



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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CA 94103-2479

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**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, May 24, 2017**
 Time: **Not before 9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 781 O'Farrell Street	Case No.: 2017-000286VAR
Cross Street(s): Larkin Street	Building Permit: 2016.12.21.5544
Block /Lot No.: 0321/030	Applicant: John Kevlin
Zoning District(s): RC-4 / 80-T	Telephone: (415) 567-9000
Area Plan: N/A	E-Mail: jkevin@reubenlaw.com

PROJECT DESCRIPTION

The proposal is to add two Accessory Dwelling Units at the ground floor of an existing 7-story, 32-unit residential building

PER SECTION 140 OF THE PLANNING CODE the subject property is required to have windows of each unit face directly on an open area no less than 25 feet in every horizontal direction, with an increase of 5 feet in every horizontal dimension at each subsequent floor immediately above. The dimensions of the open area may be reduced to 15 feet in width and depth for Accessory Dwelling Units. The subject property has a non-conforming rear yard. The proposed Accessory Dwelling Units will each be facing onto a 13'4" by 13'8" patio which is less than the minimum 15 x 15 foot open area required for reduced dwelling unit exposure; therefore, requiring an exposure variance.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://notice.sfplanning.org/2017-000286VAR.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Seema Adina** Telephone: **(415) 575-8722** E-Mail: seema.adina@sfgov.org

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311 or 312, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property.

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

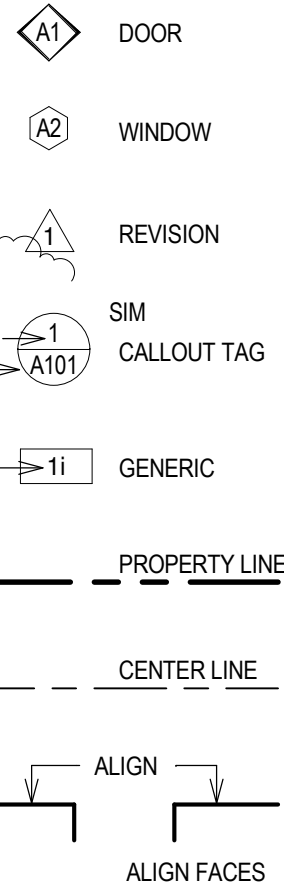
Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

ABV ABOVE
AC ACUUST
ACT ACTUICAL TITLE
A.D. AREA DRAIN
ADA AMERICANS WITH DISABILITIES ACT
ADDL. ADDITIONAL
ADJ. ADJUSTABLE
A.F.F. ABOVE FINISHED FLOOR
AIA AMERICAN INSTITUTE OF ARCHITECTS
ALUM ALUMINUM
ALT. ALTERNATE
ANOD. ANODIZED
APPROX. APPROXIMATE
ARCH. ARCHITECTURAL
ASSY. ASSEMBLY
BD. BOARD
BETWN. BETWEEN
BEVL. BEVEL
BLDG. BUILDING
BLK. BLOCK
BLKG. BLOCKING
BM. BEAM
BOT. BOTTOM
BRKT. BRACKET
B.U.R. BUILT UP ROOF
B.W. BOTTOM OF WALL
CAB CABINET
CB. CIRCUIT BREAKER
C.B. CATCH BASIN
CBC CALIFORNIA BUILDING CODE
CEM. CEMENT
CER. CERAMIC
C.I. CAST IRON
CJ. CONTROL JOINT
C.L. CENTERLINE
C.L.G. CEILING
CLKG. CALKING
CLO. CLOSET
CLR. CLEAR
CO. CLEANOUT
COL. COLUMN
COMB. COMBINATION
CONC. CONCRETE
CONN. CONNECTION
CONSTR. CONSTRUCTION
CONT. CONTINUOUS
CONTR. CONTRACTOR
CORR. CORRIDOR
CS. COUNTERSINK
CT. CERAMIC TILE
CTS.K. COUNTERSINK
CW. COLD WATER
D. DRAIN
DBL. DOUBLE
DEPT. DEPARTMENT
DET. DETAIL
D.F. DOUGLAS FIR
DIA. DIAMETER
DIAG. DIAGONAL
DM. DIMENSION
DISP. DISPENSER
DN. DOWN
D.O. DOOR OPENING
DR. DOOR
DS. DOWNSPOUT
DWS. DRAWING
DWR. DRAWER
(E) EXISTING
E. EAST
EA. EACH
E.B. EXPANSION BOLT
E.J. EXPANSION JOINT
EL. ELEVATION
ELEC. ELECTRICAL
EMER. EMERGENCY
ENCL. ENCLOSURE
E.P. ELECTRICAL PANELBOARD
EQ. EQUAL
EQUIP. EQUIPMENT
EXH. EXHAUST
EXPO. EXPOSED
EXST. EXISTING
EXT. EXTERIOR
F.A. FIRE ALARM
FAB. FABRICATE
F.A.R. FLOOR AREA RATIO
F.B. FLAT BAR
F.D. FLOOR DRAIN
F.M. FOUNDATION
F.E. FIRE EXTINGUISHER
F.E.C. FIRE EXTINGUISHER CABINET
F.F. FINISHED FLOOR
F.G. FIXED GLAZING
F.H.C. FIRE HOSE CABINET
FIN. FINISH
FIN.GR. FINISH GRADE
FIXT. FIXTURE
FL. FLOORING
FLASH. FLASHING
FLUOR. FLUORESCENT
F.O.C. FACE OF CONCRETE
F.O.F. FACE OF FINISH
F.O.S. FACE OF STUDS
F.O.T. FACE OF TREADS
FT. FOOT, FEET
FTG. FOOTING
FURR. FURRING
FUT. FUTURE
G. GAS
GA. GAUGE
GALV. GALVANIZED
G.B. GRAB BAR
GC. GENERAL CONTRACTOR
G.D. GUTTER DRAIN
G.L. GALVANIZED IRON (STEEL)
GL. GLASS
GLB. GLUE-LAM BEAM
GRD. GROUND
GR. GRADE
GSM. GALVANIZED SHEET METAL
GYP. GYPSUM
GWB. GYPSUM WALL BOARD
H. HOSE, HIGH
H.B. HOSE BIB
H.C. HOLLOW CORE
HD. HEAD
HDR. HEADER
H.D.W. HARDWOOD
H.W. HARDWARE
H.M. HOLLOW METAL
H.NDR. HANDRAIL
HORZ. HORIZONTAL
HR. HOUR
HT. HEIGHT
HVAC. HEATING, VENTILATING & A/C
HW. HOT WATER
I.D. INSIDE DIAMETER (DIMENSION)
I.F. INSIDE FACE
IN. INCH
INFO. INFORMATION
INSUL. INSULATION
INT. INTERIOR
J. JOIST

ABBREVIATION

1. ALL WORK SHALL BE PERFORMED BY LICENSED & INSURED CONTRACTOR.
2. THE CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS, AND TECHNIQUES FOR CONSTRUCTION.
3. ALL OSHA REGULATIONS SHALL BE FOLLOWED. THE GENERAL CONTRACTOR & EACH SUB-CONTRACTOR IS RESPONSIBLE FOR JOB-SITE SAFETY.
4. UNLESS NOTED OTHERWISE, ALL MATERIALS AND EQUIPMENT ARE TO BE INSTALLED PER THE APPLICABLE PROVISIONS OF THESE DOCUMENTS AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
5. IN USING THESE PLANS FOR BIDDING OR CONSTRUCTION PURPOSES, ALL CONTRACTORS ARE REQUIRED TO REVIEW AND TREAT THEM AS A WHOLE IN ORDER TO IDENTIFY ALL REQUIREMENTS THAT DIRECTLY OR INDIRECTLY AFFECT THEIR PORTION OF THE WORK; EVEN REQUIREMENTS LOCATED IN SECTIONS DESIGNATED AS APPLICABLE TO OTHER TRADES. IN CASE OF CONFLICTS, THE AFFECTED CONTRACTOR IS REQUIRED TO EITHER OBTAIN DIRECTION FROM AN APPROPRIATE REPRESENTATIVE OF THE OWNER, OR OTHERWISE APPLY THE MORE STRINGENT LOCATIONS.
6. THESE PLANS ARE INTENDED TO SET FORTH THE REQUIREMENTS FOR CONSTRUCTION IN ONLY AN INDUSTRY-STANDARD LEVEL OF QUALITY AND DETAIL; AND THEY ARE INTENDED TO BE SUPPLEMENTED BY APPROPRIATE REQUESTS FOR CLARIFICATION AND INFORMATION. CONTRACTORS ARE REQUIRED TO REVIEW THESE PLANS FOR ERRORS AND OMISSIONS, AND BRING THESE TO THE ATTENTION OF AN APPROPRIATE OWNER REPRESENTATIVE IN A TIMELY MANNER, AND ANY CONTRACTOR WHO FAILS TO DO SO BEFORE BIDDING OR OTHERWISE PROCEEDING ASSUMES THE RISK OF ANY CONSEQUENCES. CONTRACTORS PROCEED AT THEIR OWN RISK IF THEY FAIL TO VERIFY FIELD MEASURE DIMENSIONS BEFORE PROCEEDING WITH ANY AFFECTED PROCUREMENT, FABRICATION, OR CONSTRUCTION. SCHEMATIC PLANS ARE INTENDED ONLY TO DEMONSTRATE THE RELATIONSHIP AMONG COMPONENT PARTS, AND NOT TO DEPICIT SPECIFIC LOCATIONS.
7. SUBMITTALS WILL BE REVIEWED BY THE ARCHITECT ONLY PURSUANT TO THE INDUSTRY-STANDARD PROTOCOL SET FORTH IN AIA DOCUMENT A201; AND IN NO EVENT WILL THE SUBMITTAL REVIEW PROCESS RELIEVE OR LESSEN THE SUBMITTING CONTRACTOR'S RESPONSIBILITY FOR AN INAPPROPRIATE SUBMITTAL.
8. THE GENERAL CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL DIMENSIONS AND SITE CONDITIONS. THE GENERAL CONTRACTOR SHALL INSPECT THE EXISTING PREMISES AND TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING PRICES. NO CLAIM SHALL BE ALLOWED FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE REASONABLY BEEN INFERRED FROM SUCH AN EXAMINATION.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, & ELECTRICAL SYSTEMS. THIS INCLUDES REVIEWING REQUIREMENTS OF INDIVIDUAL SYSTEMS BEFORE ORDERING AND INSTALLATION OF ANY WORK. VERIFY ALL ARCHITECTURAL DETAILS AND ALL FINISH CONDITIONS (WHETHER DEPICTED IN DRAWINGS OR NOT) WITH SAME DISCIPLINES.
10. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. ALL CLEAR DIMENSIONS ARE NOT TO BE ADJUSTED WITHOUT APPROVAL OF THE ARCHITECT. WHEN SHOWN IN PLAN, ALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE, CENTERLINE OF COLUMNS, OR CENTERLINE OF WALL ASSEMBLIES, UNLESS OTHERWISE NOTED. WHEN SHOWN IN SECTION OR ELEVATION, ALL DIMENSIONS ARE TO TOP OF PLATE, TOP OF CONCRETE, OR TOP OF CEMENT-BASED UNDERLAYMENT UNLESS OTHERWISE NOTED.
11. DETAILS SHOWN ARE TYPICAL; SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING AND OBTAINING ALL REQUIRED INSPECTIONS TO CONFORM WITH LOCAL BUILDING AND FIRE CODES.
13. PROVIDE AND INSTALL 2x FLAT WOOD BLOCKING OR 16 GA METAL STRAPPING FOR ALL BATH ACCESSORIES, HANDRAILS, CABINETS, TOWEL BARS, WALL MOUNTED FIXTURES AND ANY OTHER ITEMS ATTACHED TO WALLS.
14. ALL CHANGES IN FLOOR MATERIALS OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENINGS UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
15. INSTALL ALL FIXTURES, EQUIPMENT, AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS AND THE REQUIREMENTS OF THE CODES. ALL APPLIANCES, FIXTURES, AND EQUIPMENT ASSOCIATED WITH PLUMBING, ELECTRICAL, AND MECHANICAL SYSTEMS SHALL BE LISTED BY A NATIONALLY RECOGNIZED AND APPROVED AGENCY.
16. VERIFY CLEARANCES FOR FLUES, VENTS, CHASES, SOFFITS, FIXTURES, FIREPLACES, ETC., BEFORE ANY CONSTRUCTION, ORDERING OF, OR INSTALLATION OF ANY ITEM OF WORK.
17. PROVIDE FIRE-BLOCKING & DRAFTSTOPPING AT ALL CONCEALED DRAFT OPENINGS (VERTICAL & HORIZONTAL) AS REQUIRED PER 2010 CBC.
18. MECHANICAL, PLUMBING, ELECTRICAL, AND OTHER PENETRATIONS OF FLOORS, WALLS, AND CEILING SHALL BE SEALED AIRTIGHT WITH ACOUSTICAL SEALANT AND FIRESAFING AS REQUIRED.
19. ALL EXTERIOR DOORS AND WINDOWS ARE TO BE WEATHERSTRIPPED PER TITLE 24 REQUIREMENTS.
20. ALL WALL, FLOOR, ROOF, AND SHAFT CONSTRUCTION TO BE FIRE-RATED MINIMUM ONE HOUR, U.O.N.
21. DISCREPANCIES: WHERE A CONFLICT IN REQUIREMENTS OCCURS BETWEEN THE SPECIFICATIONS AND DRAWINGS, OR ON THE DRAWINGS, AND A RESOLUTION IS NOT OBTAINED FROM THE ARCHITECT BEFORE THE BIDDING DATE, THE MORE STRINGENT ALTERNATE WILL BECOME THE CONTRACTUAL REQUIREMENTS.
22. CONTRACTOR SHALL INSURE THAT GUIDELINES SET FORTH ON THE ACCESSIBILITY SHEET ARE MAINTAINED DURING CONSTRUCTION, INSTALLATION, AND FINISHING OF ALL ASPECTS OF THIS PROJECT.

GENERAL NOTES



SYMBOLS

APPLICABLE CODES:
2013 CALIFORNIA BUILDING CODE W/ SF AMENDMENTS
2013 CALIFORNIA MECHANICAL CODE
2013 CALIFORNIA ELECTRICAL CODE
2013 CALIFORNIA PLUMBING CODE
2013 CALIFORNIA ENERGY CODE
2013 CALIFORNIA FIRE CODE
SAN FRANCISCO COUNTY HEALTH & SAFETY CODE

2013 CALIFORNIA GREEN BUILDING CODE
SEE SHEET C-7, SF GREEN BUILDING SUBMITAL.

2013 CALIFORNIA BUILDING CODE

CHAPTER 3 - USE & OCCUPANCY CLASSIFICATIONS
EXISTING OCCUPANCY: R-2 OCCUPANCY
PROPOSED OCCUPANCIES: R-2 OCCUPANCY, NO CHANGE TO PROPOSED OCCUPANCY

CHAPTER 5 - GENERAL BUILDING HEIGHT & AREA

CONSTRUCTION TYPE: TYPE III-B
TABLE 503: OCCUPANCY R-2, TYPE III-B

BUILDING AREA (GROSS SQUARE FOOTAGE)

BASEMENT	3,371 SF
GROUND FLOOR	3,371 SF
LEVEL 2	3,371 SF
LEVEL 3	3,371 SF
LEVEL 4	3,371 SF
LEVEL 5	3,371 SF
LEVEL 6	3,371 SF
LEVEL 1-6 TOTAL	23,600 SF

CHAPTER 6 - TYPES OF CONSTRUCTION

TABLE 601: TYPE III-B

PRIMARY STRUCTURAL FRAME	= 0 HR
BEARING WALL - EXTERIOR	= 2 HR
BEARING WALL - INTERIOR	= 0 HR
NON-BEARING WALLS - EXTERIOR	= PER TABLE 602
NON-BEARING WALLS - INTERIOR	= 0 HR
FLOOR CONSTRUCTION	= 0 HR
ROOF CONSTRUCTION	= 0 HR

TABLE 602: OCCUPANCY R-2, CONSTRUCTION TYPE III-B
EXTERIOR WALLS = 2 HR, W/ FIRE SEPARATION DISTANCE <10'

CHAPTER 8 - INTERIOR FINISHES

CLASS A: FLAME SPREAD INDEX 0 - 25, SMOKE DEVELOPED INDEX 0 - 450
CLASS B: FLAME SPREAD INDEX 26 - 75, SMOKE DEVELOPED INDEX 0 - 450
CLASS C: FLAME SPREAD INDEX 76 - 200, SMOKE DEVELOPED INDEX 0 - 450

SECTION 803: THE MAXIMUM FLAME-SPREAD CLASS OF FINISH MATERIALS USED ON INTERIOR WALLS AND CEILING IN ROOMS AND OTHER ENCLOSED SPACES SHALL BE CLASS C, OR BETTER, PER TABLE 803 FOR B OCCUPANCY, NON-SPRINKLERED.

CHAPTER 9 - FIRE PROTECTION SYSTEMS

EXISTING BUILDING IS FULLY SPRINKLERED. PROVIDE NFPA-13 FIRE SPRINKLER SYSTEM AT BASEMENT AND NEW DWELLING UNITS.

CODE NOTES

PROJECT DIRECTORY

SHEET LIST	
Sheet Number	Sheet Name
A00	TITLE SHEET
A01	SITE PLANS
A02	CODE REVIEW
A05	SITE PHOTOS
A09	EXISTING UPPER LEVEL PLANS
A10	EXISTING SECTIONS & ELEVATIONS
A11	BASEMENT PLAN
A20	SECTIONS & ELEVATIONS
A40	ENLARGED UNIT PLANS
SHEET TOTAL: 9	

OWNER
781 O'FARRELL STREET ASSOCIATES, LP
308 JESSIE STREET
SAN FRANCISCO, CA 94103

REPRESENTATIVE OF THE OWNER
THE MOSSER COMPANY
ATTN: JOE COLEMAN
308 JESSIE STREET
SAN FRANCISCO, CA 94103
EMAIL: JOOLEMAN@MOSSERCO.COM
PHONE: 415-712-4576

ARCHITECT
OPENSCOPE STUDIO, INC.
1776 18TH STREET,
SAN FRANCISCO, CA 94107
CONTACT: MARK HOGAN
PHONE: 415-936-6480
MARKHOGAN@OPENSCOPESTUDIO.COM

STRUCTURAL ENGINEER

PROJECT DESCRIPTION
THE EXISTING BUILDING IS A SIX-STORY, 32 UNIT RESIDENTIAL BUILDING, R-2 OCCUPANCY. THE SCOPE OF THE WORK IS TO ADD TWO NEW ACCESSORY DWELLING UNITS TO THE BASEMENT LEVEL PER ORDINANCE 162-16 (CITYWIDE ADU ORDINANCE).

BUILDING USE / OCCUPANCY GROUP
EXISTING: R-2 OCCUPANCY
PROPOSED: R-2 OCCUPANCY

PROJECT ADDRESS: 781 O'FARRELL ST, SAN FRANCISCO, CA 94109

PARCELS (BLOCK / LOT): 0321/1030

PARCEL AREA: 4,138 SF

BUILDING AREA: 23,600 SF

RETAIL AREA (EXIST'G): 1,047 SF

RESIDENTIAL AREA (EXIST'G): 17,684 SF

RESIDENTIAL AREA (NEW): 18,816 SF

NUMBER OF UNITS (EXIST'G): 32

NUMBER OF UNITS (PROPOSED): 34

NEW UNITS SQUARE FOOTAGE: 1,132 SF

SPRINKLERED: YES (ENTIRE BUILDING)

ZONING DISTRICT: RC-4 RESIDENTIAL - COMMERCIAL, HIGH DENSITY

HEIGHT & BULK DISTRICT: 80-T

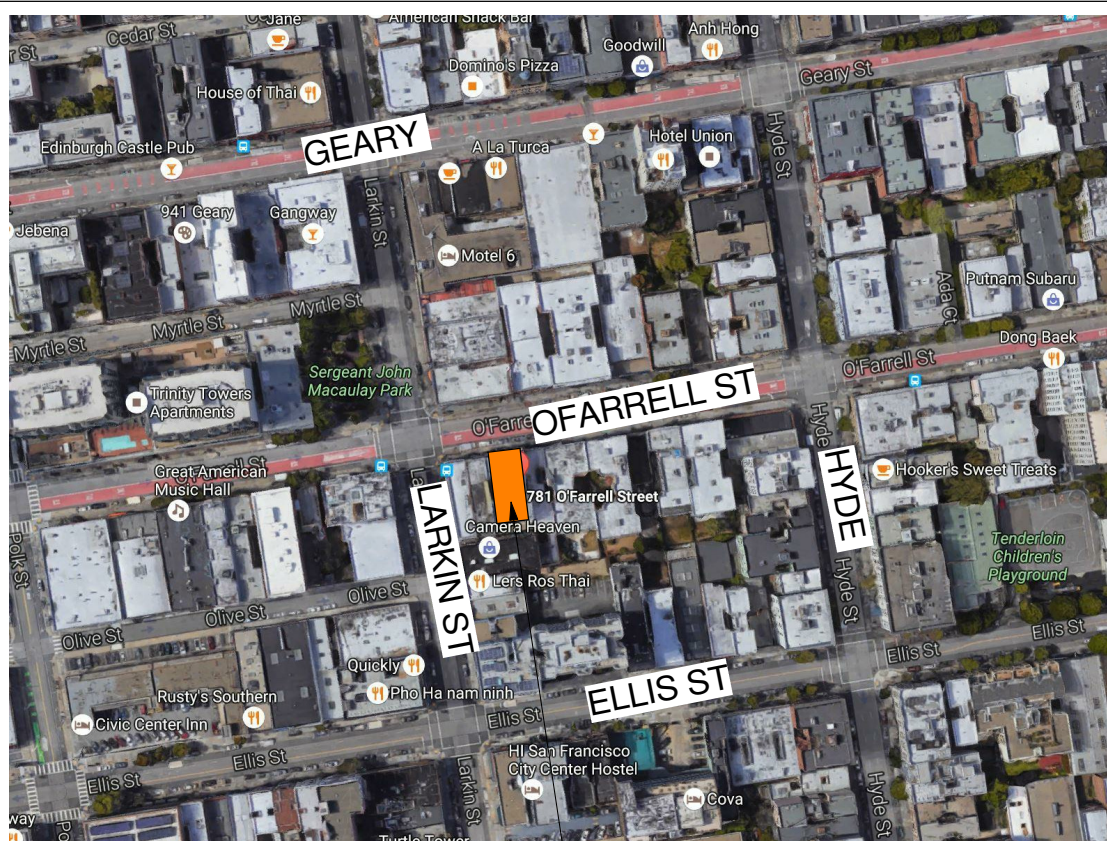
SPECIAL USE DISTRICTS: WITHIN 1/4 MILE OF THE FRINGE FINANCIAL SERVICES RUD

PLANNING DEPT. HISTORIC STATUS CODE: A - HISTORIC RESOURCE PRESENT

PRE-APPLICATION MEETING DATE: ---

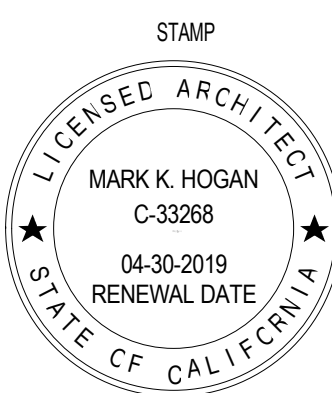
PERMIT APPLICATION NUMBER: 201612215544

PROJECT INFORMATION



VICINITY MAP

PROJECT SITE:
781 O'FARRELL ST



CONSULTANTS

PROJECT 1606.05
781 O'Farrell ADUS

781 O' FARRELL ST,
SAN FRANCISCO, CA
94109

ISSUE DATE
12/15/2016

SITE PERMIT

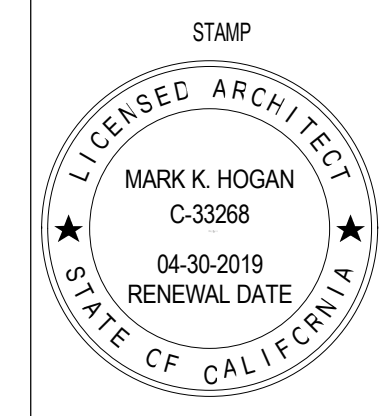
REVISIONS

NO. DATE.

SCALE
As indicated

TITLE SHEET

A00



CONSULTANTS

PROJECT
1606.05
781 O'Farrell ADUS

781 O' FARRELL ST,
SAN FRANCISCO, CA
94109

ISSUE DATE
12/15/2016

SITE PERMIT

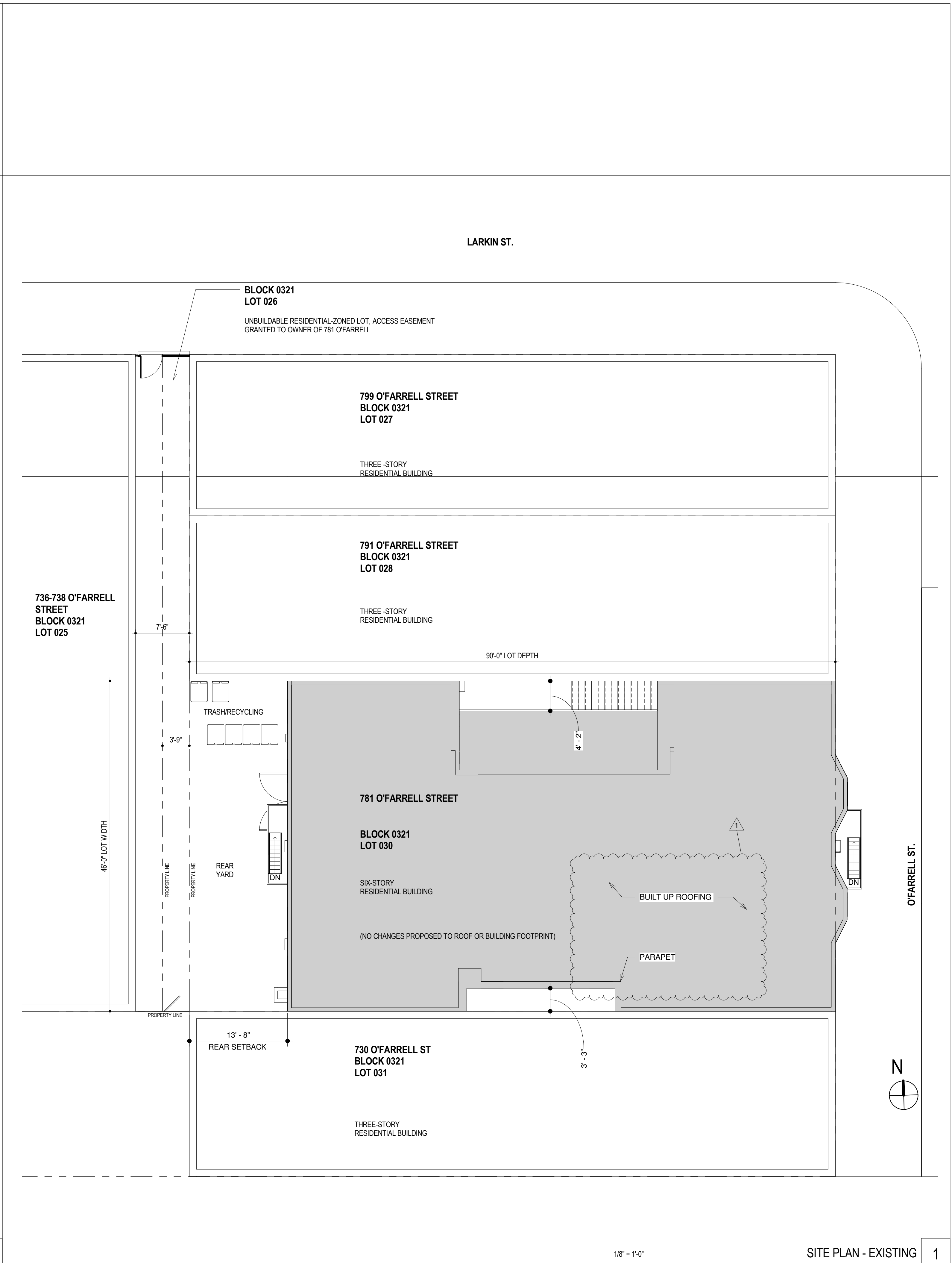
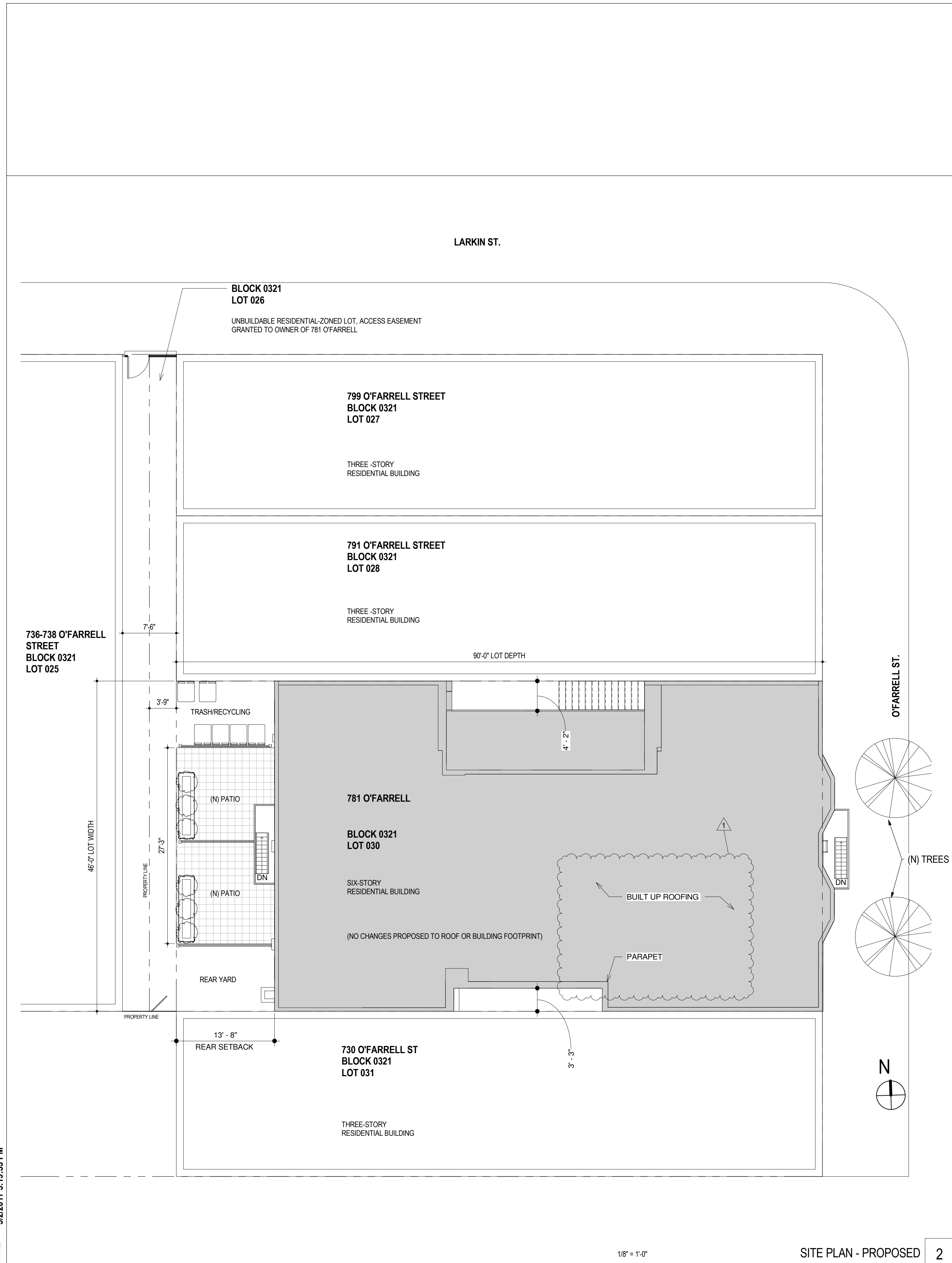
REVISIONS

NO.	DATE
1	02-28-2017

SCALE
1/8" = 1'-0"

SITE PLANS

A01



2013 CALIFORNIA BUILDING CODE

THESE NOTES ARE PROVIDED FOR REFERENCE ONLY. REFER TO THE COMPLETE BUILDING CODE FOR CODE REQUIREMENTS AND QUESTIONS OF COMPLIANCE.

CHAPTER 3 - USE AND OCCUPANCY CLASSIFICATION

310.4. THE EXISTING 32-UNIT BUILDING WOULD BE CONSIDERED AN R-2 OCCUPANCY.
310.4. ADDING THE TWO ADDITIONAL UNITS WILL NOT CHANGE THE OCCUPANCY.

CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS

NO CHANGE TO OVERALL GROSS AREA.

CHAPTER 9 - FIRE PROTECTION SYSTEMS

903.2.8. COMPLY WITH THE REQUIREMENTS FOR AUTOMATIC SPRINKLER PROTECTION IN GROUP R OCCUPANCIES.
-THE EXISTING BUILDING IS FULLY SPRINKLERED. PROVIDE AN NFPA-13 FIRE SPRINKLER SYSTEM AT THE LEVEL OF THE ADU ADDITION.

CHAPTER 10 - MEANS OF EGRESS

1006.1. PROVIDE EGRESS ILLUMINATION ALONG THE MEANS OF EGRESS (OUTSIDE THE DWELLING UNIT)

1021.2 SINGLE EXITS. THERE ARE LESS THAN 5 UNITS AT THE BASEMENT LEVEL IN COMPLIANCE WITH TABLE 1021.2(1). THE EXIT ACCESS TRAVEL DISTANCE SHOULD BE LESS THAN 125' FROM THE FURTHEST POINT INSIDE THE DWELLING UNITS.

1023. TRAVEL DISTANCES OVER 125' TO COMPLY WITH REQUIREMENTS FOR A 1-HR EXIT PASSAGEWAY AT PORTION OF THE PATH OF TRAVEL THAT EXCEEDS 125'.

1029. RESCUE OPENINGS TO BE PROVIDED VIA RESCUE WINDOWS AT ALL BEDROOMS AND VIA RESCUE WINDOWS OR A DOOR TO THE EXTERIOR AT STUDIO UNITS.

CHAPTER 12 - INTERIOR ENVIRONMENT

SEE UNIT PLAN SHEET

BUILDING CODE NOTES

CURRENT ZONING DESIGNATION: RC-4 RESIDENTIAL-COMMERCIAL COMBINED, HIGH DENSITY HEIGHT AND BULK DISTRICT: 30T

REAR YARD REQUIREMENT: - 25% OF LOT DEPTH, BUT NO LESS THAN 15 FEET.
- EXISTING REAR YARD LESS THAN 15 FEET

- THE ZONING ADMINISTRATOR MAY WAIVE REAR YARD, PARKING, OPEN SPACE, AND DENSITY REQUIREMENTS PER ORDINANCE NO. 162-16.

USABLE OPEN SPACE REQUIREMENT: 36 SQ. FT. PER UNIT, COMMON SPACE SUBSTITUTED MUST BE 1/3 GREATER.

REQUIRED OPEN SPACE CALCULATION:

$$34 \text{ (NEW UNITS)} \times 36 \text{ SQ. FT.} = 1,224 \text{ SQ. FT. (REQ. OPEN SPACE)}$$

EXISTING USABLE SPACE: 629 SQ. FT.

- NO OPEN SPACE CURRENTLY PROVIDED FOR EXISTING UNITS. NEW UNITS TO HAVE PRIVATE PATIOS OF 191 SQ. FT. EACH, WAIVER WILL BE REQUIRED.

EXPOSURE REQUIREMENT: DWELLING UNITS MUST HAVE AT LEAST ONE ROOM THAT FACES ON TO A PUBLIC STREET, ALLEY, OR OPEN AREA THAT IS NO LESS THAN 25' X 25'. THE ZONING ADMINISTRATOR MAY REDUCE THE EXPOSURE REQUIREMENT TO 15' X 15'.

- THE 13'-8" REAR YARD AND 3'-9" ALLEY WITH EASEMENT MEET THE 15' X 15' OPEN AREA REQUIREMENT FOR EXPOSURE. NO VARIANCE REQUIRED.

PARKING: PER SEC. 155.2 BICYCLE PARKING SHALL BE PROVIDED FOR ALL DWELLING UNITS AT THE SAME RATIO AS EXISTING OFF-STREET VEHICLE PARKING IS PROVIDED RELATIVE TO THE AMOUNT OF OFF-STREET VEHICLE PARKING THAT IS REQUIRED BY THIS CODE.
- THERE IS NO EXISTING VEHICLE PARKING SPACE WITHIN THE PROPERTY, THUS NO BIKE PARKING IS REQ.

ACCESSORY DWELLING UNIT LEGISLATION

- TWO ADDITIONAL UNITS ARE BEING PROPOSED PER ORDINANCE 0162-16, "CITYWIDE ADU PROGRAM"

COMPLIANCE WITH GENERAL CONTROLS OF ADUS:

1. ADU MUST BE WITHIN THE EXISTING BUILDING ENVELOPE.
- THE NEW UNITS ARE WITHIN THE EXISTING BUILDING ENVELOPE.

2. NEW ADU CANNOT TAKE SPACE FROM AN EXISTING RESIDENTIAL UNIT.
- THE NEW UNITS ARE AT THE BASEMENT LEVEL OF THE BUILDING AND DO NOT TAKE SPACE FROM EXISTING UNITS ABOVE.

3. ADU WOULD BE RENT CONTROLLED IF EXISTING BUILDING IS SUBJECT TO RENT CONTROL.
- THE EXISTING BUILDING IS SUBJECT TO RENT CONTROL, SO THE NEW UNITS WILL ALSO BE SUBJECT TO RENT CONTROL.

4. IN BUILDINGS W/ 4 OR LESS UNITS, ONE ADU MAY BE ADDED. IN BUILDINGS W/ MORE THAN 4 UNITS AN UNLIMITED NUMBER OF ADU MAY BE ADDED.
- THE BUILDING HAS 32 UNITS, THEREFORE AN UNLIMITED NUMBER OF ADUS ARE ALLOWED WITHIN THE EXISTING ENVELOPE.

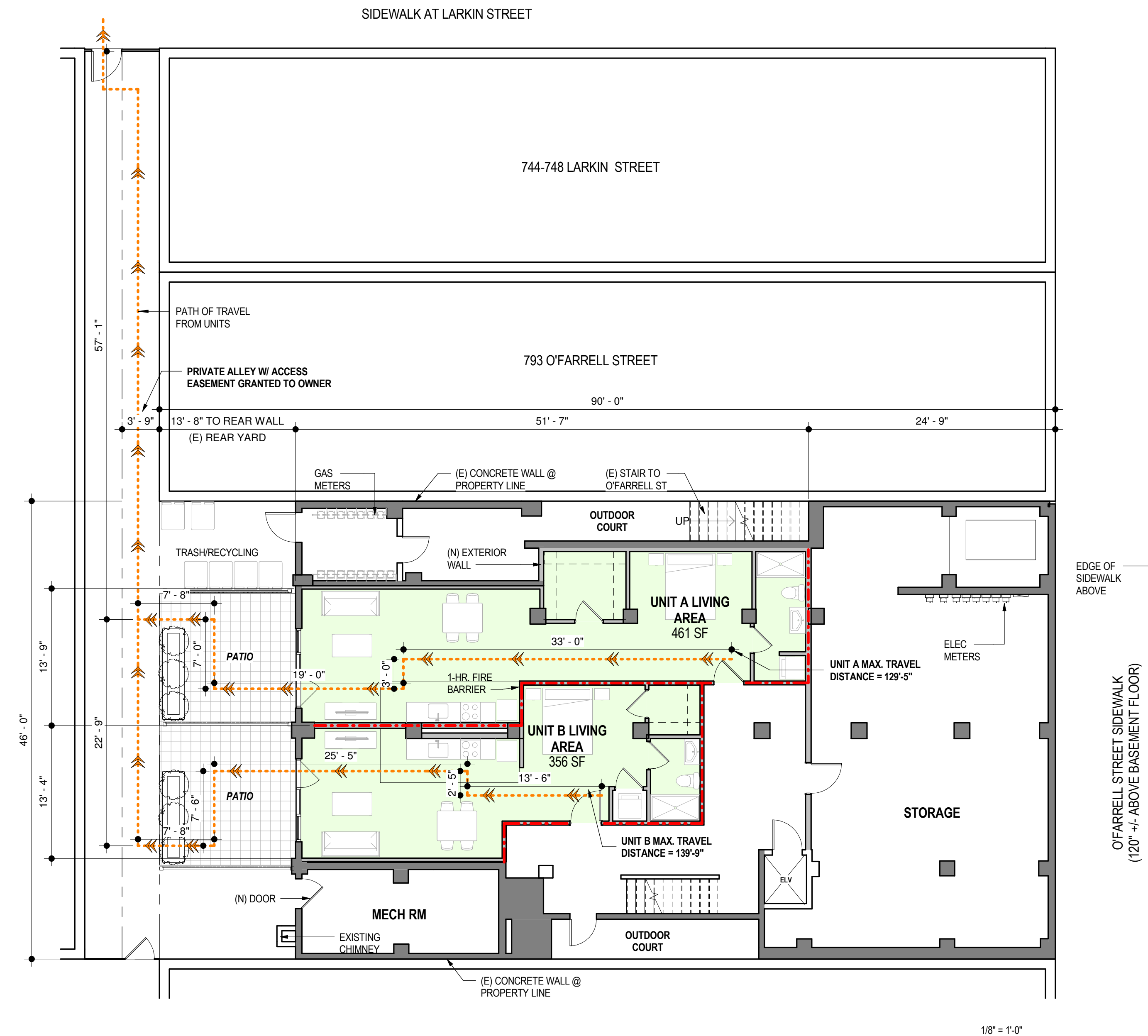
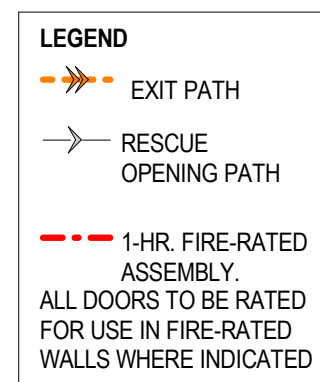
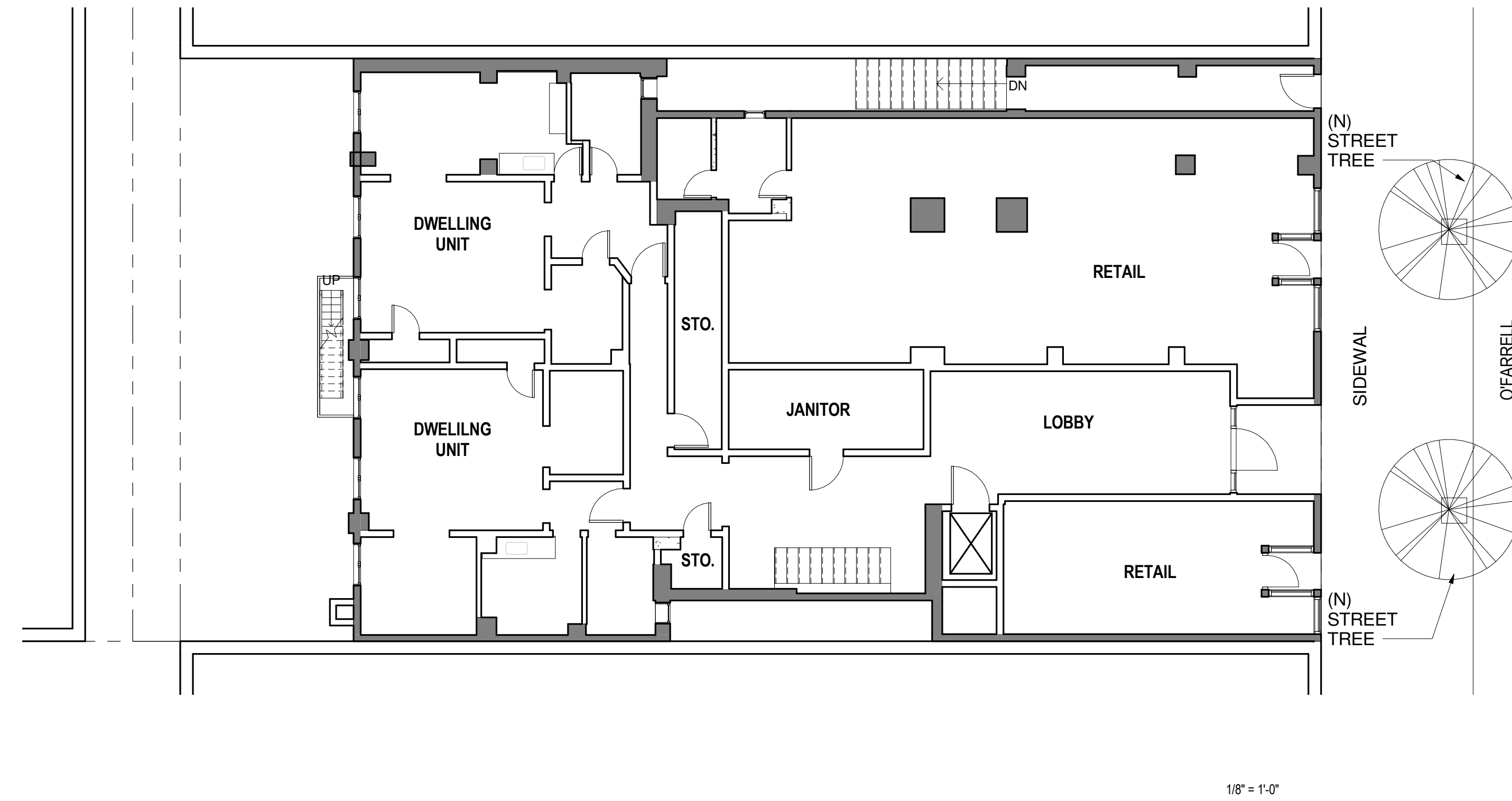
LANDSCAPING & PERMEABILITY

PURSUANT TO PLANNING CODE SECTION 132, NOT LESS THAN 20% OF THE REQUIRED SETBACK AREA SHALL BE AND REMAIN UNPAVED AND DEVOTED TO PLANT MATERIAL, AND THE FRONT SETBACK AREA SHALL BE AT LEAST 50% PERMEABLE SO AS TO INCREASE STORMWATER INFILTRATION.

STREET TREE

ONE TREE OF 24-INCH BOX SIZE IS REQUIRED FOR EACH 20 FEET OF FRONTAGE OF THE PROPERTY ALONG EACH STREET OR ALLEY, WITH ANY REMAINING FRACTION OF 10 FEET OR MORE OF FRONTAGE REQUIRING AN ADDITIONAL TREE.
- TWO STREET TREES ARE ADDED

PLANNING CODE NOTES



OPENS OPE
ARCHITECTURE | URBANISM | DESIGN

STAMP
 LICENSED ARCHITECT
 MARK K. HOGAN
 C-33268
 04-30-2019
 RENEWAL DATE
 STATE OF CALIFORNIA

CONSULTANTS

PROJECT
 1606.05
781 O'Farrell ADUS

781 O' FARRELL ST,
 SAN FRANCISCO, CA
 94109

ISSUE DATE
12/15/2016

SITE PERMIT

REVISIONS
 NO. DATE.
 1 02-28-2017

SCALE
 As indicated

CODE REVIEW

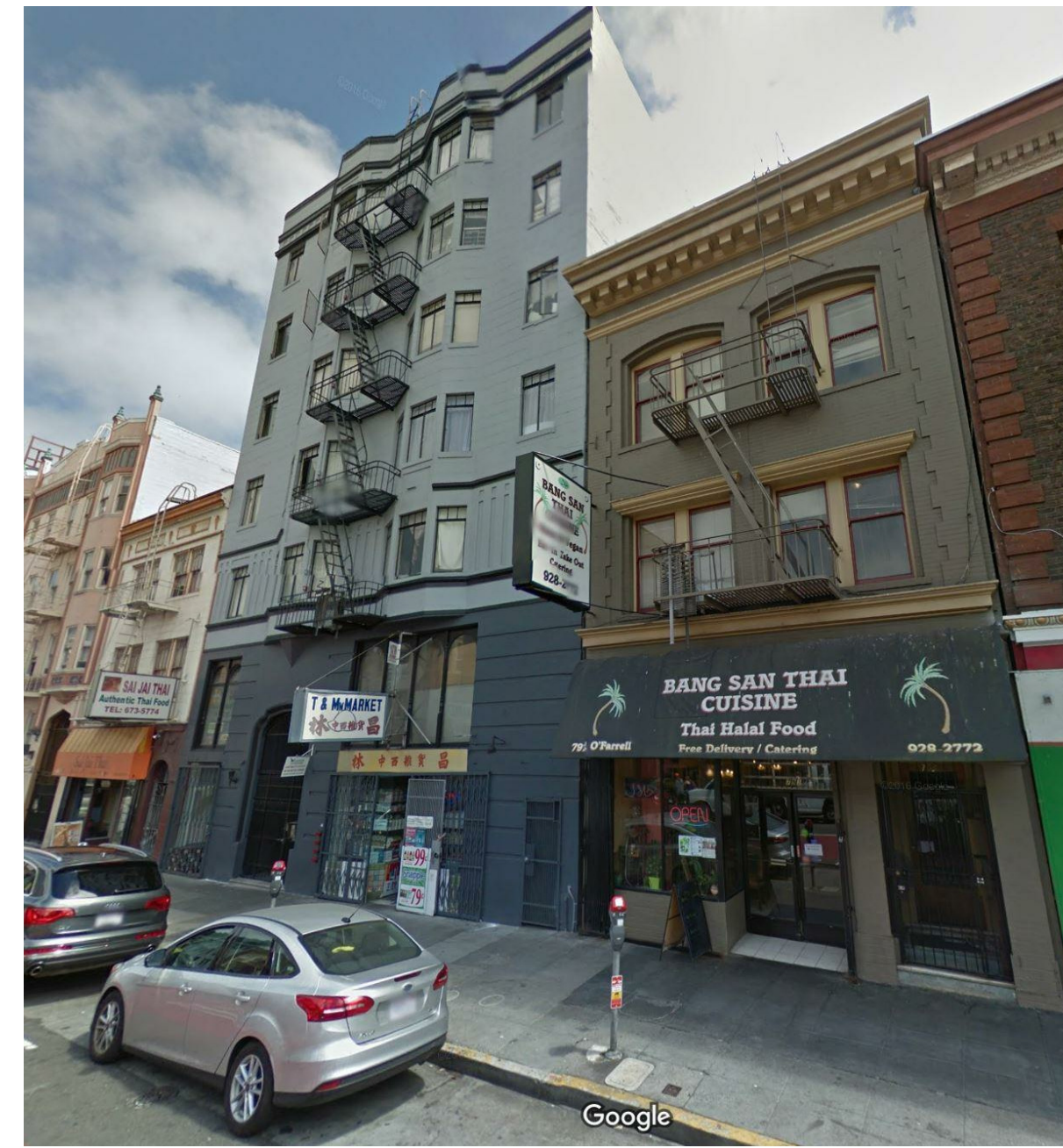
A02



1. EXISTING FRONT FACADE OF THE SUBJECT BUILDING



2. BUILDING REAR VIEW



3. ADJACENT BUILDING ON THE SAME SIDE OF STREET



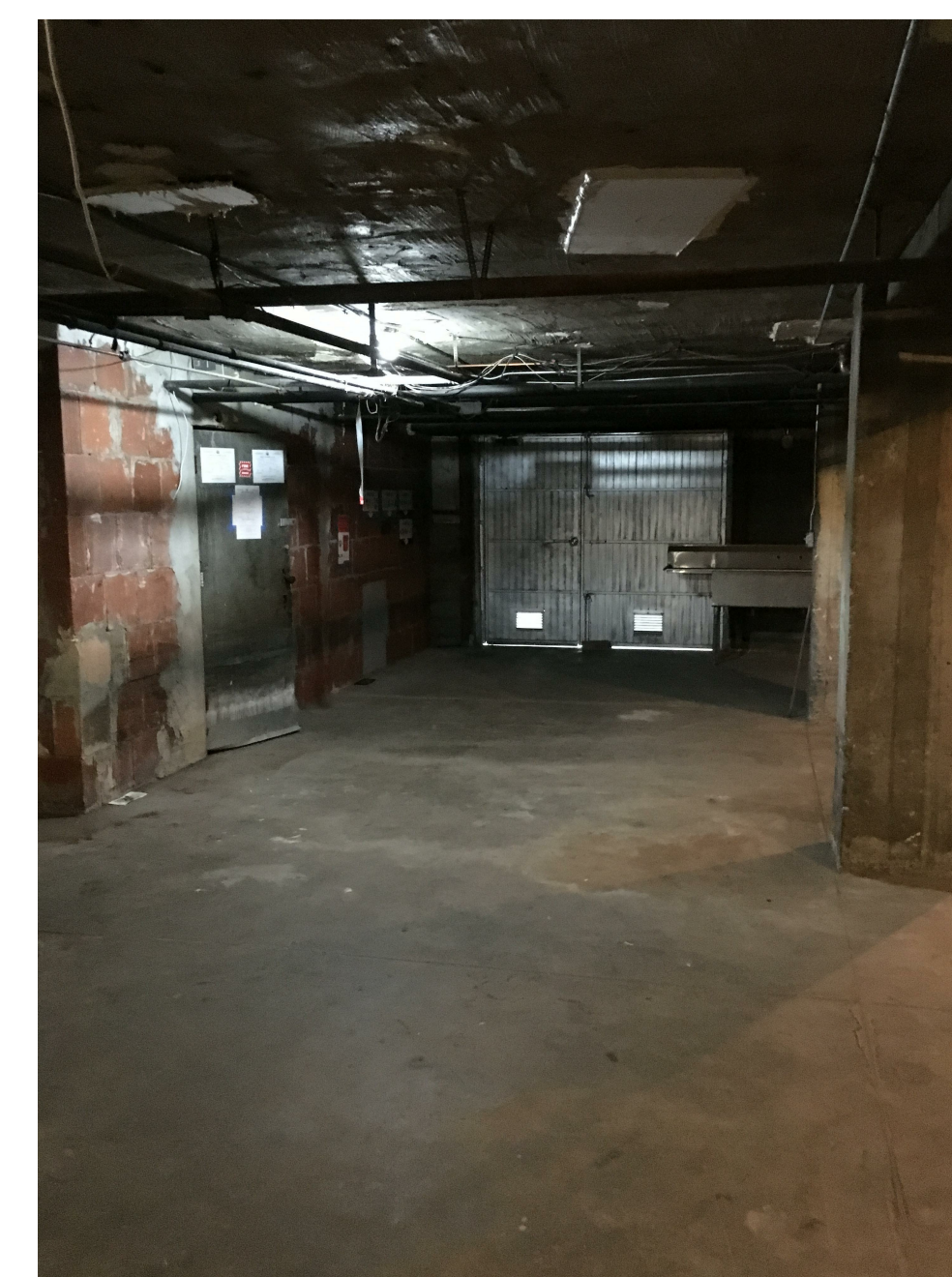
4. BUILDING ON THE OPPOSITE SIDE OF THE STREET



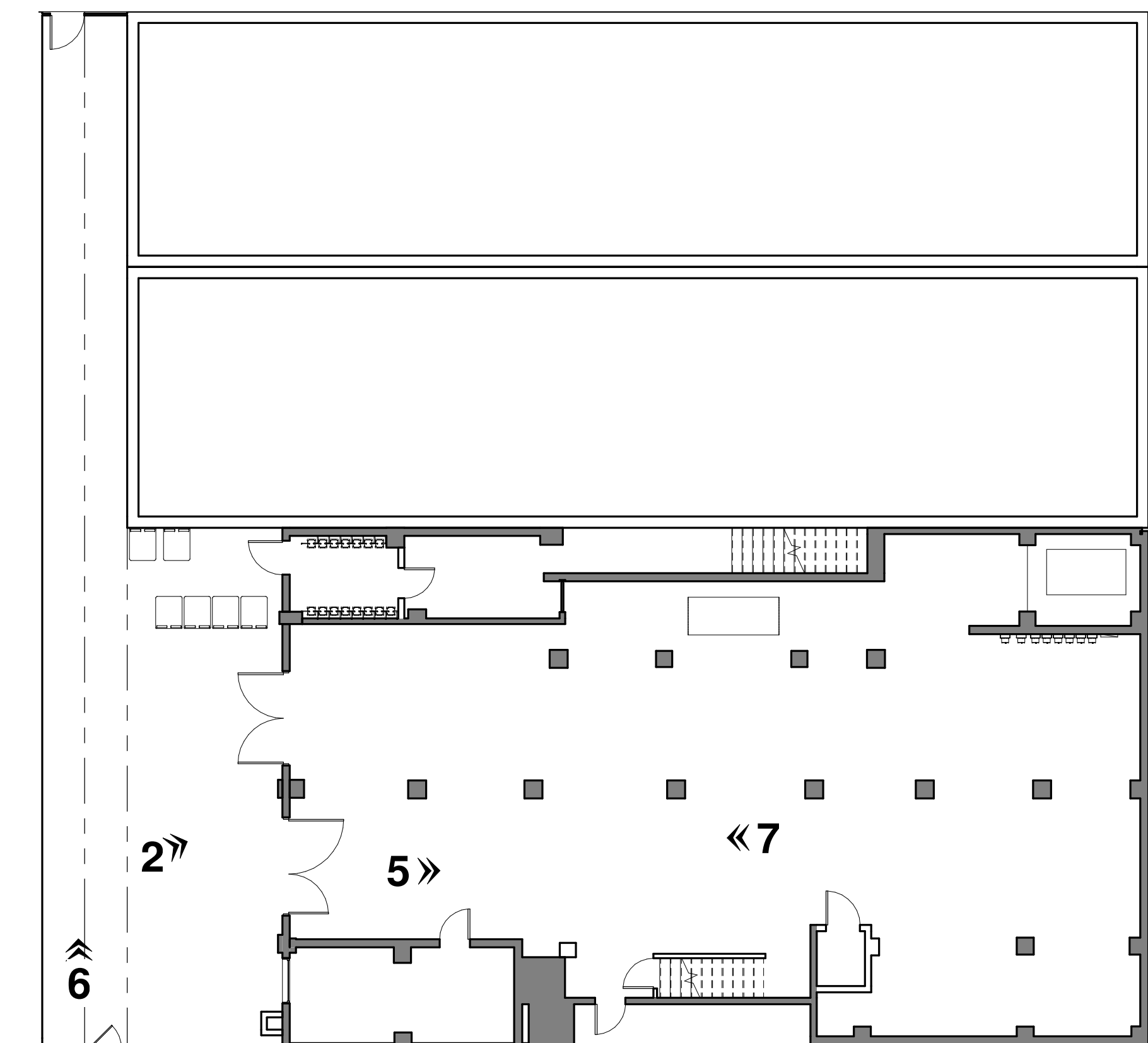
5. BASEMENT STORAGE ROOM



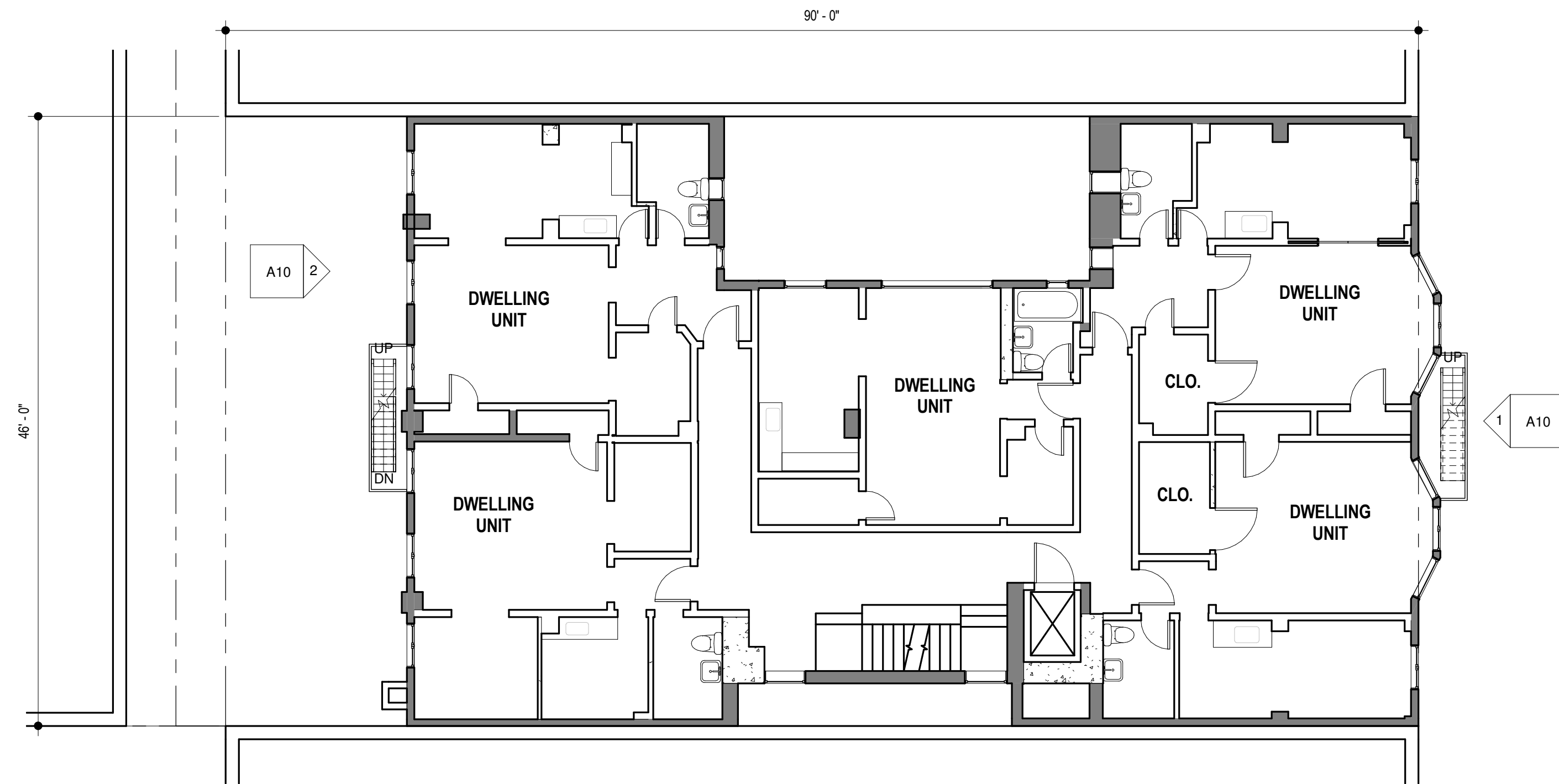
6. REAR YARD ALLEY TO LARKIN ST



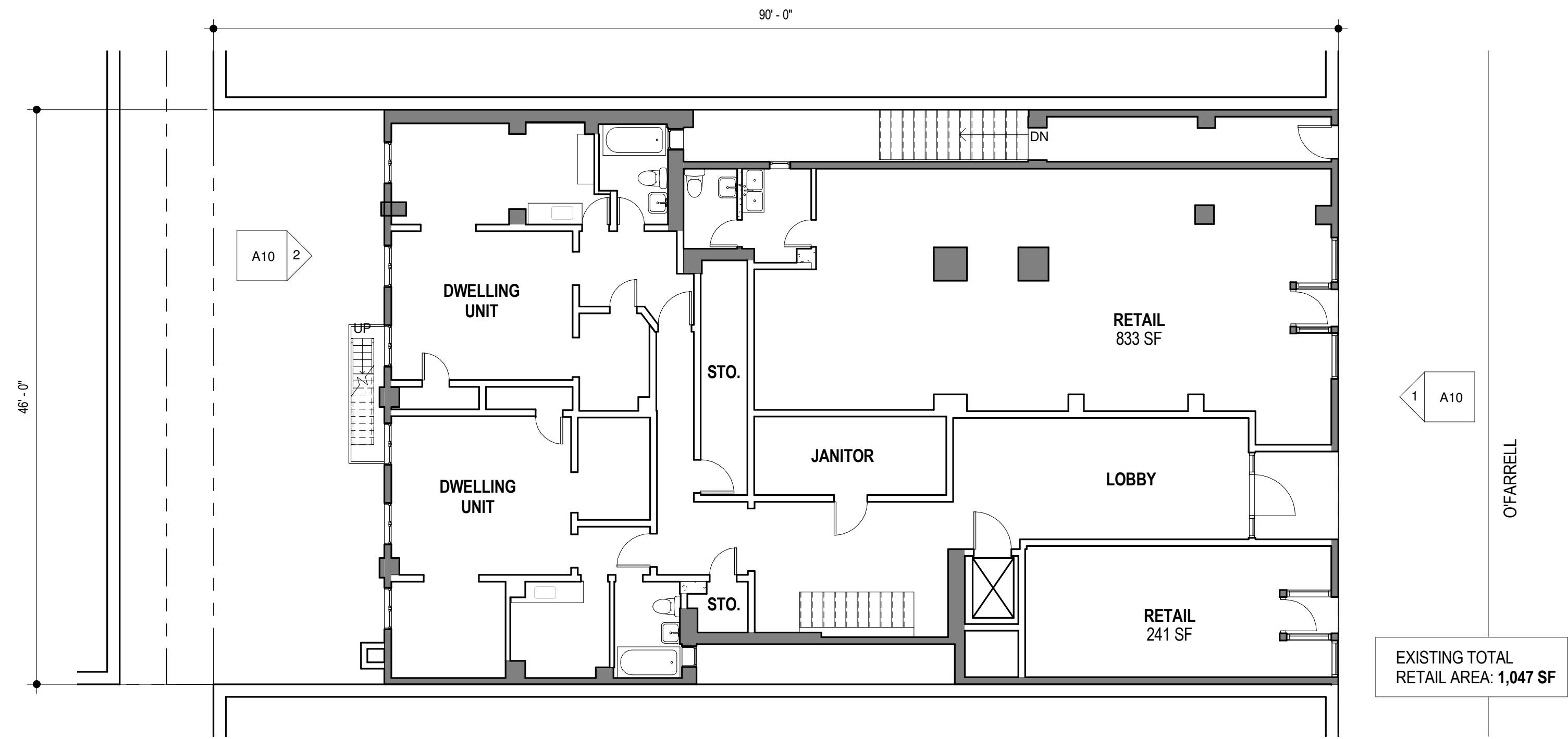
7. INTERIOR VIEW



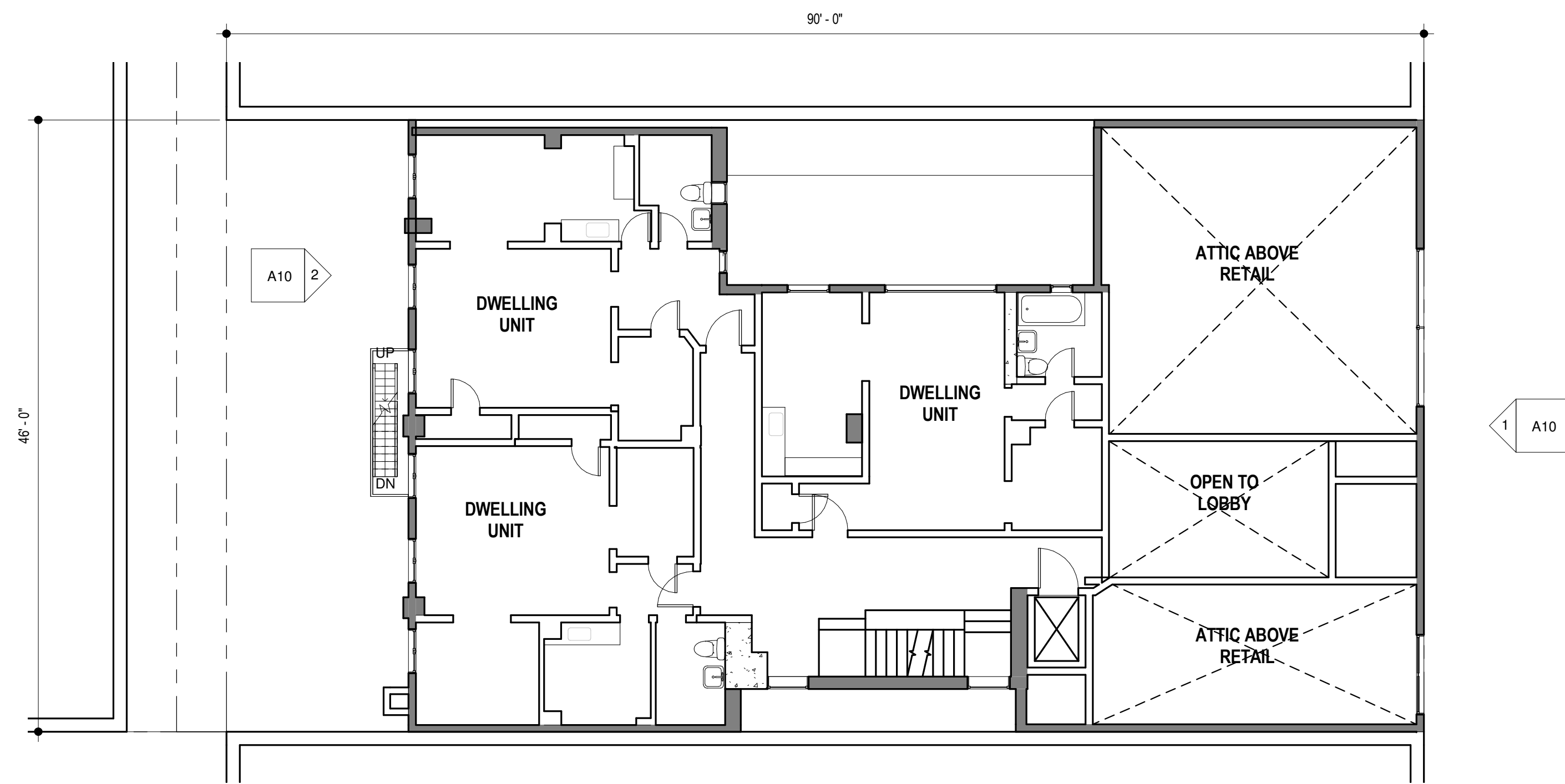
KEY MAP



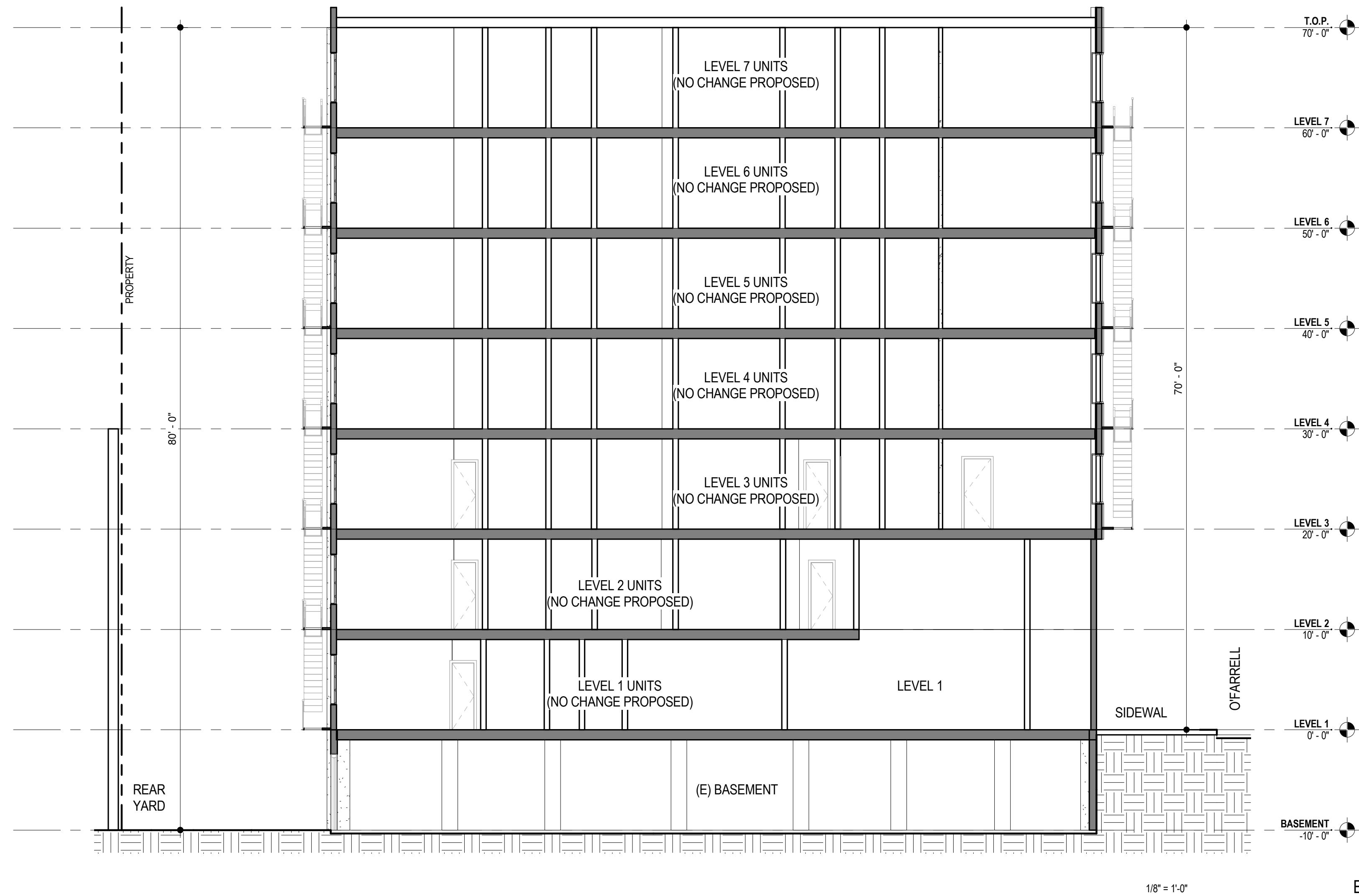
1/8" = 1'-0" LEVEL 3-7 - EXISTING PLAN 4



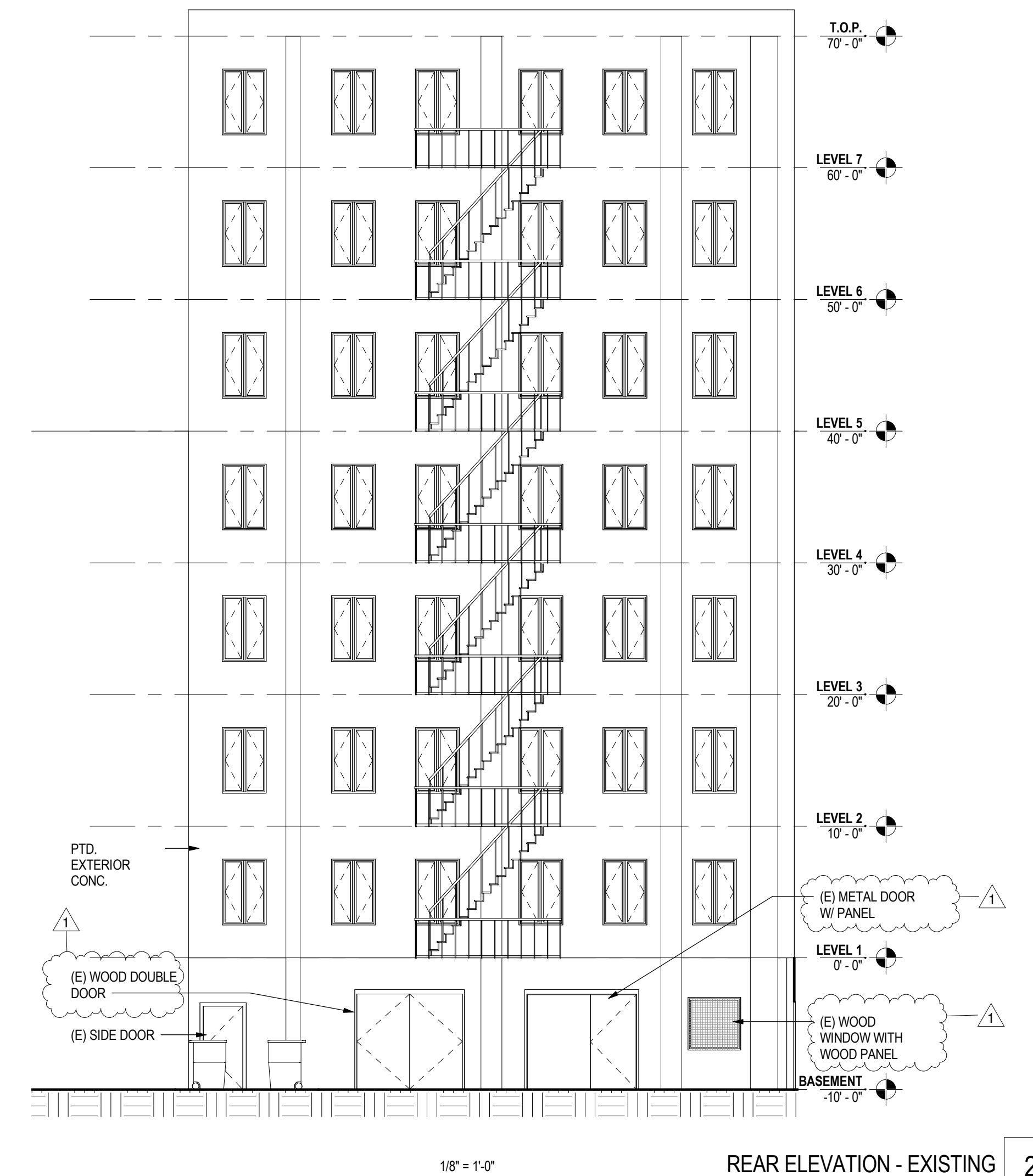
1/8" = 1'-0" LEVEL 1 - EXISTING PLAN 2



1/8" = 1'-0" LEVEL 2 - EXISTING PLAN 3



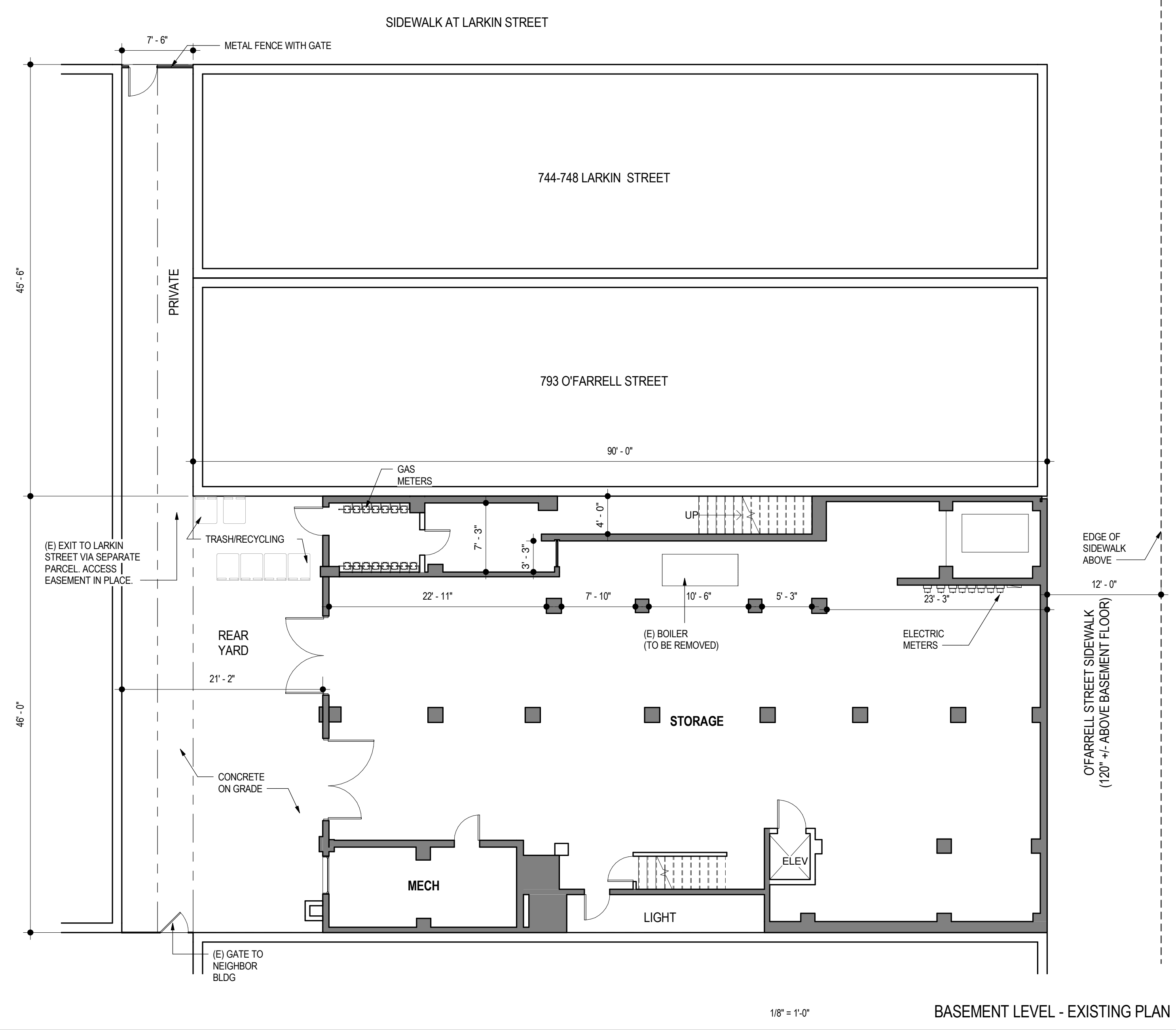
BUILDING SECTION - EXISTING 3



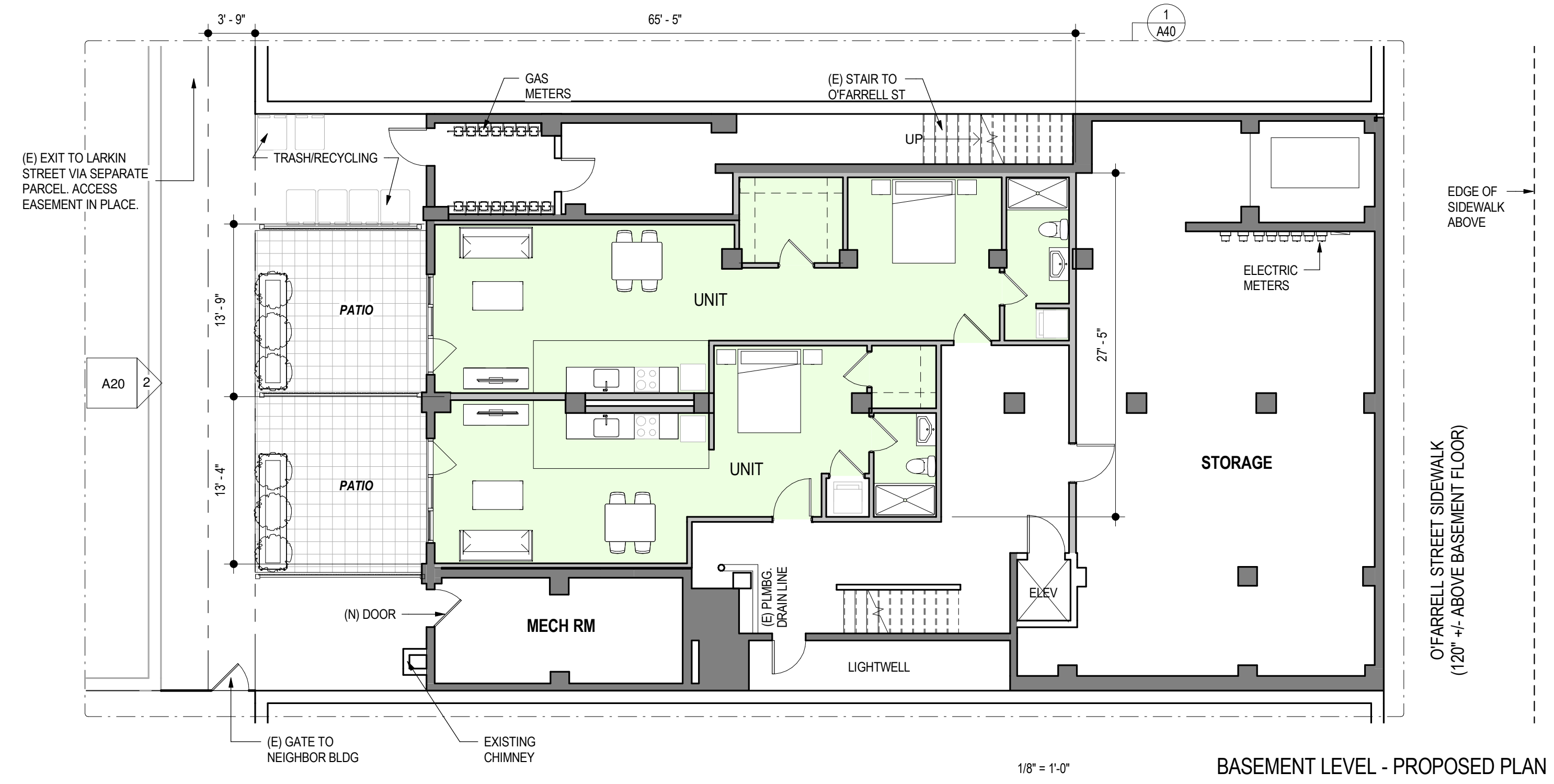
REAR ELEVATION - EXISTING 2



FRONT ELEVATION - EXISTING 1



BASEMENT LEVEL - EXISTING PLAN 2



BASEMENT LEVEL - PROPOSED PLAN 1

NEW RESIDENTIAL NET AREA	
Name	Area
UNIT A	
BATH RM	66 SF
CLOSET	56 SF
KITCHEN	59 SF
UNIT A LIVING AREA	461 SF
	642 SF
UNIT B	
BATH RM	41 SF
CLOSET	26 SF
KITCHEN	65 SF
UNIT B LIVING AREA	356 SF
	488 SF
GRAND TOTAL	1130 SF

PROJECT DESCRIPTION
THE EXISTING BUILDING IS A SIX-STORY, 32 UNIT RESIDENTIAL BUILDING, R-2 OCCUPANCY. THE SCOPE OF THE WORK IS TO ADD TWO NEW ACCESSORY DWELLING UNITS TO THE BASEMENT LEVEL PER ORDINANCE 162-16 (CITYWIDE ADU ORDINANCE).

BUILDING USE / OCCUPANCY GROUP
EXISTING: R-2 OCCUPANCY
PROPOSED: R-2 OCCUPANCY

PROJECT ADDRESS: 781 O'FARRELL ST, SAN FRANCISCO, CA 94109

PARCELS (BLOCK / LOT): 0321/030

PARCEL AREA: 4,138 SF

BUILDING AREA: 23,600 SF

RETAIL AREA (EXIST'G): 1,047 SF

RESIDENTIAL AREA (EXIST'G): 17,684 SF **RESIDENTIAL AREA (NEW):** 18,816 SF

NUMBER OF UNITS (EXIST'G): 32 **NUMBER OF UNITS (PROPOSED):** 34

NEW UNITS SQUARE FOOTAGE: 1,132 SF

SPRINKLERED: YES (ENTIRE BUILDING)

ZONING DISTRICT: RC-4 RESIDENTIAL - COMMERCIAL, HIGH DENSITY

HEIGHT & BULK DISTRICT: 80-T

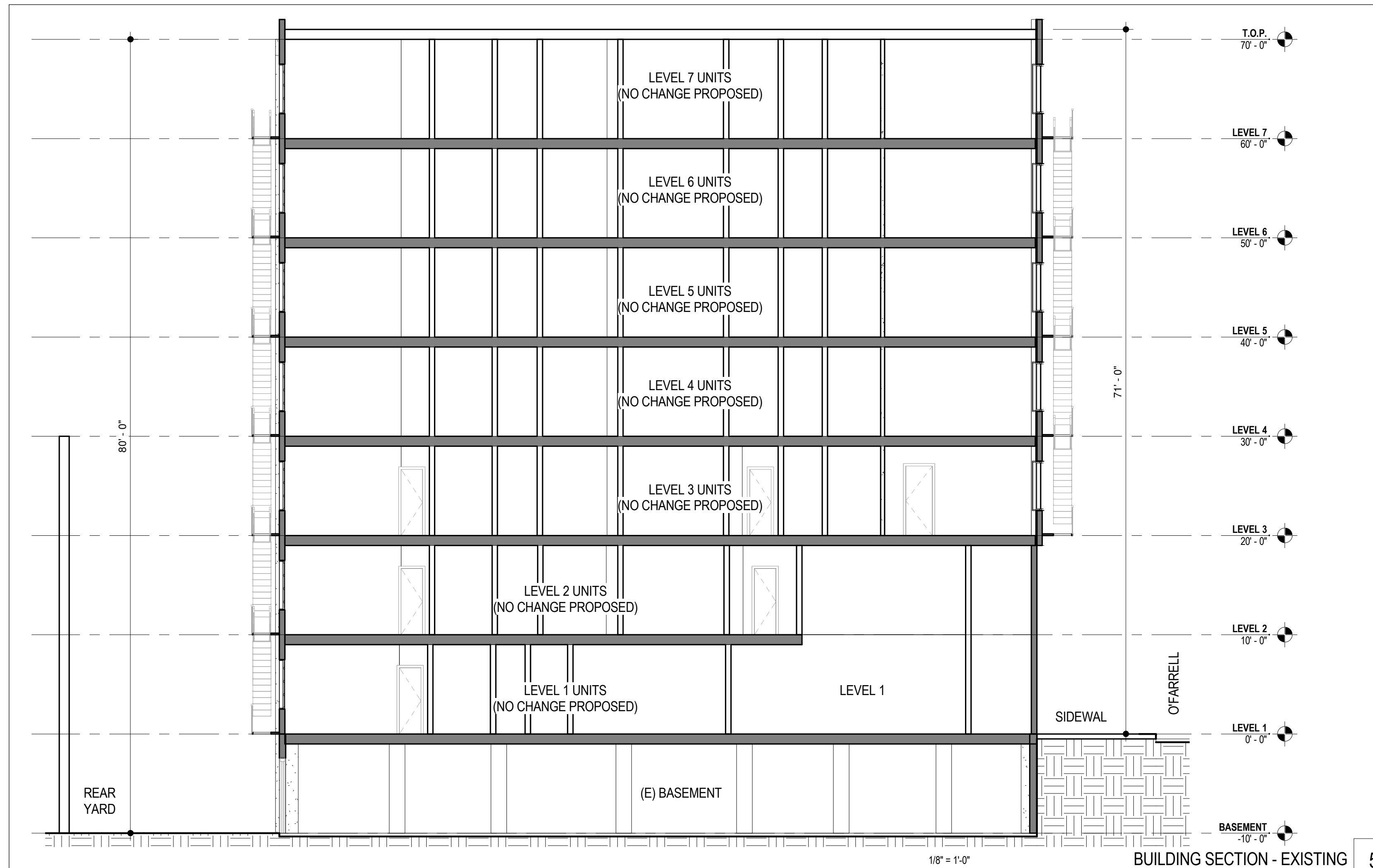
SPECIAL USE DISTRICTS: WITHIN 1/4 MILE OF THE FRINGE FINANCIAL SERVICES RUD

PLANNING DEPT. HISTORIC STATUS CODE: A - HISTORIC RESOURCE PRESENT

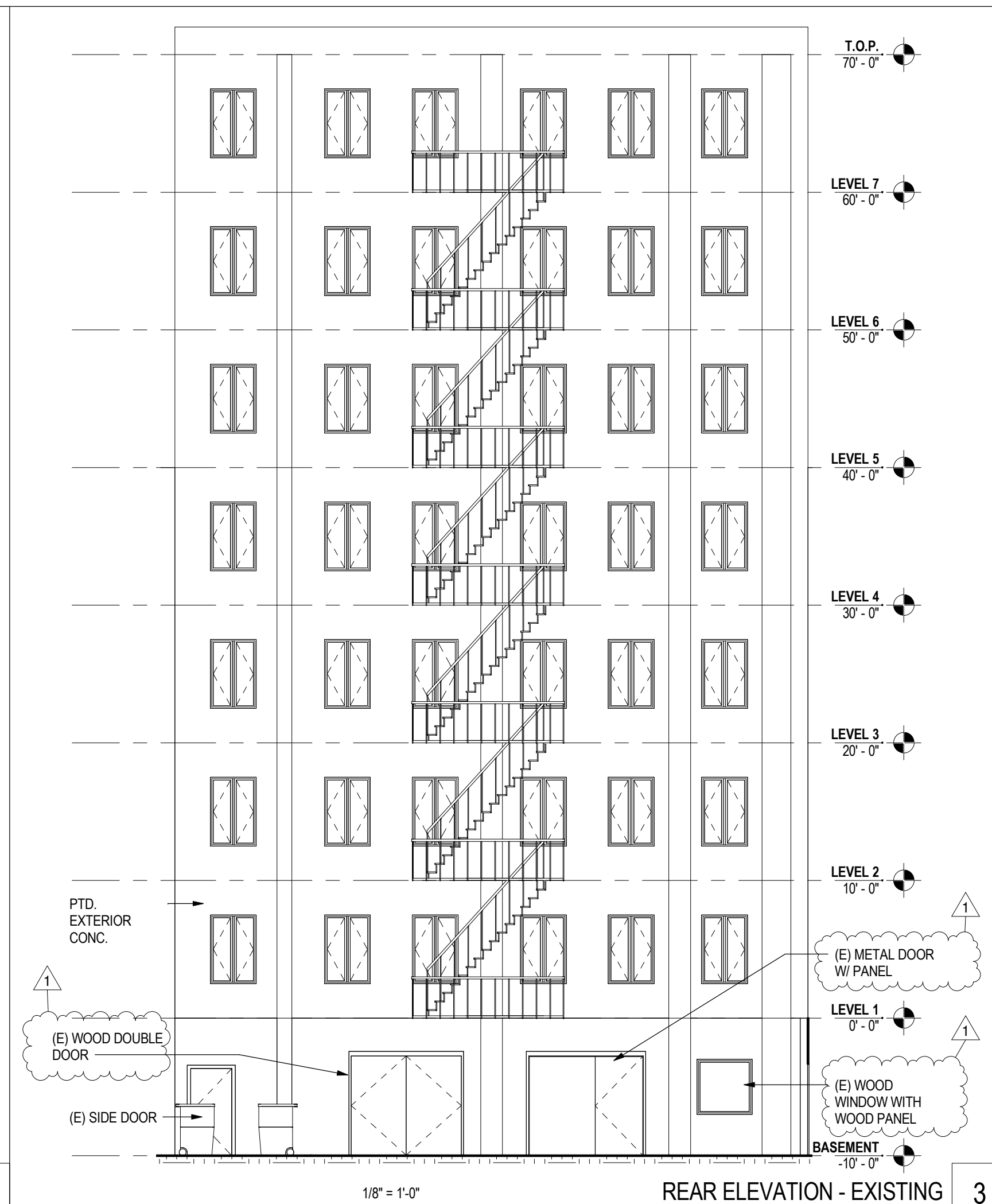
PRE-APPLICATION MEETING DATE: ---

PERMIT APPLICATION NUMBER: 201612215544

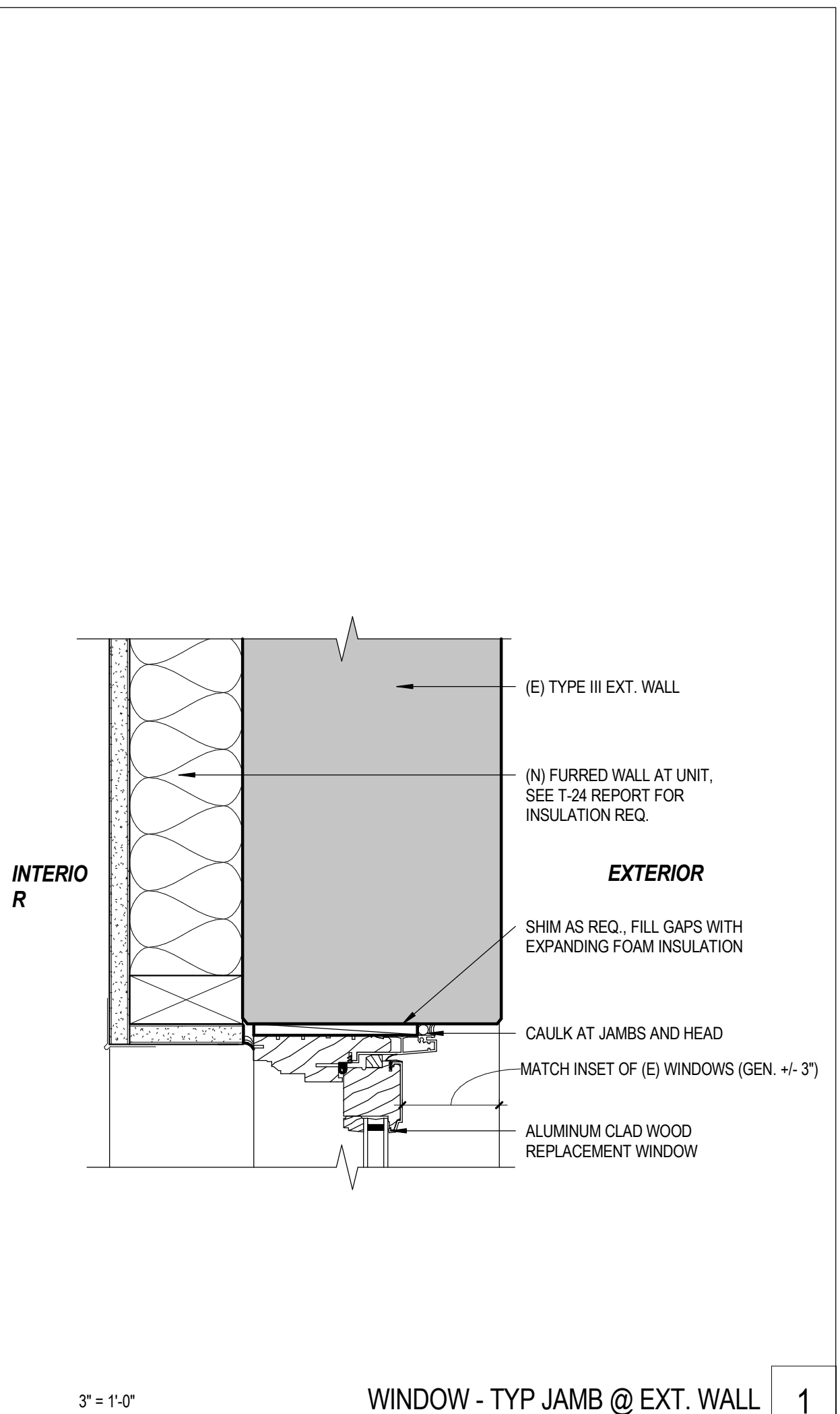
PROJECT INFORMATION



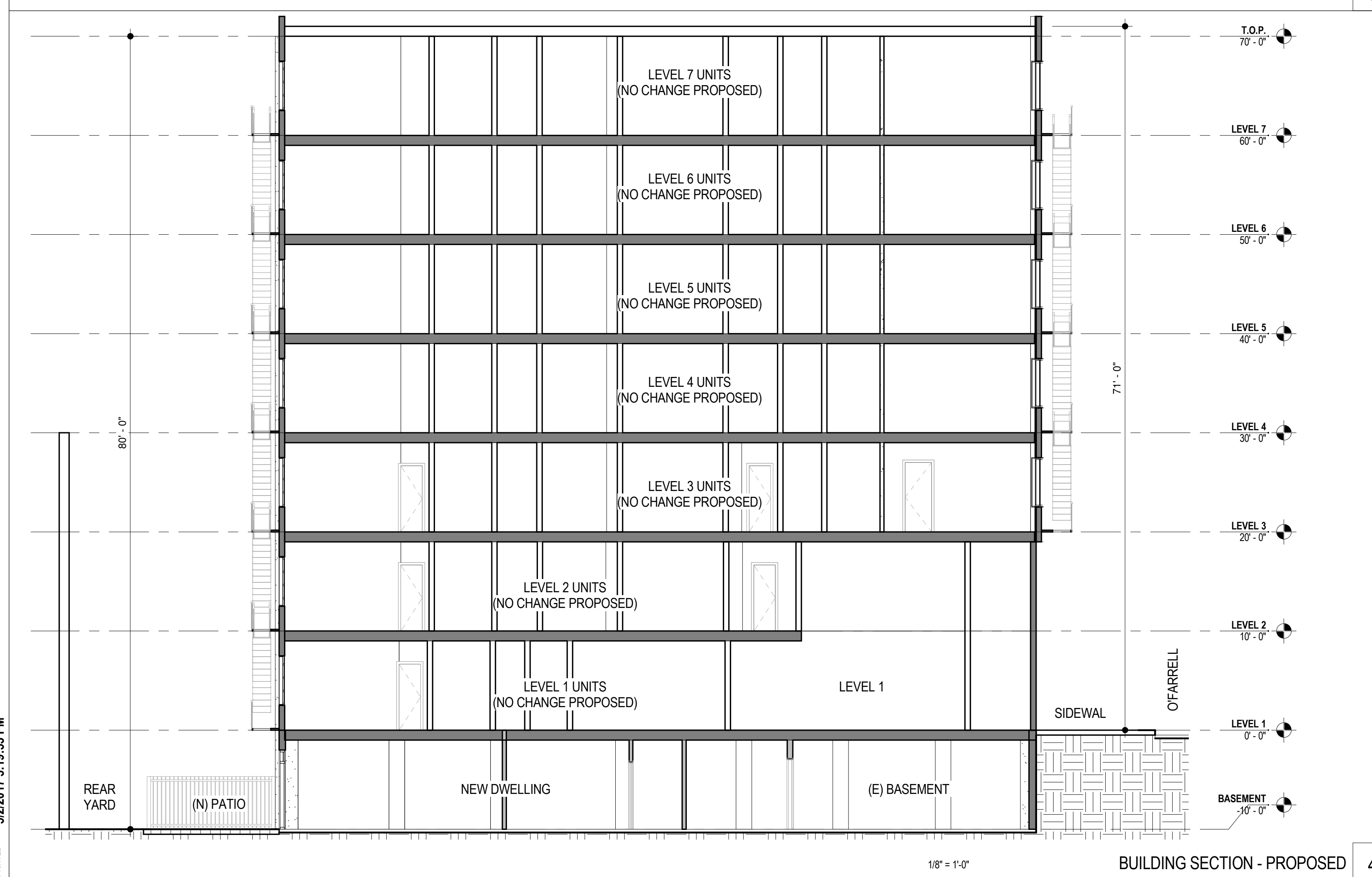
BUILDING SECTION - EXISTING 5



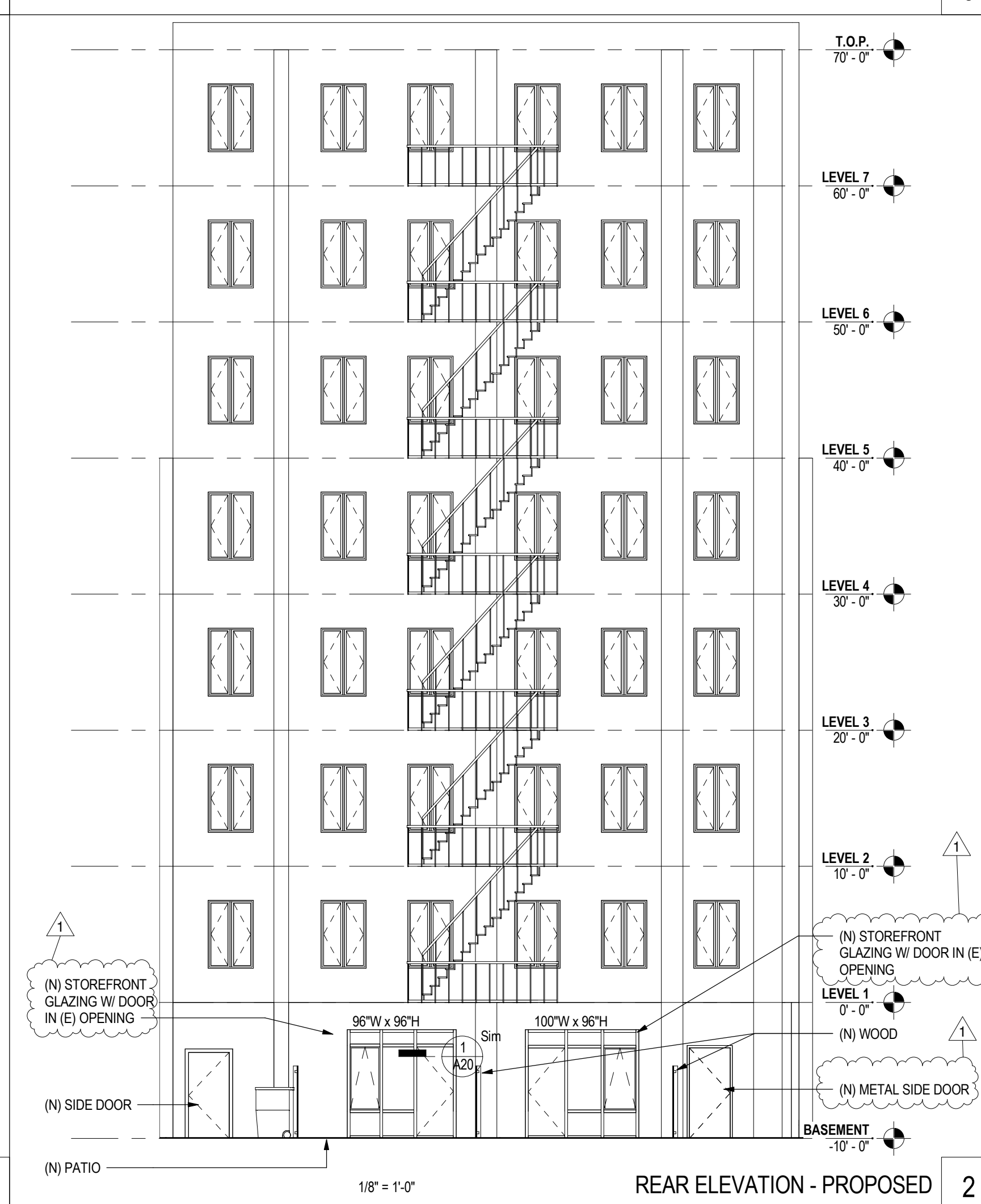
REAR ELEVATION - EXISTING 3



WINDOW - TYP JAMB @ EXT. WALL 1



BUILDING SECTION - PROPOSED 4



REAR ELEVATION - PROPOSED 2

CHAPTER 12 - INTERIOR ENVIRONMENT

1203.1 GENERAL. BUILDINGS SHALL BE PROVIDED WITH NATURAL VENTILATION IN ACCORDANCE WITH SECTION 1203.4, OR MECHANICAL VENTILATION IN ACCORDANCE WITH THE CALIFORNIA MECHANICAL CODE.

1203.4 NATURAL VENTILATION. NATURAL VENTILATION OF AN OCCUPIED SPACE SHALL BE THROUGH WINDOWS, DOORS, LOUVERS OR OTHER OPENINGS TO THE OUTDOORS. THE OPERATING MECHANISM FOR SUCH OPENINGS SHALL BE PROVIDED WITH READY ACCESS SO THAT THE OPENINGS ARE READILY CONTROLLABLE BY THE BUILDING OCCUPANTS.

1203.4.1 VENTILATION AREA REQUIRED. THE OPENABLE AREA OF THE OPENINGS TO THE OUTDOORS SHALL BE NOT LESS THAN 4 PERCENT OF THE FLOOR AREA BEING VENTILATED.

1203.4.1.1 ADJOINING SPACES. WHERE ROOMS AND SPACES WITHOUT OPENINGS TO THE OUTDOORS ARE VENTILATED THROUGH AN ADJOINING ROOM, THE OPENING TO THE ADJOINING ROOM SHALL BE UNOBSTRUCTED AND SHALL HAVE AN AREA OF NOT LESS THAN 8 PERCENT OF THE FLOOR AREA OF THE INTERIOR ROOM OR SPACE, BUT NOT LESS THAN 25 SQUARE FEET. THE OPENABLE AREA OF THE OPENINGS TO THE OUTDOORS SHALL BE BASED ON THE TOTAL FLOOR AREA BEING VENTILATED.

1203.4.2.1 NOTE THAT BATHROOMS CONTAINING BATHTUBS, SHOWERS, SPAS, OR SIMILAR FIXTURES REQUIRE MECHANICAL VENTILATION PER THE CALIFORNIA MECHANICAL CODE TABLE 403.7

1203.4.3. WHERE NATURAL VENTILATION IS TO BE PROVIDED BY OPENINGS ONTO YARDS OR COURTS, THEY MUST COMPLY WITH SECTION 1206.

1204.1. INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH ACTIVE OR PASSIVE SPACE-HEATING SYSTEMS.

1205.1 LIGHTING - GENERAL. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION 1205.2 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT IN ACCORDANCE WITH SECTION 1205.3. EXTERIOR GLAZED OPENINGS SHALL OPEN DIRECTLY ONTO A PUBLIC WAY OR ONTO A YARD OR COURT IN ACCORDANCE WITH SECTION 1206.

1205.2.1 ADJOINING SPACES. FOR THE PURPOSE OF NATURAL LIGHTING, ANY ROOM IS PERMITTED TO BE CONSIDERED AS A PORTION OF AN ADJOINING ROOM WHERE ONE-HALF OF THE AREA OF THE COMMON WALL IS OPEN AND UNOBSTRUCTED AND PROVIDES AN OPENING OF NOT LESS THAN ONE-TENTH OF THE FLOOR AREA OF THE INTERIOR ROOM OR 25 SQUARE FEET, WHICHEVER IS GREATER.

1208.1. MINIMUM ROOM WIDTHS. HABITABLE SPACES, OTHER THAN A KITCHEN, SHALL BE NOT LESS THAN 7 FEET (2134 MM) IN ANY PLAN DIMENSION. KITCHENS SHALL HAVE A CLEAR PASSAGEWAY OF NOT LESS THAN 3 FEET BETWEEN COUNTER FRONTS AND APPLIANCES OR COUNTER FRONTS AND WALLS.

1208.2 MINIMUM CEILING HEIGHTS. OCCUPIABLE SPACES, HABITABLE SPACES AND CORRIDORS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET 6 INCHES. BATHROOMS, TOILET ROOMS, KITCHENS, STORAGE ROOMS AND LAUNDRY ROOMS SHALL BE PERMITTED TO HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET. SECTION 1208 GRANTS EXCEPTIONS FOR BEAMS, SLOPED CEILINGS, FURRED CEILINGS, AND MEZZANINES.

1208.3 ROOM AREA. EVERY DWELLING UNIT SHALL HAVE NO FEWER THAN ONE ROOM THAT SHALL HAVE NOT LESS THAN 120 SQUARE FEET OF NET FLOOR AREA. OTHER HABITABLE ROOMS SHALL HAVE A NET FLOOR AREA OF NOT LESS THAN 70 SQUARE FEET. EXCEPTION: KITCHENS ARE NOT REQUIRED TO BE OF A MINIMUM FLOOR AREA.

BUILDING CODE CHAPTER 12

UNIT A LIGHT AND AIR REQUIREMENTS:

MAIN LIVING SPACE
4% X 464 S.F. = 18.5 S.F. VENTILATION REQ.
20.5 S.F. PROVIDED

8% X 464 S.F. = 37 S.F. NATURAL LIGHT REQ.
52 S.F. PROVIDED

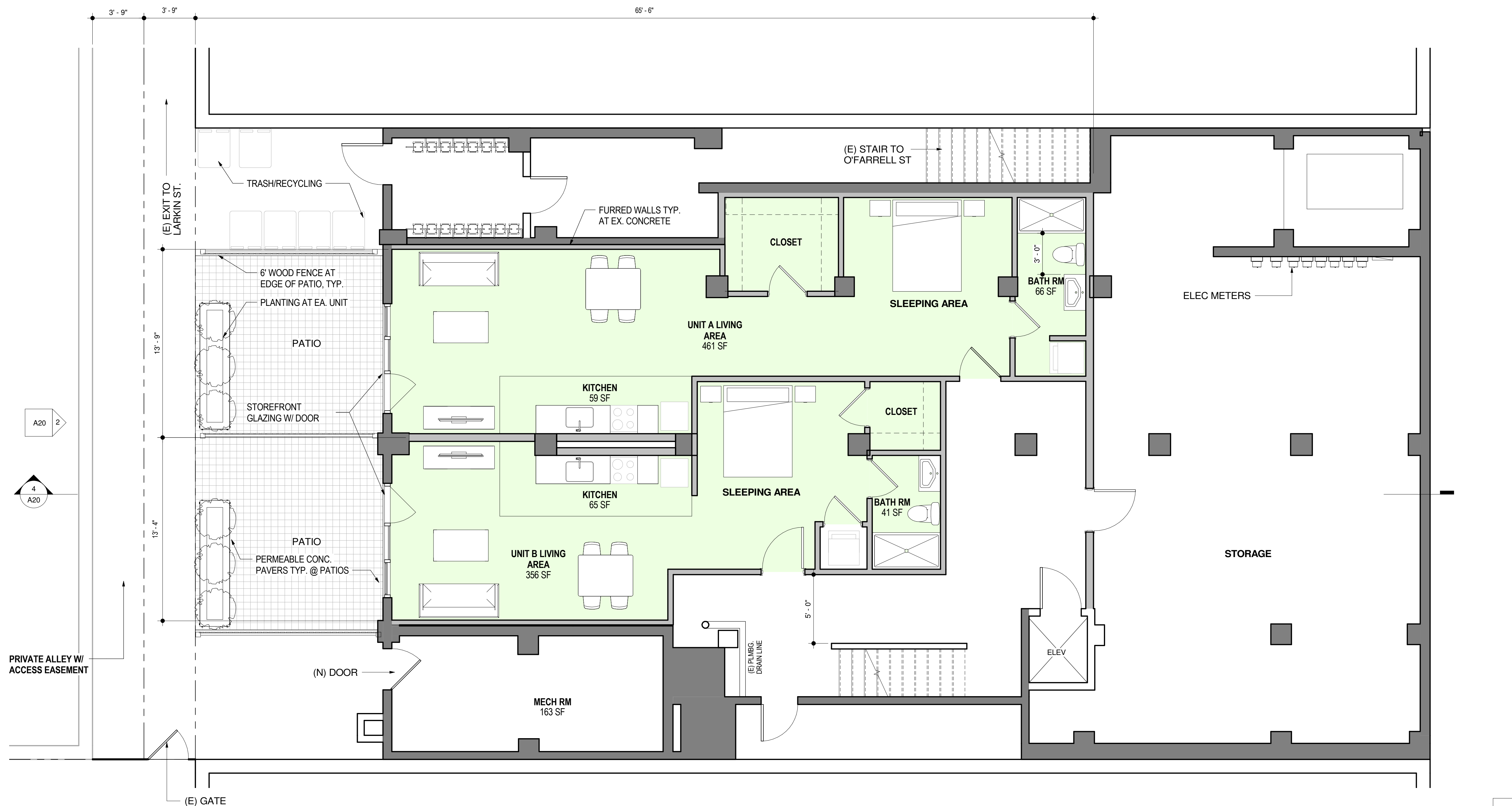
UNIT B LIGHT AND AIR REQUIREMENTS:

MAIN LIVING SPACE
4% X 356 S.F. = 14.2 S.F. VENTILATION REQ.
28.5 S.F. PROVIDED

8% X 356 S.F. = 28.4 S.F. NATURAL LIGHT REQ.
47 S.F. PROVIDED

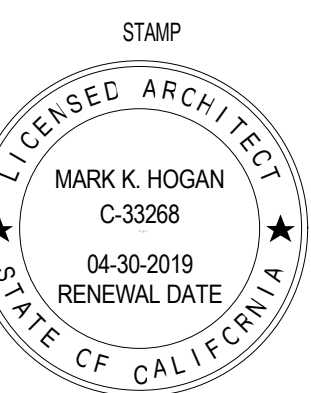
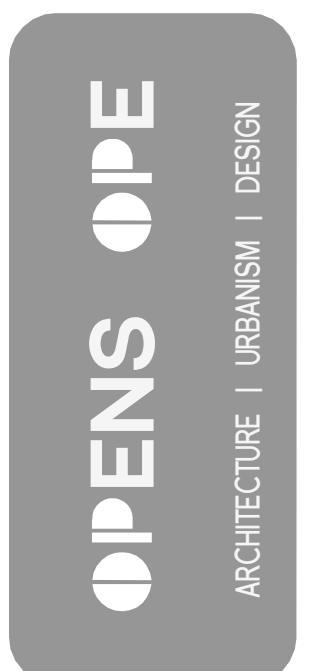
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KITCHEN	65 SF
UNIT B LIVING AREA	356 SF
	488 SF
GRAND TOTAL	1130 SF



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CONSULTANTS

PROJECT
1606.05
781 O'Farrell ADUS

781 O' FARRELL ST,
SAN FRANCISCO, CA
94109

ISSUE DATE
12/15/2016

SITE PERMIT

REVISIONS

NO.	DATE.
-----	-------

SCALE
1/4" = 1'-0"

ENLARGED UNIT PLANS

A40