OF MAKE-UP AIR. MECHANICAL CONTRACTOR TO SIZE AND SUBMIT CUTSHEET FOR APPROVAL PRIOR TO INSTALLATION.
- 8 DOMESTIC RANGE AND COOK TOP UNIT INSTALLATION PER MFR.'S INSTRUCTIONS AND VENT SHALL PER PER CMC 504.2.
- 9 WASHER/DRYER. PROVIDE UTILITY CONNECTION BOX WITH 2-125V AND 1-250V OUTLETS. PROVIDE EXHAUST VENTILATION PER TABLE 4-4 AND MAKEUP AIR AS NEEDED. DRYER EXHAUST TO MEET REQUIREMENTS OF: CMC 504.3.1 AND 4" Ø DUCT PER CMC 504.3.2. DRYER DUCTS PER CMC 504.3.2.1 AND 504.3.2.2/. TERMINATION 3' FROM ANY OPENING OR PL PER CMC 504.5.
- 10 DIRECT VENT EQUIPMENT SHALL BE VENTED WITH THE TERMS OF THE LISTING AND THE MANUFACTURER'S INSTRUCTIONS AND SHALL COMPLY WITH CBC 802.2.5, 802.6.2(3) & 802.8.3. GAS VENT TERMINATION PER CMC 802.6.2(1)&(2) GAS VENT TERMINATION CAP PER CMC 802.6.2.5 GAS VENT SUPPORT PER MFR AND CMC 802.5.6 & 802.6.5.
- 11 PROVIDE COMBUSTION AIR OPENING FROM OUTSIDE FOR FURNACES AND WATER HEATERS PER CMC 701.10(3), 701.10(6), CMC 701.10(7) AND ALL OTHER APPLICABLE CODES.
- 12 PROVIDE (N) ELECTRICAL PANEL AS REQUIRED FOR ELECTRICAL LOAD, ELECTRICAL WORK DESIGN/BUILDING BY G.C. AND ELECTRICAL SUBCONTRACTOR.
- 13 HARDWIRED SMOKE ALARM WITH BATTERY BACKUP. ALL NEW SMOKE ALARMS TO COMPLY WITH CBC SECTIONS: 907.2.10.1.2 FOR LOCATION, 907.2.10.2 TO BE HARD-WIRED WITH BATTERY BACKUP, 907.2.10.3 FOR INTERCONNECTION.
- 14 PROVIDE CA STATE FIRE MARSHALL APPROVED CARBON MONOXIDE ALARM OUTSIDE OF EACH SLEEPING AREA AND ON EACH LEVEL. ALARMS TO BE HARDWIRED WITH BATTERY BACKUP. MAY BE COMBINED SMOKE/CARBON MONOXIDE ALARM.
- 15 PROVIDE TEMPERED GLASS SHOWER ENCLOSURE WITH STAINLESS STEEL CLIPS. GLAZING SHALL MEET REQUIREMENTS OF CBC CHAPTER 24. IDENTIFICATION PER 2403.1 & 2406.3 HAZARDOUS LOCATIONS.
- 16 PROVIDE FLEXIBLE VINYL SHOWER PAN LINER FOR SHOWER STALL. TILE PER TCA RECOMMENDED ASSEMBLY AND TCA STANDARDS.

**TITLE 24 RESIDENTIAL LIGHTING REQUIREMENTS:**

KITCHENS: AT LEAST 50% OF INSTALLED LUMINAIRE WATTAGE MUST BE HIGH EFFICACY (HE) LIGHTING AND MUST BE SWITCHED SEPARATELY FROM NON HE LIGHTING

BATHROOM, LAUNDRY ROOM, GARAGE, UTILITY ROOMS: ALL HIGH EFFICACY LUMINAIRES OR COMPLY WITH THE EXCEPTION AS FOLLOWS:  
PROVIDE A MANUAL-ON OCCUPANCY SENSOR AND MOTION SENSOR THAT COMPLIES WITH CEC SECTION 119(g) AND SHALL NOT HAVE A CONTROL THAT ALLOWS THE LUMINAIRES TO BE TURNED ON AUTOMATICALLY OR THAT HAS AN OVERRIDE ALLOWING THE LIGHT TO BE ALWAYS ON.

OUTDOOR LIGHTING: ALL HIGH EFFICACY UNLESS LIGHTING IS CONTROLLED BY CERTIFIED MOTION SENSORS AND PHOTOCONTROL.

COMMON AREAS (ENCLOSED NON DWELLING SPACES): ALL HIGH EFFICACY UNLESS CONTROLLED BY A CERTIFIED OCCUPANT SENSOR(S) - NOT REQUIRED TO BE MANUAL-ON.

ALL OTHER ROOM (BEDROOMS, HALLWAYS, STAIRS, DINING ROOMS, ETC) SHALL BE ALL HIGH EFFICACY LUMINAIRES OR COMPLY WITH THE EXCEPTIONS AS FOLLOWS:  
1) PROVIDE DIMMER SWITCH.  
2) PROVIDE MANUAL-ON OCCUPANCY SENSOR AND MOTION SENSOR THAT COMPLIES WITH CEC SECTION 119(g) AND SHALL NOT HAVE A CONTROL THAT ALLOWS THE LUMINAIRES TO BE TURNED ON AUTOMATICALLY OR THAT HAS AN OVERRIDE ALLOWING THE LIGHT TO BE ALWAYS ON/FLUORESCENT OR CONTROL BY DIMMER SWITCH.  
3) CLOSETS LESS THAN 70 SQUARE FEET ARE EXEMPT FROM LIGHTING REQUIREMENTS.

RECESSED LUMINAIRES IN INSULATED CEILINGS: MUST BE APPROVED FOR ZERO CLEARANCE INSULATION COVER AND MUST BE CERTIFIED AS AIR TIGHT.

**LIGHTING GENERAL NOTES:**

G.C. AND ELECTRICAL SUBCONTRACTOR TO CONFIRM AND COORDINATE ALL TRANSFORMERS WITH FIXTURES SELECTION.

G.C. AND ELECTRICAL CONTRACTOR TO CONFIRM ANY ACCESS PANELS REQUIREMENTS.

PROVIDE SUBMITTAL FOR ARCHITECT AND OWNER REVIEW PRIOR TO PURCHASE OF FIXTURES. WHERE DEVICES/SWITCHES ARE CLUSTERED, PROVIDE MULTI-GANG COVERS.

SWITCH MOUNTING HT = 48" TO CL A.F.F.

OUTLET/CATV/TELE MOUNTING HT = 15" TO CL A.F.F.

SEE SHEET A6.0 FOR LOCATIONS.

SEE SHEET A6.0 FOR LOCATIONS.

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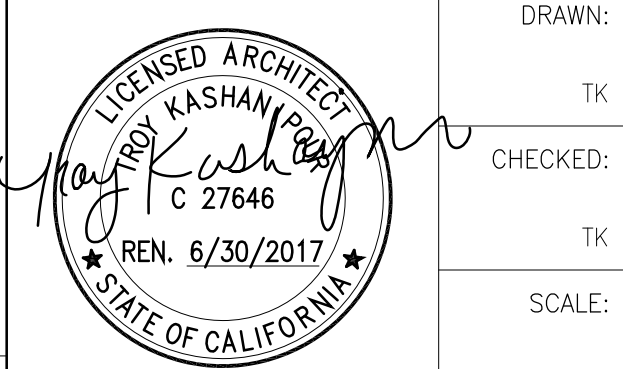
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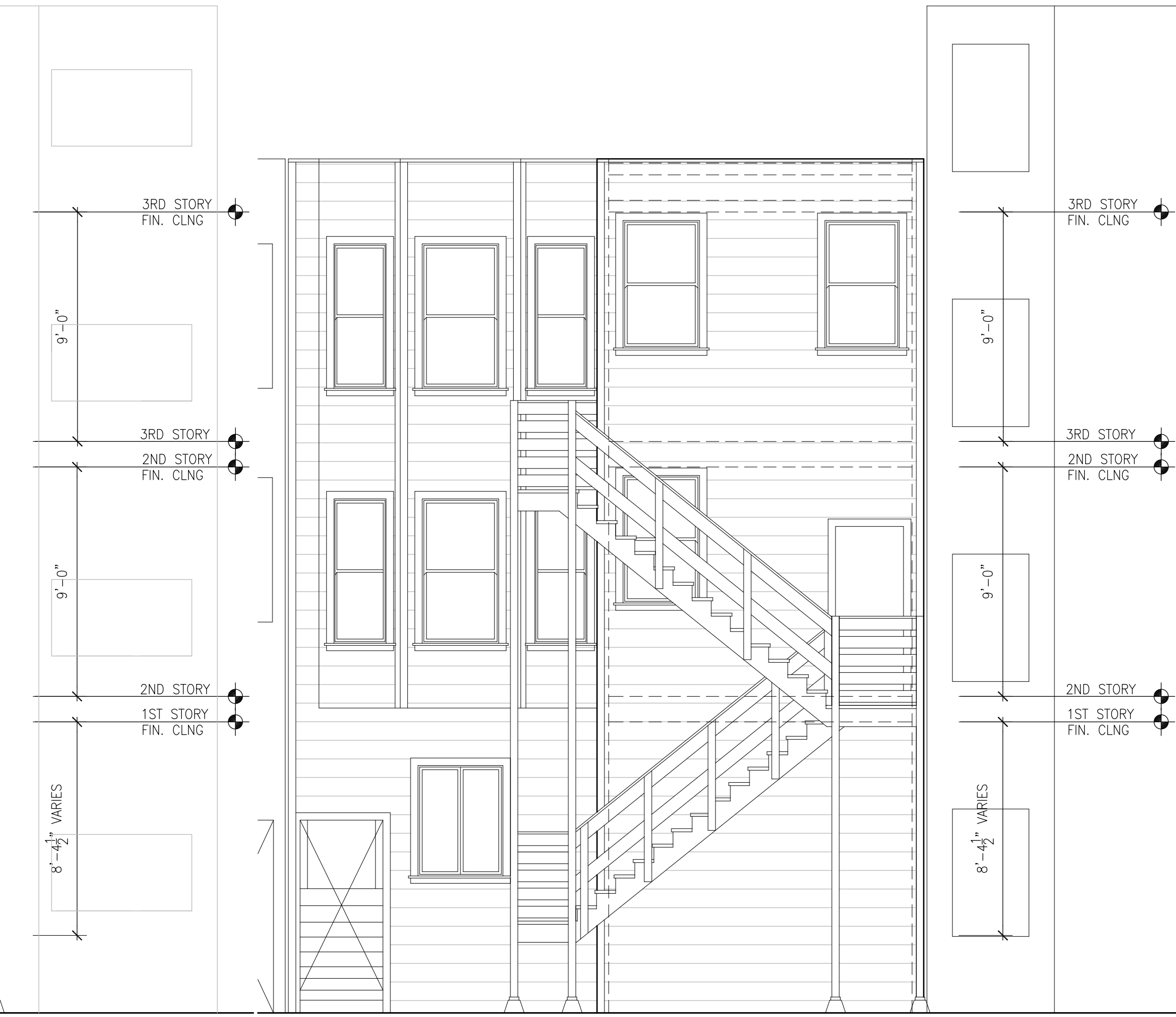
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PROPOSED FLOOR PLANS  
**A2.0**

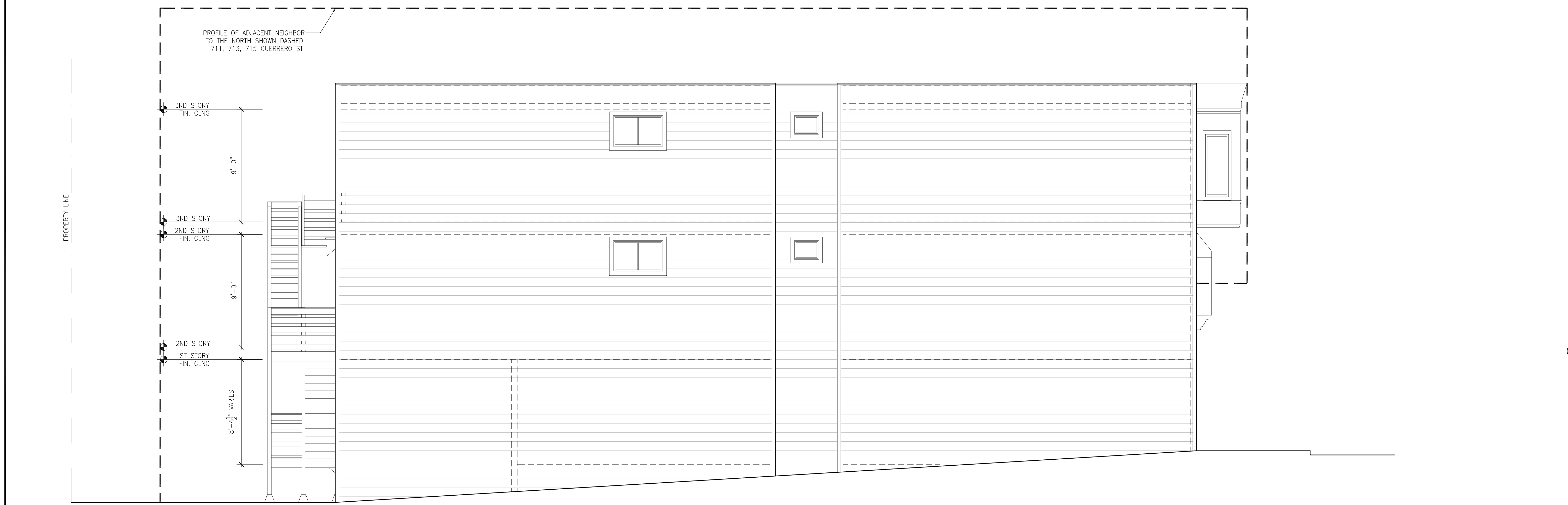




2 EXISTING SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



3 EXISTING EAST ELEVATION  
SCALE: 1/4" = 1'-0"



1 EXISTING NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

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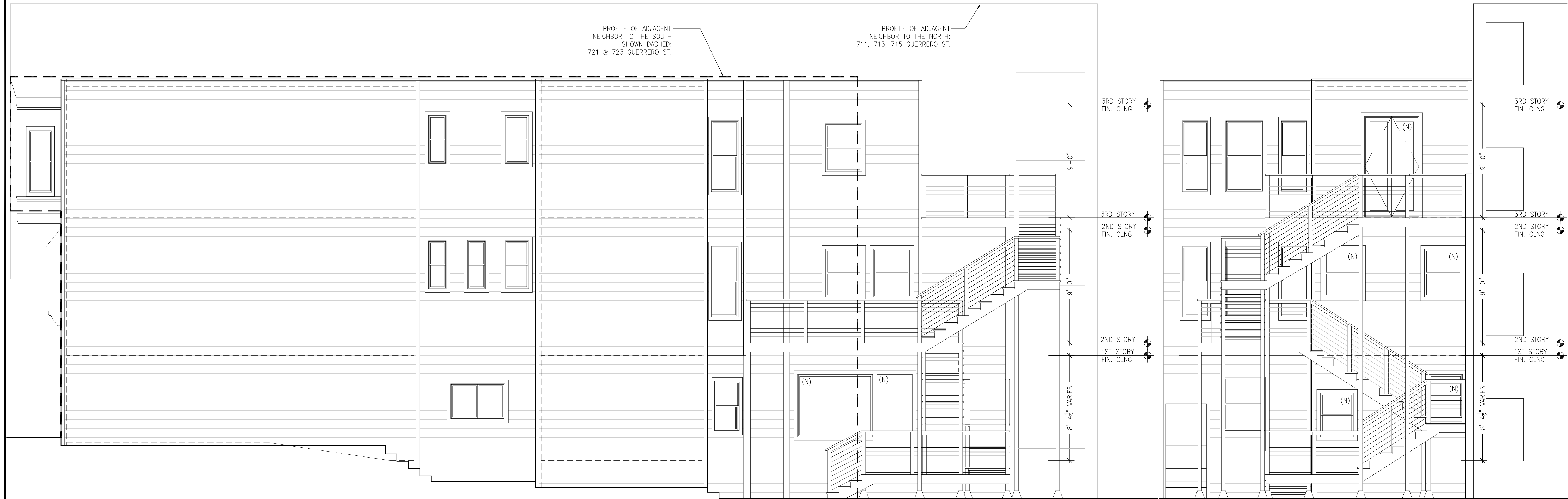
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TROY KASHANIPOUR  
C 27646  
REN. 6/30/2017  
STATE OF CALIFORNIA

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CHECKED: TK  
SCALE: AS SHOWN

EXISTING ELEVATIONS

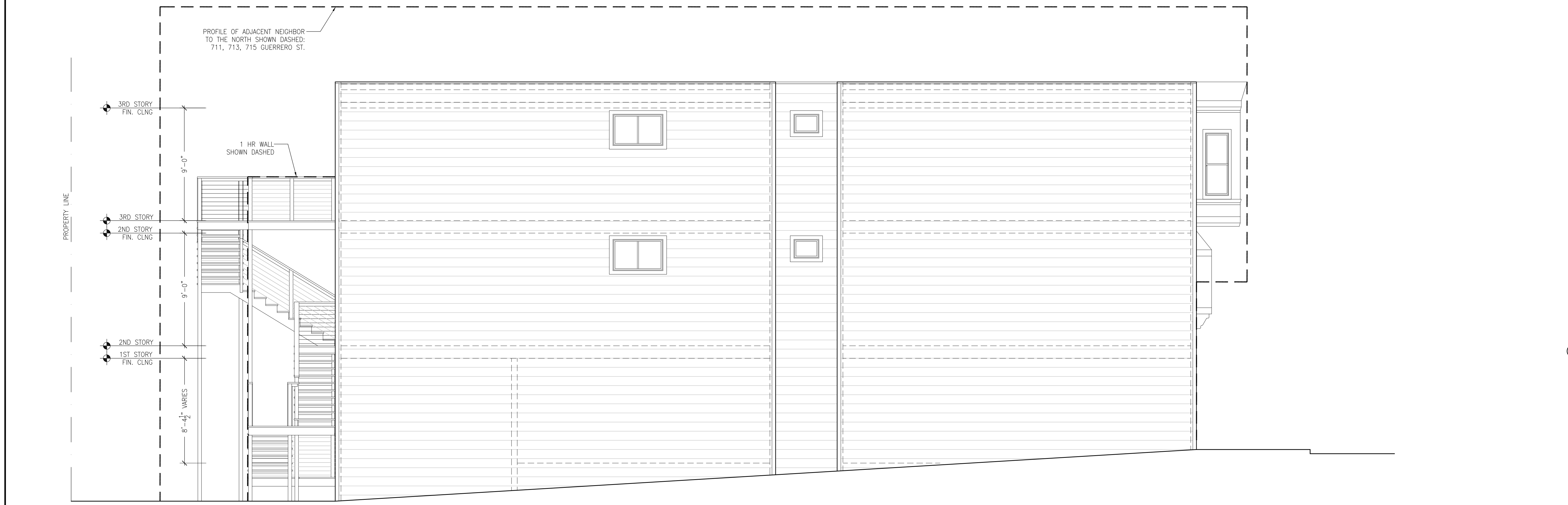
A3.0





2 PROPOSED SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

3 PROPOSED EAST ELEVATION  
SCALE: 1/4" = 1'-0"



1 PROPOSED NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

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ISSUE: DATE:  
ISSUED FOR VARIANCE 02.16.17  
PRE-APPLICATION MEETING 02.17.17

CONSULTANT:

APPROVAL



DRAWN: SC  
CHECKED: TK  
SCALE: AS SHOWN

PROPOSED ELEVATIONS

A3.1



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

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