



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, September 27, 2017**
Time: **Not before 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 428 Hill Street	Case No.: 2017-001299VAR
Cross Street(s): Noe St. & Sanchez St.	Building Permit: 2017.05.05.5866
Block /Lot No.: 3621/057	Applicant: Alex Terry
Zoning District(s): RH-1 / 40-X	Telephone: (510) 525-0504
Area Plan: N/A	E-Mail: alex@terryandterryarchitecture.com

PROJECT DESCRIPTION

The project proposes a renovation and 770 square foot addition to an existing four-story, single-family residence on an upsloping lot including a horizontal rear addition at the second through fourth floors, a 1'-6" vertical increase in height at the rear fourth floor, and a new 411 square foot rear deck/patio.

PER SECTION 241 (DOLORES HEIGHTS SUD) OF THE PLANNING CODE, the subject property is required to maintain a rear yard of 45% of the lot depth (or 51.3 feet). The proposed addition would encroach 5'-5" feet into the required rear yard (in line with the existing rear building wall); therefore, a Variance is required.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://notice.sfplanning.org/2017-001299VAR.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Chris Townes** Telephone: **(415) 575-9195** E-Mail: chris.townes@sfgov.org

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **On August 29, 2017, the Department issued the required Section 311 notification for this project, which expires on September 28, 2017.**

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

Bodden/Howard Residence



Bodden/Howard Residence

428 Hill Street
San Francisco
CA 94114

NOT FOR CONSTRUCTION

Description

Title Sheet

Drawn By AT & NH
Checked By IT
Scale As Noted

Date	Issues and Revisions
3/05/2016	As-Built
12/14/2016	Prelim. Estimating
3/23/2017	Pre-Application Neighborhood Meeting
5/04/2017	Planning/Variance Application
7/05/2017	Planning/Variance Set Revisions

Sheet A1.1

Abbreviations

@ A.B. ADHS ADJ A.F.C.I. A.F.F. AGR ALUM	AT (RATE) ANCHOR BOLT ADHESIVE ADJUSTABLE ARC FAULT CIRCUIT INTERRUPTER ABOVE FINISHED FLOOR AGGREGATE ALUMINUM	JST JT L.A. LOUV. MAX. MECH. MEMB. MIN MISC MOD. BIT. MTL	JOIST JOINT LANDSCAPE ARCHITECT(URE) LOUVER MAXIMUM MECHANICAL MEMBRANE MINIMUM MISCELLANEOUS MODIFIED BITUMEN MEMBRANE METAL
BD BIT. MEMB BLDG BLK BM BOT	BOARD "BITUTHENE" MEMBRANE BUILDING BLOCK/BLOCKING BEAM BOTTOM	(N) N.I.C. N.T.S.	NEW NOT IN CONTRACT NOT TO SCALE
C.A.R. C.C. CEIL C/L CLR C.M.U. C.O. COL CONC CONT CPR C.S.	COLD AIR RETURN CENTER TO CENTER CEILING CENTER LINE CLEAR CONCRETE MASONRY UNIT CLEANOUT COLUMN CONCRETE CONTINUOUS COPPER CRAWL SPACE	O/ O.A. O.C. O.D. O.H. O.S.B.	OVER OUTSIDE AIR ON CENTER OUTSIDE DIAMETER OVERHEAD/OVERHANG ORIENTED STRAND BOARD
DBL DET D.F. DIA DN D.S. DWG	DOUBLE DETAIL DOUGLAS FIR DIAMETER DOWN DOWNSPOUT DRAWING	PERF PL PLT PLYWD PR P.T. PTD P.T.D.	PERFORATED PROPERTY LINE PLATE PLYWOOD PAIR PRESSURE TREATED PAINTED PAPER TOWL DISPENSER
(E) ELEC EQ EXT	EXISTING ELECTRICAL EQUAL EXTERIOR	REBAR REF REFL REINF REQD REV R.O. R/RAD	REINFORCING BAR REFERENCE REFLECTED REINFORCED/REINFORCING REQUIRED REVISION ROUGH OPENING RADIUS
F.A.U. F.D. FDN FIN FLASHG FLP FLUOR F.O.C. F.O.F. F.O.S. FT FTG	FORCED AIR UNIT FLOOR DRAIN FOUNDATION FINISH FLASHING FLOOR FLUORESCENT FACE OF CONCRETE FACE OF FINISH FACE OF STUDS FEET FOOTING	S.C. SCHD SCRN SEC S.F. SHT SHTG SIM SPCS SQ. S.S. S.S.D. STD. STL STRUCT	SOLID CORE SCHEDULE SCREEN/WIRE CLOTH SECTION SQUARE FEET SHEET SHEATHING SIMILAR SPECIFICATIONS SQUARE STAINLESS STEEL SEE STRUCTURAL DRAWINGS STANDARD STEEL STRUCTURAL
GA GALV GEN G.F.C.I. GL GR G.S.M. GYP. BD. GYP.	GAUGE GALVANIZED GENERAL GROUND FAULT CIRCUIT INTERRUPTER GLASS GRADE GALVANIZED SHEET METAL GYPSUM BOARD GYPSUM	T&G TJI T.O.CONC. T.O.STL. T.S. T.W. TYP U.O.N.	TONGUE & GROOVE TRUSS JOIST TOP OF CONCRETE TOP OF STEEL TUBE STEEL TOP OF WALL TYPICAL UNLESS OTHERWISE NOTED
H.B. HD. WD. H.R. HORIZ HT HWH	HOSE BIBB HARD WOOD HEAT REGISTER HORIZONTAL HEIGHT HOT WATER HEATER	VERT. V.I.F. V.W. V.W.A.	VERTICAL VERIFY IN FIELD VERIFY WITH VERIFY WITH ARCHITECT
I.D. I.G. IN INT. INSUL I.W.	INSIDE DIAMETER INSULATED GLASS (DBL PANE) INCHES INTERIOR INSULATION "ICE & WATER SHIELD" MEMBRANE	W/ WD WO W.P.	WITH WOOD WITHOUT WATERPROOF

Symbols

E2 A4.1	▲	Exterior Elevation Drawing No. Sheet No.		Control or Data Point		Match Line
LS.1 AS.1	▲	Section Drawing No. Sheet No.	- - - - -	Property Line		Spot Elevation
3 A8.1	➡	Interior Elevation Drawing No. Sheet No.	- - - - -	Easement / Setback Line		Door Number/Letter
3 A6.1		Detail Drawing No. Sheet No.	- - - - -	Center or Grid Line		Window Number/Letter
A		Grid/Column Line	- - - - -	Hidden or foreground Line		Room Number
		Contour, Existing Line				
		Contour, New Line				
		Revision No -Cloud Around Revision				

General Notes

- All construction and installation shall conform to the following codes:
2016 Editions of the California Building Code (CBC), California Residential Code (CRC), California Mechanical Code (CMC), California Plumbing Code (CPC), California Electrical Code (CEC), California Energy Code (CEnc), California Green Building Standards Code (CGBC), California Administrative Code Title 24.
Any other governing codes including local ordinances and requirements.
In the event of conflict the most stringent requirements shall apply.
- The contractor shall review and verify all dimensions of buildings and site to notify the Architect of any discrepancies before proceeding with construction and purchasing materials.
- The general contractor shall assume responsibility for all dimensions and site conditions. The general contractor shall inspect the existing premises and take note of existing conditions prior to submitting prices. No claim shall be allowed for difficulties encountered which could have reasonably been inferred from such an examination.
- Contractor shall be responsible for coordination between Architectural, Structural, Landscape, Civil, Mechanical, Plumbing, Electrical, Fire Protection and any other consultant of the project. This includes reviewing requirements of individual systems before ordering and installation of any work. Verify all Architectural details and all finish conditions (whether depicted in the drawings or not) with same disciplines.
- Any errors, omissions or conflicts found in the various parts of the construction Documents shall be brought to the attention of the Architect and Owner before proceeding with the work.
- Do not scale drawings, written dimensions govern.
- All clear dimensions are not adjustable without approval of the Architect.
- All dimensions when shown in plan are to face of stud, concrete or centerline of columns, unless otherwise noted.
- All dimensions are to top of plate, top of plywood or top of concrete in section or elevation unless otherwise noted.
- Details shown are typical, similar details apply in similar conditions.
- The contractor shall be responsible for applying and obtaining all required inspections to conform with local building and fire codes.
- Install all fixtures, equipment, and materials per manufacturer's recommendations and the requirements of the current codes.
- Verify clearances for flues, vents, chases, soffits, fixtures, fireplaces, etc., before any construction, ordering of, or installation of any item of work.
- Provide fire-stop in concealed spaces of all stud spaces over 10'-0" high with 2x blocking or mineral wool, u.o.n.
- Window sizes on drawings are nominal dimensions. Refer to manufacturer for actual rough opening sizes.
- All exterior doors and windows shall be weather-stripped per title 24 requirements.
- All nailing shall comply with min. CBC standards as provided in current requirements, u.o.n.
- Contractor shall be responsible for construction in conformance with the approved plans, specifications and all code requirements under which the plans and specifications were approved.
- All shop drawings must be submitted to Architect for review prior to fabrication.

Green Notes

- Construction & Demolition Debris: 100% of mixed debris must be transported by a registered hauler to a registered facility and be processed for recycling.
- Recycling by occupants: Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials.
- Grading and paving: Construction plans shall indicate how the site grading or drainage system will manage surface water flows to keep water from entering the building, such as swales, drains, or water retention gardens. [CalGreen 4.106.3]
- Smart Irrigation Controller: Automatically adjust irrigation based on weather and soil moisture. Controllers must have either an integral or separate rain sensors that connects or communicates with the controller.
- Water Efficient Irrigation: Projects that include > 1,000 square feet of new or modified landscape must comply with the San Francisco Water Efficient Irrigation Ordinance.
- Stormwater Control Plan: Projects disturbing > 5,000 square feet must implement a Stormwater Control Plan meeting SFPUC Stormwater Design Guidelines.
- Indoor Water Efficiency: Install water-efficient fixtures and fittings as summarized in CalGreen 4.303. Replace all noncompliant fixtures in project area [CalGreen 3.301.1.1, San Francisco Housing Code 12A]
- Energy Efficiency: Comply with California Energy Code [Title 24, Part 6]
- Pest Protection: Annular spaces around pipes, electric cables, conduits, or other openings in sole/bottom plates at exterior walls shall be closed with cement mortar, concrete masonry, or a similar method acceptable to DBI for protection against rodents.
- Moisture content of building materials: Verify wall and floor framing does not exceed 19% moisture content prior to enclosure. Materials with visible signs of moisture damage shall not be installed. Moisture content shall be verified in compliance with the following: [CalGreen 4.505.3]
 - Moisture content shall be determined with either a probe-type or a contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements in Section 101.8.
 - Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade-stamped end of each piece to be verified.
 - At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing. Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Manufacturers' drying recommendations shall be followed for wet-applied insulation products prior to enclosure.
- Capillary break for concrete slab on grade: Concrete slab on grade foundations required to have a vapor retarder must also have a capillary break, including at least one of the following: [CalGreen 4.505.2]
 - A 4-inch [101.6 mm] thick base of 1/2-inch [12.7 mm] or larger clean aggregate shall be provided with a vapor retarder in direct contact with concrete and a concrete mix design which will address bleeding, shrinkage and curling shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06.
 - A slab design specified by a licensed design professional.
- Fireplaces and woodstoves: Install only direct-vent or sealed-combustion appliances; comply with US EPA Phase II limits. [CalGreen 4.503.1]
- Design and Install HVAC System to ACCA Manual J, D, and S [CalGreen 4.507.2]
- HVAC Installer Qualifications: HVAC system installers must be trained and certified in the proper installation of HVAC systems, such as via a state certified apprenticeship program, public utility training program [with certification as installer qualification], or other program acceptable to the Department of Building Inspection. [CalGreen 702.1]
- Covering duct openings and protecting mechanical equipment during construction: Duct openings and other air distribution component openings shall covered during all phases of construction with tape, plastic, sheetmet- al, or other acceptable methods to reduce the amount of water, dust, and debris entering the system.
- Bathroom exhaust fans: Must be ENERGY STAR compliant, ducted to terminate outside the building, and controlled by humidistat capable of adjustment between relative humidity of less than 50% to maximum of 80%. Humidity control may be a separate component from the exhaust fan.
- Resilient flooring systems: For 80% of floor area receiving resilient flooring, install resilient flooring complying with:
 - Certified under the Resilient Floor Covering Institute (RFCI) FloorScore program,
 - Compliant with the VOC-emission limits and testing requirements of California Department of Public Health 2010 Standard Method for the Testing and Evaluation Chambers v.1.1,
 - Compliant with the Collaborative for High Performance Schools (CHPS) EQ2.2 and listed in the CHPS High Performance Product Database, OR
 - Certified under the Greenguard Children & Schools Program to comply with California Department of Public Health criteria.
- Composite wood products: Hardwood plywood, particleboard, and medium density fiberboard composite wood products used on interior or exterior shall meet CARB Air Toxics Control Measure for Composite Wood. See CalGreen Table 4.504.5.
- Interior paints and coatings: Comply with VOC limits in the Air Resources Board Architectural Coatings Suggested Control Measure and California Code of Regulations Title 17 for aerosol paints. See CalGreen Table 4.504.3.
- Low-VOC aerosol paints and coatings: Meet BAAQMD VOC limits (Regulation 8, Rule 49) and Product- Weighted MIR Limits for ROC. [CalGreen 4.504.2.3]
- Low VOC Caulks, Construction adhesives, and Sealants: Meet SCAQMD Rule 1168. See CalGreen Tables 4.504.1 and 4.504.2. [CalGreen 4.504.2.1]

Project Information

428 Hill Street
San Francisco, CA 94114

APN Block 3621/057
Zone RH-1
Height/ Bulk District: 40-X
Special Use District: Dolores Heights

NET Lot Area: 2,850 sq.ft. (25'x114')

Type of Construction: Type V

Use: Single Family Dwelling (no change)

(E) Usable Open Space: 1,437 s.f.

(N) Usable Open Space: 1,294 s.f.

No. of Existing Stories: 3

No. of Proposed Stories: 3 [no change]

No. of Vehicular Parking Spaces: 1 [no change]

No. of Class 1 Bicycle Parking Spaces: 1 [no change]

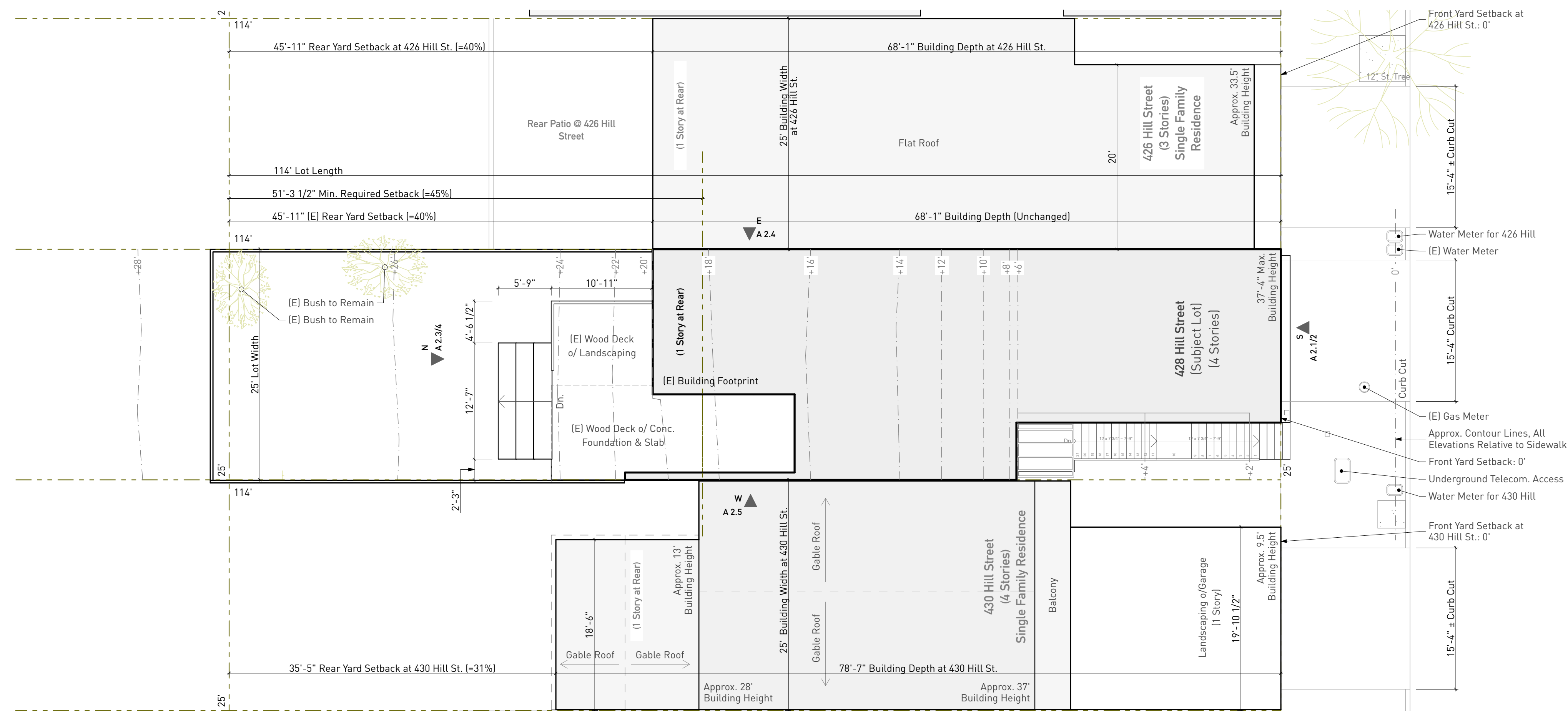
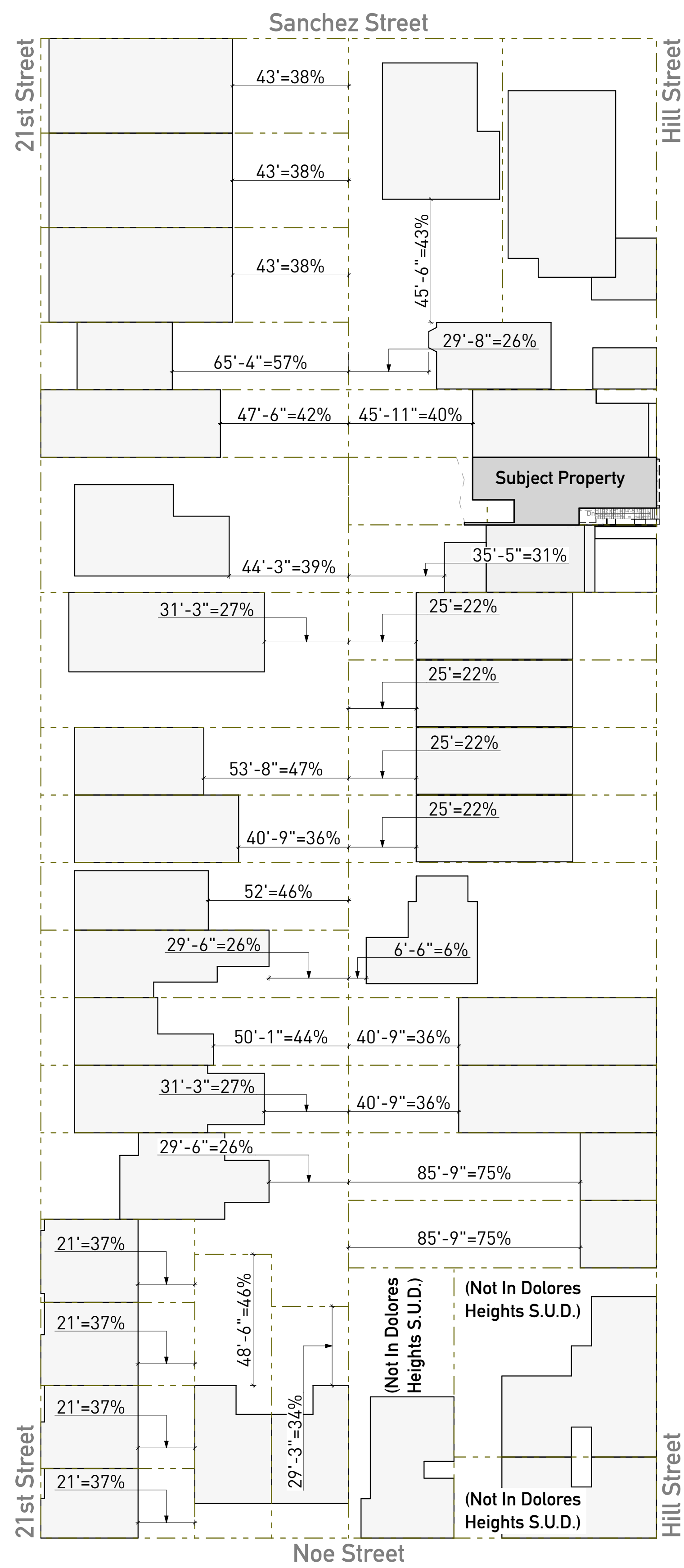
Gross Floor Area Table				
Story	Existing	Proposed	S.F. Added	% Added
Parking Area	144 sq.ft.	144 sq.ft.	0 sq.ft.	0%
First Floor	338 sq.ft.	338 sq.ft.	0 sq.ft.	0%
Second Floor	520 sq.ft.	629 sq.ft.	109 sq.ft.	19%
Third Floor	880 sq.ft.	1,410 sq.ft.	530 sq.ft.	60%
Fourth Floor	1,284 sq.ft.	1,415 sq.ft.	131 sq.ft.	10%
Total	3,166 sq.ft.	3,936 sq.ft.	770 sq.ft.	24%

SCOPE OF WORK:

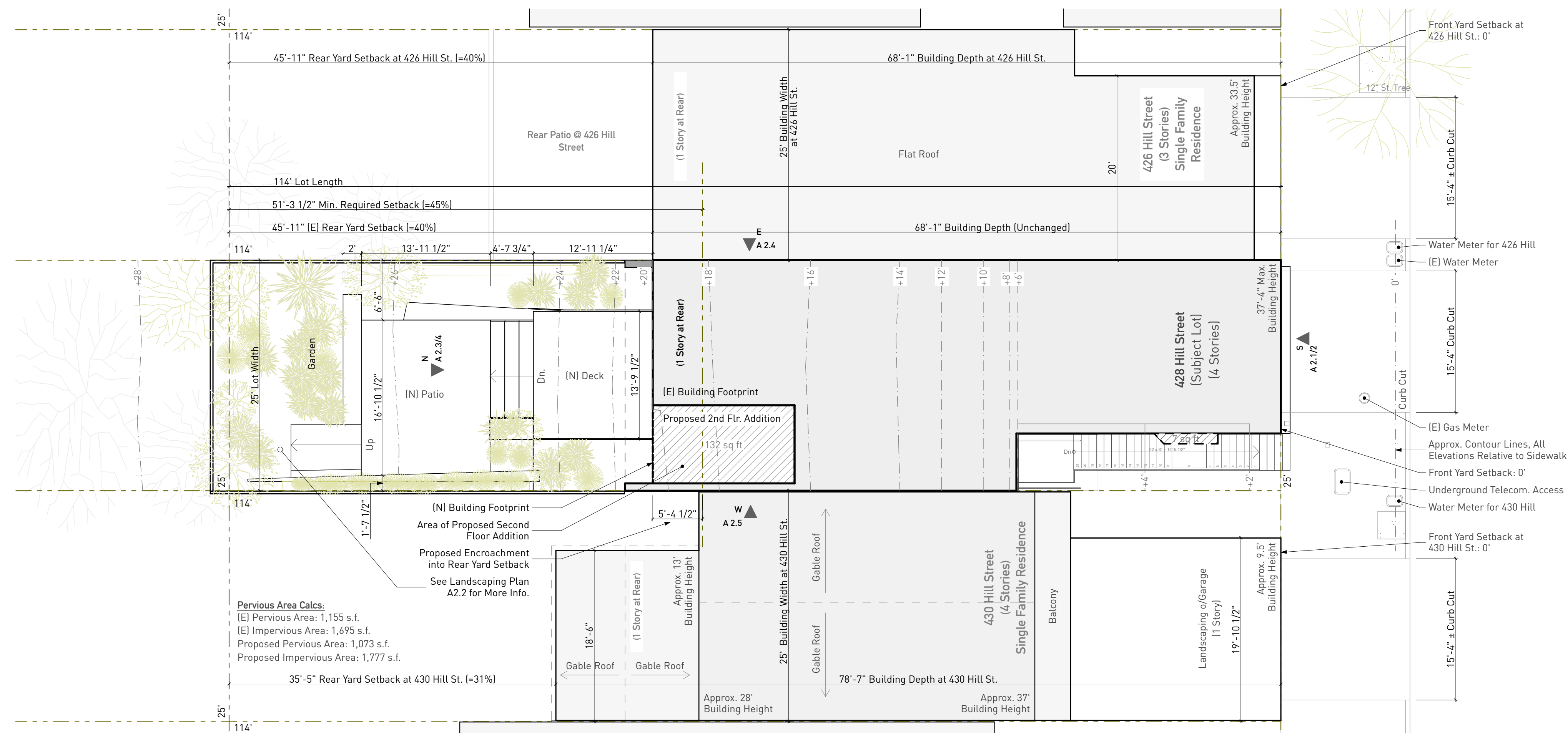
- The proposed project consists of renovating and expanding an existing single family dwelling, including converting an existing crawl space to a partial floor addition and infilling an existing outdoor deck area to convert it to interior space.
- At the street level, the existing garage will remain, but the existing interior stair will be enclosed to include it into the conditioned space envelope.
- At the lower floor, the existing office floor will be lowered to give the space adequate head height, and a bathroom and kitchen counter will be added within the office space.
- At the first floor, the existing crawl space will be dug out to make room for two new bedrooms and a bathroom which will extend to the existing rear wall of the house. The master bedroom and closet will be remodeled and a new master suite bathroom will be added.
- At the second floor, the deck area will be converted to indoor dining room area, and the second floor kitchen, dining room and bedroom will be remodeled to reorganize the interior space.
- The existing diagonal stair will be removed and a new stair along the West property line wall will connect all the stories.

Vicinity Map





z   **Existing Site Plan**
Scale: 1/8" = 1'-0"



Proposed Site Plan
 Scale: 1/8" = 1'-0"



Bodden/Howard
Residence

428 Hill Street
San Francisco
CA 94114

NOT FOR CONSTRUCTION

Description

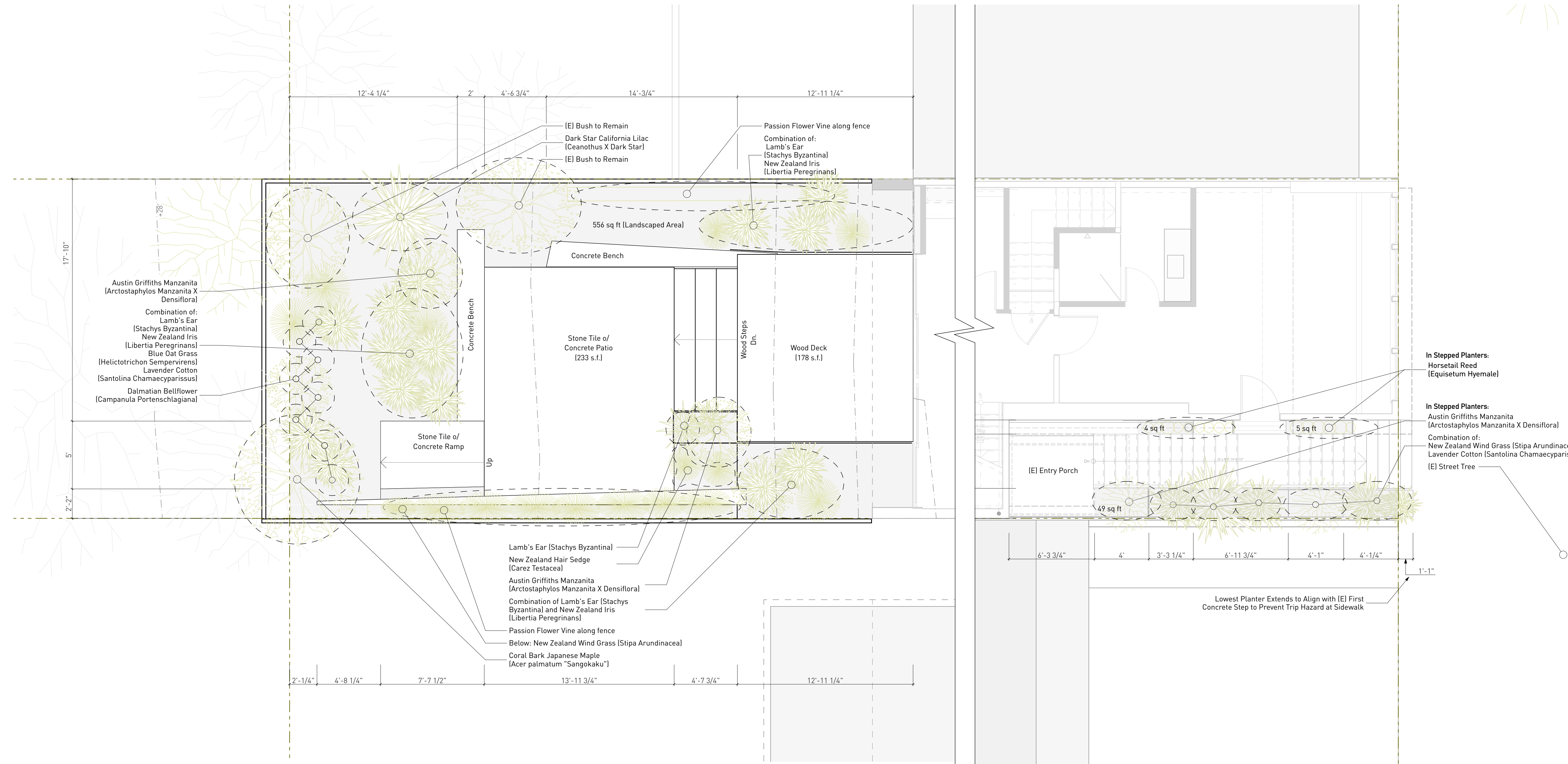
Site Plans (Existing & Proposed)

Drawn By	AT & NH
Checked By	IT
Scale	As Noted

Scale	As Noted
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Date	Issues and Revisions
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3/05/2016	As-Built
12/14/2016	Prelim. Estimating
3/23/2017	Pre-Application Neighborhood Meeting
5/04/2017	Planning/Variance Application
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**Bodden/Howard
Residence**
428 Hill Street
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Description

Landscaping Plan

Drawn By AT & NH
Checked By IT
Scale As Noted

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2
A2.2
Landscaping Plan - Upper Level
Scale: 1/4" = 1'-0"

1
A2.2
Landscaping Plan - Lower Level
Scale: 1/4" = 1'-0"

Floor Plan General Notes

- All dimensions shown on plan are to face of framing (face of stud) unless otherwise noted.
- The term "Verify in field" (V.I.F.) refers to a dimension or condition which needs to be verified or determined before or during construction by the contractor. A dimension which has a +/- V.I.F. at the end indicates a dimension that can only be determined during construction.
- Remove existing windows/doors as shown on plan. Upgrade, patch, repair as required to match existing adjacent surface.
- Guardrails and guardwalls shall be a min. height of 42". Rails or openings to be spaced such that a 4" dia. sphere can not pass through. Guardrails shall be provided when floor (walking) surface is greater than 30" above grade. May be less if noted or shown on drawings.
- Handrails shall be 34" to 38" above the nose of stair tread. End shall be returned to wall. The hand grip portion of handrail shall not be less than 1 1/4" nor more than 2" in cross-sectional dimension, and provide 1 1/2" clearance from wall. Stair handrails to be continuous without interruption by newel posts or other obstructions.
- Handrails and guardrails shall be designed to resist a concentrated load of 200lbs.
- Horiz. & vert. wood structural members used in exposed decks, balconies, porches, or any supporting moisture permeable floor or roof shall be pressure treated wood or material of natural resistance to decay.
- Provide one hour fire resistant construction 5/8" type "X" gyp. board at underside of soffit, on walls of the enclosed usable space beneath stairway, and on walls separating residential spaces from attached garages. Provide fire blocking in concealed spaces at top and bottom of stair stringers and along stringers in between the studs within the walls whether finished or unfinished.
- All walls, floors and ceilings opened during construction to be insulated w/ min. R-13 (walls) or min. R-19 (floors & ceilings).
- Egress windows requirements: 5.7 sf min. net opening area, 24" min. net opening height, 20" min. net opening width & sill height 44" max. above finished floor.
- Provide min. 30" wide space and min. 24" clear in front of each toilet.
- Shower compartments to have a min. finished interior area of 1,042 in², and to be able to encompass a 30" dia. circle at the top of the shower threshold and up to 70" above drain. Provide showers and tub-shower combinations with individual control valves of the pressure balance or thermostatic mixing valve type.
- Smoke and carbon monoxide detectors shall be interconnected, shall receive their primary power from the building wiring when such wiring is served from a commercial source and shall be equipped with a battery backup. The detector shall emit a signal when the batteries are low. Provide smoke detectors: (1) inside and immediately outside all bedrooms and rooms that may be used for sleeping i.e., dens, offices, etc.; (2) above top of stairs; (3) at least one at ground floor; (4) at least one at every level including basements. Provide carbon monoxide detectors: (1) inside and immediately outside all bedrooms and rooms that may be used for sleeping i.e., dens, offices, etc.; (2) at least one at every level including basements.

Legend:

- Existing Wall/Area to Remove
- New Wall
- Existing Wall to Remain
- Added Gross Floor Area
- Modified Floor/Roof Area
- Property Line
- Easement / Setback Line
- Center or Grid Line
- Hidden or foreground Line

▲ E2
A4.1
Exterior Elevation
Drawing No.
Sheet No.

▲ LS 1
A5.1
Section
Drawing No.
Sheet No.

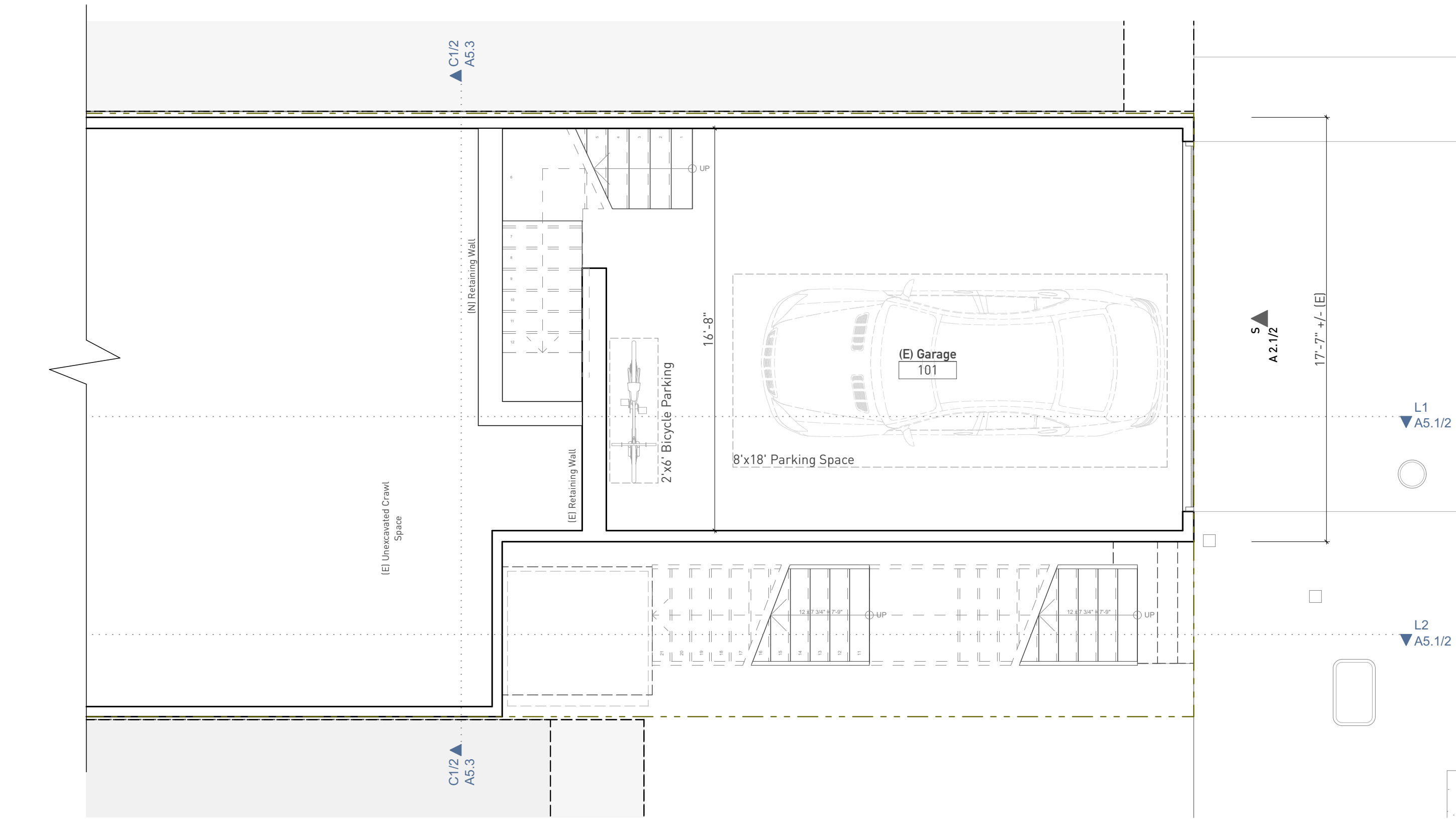
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A8.1
Interior Elevation
Drawing No.
Sheet No.

3
A6.1
Detail
Drawing No.
Sheet No.

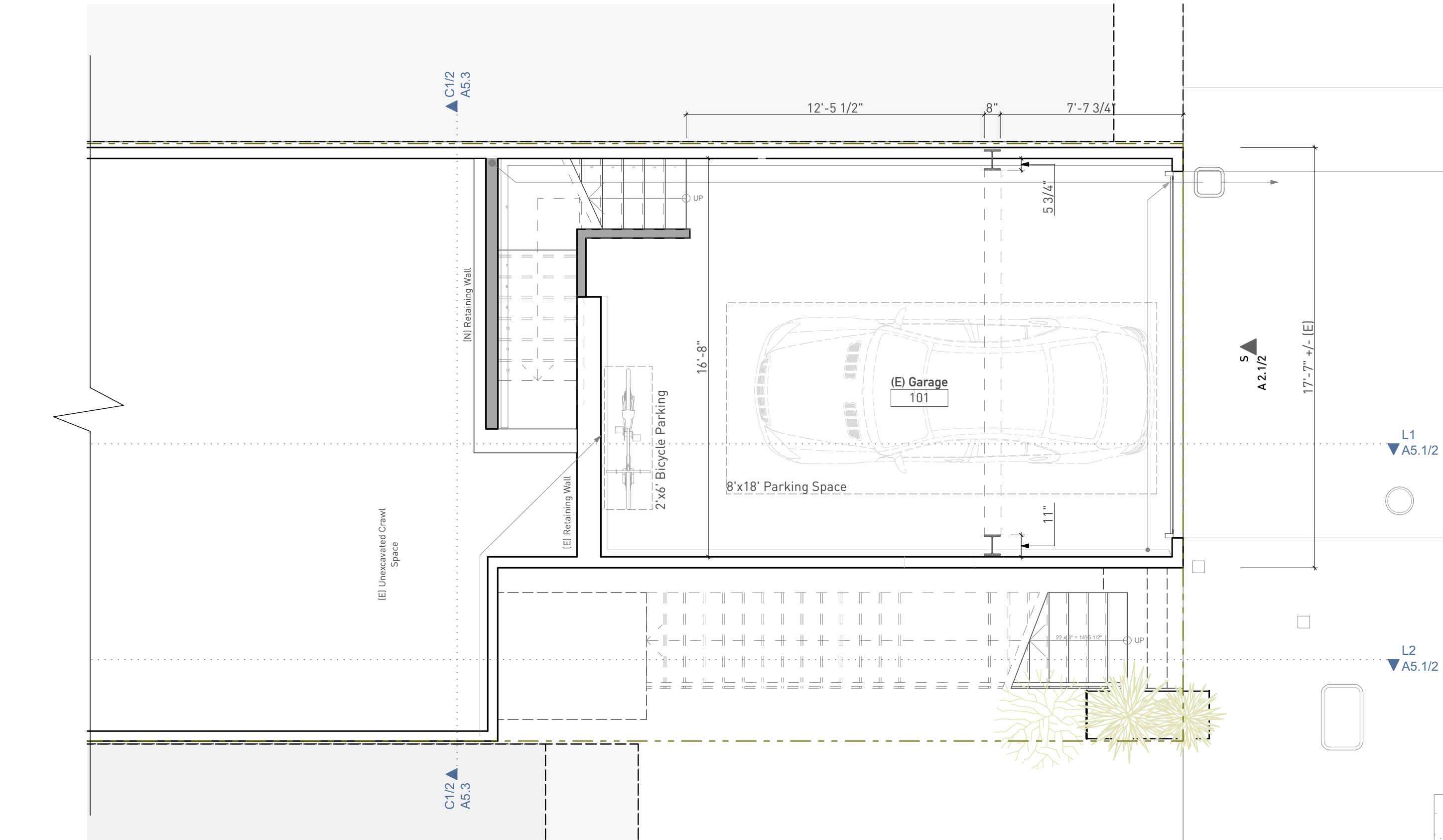
103
Room Number

Revision No.
-Cloud Around Revision

1



Existing First Floor (Garage Level) Plan
Scale: 1/4" = 1'-0"



Proposed First Floor (Garage Level) Plan
Scale: 1/4" = 1'-0"

Terry & Terry Architecture LLP

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terryandterryarchitecture.com

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Bodden/Howard
Residence

428 Hill Street
San Francisco
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NOT FOR CONSTRUCTION

Description

Existing & Proposed First Floor
(Garage Level) Plans

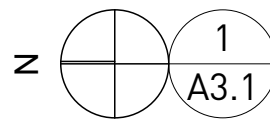
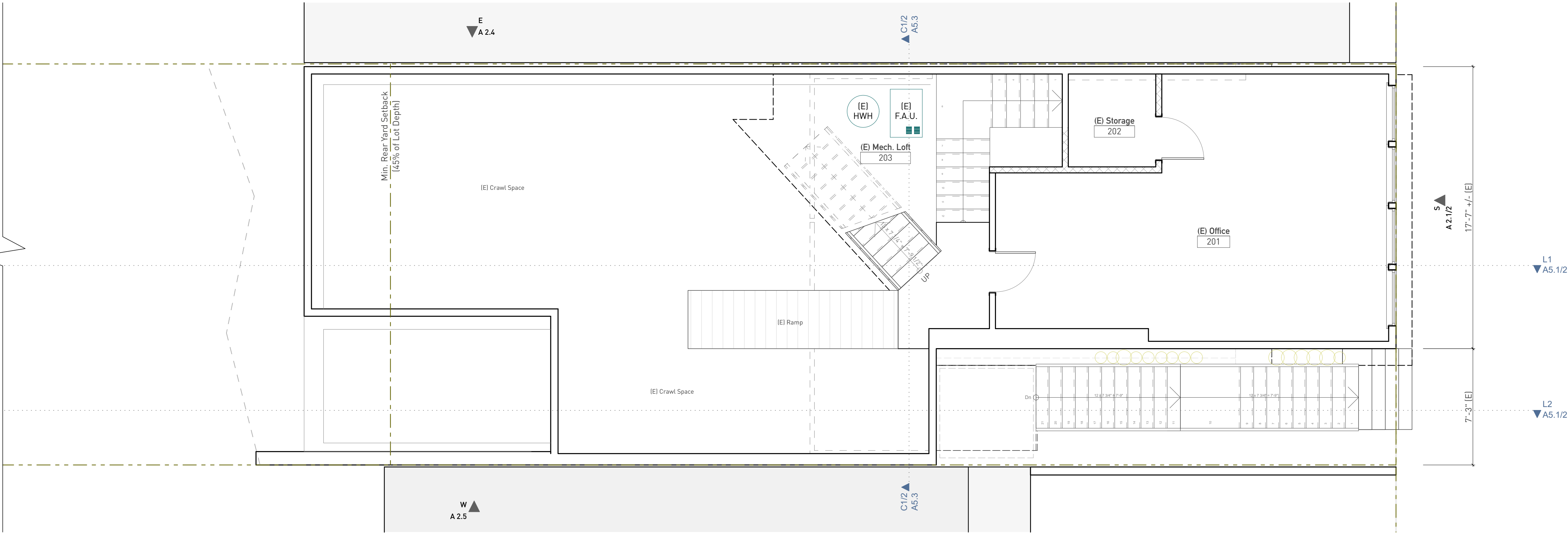
Drawn By AT & NH
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Sheet A3.0

Floor Plan General Notes

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- Guardrails and guardwalls shall be a min. height of 42". Rails or openings to be spaced such that a 4" dia. sphere can not pass through. Guardrails shall be provided when floor (walking) surface is greater than 30" above grade. May be less if noted or shown on drawings.
- Handrails shall be 34" to 38" above the nose of stair tread. End shall be returned to wall. The hand grip portion of handrail shall not be less than 1 1/4" nor more than 2" in cross-sectional dimension, and provide 1 1/2" clearance from wall. Stair handrails to be continuous without interruption by newel posts or other obstructions.
- Handrails and guardrails shall be designed to resist a concentrated load of 200lbs.
- Horiz. & vert. wood structural members used in exposed decks, balconies, porches, or any supporting moisture permeable floor or roof shall be pressure treated wood or material of natural resistance to decay.
- Provide one hour fire resistant construction 5/8" type "X" gyp. board at underside of soffit, on walls of the enclosed usable space beneath stairway, and on walls separating residential spaces from attached garages. Provide fire blocking in concealed spaces at top and bottom of stair stringers and along stringers in between the studs within the walls whether finished or unfinished.
- All walls, floors and ceilings opened during construction to be insulated w/ min. R-13 (walls) or min. R-19 (floors & ceilings).
- Egress windows requirements: 5.7 sf min. net opening area, 24" min. net opening height, 20" min. net opening width & sill height 44" max. above finished floor.
- Provide min. 30" wide space and min. 24" clear in front of each toilet.
- Shower compartments to have a min. finished interior area of 1,042 in², and to be able to encompass a 30" dia. circle at the top of the shower threshold and up to 70" above drain. Provide showers and tub-shower combinations with individual control valves of the pressure balance or thermostatic mixing valve type.
- Smoke and carbon monoxide detectors shall be interconnected, shall receive their primary power from the building wiring when such wiring is served from a commercial source and shall be equipped with a battery backup. The detector shall emit a signal when the batteries are low. Provide smoke detectors: (1) inside and immediately outside all bedrooms and rooms that may be used for sleeping i.e., dens, offices, etc.; (2) above top of stairs; (3) at least one at ground floor; (4) at least one at every level including basements. Provide carbon monoxide detectors: (1) inside and immediately outside all bedrooms and rooms that may be used for sleeping i.e., dens, offices, etc.; (2) at least one at every level including basements.



Existing Second Floor Plan

Scale: 1/4" = 1'-0"

Legend:

- Existing Wall/Area to Remove
- New Wall
- Existing Wall to Remain
- Added Gross Floor Area
- Modified Floor/Roof Area
- Property Line
- Easement / Setback Line
- Center or Grid Line
- Hidden or foreground Line

Exterior Elevation
Drawing No.
Sheet No.

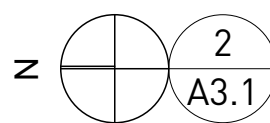
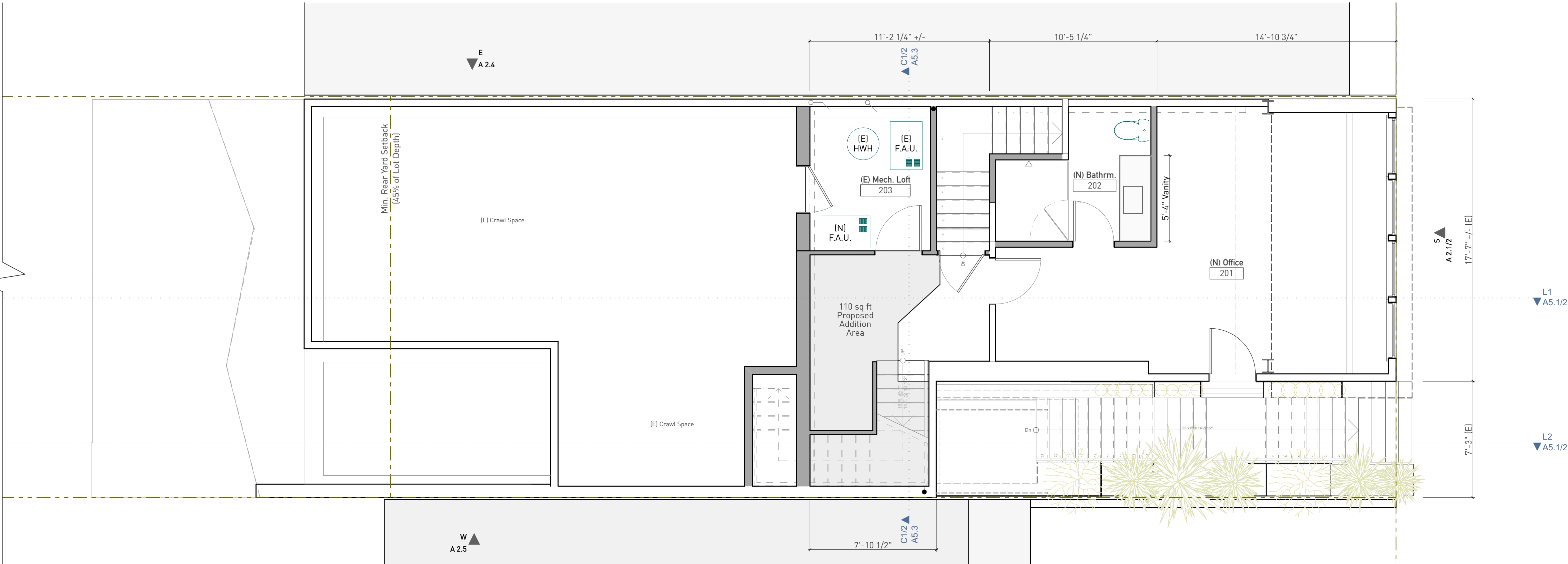
Section
Drawing No.
Sheet No.

Interior Elevation
Drawing No.
Sheet No.

Detail
Drawing No.
Sheet No.

Room Number

Revision No.
-Cloud Around Revision



Proposed Second Floor Plan

Scale: 1/4" = 1'-0"

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Bodden/Howard
Residence
428 Hill Street
San Francisco
CA 94114

NOT FOR CONSTRUCTION

Description

Existing & Proposed Second
Floor Plans

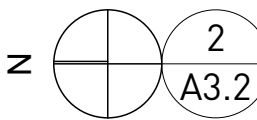
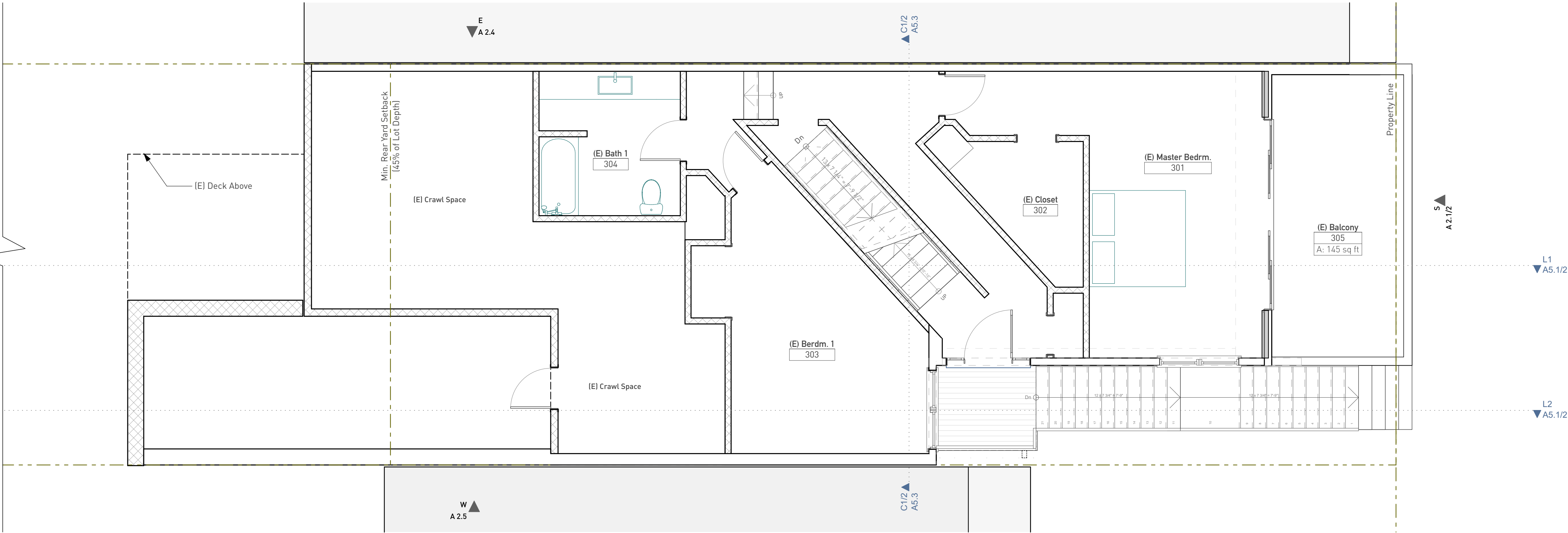
Drawn By AT & NH
Checked By IT
Scale As Noted

Date	Issues and Revisions
3/05/2016	As-Built
12/14/2016	Prelim. Estimating
3/23/2017	Pre-Application Neighborhood Meeting
5/04/2017	Planning/Variance Application
7/05/2017	Planning/Variance Set Revisions

Sheet A3.1

Floor Plan General Notes

1. All dimensions shown on plan are to face of framing (face of stud) unless otherwise noted.
2. The term "Verify in field" (V.I.F.) refers to a dimension or condition which needs to be verified or determined before or during construction by the contractor. A dimension which has a +/- V.I.F. at the end indicates a dimension that can only be determined during construction.
3. Remove existing windows/doors as shown on plan. Upgrade, patch, repair as required to match existing adjacent surface.
4. Guardrails and guardwalls shall be a min. height of 42". Rails or openings to be spaced such that a 4" dia. sphere can not pass through. Guardrails shall be provided when floor (walking) surface is greater than 30" above grade. May be less if noted or shown on drawings.
5. Handrails shall be 34" to 38" above the nose of stair tread. End shall be returned to wall. The hand grip portion of handrail shall not be less than 1 1/4" nor more than 2" in cross-sectional dimension, and provide 1 1/2" clearance from wall. Stair handrails to be continuous without interruption by newel posts or other obstructions.
6. Handrails and guardrails shall be designed to resist a concentrated load of 200lbs.
7. Horiz. & vert. wood structural members used in exposed decks, balconies, porches, or any supporting moisture permeable floor or roof shall be pressure treated wood or material of natural resistance to decay.
8. Provide one hour fire resistant construction 5/8" type "X" gyp. board at underside of soffit, on walls of the enclosed usable space beneath stairway, and on walls separating residential spaces from attached garages. Provide fire blocking in concealed spaces at top and bottom of stair stringers and along stringers in between the studs within the walls whether finished or unfinished.
9. All walls, floors and ceilings opened during construction to be insulated w/ min. R-13 (walls) or min. R-19 (floors & ceilings).
10. Egress windows requirements: 5.7 sf min. net opening area, 24" min. net opening height, 20" min. net opening width & sill height 44" max. above finished floor.
11. Provide min. 30" wide space and min. 24" clear in front of each toilet.
12. Shower compartments to have a min. finished interior area of 1,042 in², and to be able to encompass a 30" dia. circle at the top of the shower threshold and up to 70" above drain. Provide showers and tub-shower combinations with individual control valves of the pressure balance or thermostatic mixing valve type.
13. Smoke and carbon monoxide detectors shall be interconnected, shall receive their primary power from the building wiring when such wiring is served from a commercial source and shall be equipped with a battery backup. The detector shall emit a signal when the batteries are low. Provide smoke detectors: (1) inside and immediately outside all bedrooms and rooms that may be used for sleeping i.e., dens, offices, etc.; (2) above top of stairs; (3) at least one at ground floor; (4) at least one at every level including basements. Provide carbon monoxide detectors: (1) inside and immediately outside all bedrooms and rooms that may be used for sleeping i.e., dens, offices, etc.; (2) at least one at every level including basements.



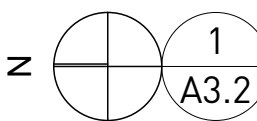
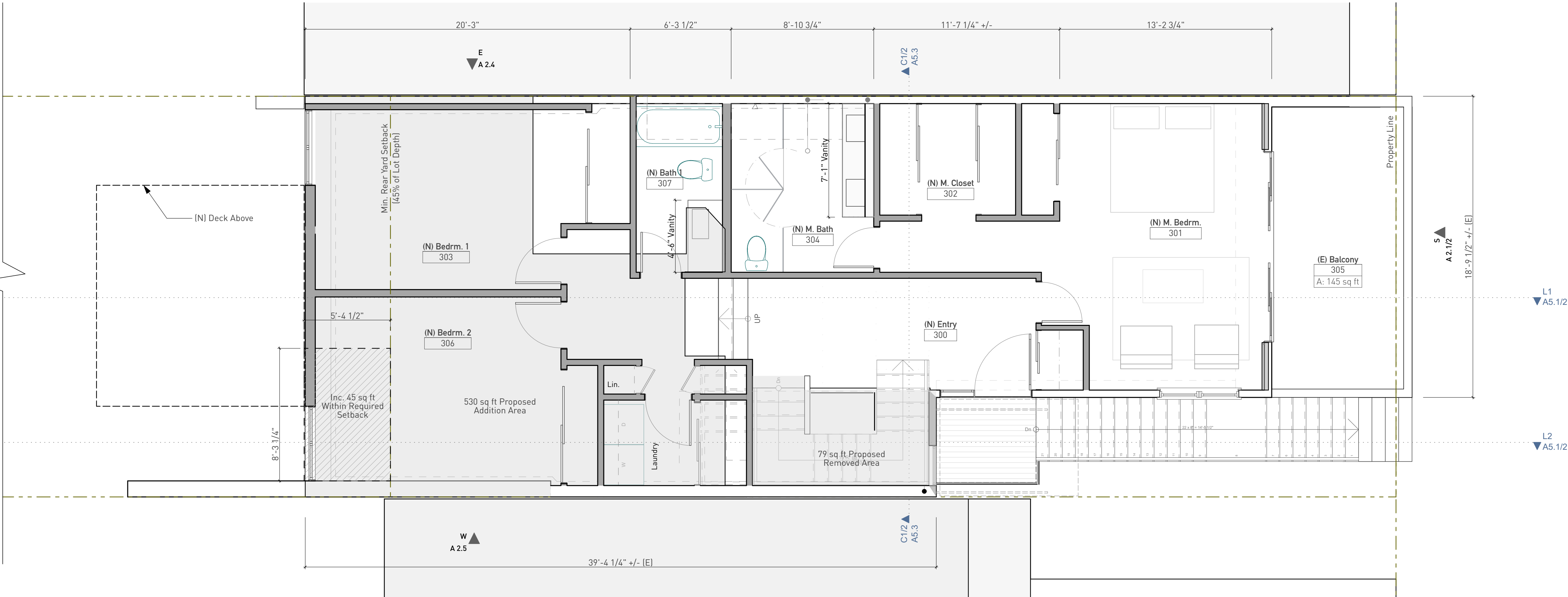
Existing Third Floor Plan

Scale: 1/4" = 1'-0"

Legend:

- Existing Wall/Area to Remove
- New Wall
- Existing Wall to Remain
- Added Gross Floor Area
- Modified Floor/Roof Area
- Property Line
- Easement / Setback Line
- Center or Grid Line
- Hidden or foreground Line

- Exterior Elevation
Drawing No. A4.1
Sheet No.
- Section
Drawing No. A5.1
Sheet No.
- Interior Elevation
Drawing No. A8.1
Sheet No.
- Detail
Drawing No. A6.1
Sheet No.
- Room Number
103
- Revision No.
-Cloud Around Revision
1



Proposed Third Floor Plan

Scale: 1/4" = 1'-0"

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Description
Existing & Proposed Third Floor
Plans

Drawn By	AT & NH
Checked By	IT
Scale	As Noted
Date	Issues and Revisions
3/05/2016	As-Built
12/14/2016	Prelim. Estimating
3/23/2017	Pre-Application Neighborhood Meeting
5/04/2017	Planning/Variance Application
7/05/2017	Planning/Variance Set Revisions

Sheet A3.2

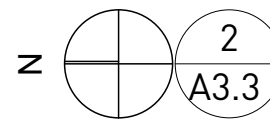
Floor Plan General Notes

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Legend:

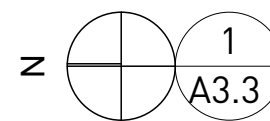
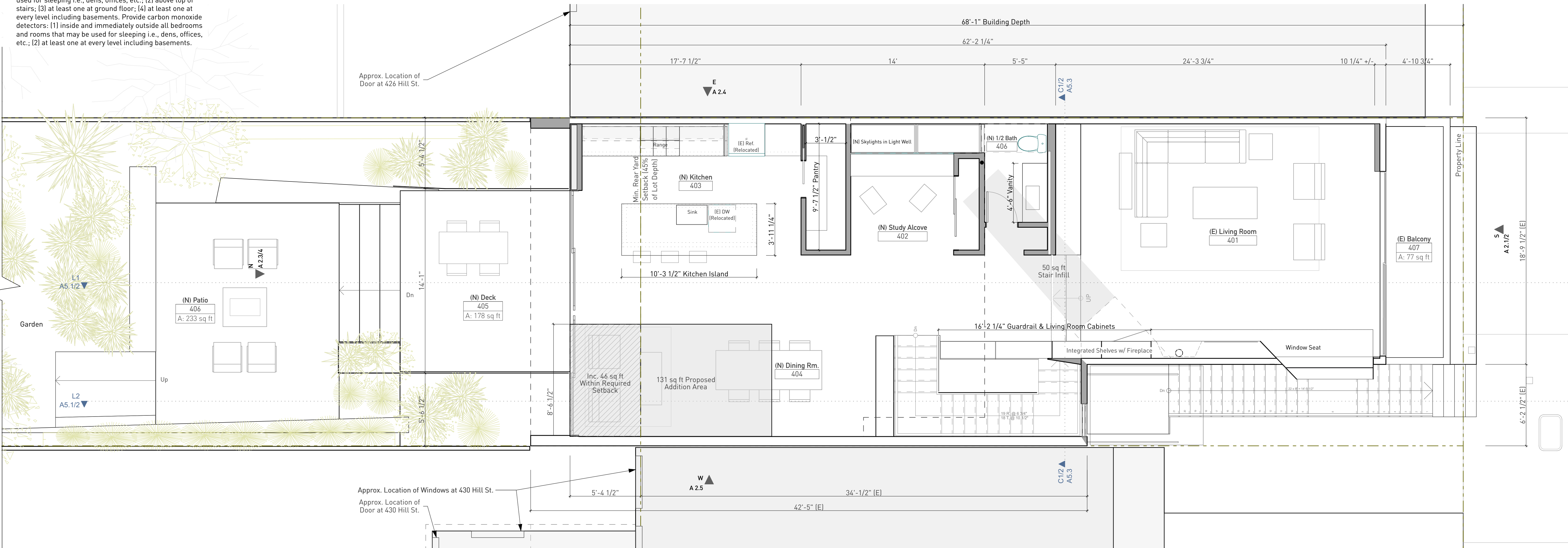
- Existing Wall/Area to Remove
- New Wall
- Existing Wall to Remain
- Added Gross Floor Area
- Modified Floor/Roof Area
- Property Line
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- Center or Grid Line
- Hidden or foreground Line

- Exterior Elevation Drawing No. Sheet No.
- Section Drawing No. Sheet No.
- Interior Elevation Drawing No. Sheet No.
- Detail Drawing No. Sheet No.
- Room Number
- Revision No. -Cloud Around Revision



Existing Fourth Floor Plan

Scale: 1/4" = 1'-0"



Proposed Fourth Floor Plan

Scale: 1/4" = 1'-0"

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Bodden/Howard
Residence
428 Hill Street
San Francisco
CA 94114

NOT FOR CONSTRUCTION

Description

Existing & Proposed Fourth Floor
Plans

Drawn By AT & NH
Checked By IT
Scale As Noted

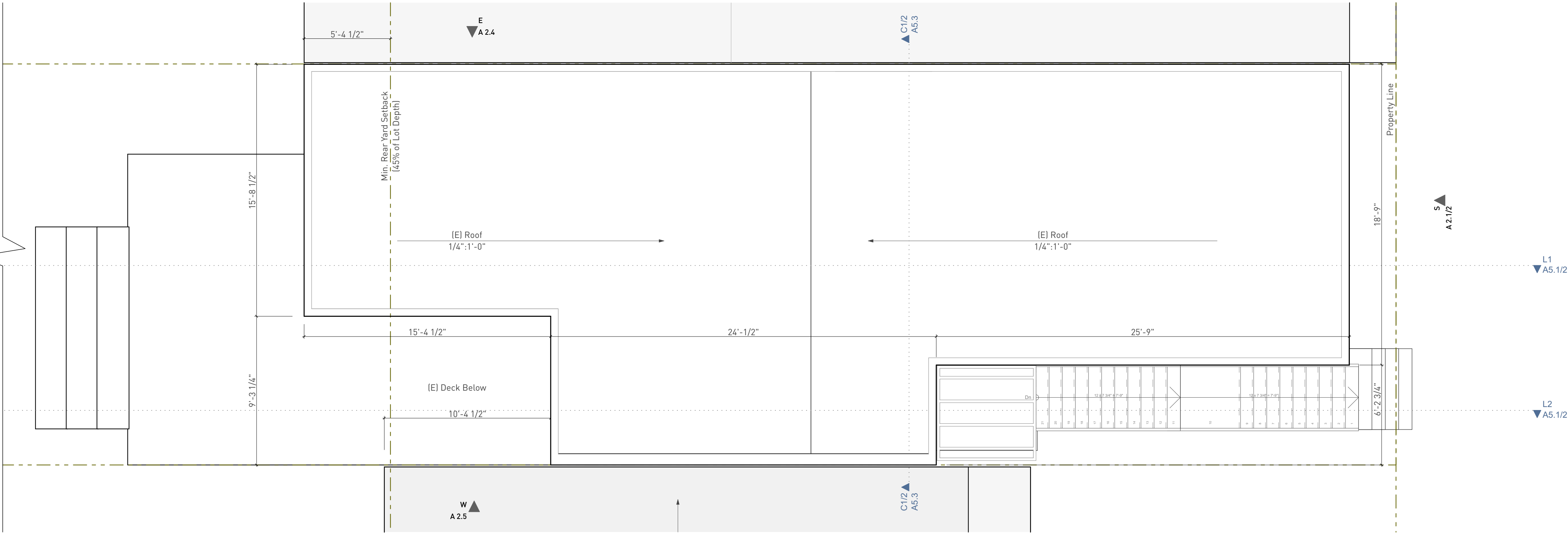
Date Issues and Revisions

3/05/2016	As-Built
12/14/2016	Prelim. Estimating
3/23/2017	Pre-Application Neighborhood Meeting
5/04/2017	Planning/Variance Application
7/05/2017	Planning/Variance Set Revisions

Sheet A3.3

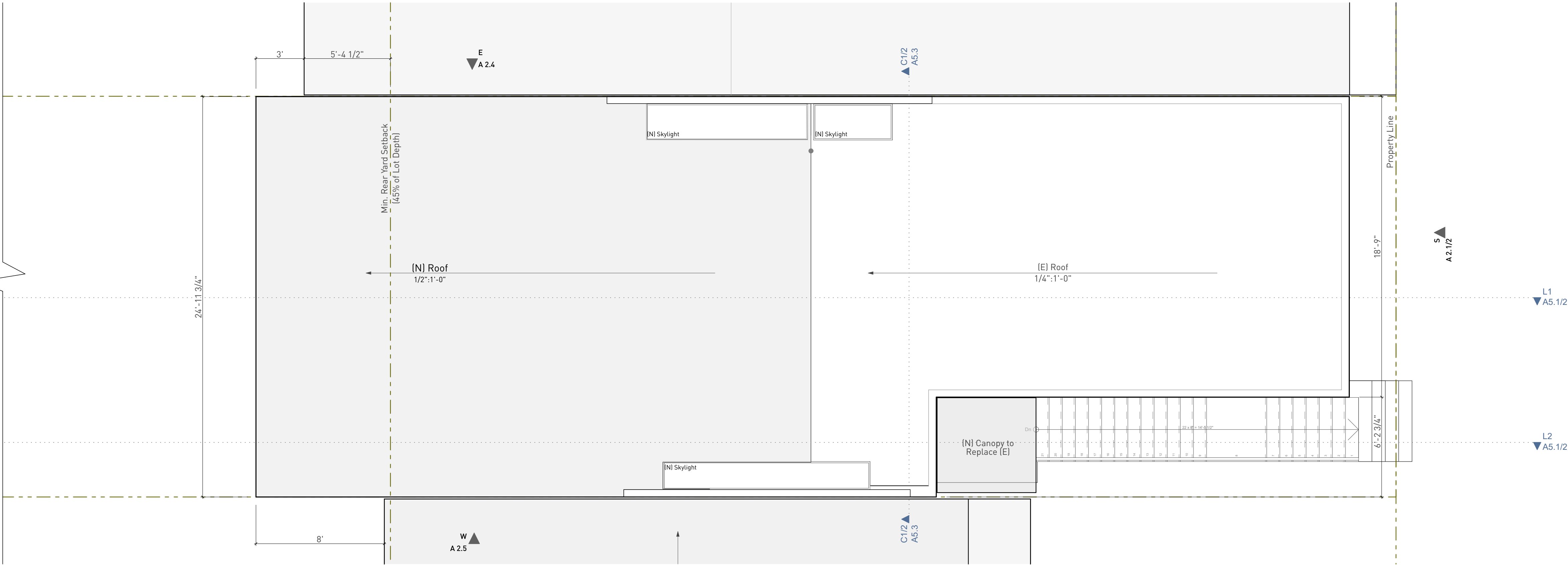
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Existing Roof Plan

Scale: 1/4" = 1'-0"



Proposed Roof Plan

Scale: 1/4" = 1'-0"

Legend:

- Existing Wall/Area to Remove
- New Wall
- Existing Wall to Remain
- Added Gross Floor Area
- Modified Floor/Roof Area
- Property Line
- Easement / Setback Line
- Center or Grid Line
- Hidden or foreground Line
- Exterior Elevation Drawing No. Sheet No.
- Section Drawing No. Sheet No.
- Interior Elevation Drawing No. Sheet No.
- Detail Drawing No. Sheet No.
- Room Number
- Revision No. -Cloud Around Revision

Bodden/Howard Residence
428 Hill Street
San Francisco
CA 94114

NOT FOR CONSTRUCTION

Description

Existing & Proposed Roof Plans

Drawn By AT & NH
Checked By IT
Scale As Noted

Date	Issues and Revisions
3/05/2016	As-Built
12/14/2016	Prelim. Estimating
3/23/2017	Pre-Application Neighborhood Meeting
5/04/2017	Planning/Variance Application
7/05/2017	Planning/Variance Set Revisions

Sheet A3.4



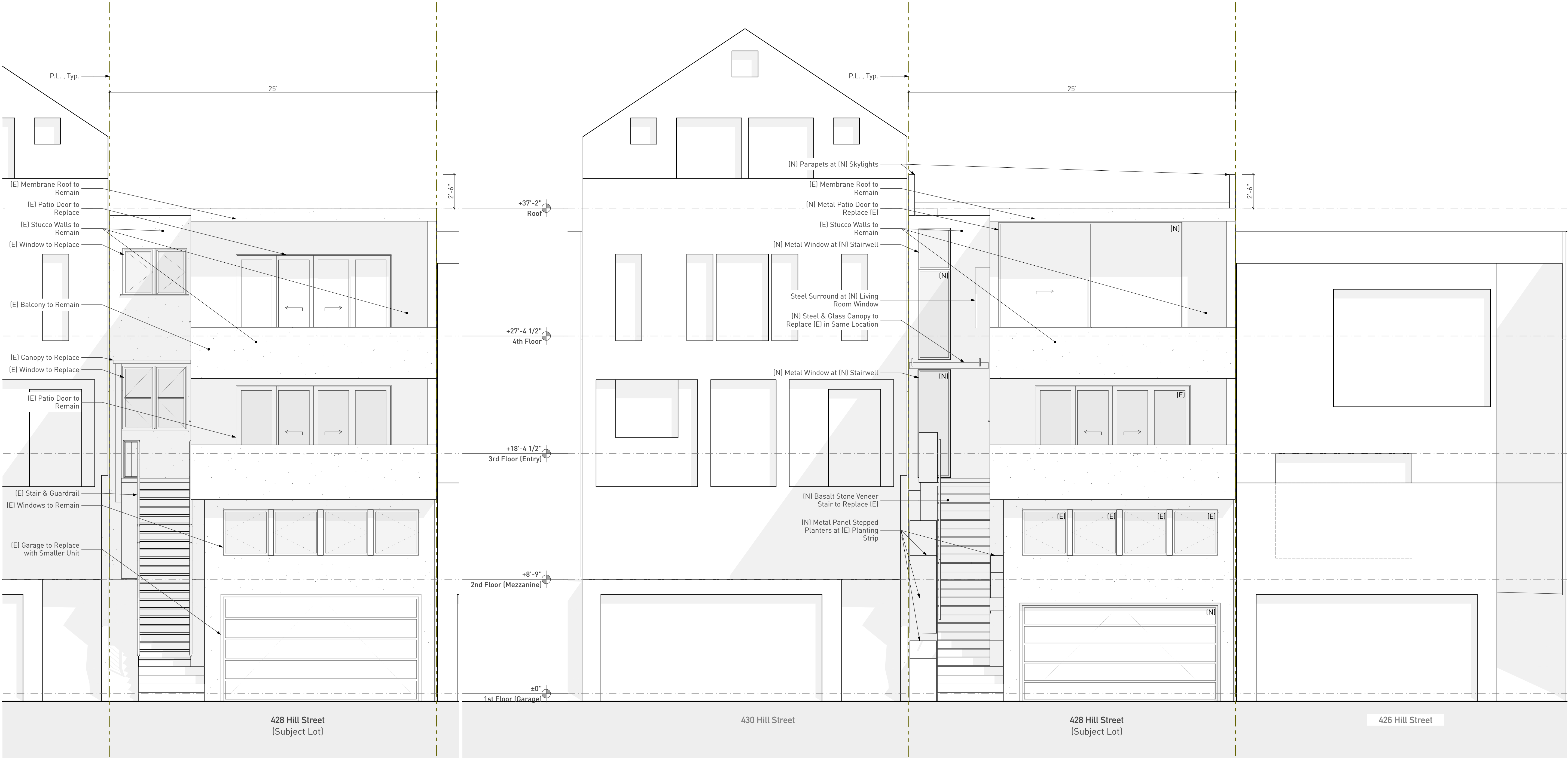
Bodden/Howard
Residence
428 Hill Street
San Francisco
CA 94114

NOT FOR CONSTRUCTION

Description
Existing and Proposed South
(Street) Elevations

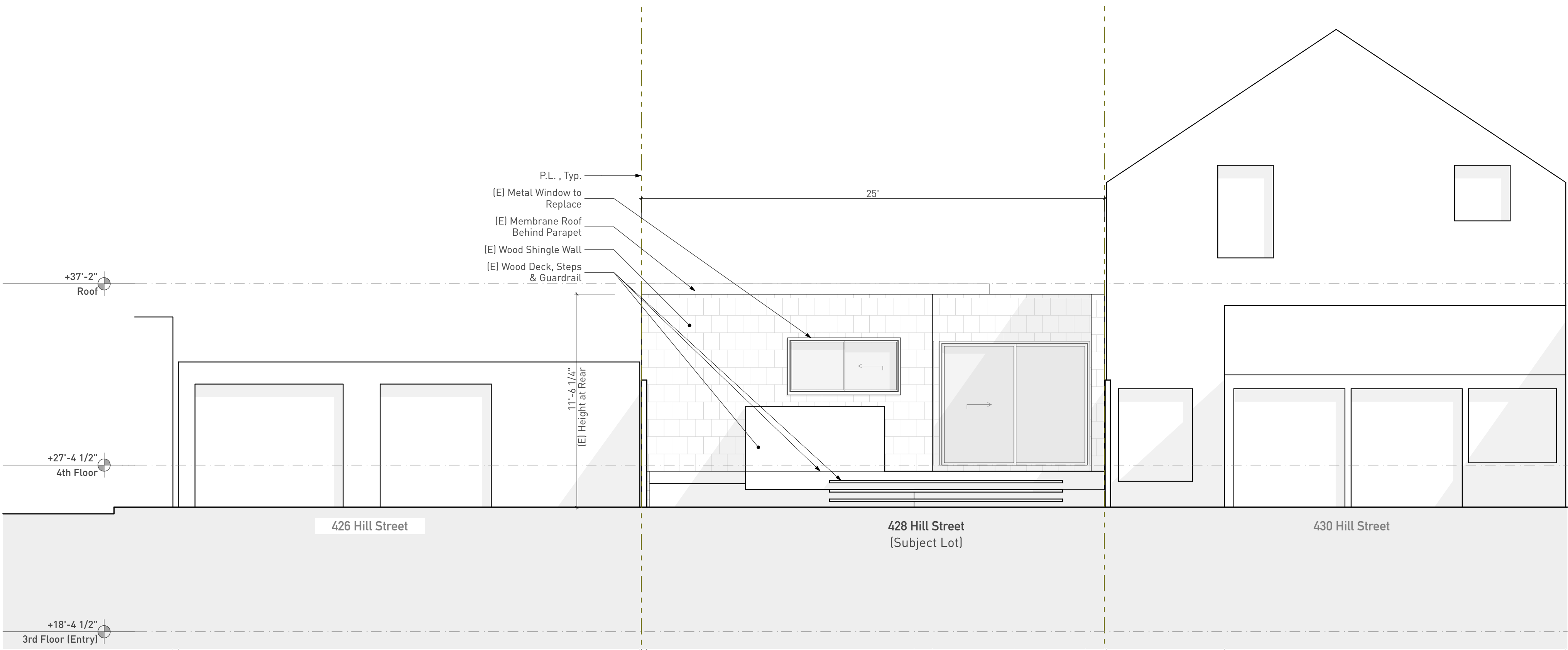
Drawn By AT & NH
Checked By IT
Scale As Noted
Date Issues and Revisions

3/05/2016 As-Built
12/14/2016 Prelim. Estimating
3/23/2017 Pre-Application Neighborhood Meeting
5/04/2017 Planning/Variance Application
7/05/2017 Planning/Variance Set Revisions

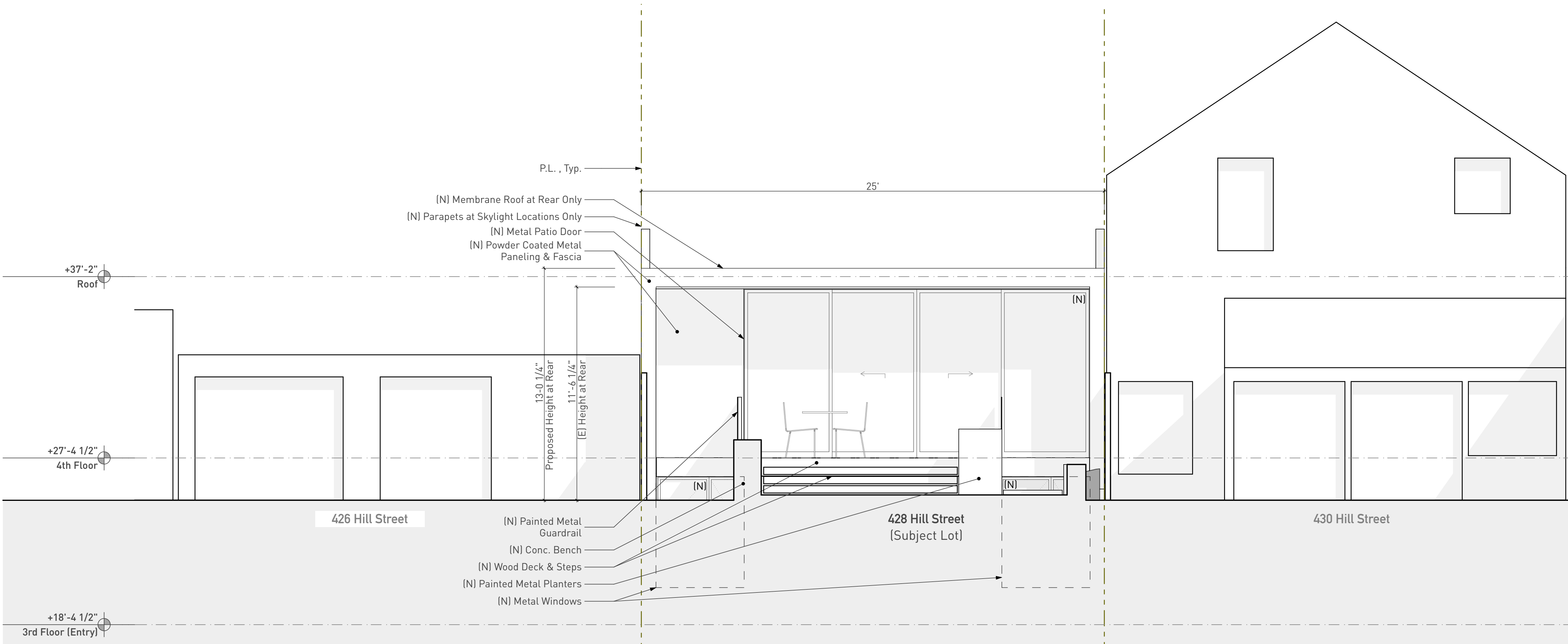


1 Existing South (Street) Elevation
A4.1 Scale: 1/4" = 1'-0"

2 Proposed South (Street) Elevation
A4.1 Scale: 1/4" = 1'-0"



1
A4.2 Existing North (Rear) Elevation
Scale: 1/4" = 1'-0"



2
A4.2 Proposed North (Rear) Elevation
Scale: 1/4" = 1'-0"



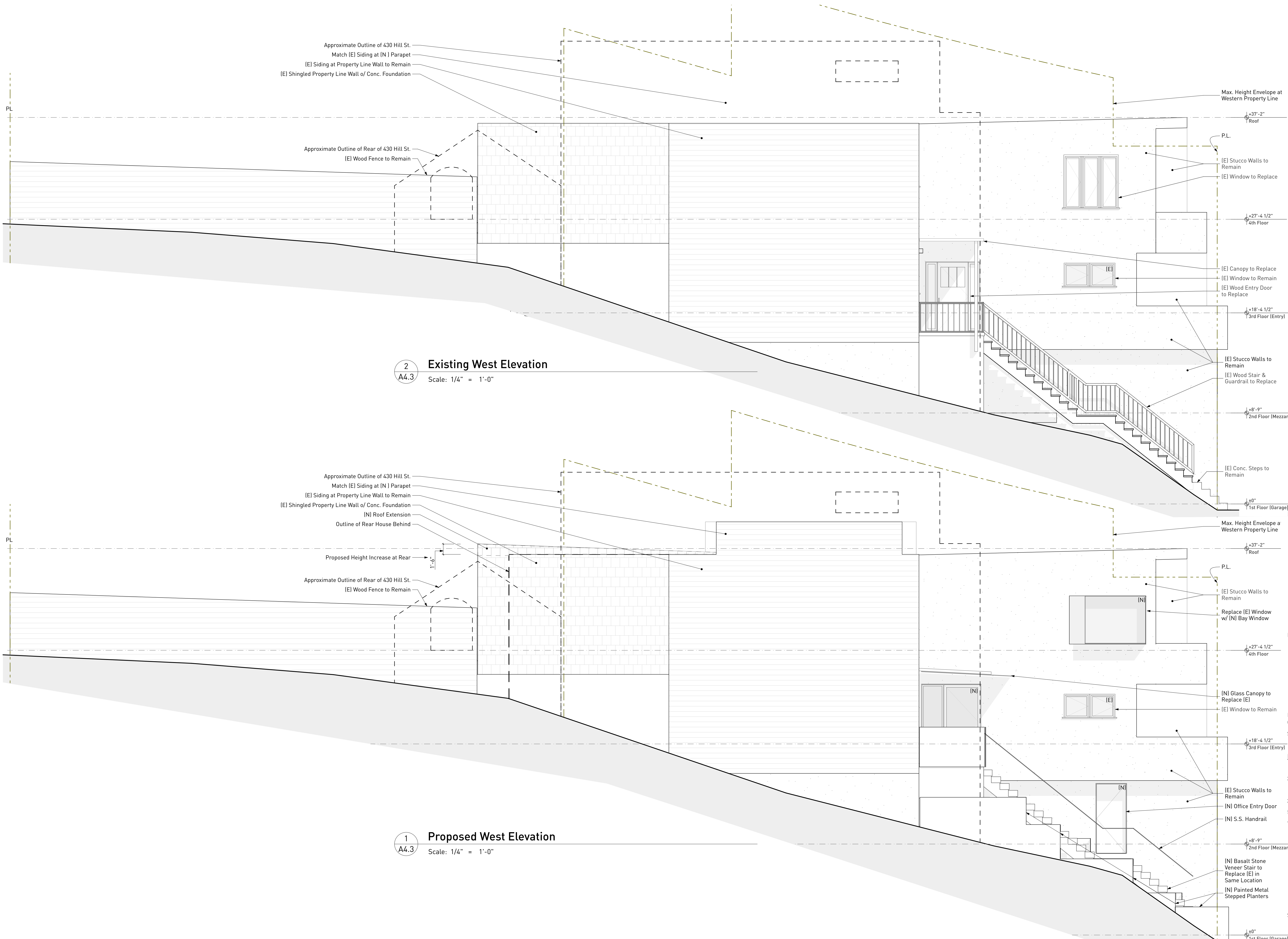
Bodden/Howard
Residence
428 Hill Street
San Francisco
CA 94114

NOT FOR CONSTRUCTION

Description
Existing and Proposed North
(Rear) Elevations

Drawn By AT & NH
Checked By IT
Scale As Noted

Date	Issues and Revisions
3/05/2016	As-Built
12/14/2016	Prelim. Estimating
3/23/2017	Pre-Application Neighborhood Meeting
5/04	Application
7/01	Final Revisions



Approximate Outline of 430 Hill St.
Match (E) Siding at (N) Parapet
(E) Siding at Property Line Wall to Remain
(E) Shingled Property Line Wall o/ Conc. Foundation

Approximate Outline of Rear of 430 Hill St.
(E) Wood Fence to Remain

Approximate Outline of 430 Hill St.
Match (E) Siding at (N) Parapet
(E) Siding at Property Line Wall to Remain
(E) Shingled Property Line Wall o/ Conc. Foundation
(N) Roof Extension
Outline of Rear House Behind

Proposed Height Increase at Rear
1'-6"

Approximate Outline of Rear of 430 Hill St.
(E) Wood Fence to Remain

Max. Height Envelope at Western Property Line
±37'-2"
Roof

P.L.

(E) Stucco Walls to Remain
(E) Window to Replace

±27'-4 1/2"
4th Floor

(E) Canopy to Replace
(E) Window to Remain
(E) Wood Entry Door to Replace

±18'-4 1/2"
3rd Floor (Entry)

(E) Stucco Walls to Remain
(E) Wood Stair & Guardrail to Replace

±8'-9"
2nd Floor (Mezzanine)

(E) Conc. Steps to Remain

±0"
1st Floor (Garage)

Max. Height Envelope at Western Property Line
±37'-2"
Roof

P.L.

(E) Stucco Walls to Remain
Replace (E) Window w/ (N) Bay Window

±27'-4 1/2"
4th Floor

(N) Glass Canopy to Replace (E)
(E) Window to Remain

±18'-4 1/2"
3rd Floor (Entry)

(E) Stucco Walls to Remain
(N) Office Entry Door
(N) S.S. Handrail

±8'-9"
2nd Floor (Mezzanine)

(N) Basalt Stone Veneer Stair to Replace (E) in Same Location
(N) Painted Metal Stepped Planters

±0"
1st Floor (Garage)

2
A4.3
Existing West Elevation
Scale: 1/4" = 1'-0"

1
A4.3
Proposed West Elevation
Scale: 1/4" = 1'-0"

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Bodden/Howard Residence
428 Hill Street
San Francisco
CA 94114

NOT FOR CONSTRUCTION

Description
Existing and Proposed West Elevations

Drawn By AT & NH
Checked By IT
Scale As Noted

Date	Issues and Revisions
3/05/2016	As-Built
12/14/2016	Prelim. Estimating
3/23/2017	Pre-Application Neighborhood Meeting
5/04/2017	Planning/Variance Application
7/05/2017	Planning/Variance Set Revisions

Sheet A4.3



Bodden/Howard
Residence
428 Hill Street
San Francisco
CA 94114

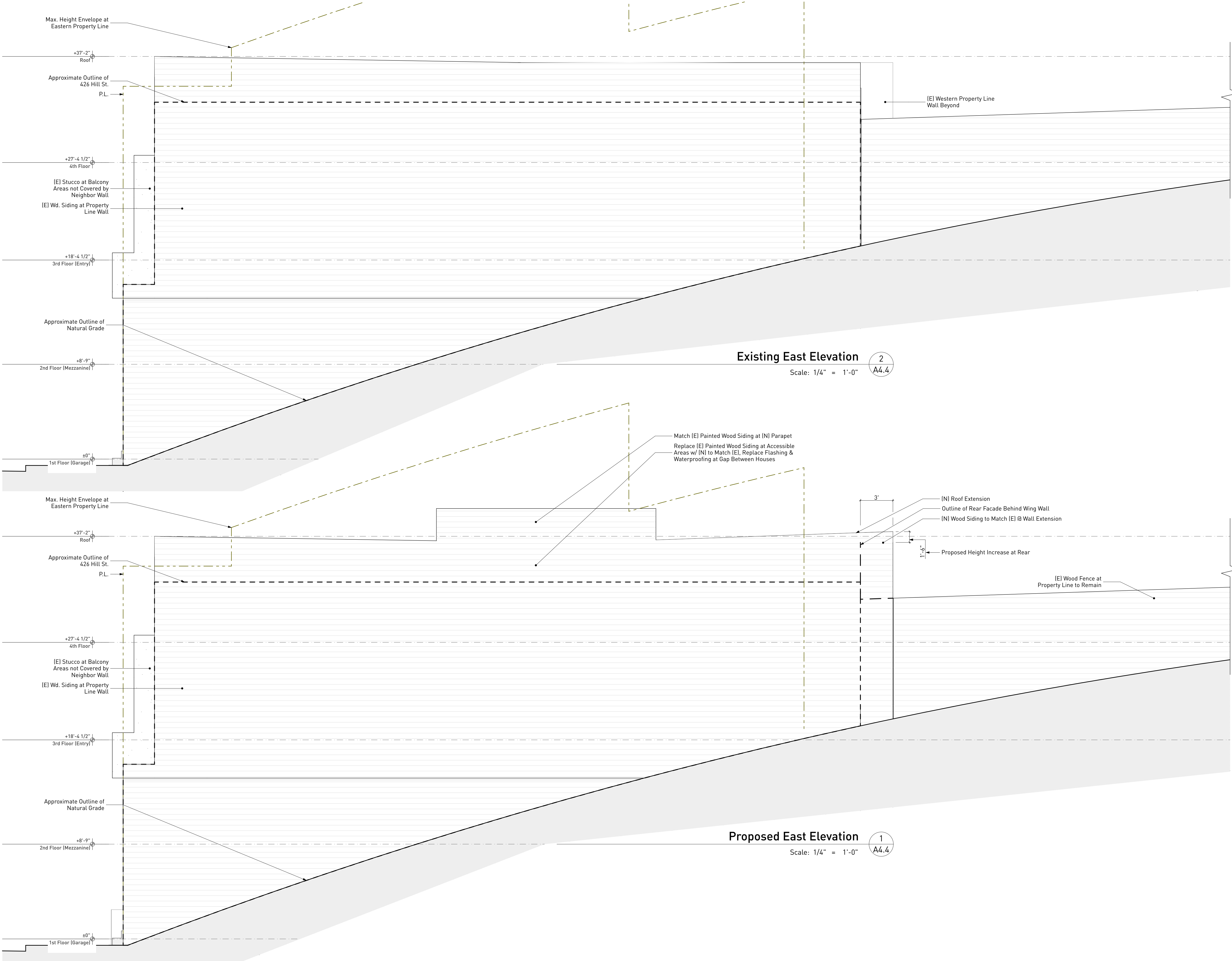
NOT FOR CONSTRUCTION

Description
Existing and Proposed East
Elevations

Drawn By AT & NH
Checked By IT
Scale As Noted

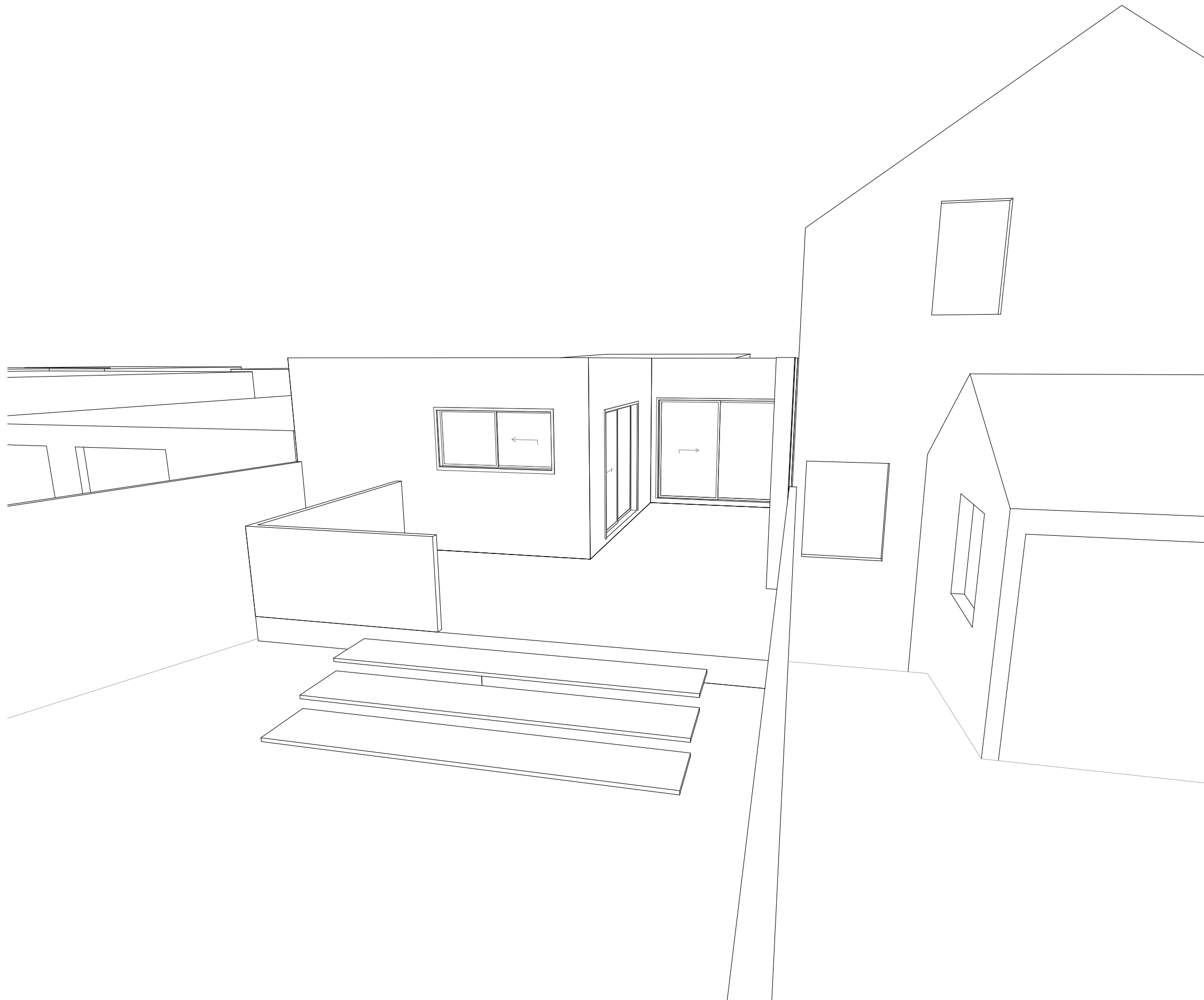
Date	Issues and Revisions
3/05/2016	As-Built
12/14/2016	Prelim. Estimating
3/23/2017	Pre-Application Neighborhood Meeting
5/04/2017	Planning/Variance Application
7/05/2017	Planning/Variance Set Revisions

Sheet A4.4





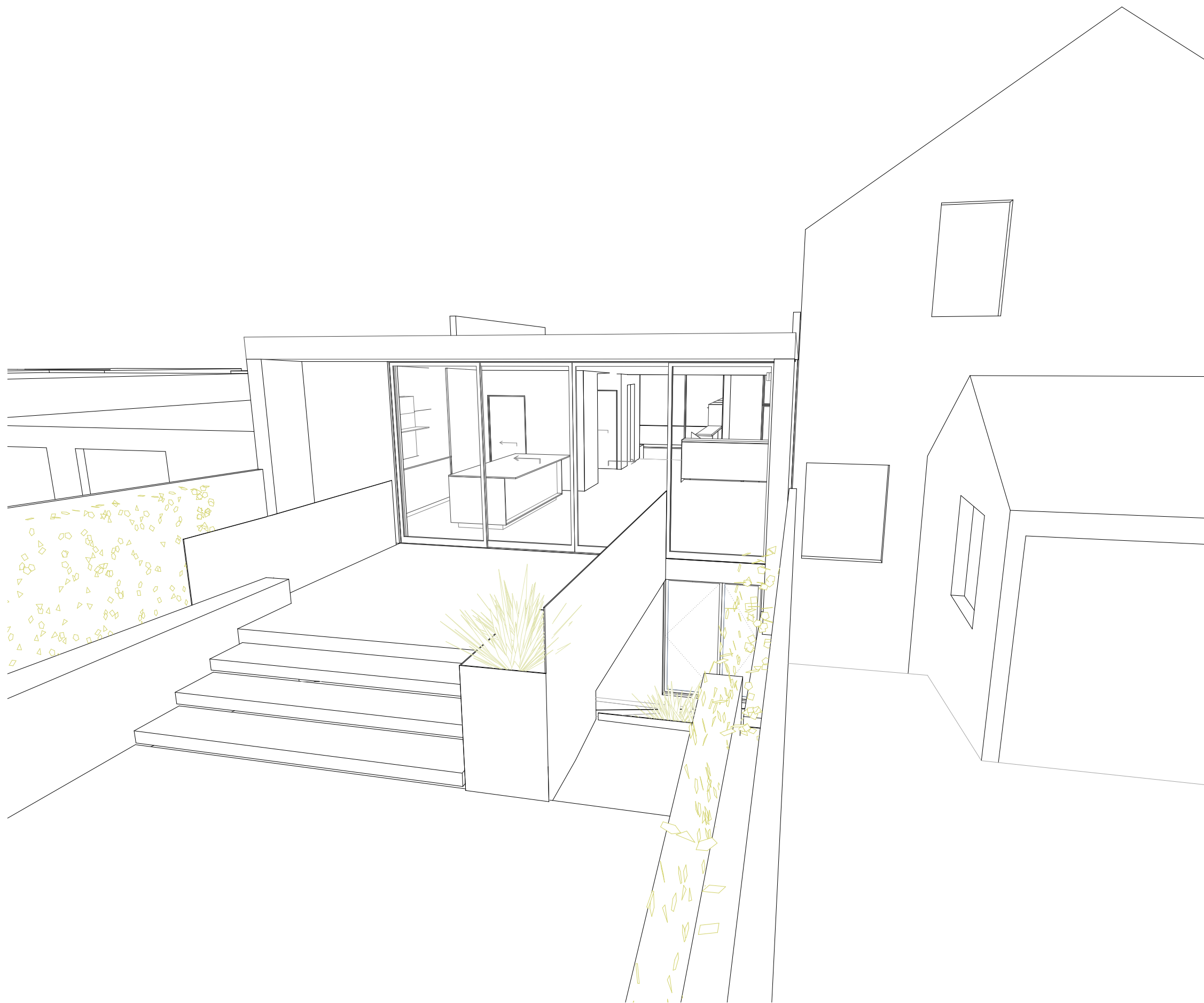
1
A4.5
Street Side View of Existing Conditions
Scale: 1:230.16



3
A4.5
Rear View of Existing Conditions
Scale: 1:230.16



2
A4.5
Street Side View of Proposed Conditions
Scale: 1:230.16



4
A4.5
Rear View of Proposed Conditions
Scale: 1:230.16



Bodden/Howard
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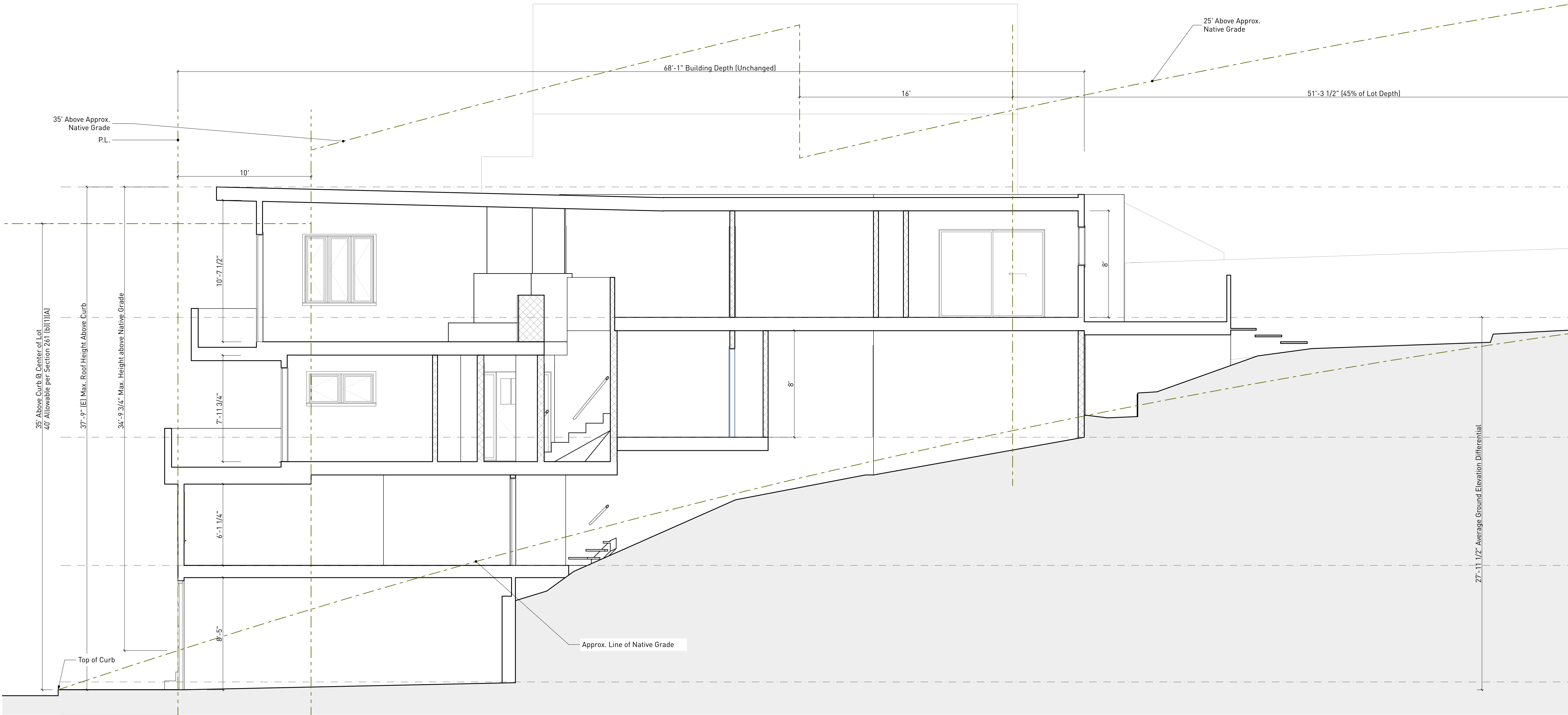
Description

3D renderings

Drawn By AT & NH
Checked By IT
Scale As Noted

Date Issues and Revisions

3/05/2016	As-Built
12/14/2016	Prelim. Estimating
3/23/2017	Pre-Application Neighborhood Meeting
5/04/2017	Planning/Variance Application
7/05/2017	Planning/Variance Set Revisions



2
A5.1

Existing Longitudinal Section at Center of Lot

Scale: 1/4" = 1'-0"

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Description

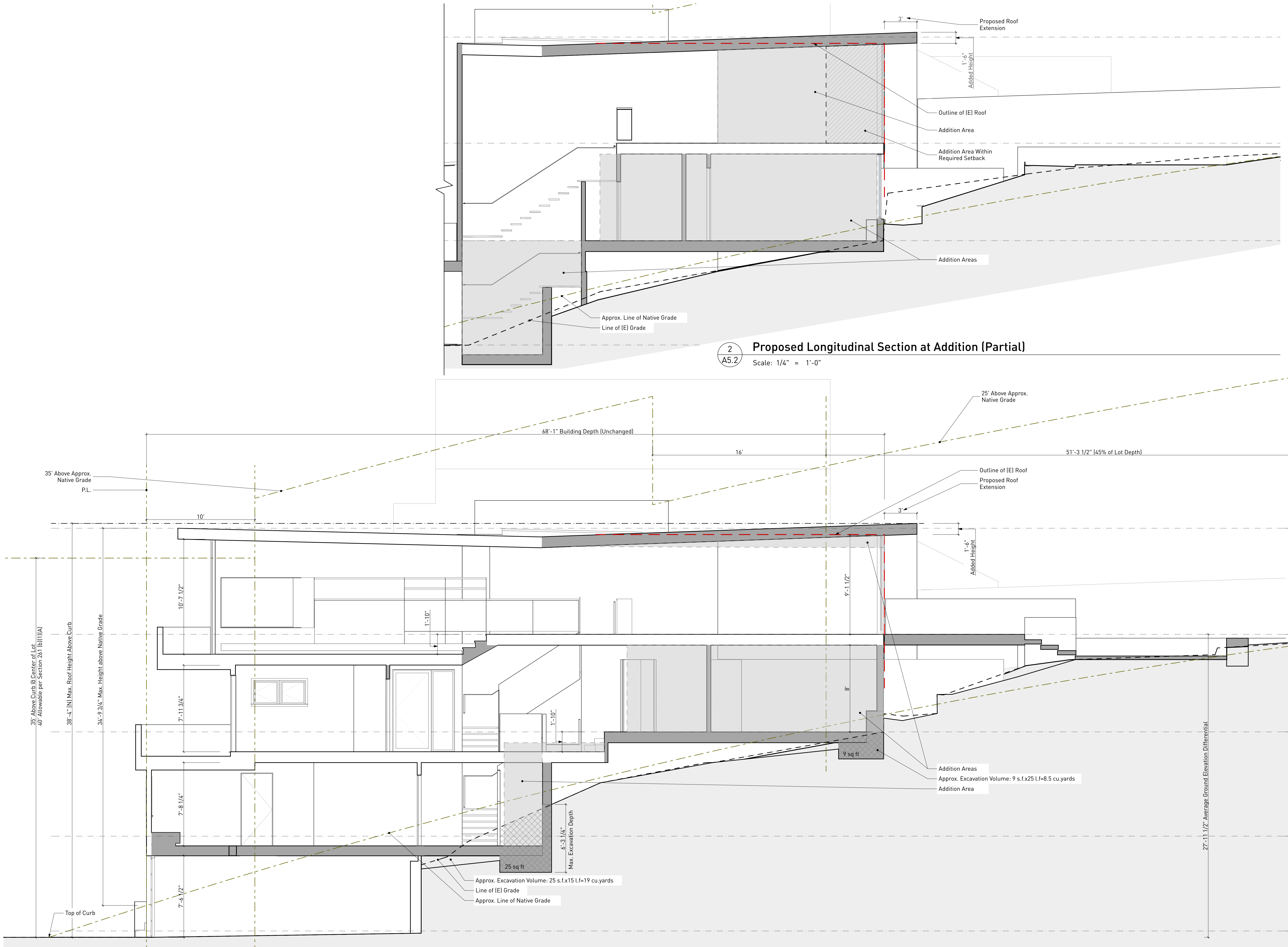
Existing Longitudinal Section

Drawn By AT & NH
Checked By IT
Scale As Noted

Date Issues and Revisions

3/05/2016 As-Built
12/14/2016 Prelim. Estimating
3/23/2017 Pre-Application Neighborhood Meeting
5/04/2017 Planning/Variance Application
7/05/2017 Planning/Variance Set Revisions

Sheet A5.1



Bodden/Howard
Residence
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San Francisco
CA 94114

NOT FOR CONSTRUCTION

Description
Proposed Longitudinal Section

Drawn By AT & NH
Checked By IT
Scale As Noted

Date Issues and Revisions

3/05/2016	As-Built
12/14/2016	Prelim. Estimating
3/23/2017	Pre-Application Neighborhood Meeting
5/04/2017	Planning/Variance Application
7/05/2017	Planning/Variance Set Revisions

Sheet A5.2



Bodden/Howard Residence

428 Hill Street
San Francisco
CA 94114

NOT FOR CONSTRUCTION

Description

Existing & Proposed Cross Section

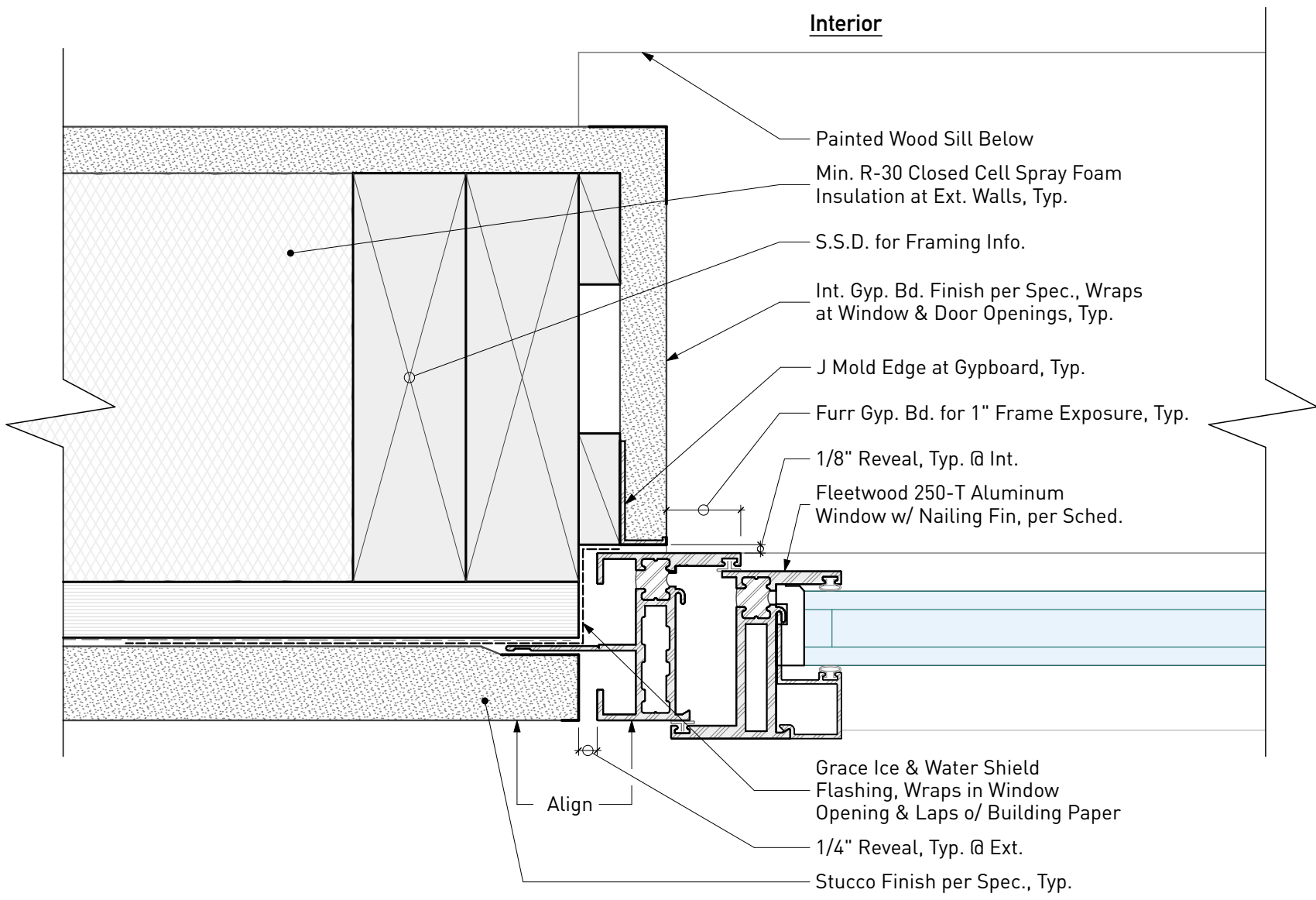
Drawn By AT & NH
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Scale As Noted

Date Issues and Revisions

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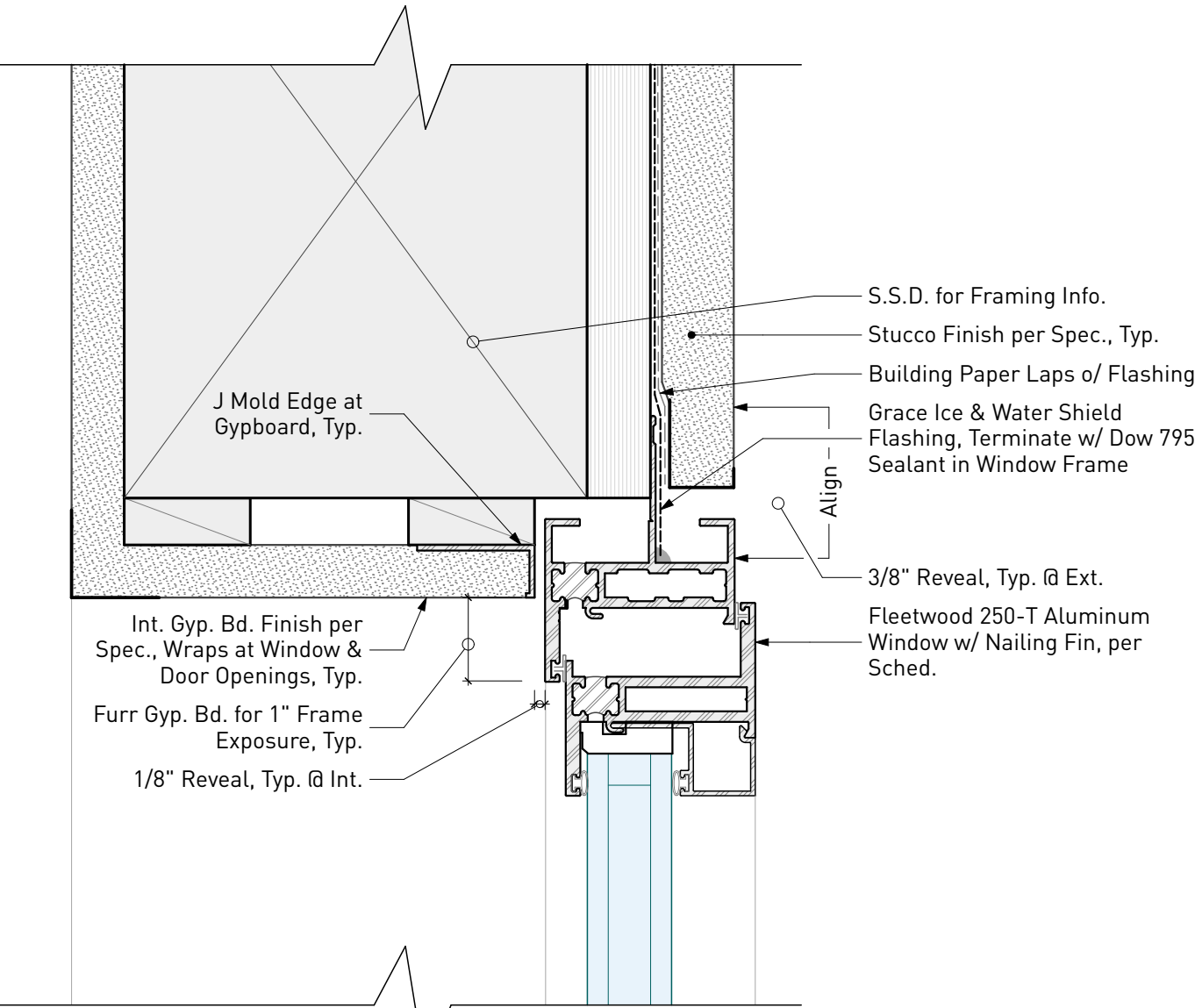
Sheet

A5.3



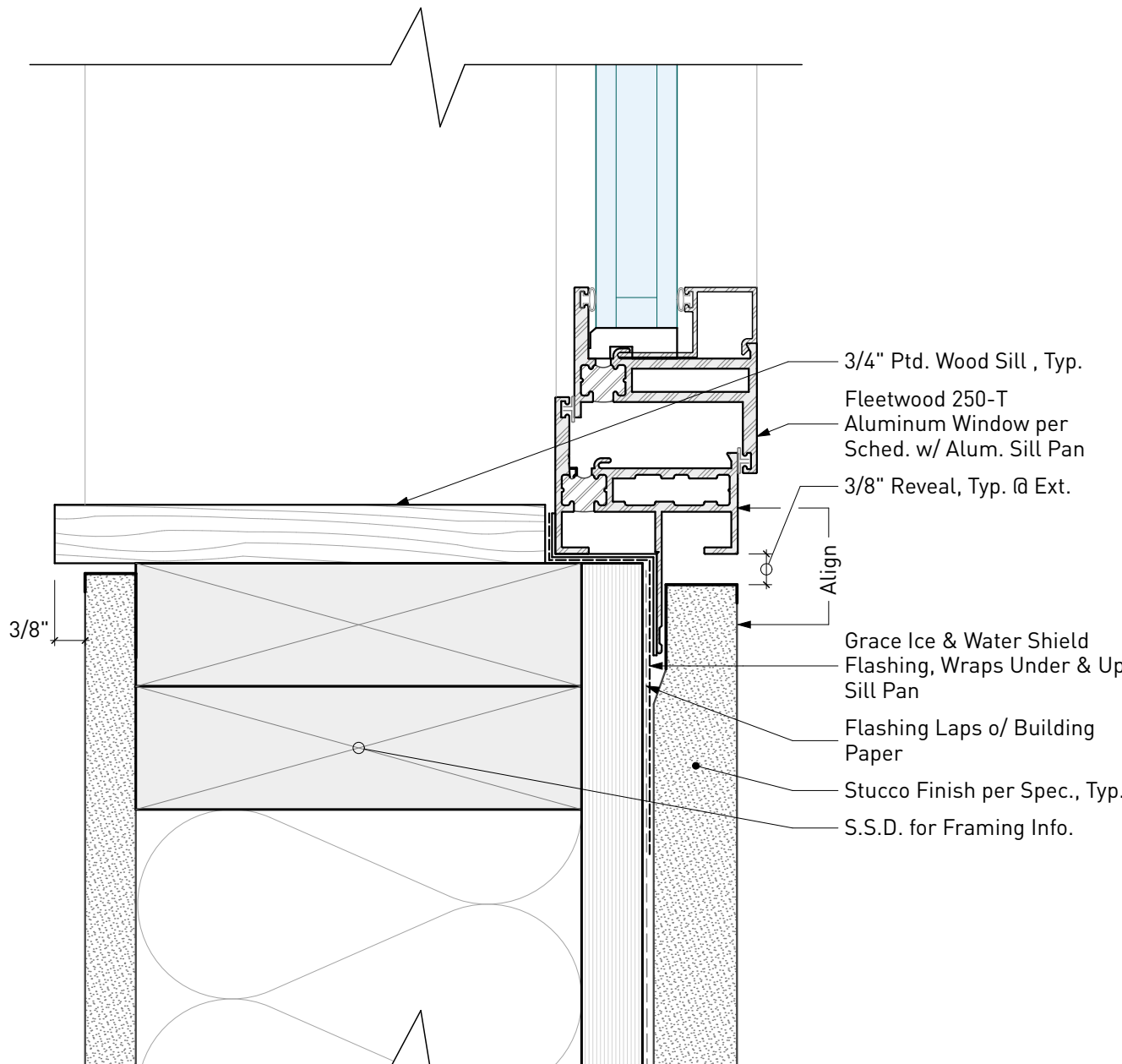
9 Typical Window Jamb Detail

Scale: 6" = 1'-0"



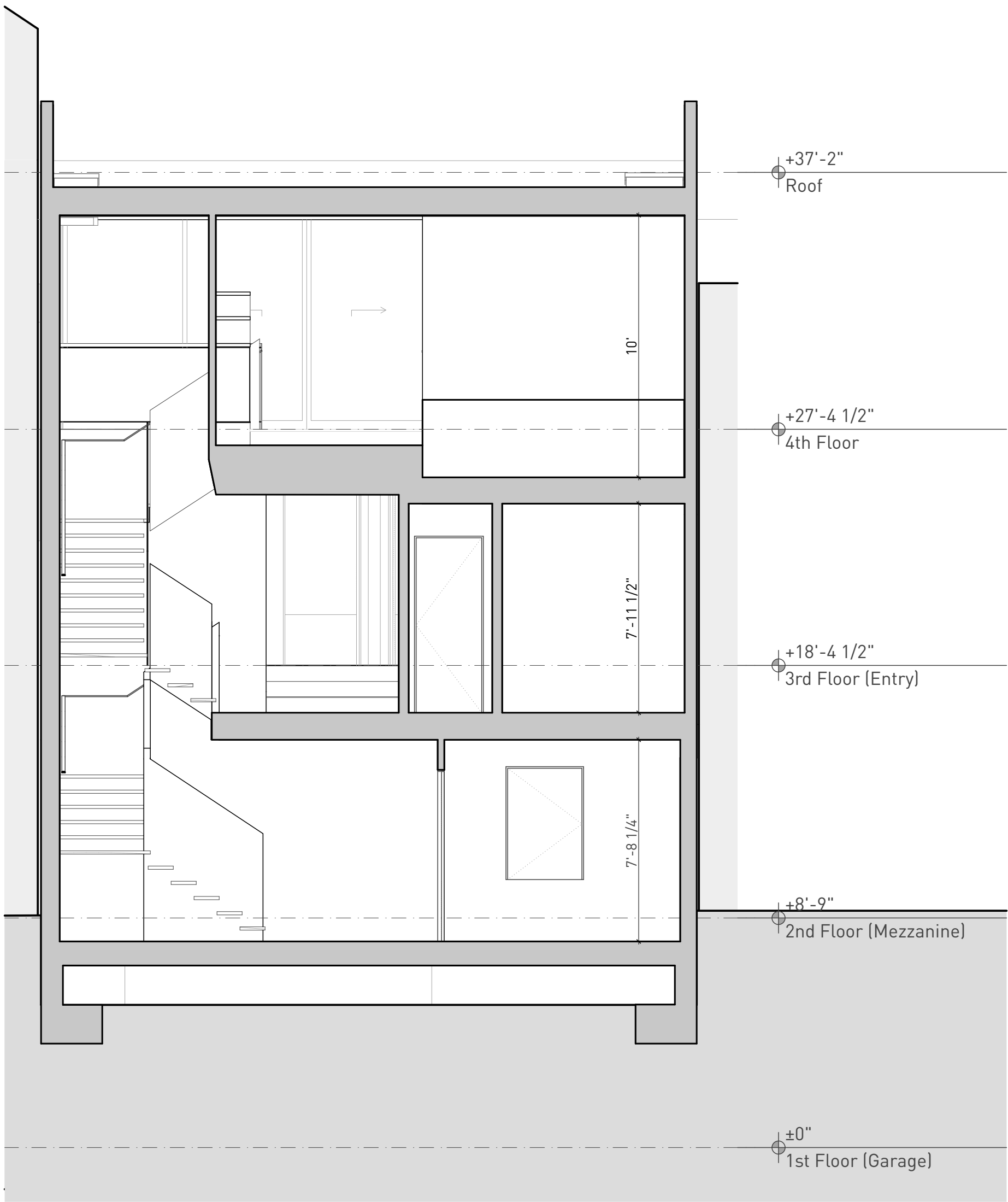
6 Typical Window Header Detail

Scale: 6" = 1'-0"



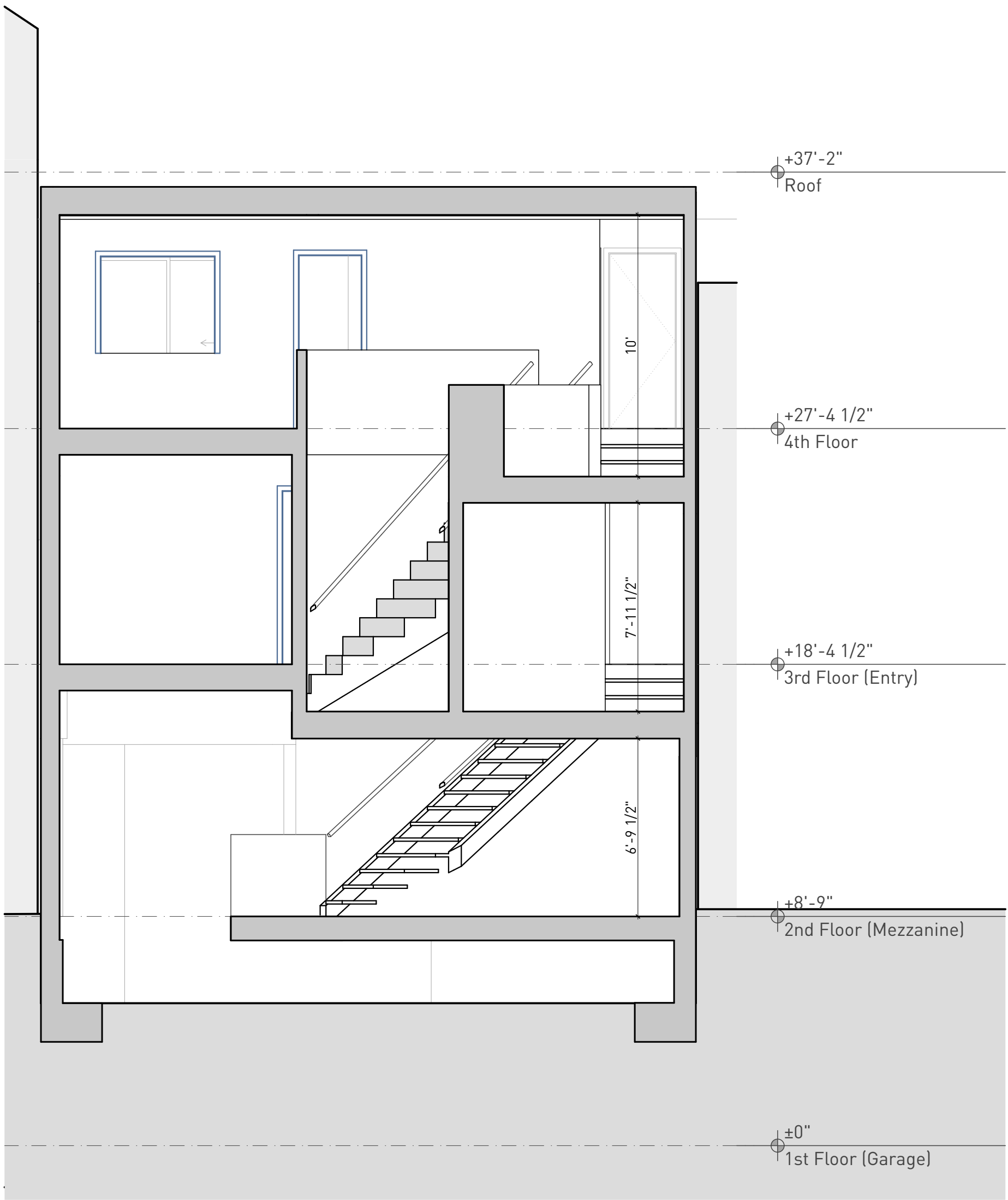
3 Typical Window Sill Detail

Scale: 6" = 1'-0"



2 Proposed Cross Section

Scale: 1/4" = 1'-0"



1 Existing Cross Section

Scale: 1/4" = 1'-0"