



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

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Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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ABBREVIATIONS:

A.C.	AIR CONDITIONING
ACOUS.	ACOUSTICAL
A.D.	AREA DRAIN
ADD.	ADDENDUM
ADJ.	ADJUSTABLE
A.F.F.	ABOVE FINISH FLOOR
ALUM.	ALUMINUM
BD.	BOARD
BITUM.	BITUMINOUS
BLDG.	BUILDING
BLK.	BLOCKING
BM.	BEAM
BOT.	BOTTOM
BSMT.	BASEMENT
CAB.	CABINET
CEM.	CEMENT
CER.	CERAMIC
C.J.	CONTROL JOINT
CLG.	CEILING
CL.	CLOSE
COL.	COLUMN
CONC.	CONCRETE
CONN.	CONNECTION
CONSTR.	CONSTRUCTION
CONT.	CONTINUOUS
CONTR.	CONTRACTOR
COORD.	COORDINATE
CORR.	CORRIDOR
C.T.	CERAMIC TILE
CTR.	CENTER
DBL.	DOUBLE
DEPT.	DEPARTMENT
DTL.	DETAIL
DLA.	DIAMETER
DIM.	DIMENSION
DN.	DOWN
DR.	DOOR
DRN.	DRAIN
DS.	DOWNSPOUT
DWG./DWGS.	DRAWINGS
DWR.	DRAWER
E.	EXISTING
EA.	EACH
E.J.	EXPANSION JOINT
EL.	ELEVATION
ELEC.	ELECTRICAL
EMER.	EMERGENCY
ENCL.	ENCLOSURE
EQ.	EQUAL
EQUIP.	EQUIPMENT
EXP.	EXPANSION
EXT.	EXTERIOR
F.A.	FIRE ALARM
F.D.	FLOOR DRAIN
FDTN.	FOUNDATION
F.E.	FINISH ELEVATION
F.F.	FACE OF FINISH
F.F.E.	FINISH FLOOR ELEVATION
FIN.	FINISH
FL.	FLOOR
FLASH.	FLASHING
FLOUR.	FLOURESCENT
F.O.F.	FACE OF FINISH
F.O.S.	FACE OF STUD
F.O.C.	FACE OF CONCRETE
FRF.	FIREPROOFING
FR.	FRAME
FT.	FOOT OR FEET
FTG.	FOOTING
FURN.	FURNITURE
FURR.	FURRING
GA.	GALIE
GALV.	GALVANIZED
GL.	GLASS
GYP. BD.	GYPSPUM WALLBOARD
HD.	HEAD
HDW.	HARDWARE
HDWD.	HARDWOOD
HT.	HEIGHT
HORIZ.	HORIZONTAL
H.V.A.C.	HEATING, VENTILATING, & AIR CONDITIONING
I.D.	INSIDE DIAMETER
IN.	INCH
INCAN.	INCANDESCENT
INCL.	INCLUDED/INCLUDING
INFO.	INFORMATION
INSUL.	INSULATION
INT.	INTERIOR
JT.	JOINT
KIT.	KITCHEN
K.P.	KICK PLATE
L.	LENGTH
LAM.	LAMINATE
LAV.	LAVATORY

LT.	LIGHT
MANUF.	MANUFACTURER
MAS.	MASONRY
MATL.	MATERIAL
MAX.	MAXIMUM
M.R.	MOISTURE RESISTANT
MECH.	MECHANICAL
MDF.	MEDIUM DENSITY FIBERBOARD
MED.	MEDICINE
MTL.	METAL
MFR.	MANUFACTURER
MIN.	MINIMUM
MTD.	MOUNTED
MUL.	MULLION
MLDG.	MOLDING
N.	NEW
N.I.C.	NOT IN CONTRACT
NTS.	NOT TO SCALE
O/	OVER
OA.	OVERALL
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER/ DIMENSION
OPNG.	OPENING
OPP.	OPPOSITE
OVHD.	OVERHEAD
OZ.	OUNCE
PLYWD.	PLYWOOD
PT./PTD.	PAINT/PAINTED
PL.	PLATE
P. LAM.	PLASTIC LAMINATE
PLBG.	PLUMBING
PNL.	PANEL
POL.	POLISHED
PRTN.	PARTITION
R.	RISER
R.A.	RETURN AIR GRILL
RAD.	RADIUS
R.C.P.	REFLECTED CEILING PLAN
R.D.	ROOF DRAIN
RDWD.	REDWOOD
REF.	REFERENCE
REQ'D.	REQUIRED
REV.	REVISION
R.W.L.	RAIN WATER LEADER
ROOM.	ROOM
RND.	ROUND
R.O.	ROUGH OPENING
RTN.	RETURN
S.C.	SOLID CORE
SCHED.	SCHEDULE
SECT.	SECTION
S.F.	SQUARE FOOT (FEET)
S.H.	SPRINKLER HEAD
SHWR.	SHOWER
SIM.	SIMILAR
SL.	SEAL
SPEC.	SPECIFICATION
SPKR.	SPEAKER
SQ.	SQUARE
S.S.D.	SEE STRUCTURAL DRAWINGS
S.S.	STAINLESS STEEL
STN.	STAIN
STD.	STANDARD
STL.	STEEL
STOR.	STORAGE
STRUC.	STRUCTURE
SYM.	SYMMETRICAL
T.	TREAD
T.B.	TOWEL BAR
TEMP.	TEMPERED
T&G	TONGUE AND GROOVE
THRU.	THROUGH
T.O.C.	TOP OF CONCRETE
TYP.	TYPICAL
UNF.	UNFINISHED
U.O.N.	UNLESS OTHERWISE NOTED
U.L.	UNDERWRITER'S LABORATORY
VERT.	VERTICAL
V.I.F.	VERIFY IN FIELD
W/	WITH
W.C.	WATER CLOSET
WD.	WOOD
W/D	WASHER-DRYER
W.H.	WATER HEATER
W/O	WITHOUT
WP.	WATERPROOF
WT.	WEIGHT

GENERAL NOTES:

- All work shall be in conformance with the 2013 California Residential Code, the 2013 California Electrical Code, the 2013 California Energy Code, the 2013 California Plumbing Code, the 2013 California Mechanical Code, the 2013 San Francisco Code Amendments, and other applicable state and local laws.
- Contractor shall verify all dimensions, elevations, and conditions at the site and notify the Designer in writing of any discrepancies in plans and specifications immediately. Work shall not proceed without Designer's authorization.
- All dimensions are to face of concrete and finish face, unless otherwise noted. Written dimensions shall always take precedence over scaled dimensions. Do not scale drawings.
- Details shown are typical. Similar details shall apply in similar locations and conditions.
- These documents describe design intent. Contractor is responsible to provide complete operational systems and installations. No claims for additional work will be awarded for work which is described in these documents or which is reasonably inferable from them.
- Contractor is responsible for thorough coordination of trades. No claims for additional work will be awarded for work related to such coordination.
- All manufactured articles, materials, and equipment shall be applied, installed connected, erected, used, cleaned, adjusted and conditioned as directed by the manufacturer unless herein specified to the contrary.
- All dimensions noted "Verify" shall be checked by the Contractor prior to construction and reported to the designer.
- Features of construction not fully shown shall be of same character as shown for similar conditions.
- Electrical subcontractor shall furnish and install, complete, all materials equipment and labor shown and is necessary for a complete workable system. All materials shall be new and free from any defects. All electrical materials and equipment shall be listed by underwriters laboratories.
- Exhaust system shall conform to all government codes and ordinances.
- Electrical and Plumbing Contractors are responsible for the filing of their own permits.
- Mechanical Subcontractor shall perform all testing required by codes.
- All aste and refuse caused by the work shall be removed from the premises and disposed of by the contractor. The premises shall be left clean and clear to the satisfaction of the Designer.

PROJECT DIRECTORY:

Kurien Residence
458 Anderson St.
San Francisco, CA 94110

Owner:
Philip and Erica Kurien
458 & 458A Anderson St.
San Francisco, CA 94110
p (505) 704.5450

Architect:
Susanna Douglas
3887 20th Street #2
San Francisco, CA 94114
p (415) 728-1985

Contractor:
The Construction Guy
Timothy Nolan
License #865510
1076 Rhode Island Street
San Francisco, CA 94107
p (415) 730-2590

Structural Engineer:
Eneria Designs
Jefferson Chen
1167 Mission Street, Fl 1
San Francisco, CA 94103
p (415) 515-0403

Date: Dec 28 2016

PROJECT DATA:

Project Description:
--Excavate at the garage level and provide upgraded foundations and new slab.
--Add habitable square feet at the garage level within the existing footprint, with two new bedrooms and a bathroom.
--Connect the garage level to the main living level with new a stair.
--Renovate two existing bathrooms, including increasing ceiling height at upper story by adding a dormer.
--New windows at new dormer, and two new skylights.

Assessor's Location:
Block: 5706
Lot: 011

Zoning: RH-1

Occupancy: R3

Construction Type: Type V-B

Building Areas:	EXISTING	PROPOSED	CHANGE
458 Anderson Street	1536 SF	2086 SF	+550
Conditioned Space	1010 SF	467 SF	-504
Garage	79 SF	33 SF	-46
Crawl Space			

No work on rear unit, 458A Anderson Street:
Rear Unit 718 SF 718 SF

Code Used: See #1 General Notes

INDEX OF DRAWINGS:

- Architectural:
A0.1 Cover Sheet/Plot Plan
A0.2 Mass Reduction Diagrams
A0.3 ABO05 Local Equivalency
- A1.1 Existing/Demolition Floor Plans
A1.2 Roof Plans, Existing + Proposed, & Photos
A2.1 Proposed Floor Plans
A3.1 Exterior Elevations
A3.2 South Elevation, Window/Door Schedule
A4.1 Building Sections
A5.1 Interior Elevations
A5.2 Interior Elevations, Stair detail
A7.1 Electrical/Mechanical Schematic
A7.2 SF Green

CA Energy Code Compliance:
T1.0 Title 24 Energy Calculations

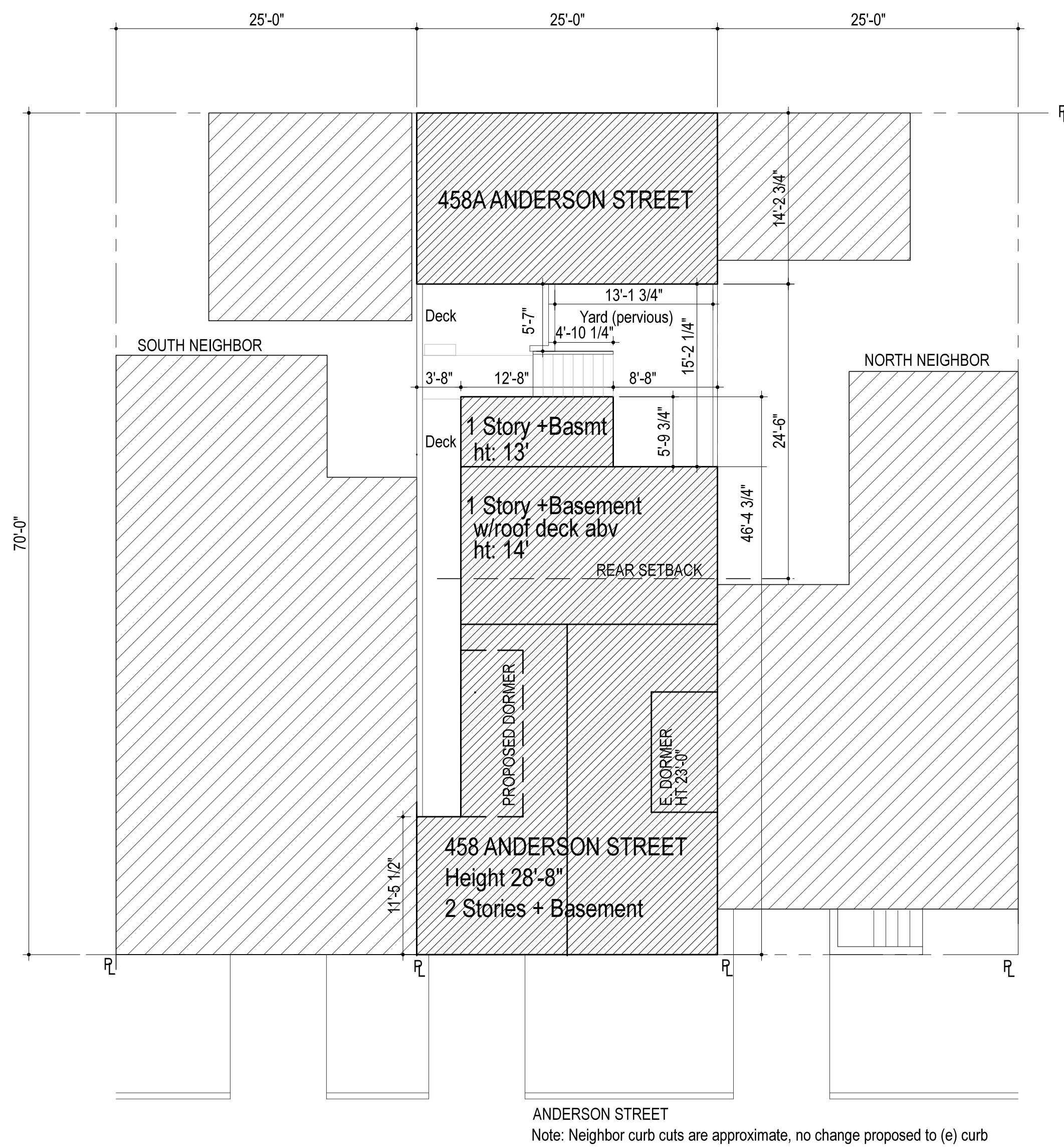
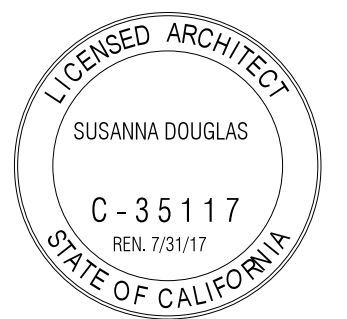
- Structural:
S1.0 Title Sheet
S1.1A Typical Wood Details
S1.1B Typical Wood Details
S1.2A Typical Concrete Details
S2 First Floor/Foundation Plan
Second Floor Framing Plan
S3 Third Floor/Lower Roof Framing Plan
Roof Framing Plan
S4 Structural Details
S5 Structural Details

Kurien Renovation

458 ANDERSON STREET
SAN FRANCISCO, CA 94110
BLOCK 5706 LOT 011

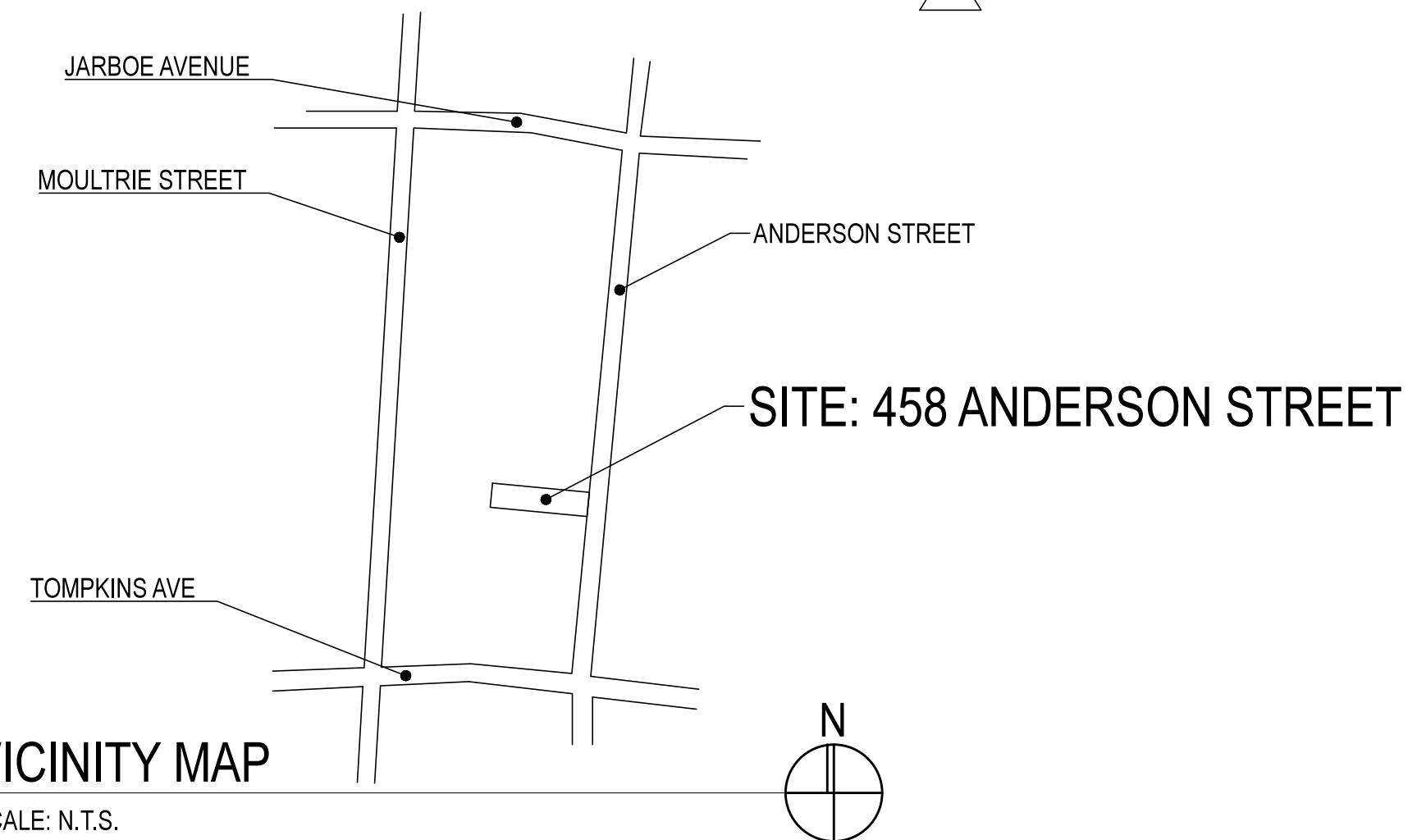
ARCHITECT
SUSANNA DOUGLAS
SUSANNA@GMAIL.COM
PHONE: 415.728.1985

PERMIT SET



2 PLOT PLAN
SCALE: 1/8"=1'-0"

1 VICINITY MAP
SCALE: N.T.S.



DRAWING TITLE:

Cover Sheet

DATE: 12 . 28 . 16

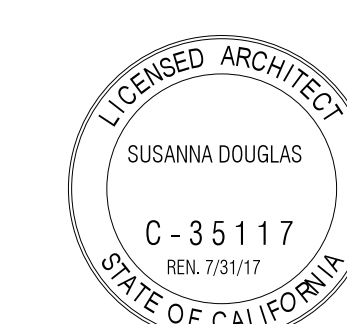
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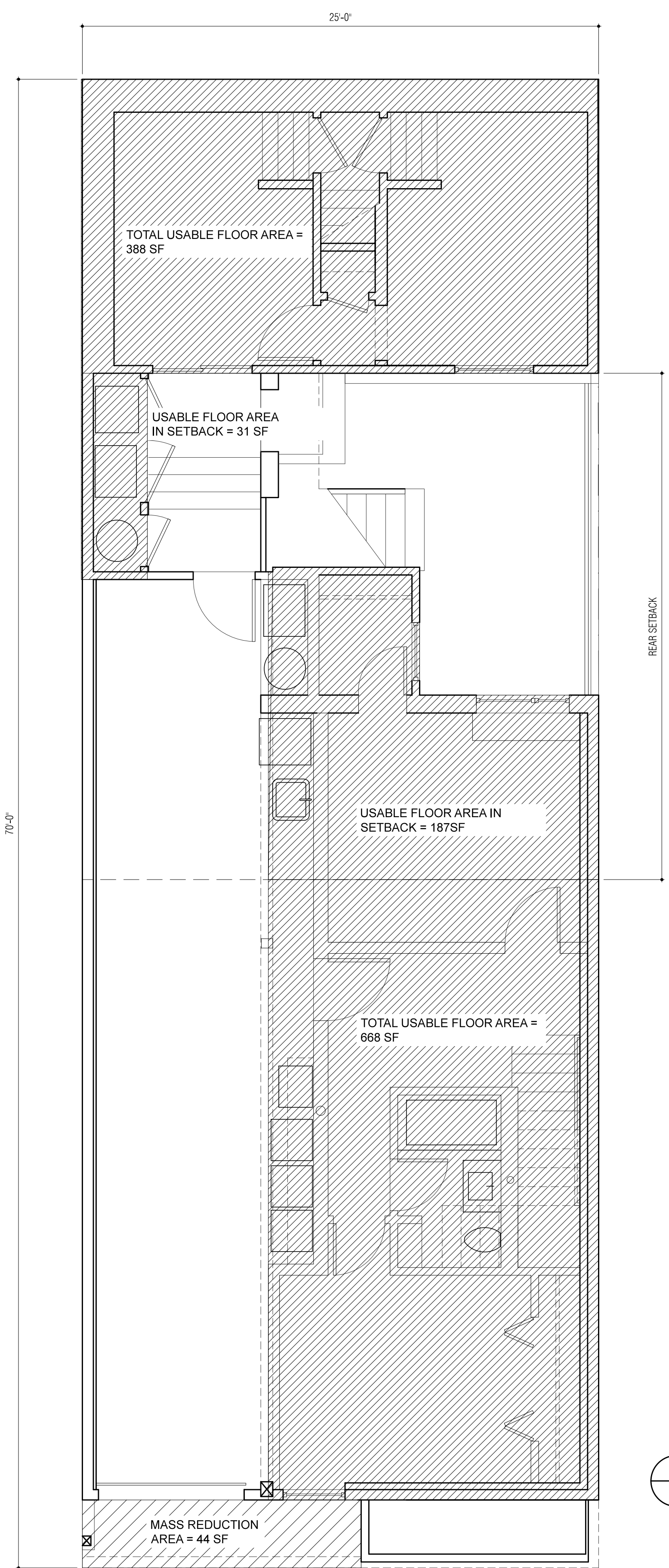


GENERAL NOTES
DO NOT SCALE DRAWINGS.
ALL DIMENSIONS TO BE VERIFIED IN THE FIELD.
ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY
TO THE ARCHITECT.

DRAWING TITLE:
Mass Reduction Diagrams

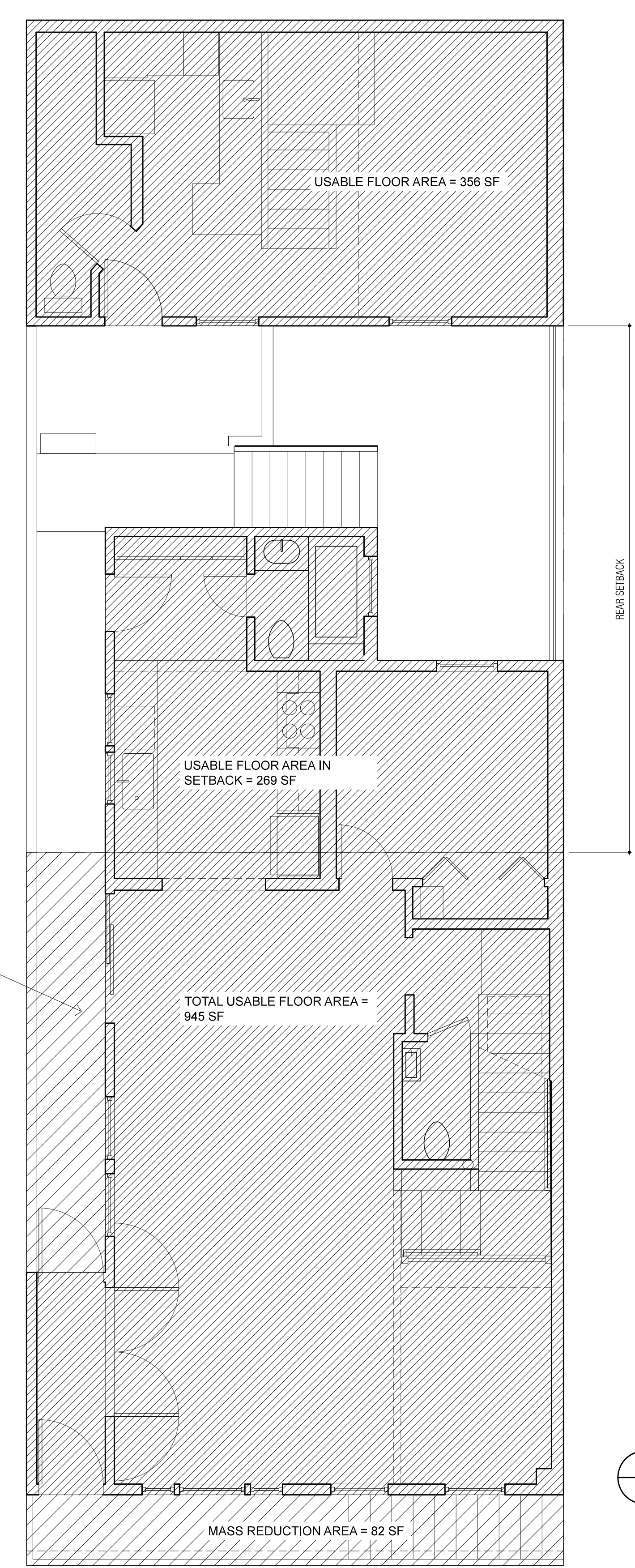
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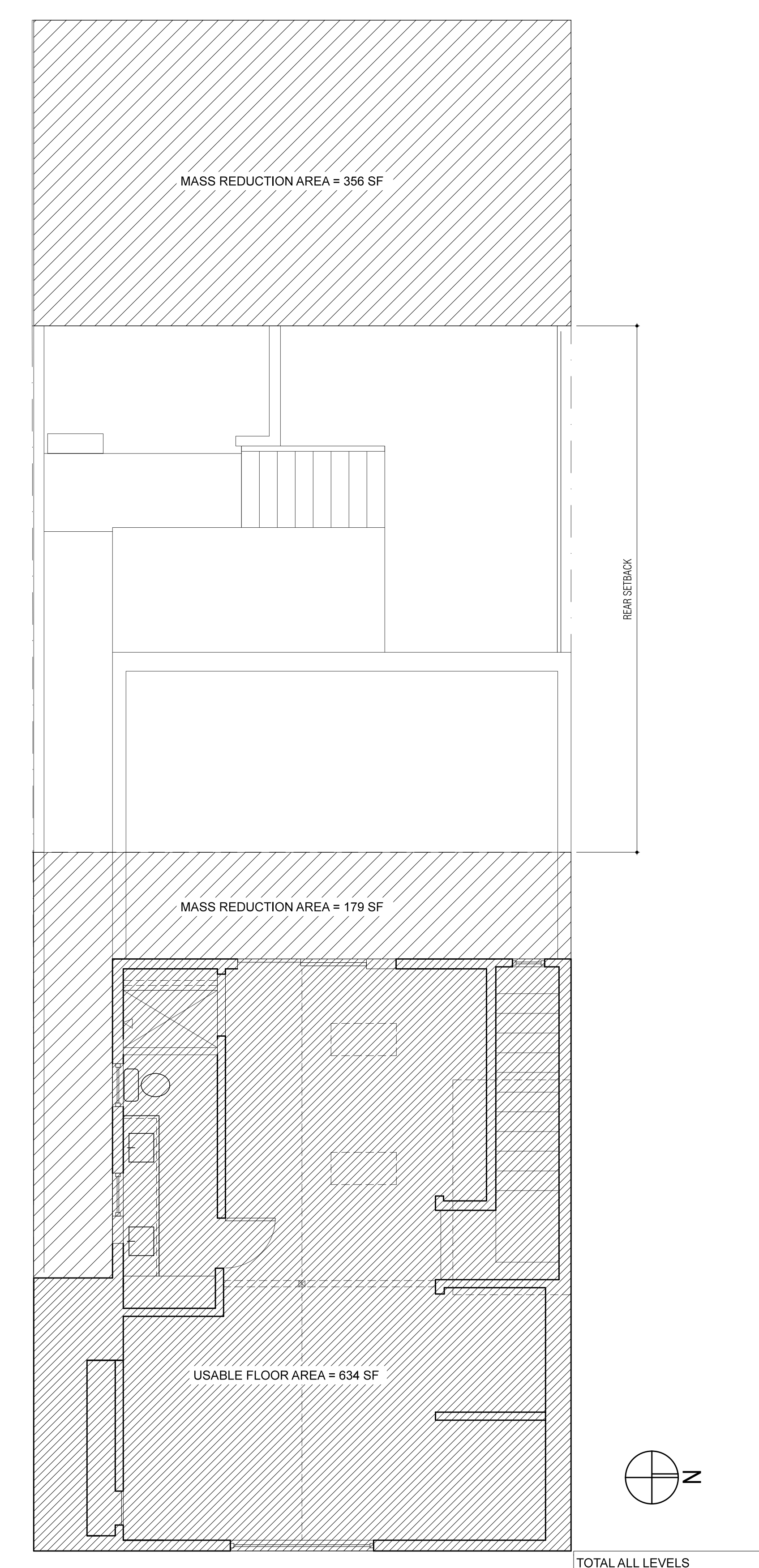
TOTAL AREA OF MASS REDUCTION FOR THIS LEVEL = 44 SF
TOTAL AREA OF BUILDING MASS IN SETBACK AREA = 187 + 31 SF = 218 SF

1 MASS REDUCTION DIAGRAM: FIRST FLOOR
SCALE: 1/4" = 1'-0" 1029 SF



TOTAL AREA OF MASS REDUCTION FOR THIS LEVEL = 82 SF + 72 SF = 154SF
TOTAL AREA OF BUILDING MASS IN SETBACK AREA = 269SF

2 MASS REDUCTION DIAGRAM: SECOND FLOOR
SCALE: 1/4" = 1'-0" 945 SF



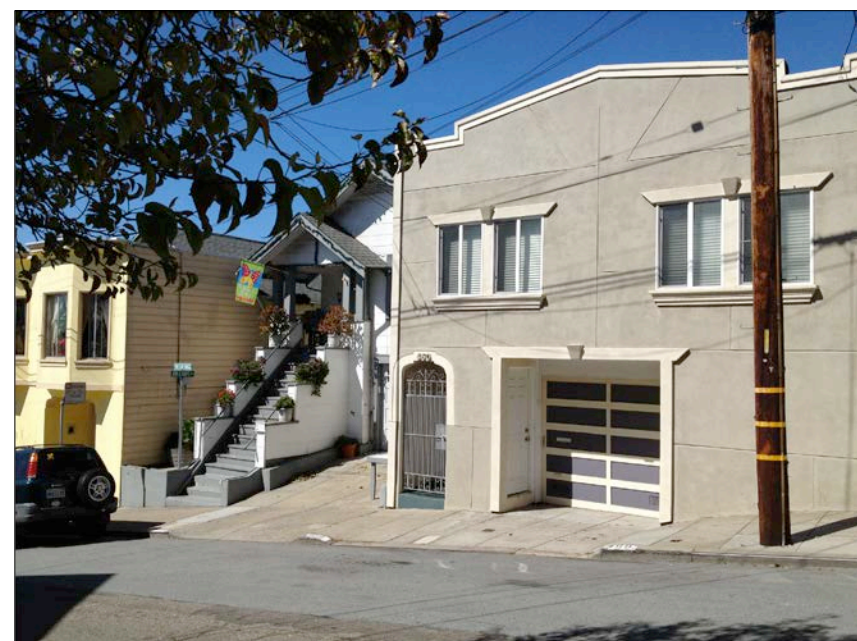
TOTAL AREA OF MASS REDUCTION FOR THIS LEVEL = 179 + 356 = 535 SF
TOTAL AREA OF BUILDING MASS IN SETBACK AREA = 0SF

3 MASS REDUCTION DIAGRAM: THIRD FLOOR
SCALE: 1/4" = 1'-0" 591 SF

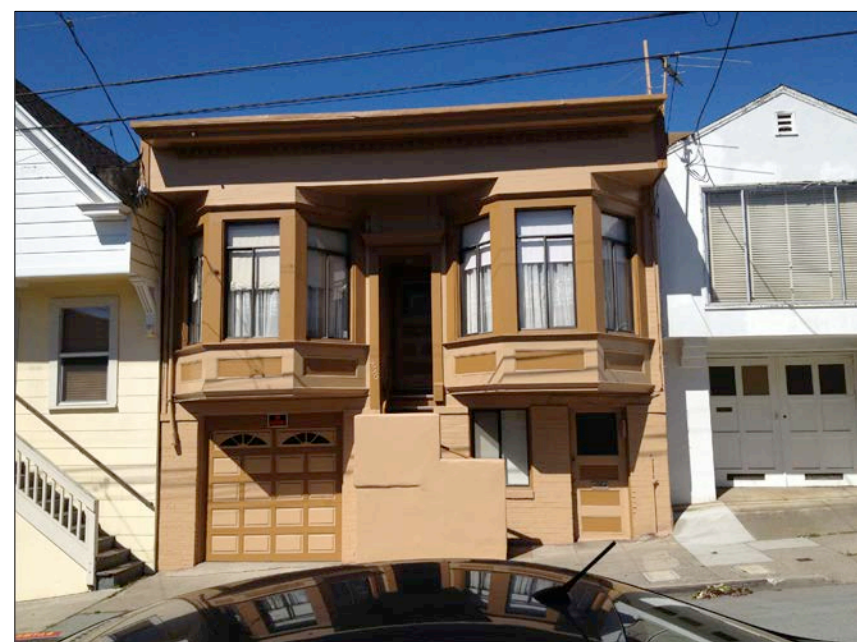
TOTAL ALL LEVELS
MASS REDUCTION: 733 SF
BUILDING IN SETBACK: 487 SF
NET MASS REDUCTION: 246 SF



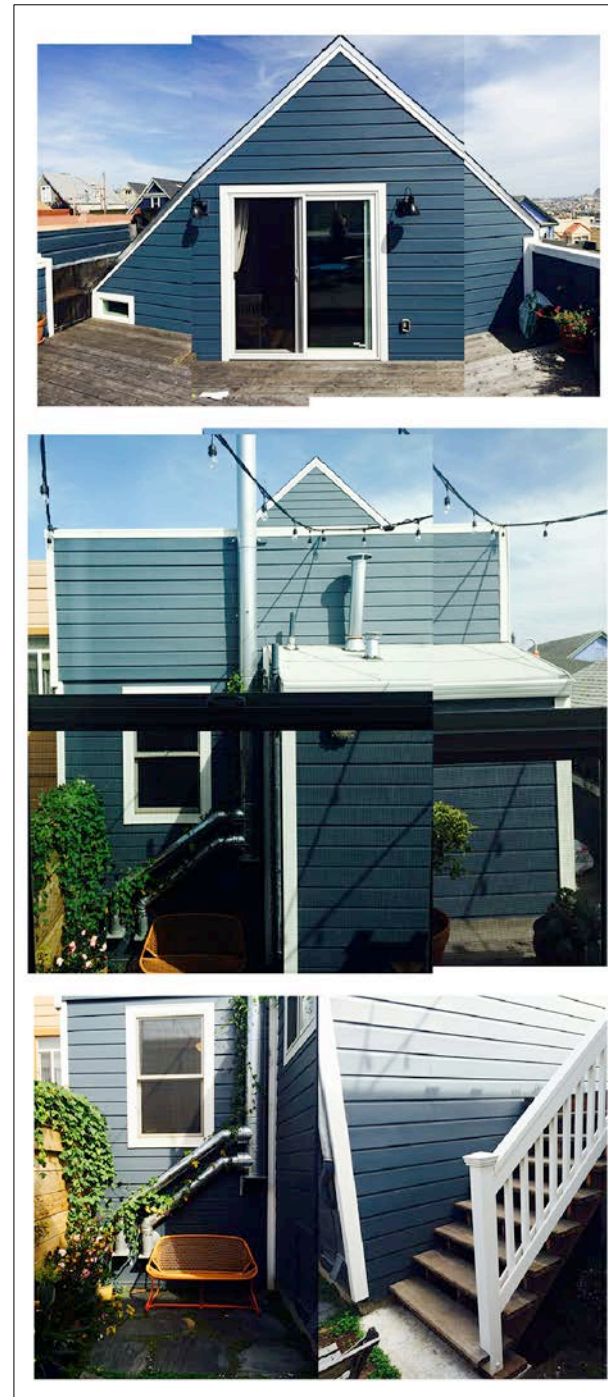
7 NEIGHBORS ACROSS STREET



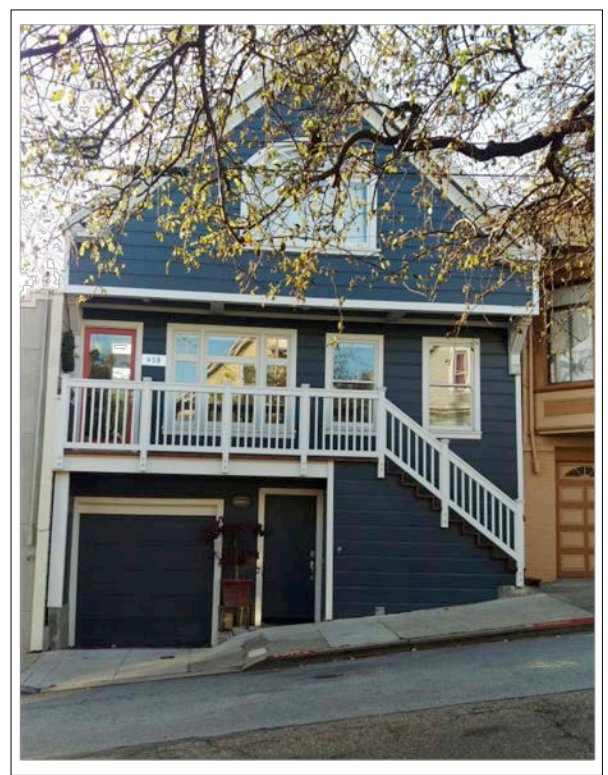
6 SOUTH NEIGHBOR



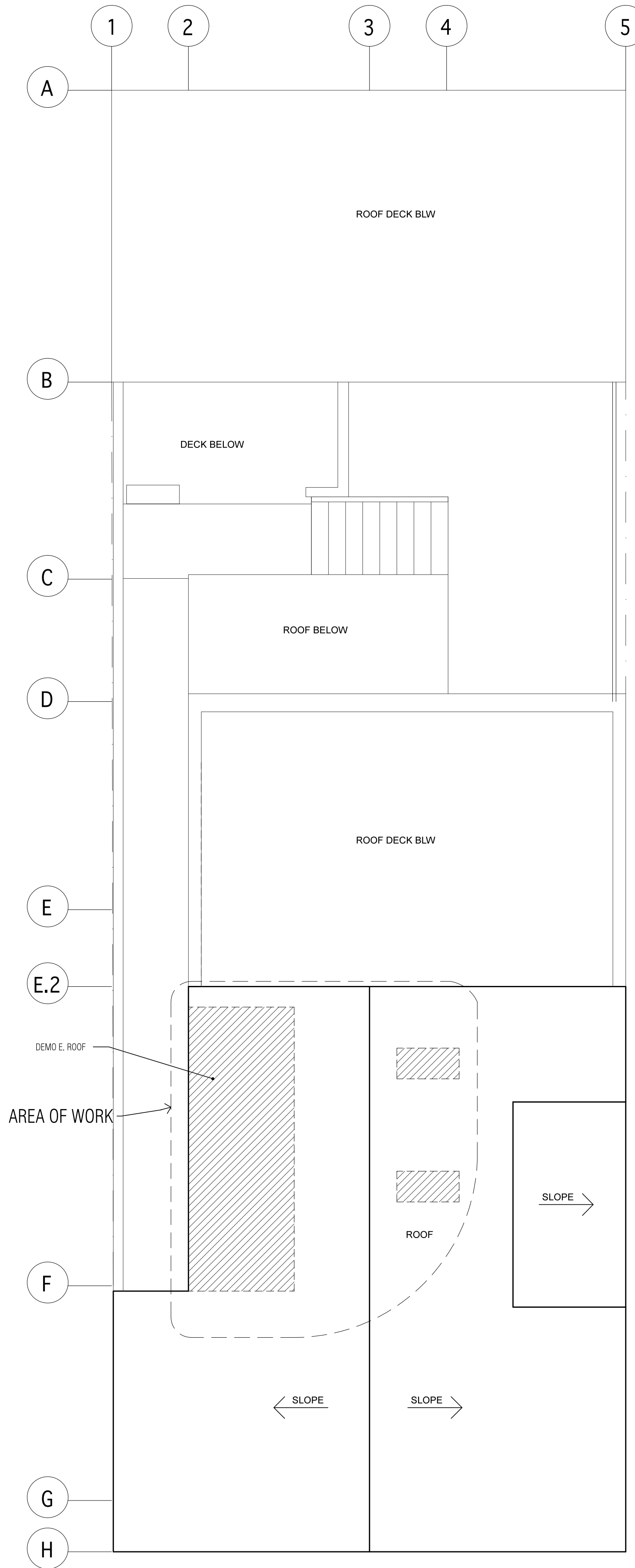
5 NORTH NEIGHBOR



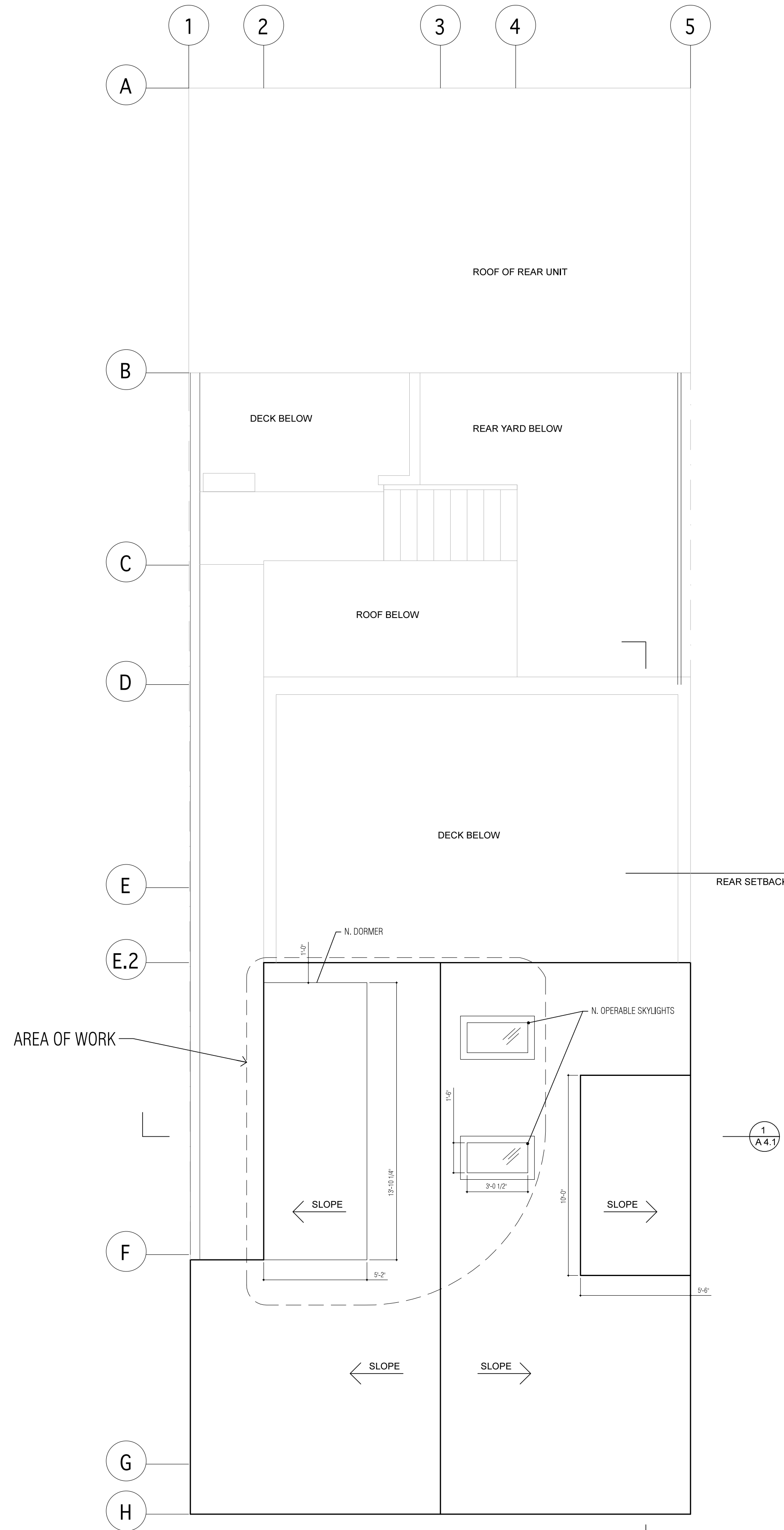
4 REAR FACADE
458 ANDERSON ST



3 FRONT FACADE
458 ANDERSON ST



1 EXISTING/DEMO PLAN: ROOF PLAN
SCALE: 1/4" = 1'-0"



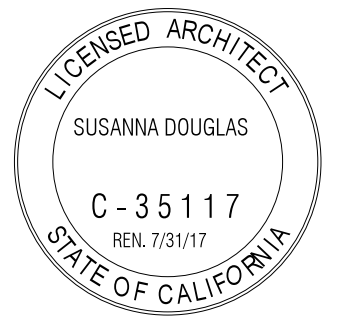
2 PROPOSED PLAN: ROOF
SCALE: 1/4" = 1'-0"

Kurien Renovation

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PERMIT SET



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DRAWING TITLE:

Roof Plans

DATE: 12 . 28 . 16

DRAWING NUMBER:

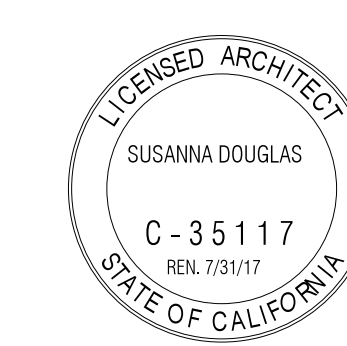
A1.2

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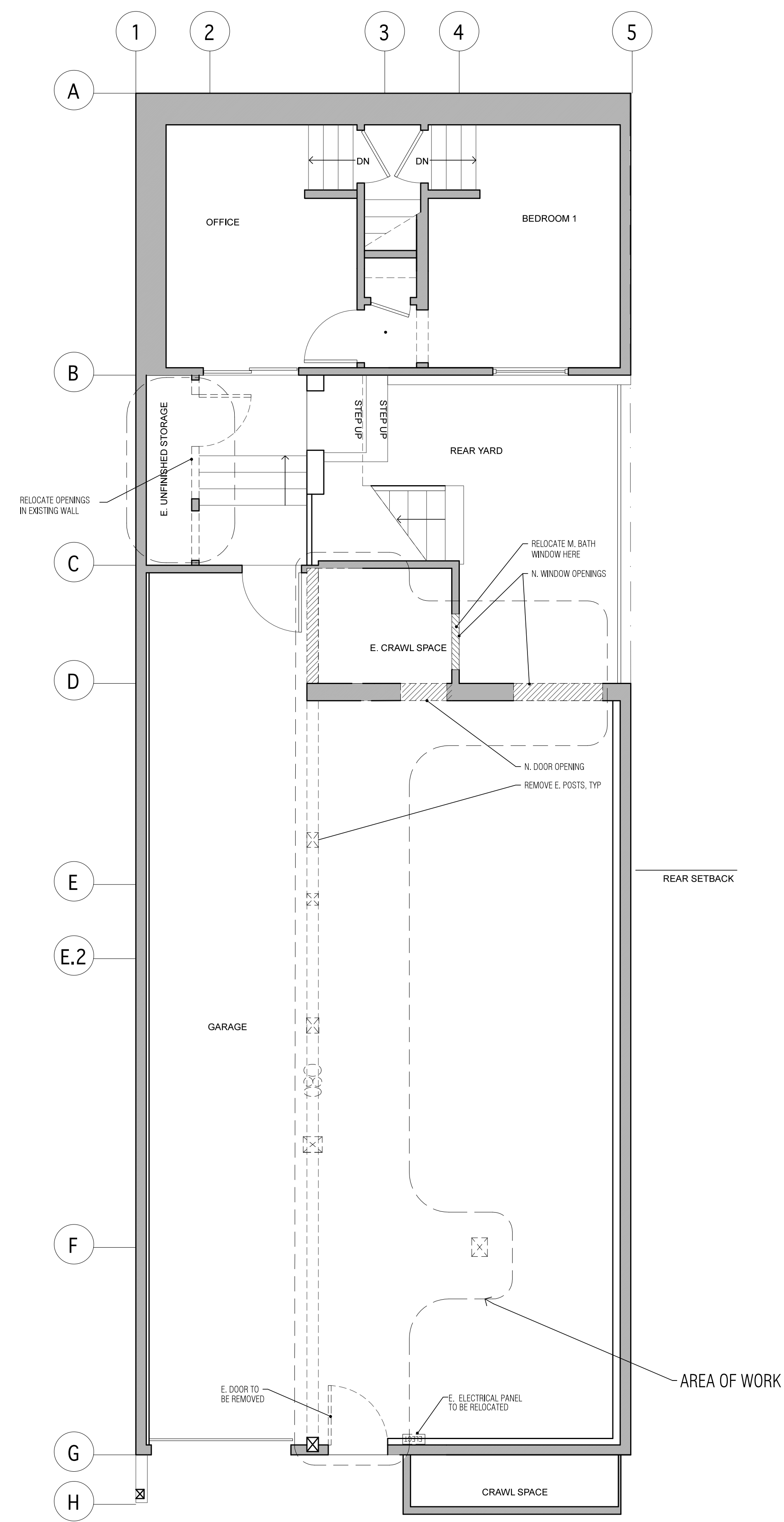
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Existing / Demo Plans

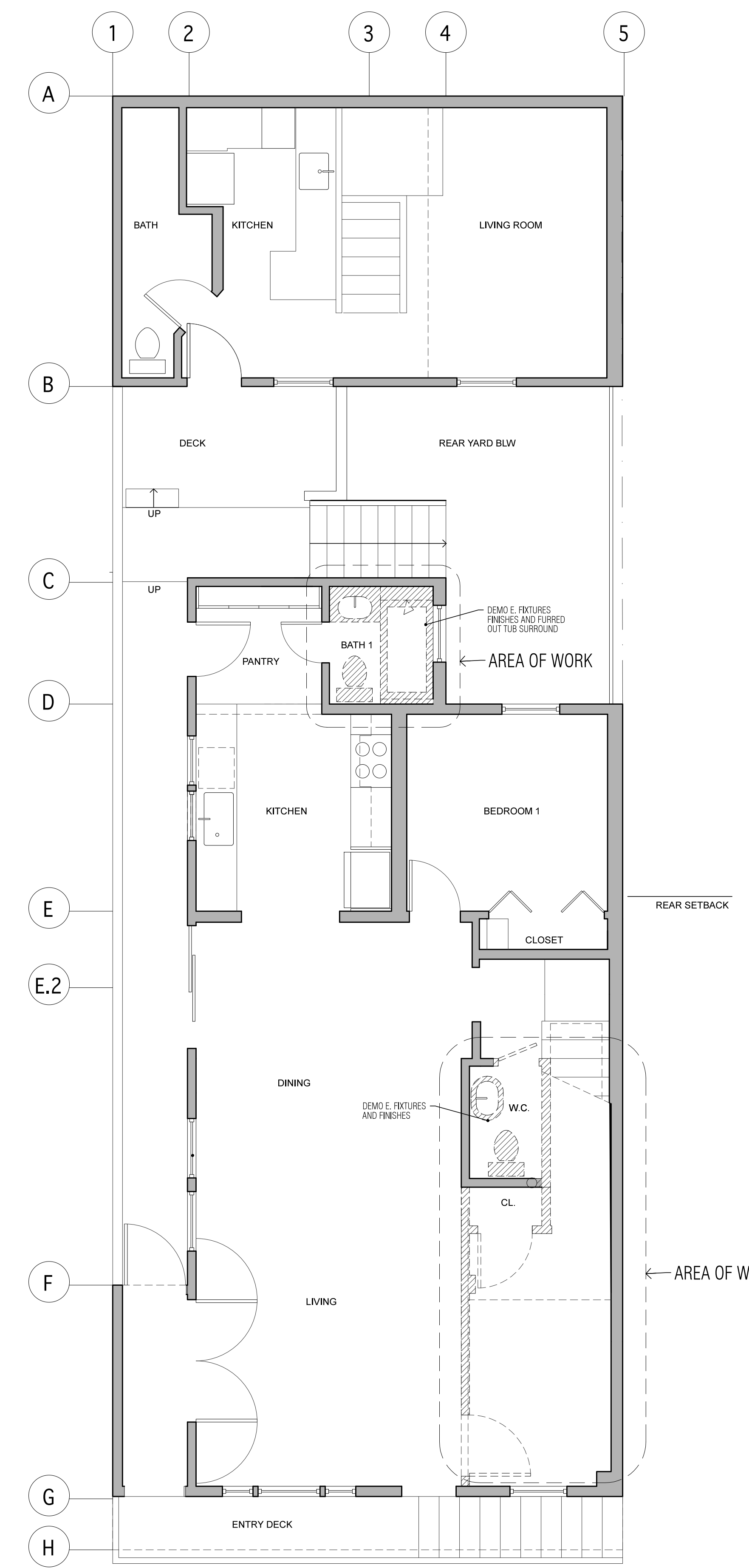
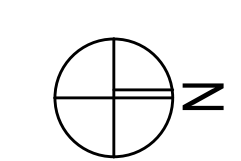
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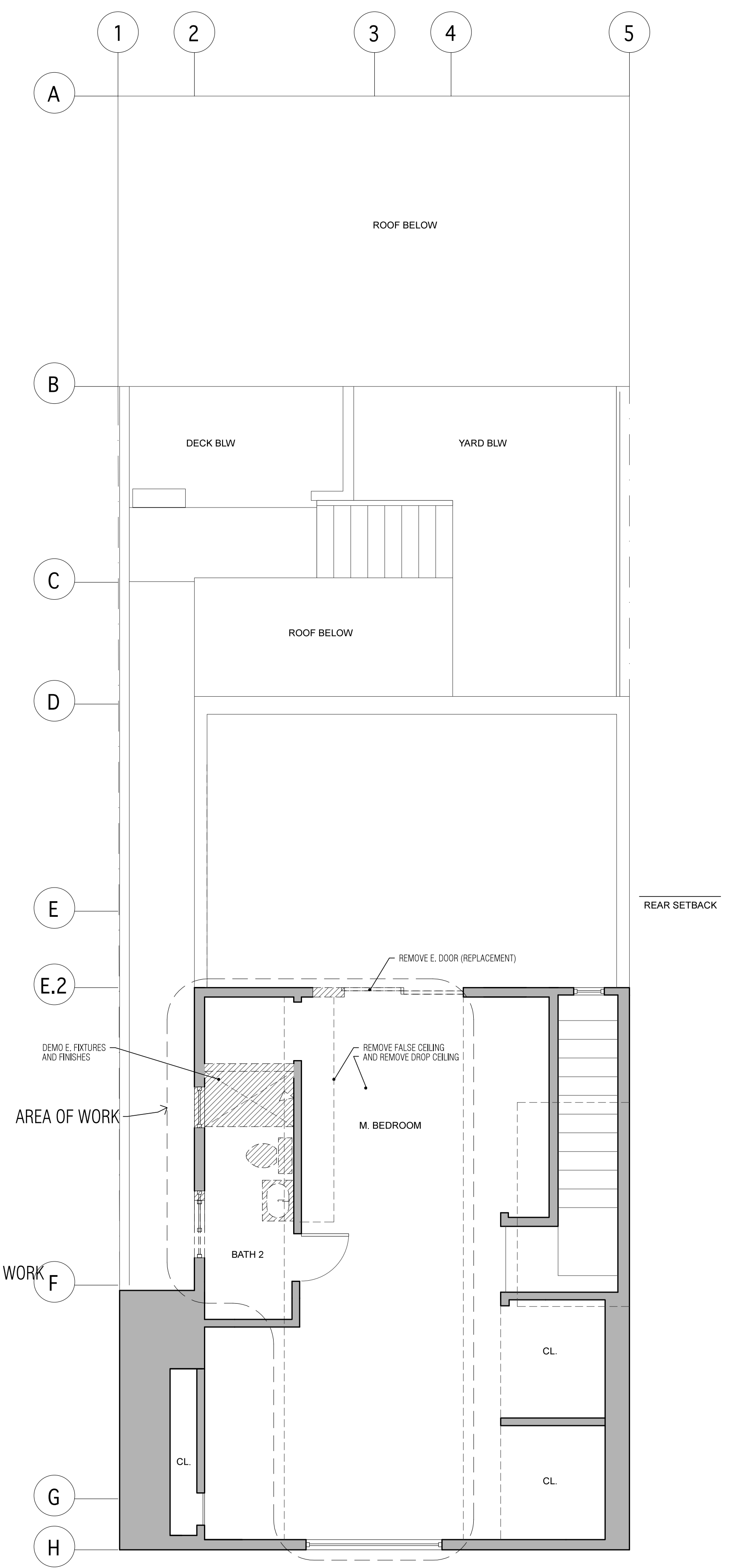
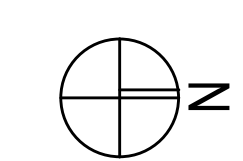
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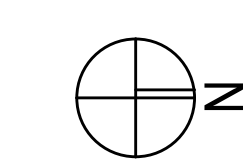
1 EXISTING/DEMO PLAN: FIRST FLOOR
SCALE: 1/4" = 1'-0"



2 EXISTING/DEMO PLAN: SECOND FLOOR
SCALE: 1/4" = 1'-0"



3 EXISTING/DEMO PLAN: THIRD FLOOR
SCALE: 1/4" = 1'-0"

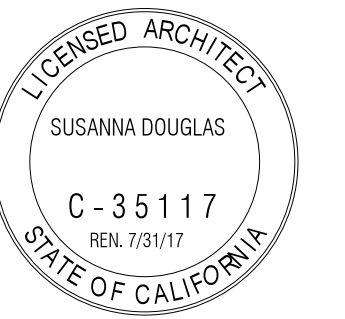


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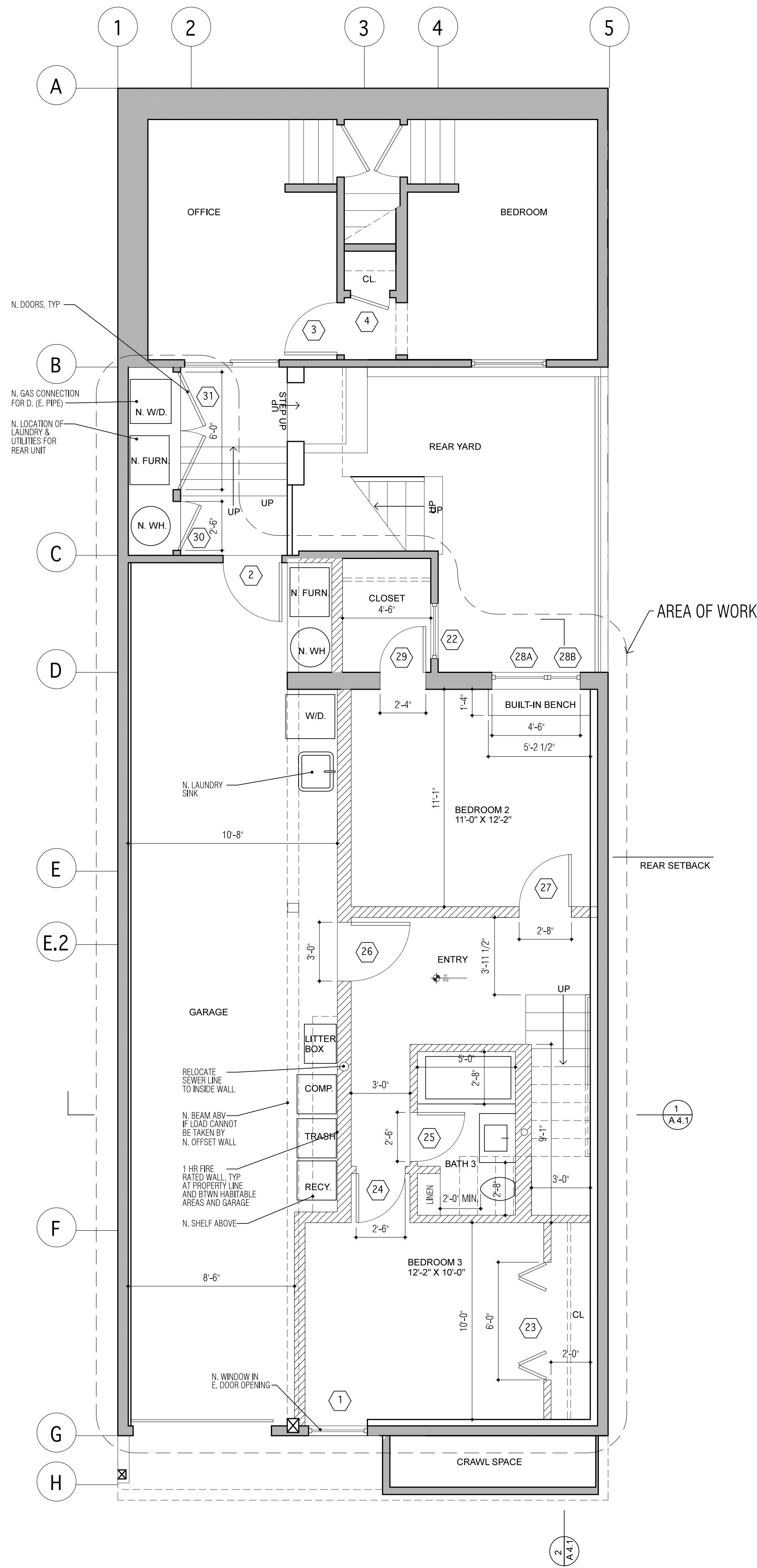


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DRAWING TITLE:
Proposed Plans

DATE: 12.28.16

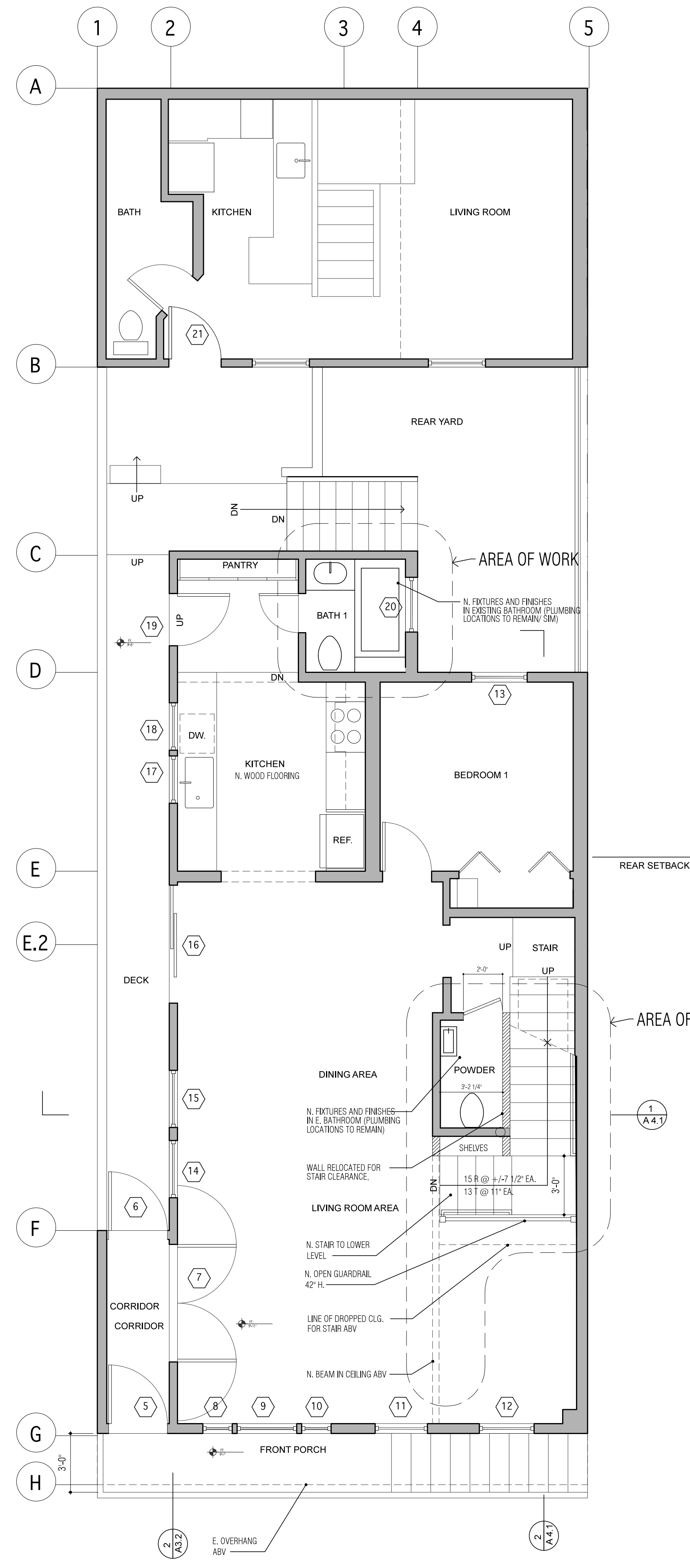
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1 PROPOSED PLAN: FIRST FLOOR

SCALE: 1/4" = 1'-0"

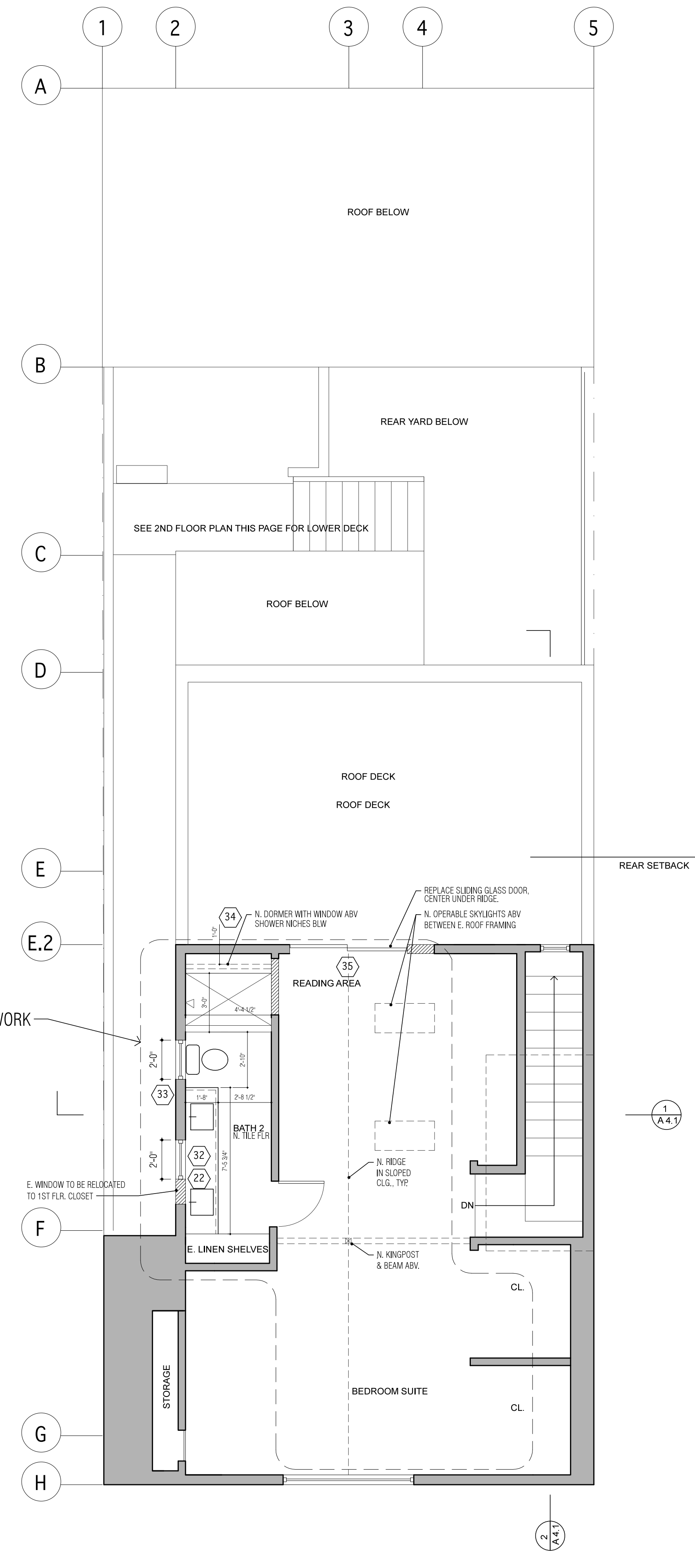
1029 SF



2 PROPOSED PLAN: SECOND FLOOR

SCALE: 1/4" = 1'-0"

945 SF



3 PROPOSED PLAN: THIRD FLOOR

SCALE: 1/4" = 1'-0"

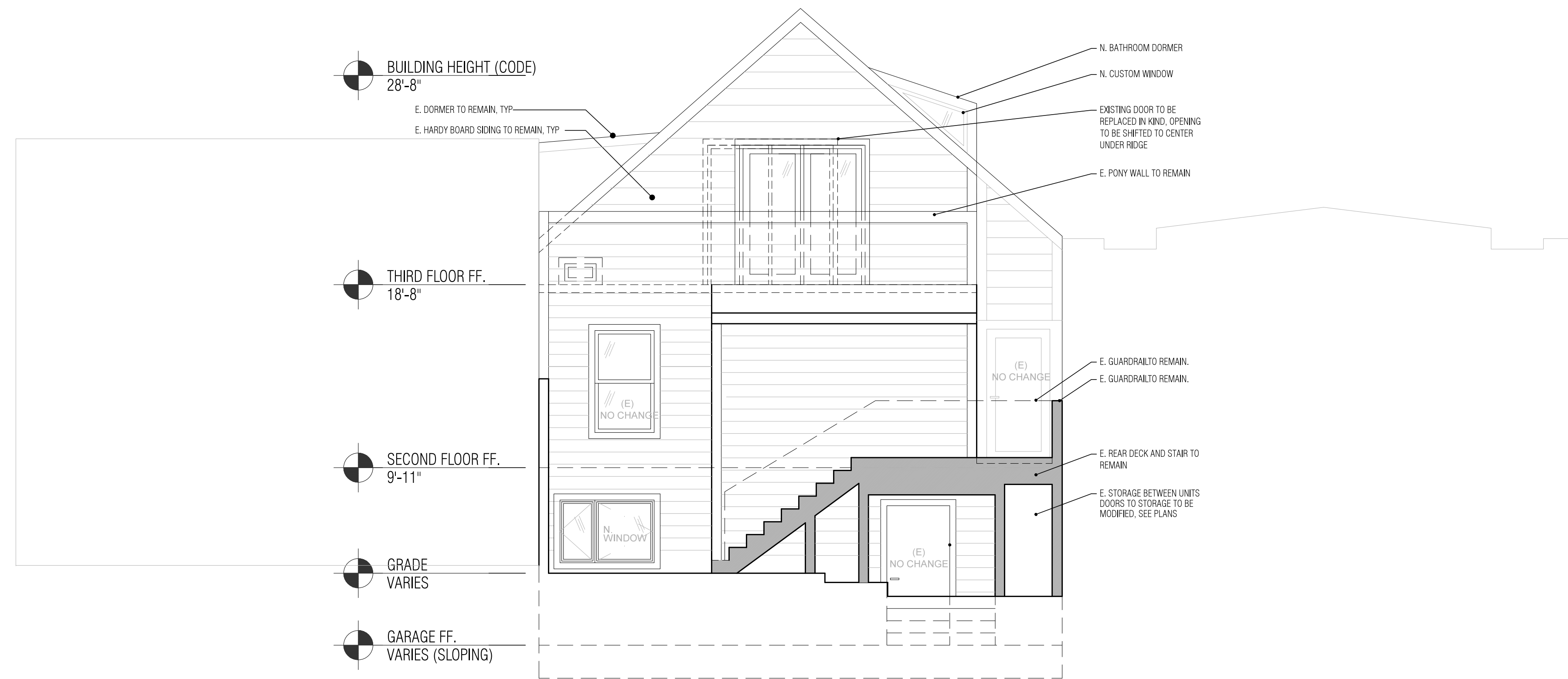
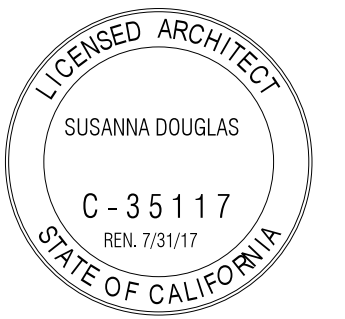
591 SF

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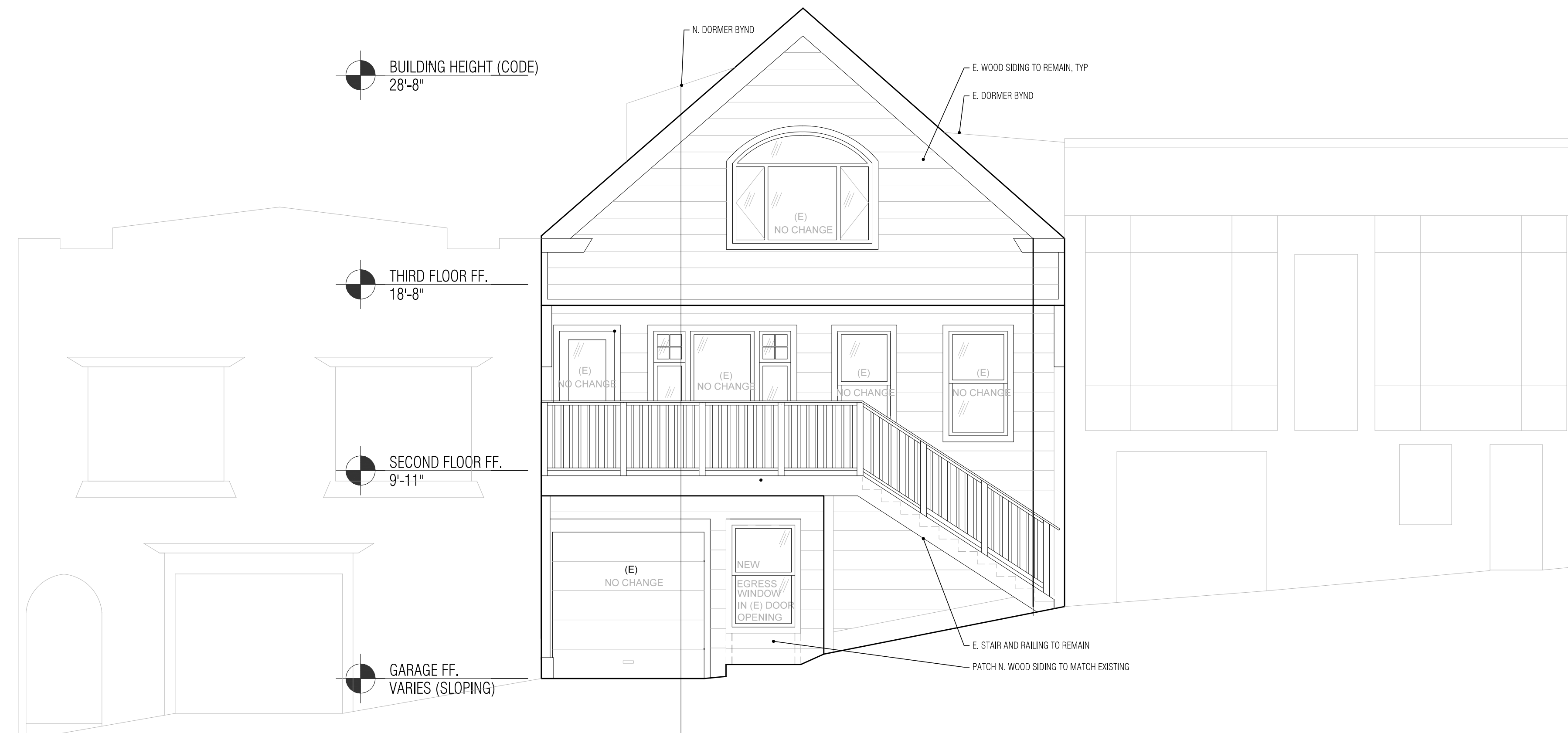
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PERMIT SET



2 WEST ELEVATION (REAR ELEVATION OF FRONT UNIT)
 SCALE: 1/4" = 1'-0"



1 EAST ELEVATION (STREET ELEVATION)
 SCALE: 1/4" = 1'-0"

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DRAWING TITLE:
 Proposed Elevations

DATE: 12 . 28 . 16

DRAWING NUMBER:
 A3.1

DOOR AND WINDOW SCHEDULE

NO.	LOCATION	SIZE (W X H)	DESCRIPTION	REMARKS
1	BEDROOM 3	3'-0" X 5'-0"	N. DOUBLE-HUNG WINDOW TO REPLACE E. DOOR	MARVIN INTEGRITY ITDH3660 (EGRESS)
2	GARAGE	3'-0" X 6'-8"	E. SOLID CORE DOOR, EXTERIOR-GRADE, PT.	EXISTING TO REMAIN
3	REAR UNIT-OFFICE	2'-8" X 6'-8"	E. RAIL & STILE SWING DOOR	EXISTING TO REMAIN
4	REAR UNIT-CLOSET	2'-0" X 6'-8"	E. RAIL & STILE SWING DOOR	EXISTING TO REMAIN
5	CORRIDOR	3'-0" X 6'-8"	E. INSWING FRENCH DOOR	EXISTING TO REMAIN
6	CORRIDOR	3'-0" X 6'-8"	E. OUTSWING FRENCH DOOR	EXISTING TO REMAIN
7	CORRIDOR	(2)@ 3'-0" X 6'-8"	E. SOLID CORE DOOR, EXTERIOR-GRADE, PT.	EXISTING TO REMAIN
8	LIVING	1'-6" X 5'-3"	E. FIXED WINDOW	EXISTING TO REMAIN
9	LIVING	3'-0" X 5'-3"	E. FIXED WINDOW	EXISTING TO REMAIN
10	LIVING	1'-6" X 5'-3"	E. FIXED WINDOW	EXISTING TO REMAIN
11	LIVING	2'-8" X 5'-3"	E. DOUBLE-HUNG WINDOW	EXISTING TO REMAIN
12	BEDROOM 2	2'-8" X 5'-3"	E. DOUBLE-HUNG WINDOW	EXISTING TO REMAIN
13	BEDROOM 1	2'-10" X 5'-0"	E. DOUBLE-HUNG WINDOW	EXISTING TO REMAIN
14	LIVING	3'-0" X 5'-8"	E. DOUBLE-HUNG WINDOW	EXISTING TO REMAIN
15	LIVING	3'-0" X 5'-8"	E. DOUBLE-HUNG WINDOW	EXISTING TO REMAIN
16	DINING	6'-0" X 6'-8"	E. SLIDING GLASS DOOR	EXISTING TO REMAIN
17	KITCHEN	2'-6" X 3'-0"	E. DOUBLE-HUNG WINDOW	EXISTING TO REMAIN
18	KITCHEN	2'-6" X 3'-0"	E. DOUBLE-HUNG WINDOW	EXISTING TO REMAIN
19	PANTRY	2'-8" X 6'-8"	E. INSWING FRENCH DOOR	EXISTING TO REMAIN
20	BATH 1	2'-10" X 1'-9 1/4"	E. DOUBLE-HUNG WINDOW	EXISTING TO REMAIN
21	REAR UNIT-ENTRY	2'-8" X 6'-8"	E. INSWING FRENCH DOOR	EXISTING TO REMAIN
22	BATH 2 TO CLOSET	2'-10" X 3'-0"	REMOVE E. WINDOW, MOVE TO 1ST FLR. CLOSET	MARVIN INTEGRITY ITDH3436
23	BEDROOM 3	6'-0" X 7'-0"	N. BI-FOLD CLOSET DOORS, PT.	
24	BEDROOM 3	2'-6" X 7'-0"	N. RAIL & STILE SWING DOOR, PT.	
25	BATH 3	2'-6" X 7'-0"	N. RAIL & STILE SWING DOOR, PT.	
26	ENTRY	3'-0" X 7'-0"	N. SOLID CORE SWING DOOR, PT.	SELF-CLOSING & SELF-LATCHING
27	BEDROOM 2	2'-8" X 7'-0"	N. RAIL & STILE SWING DOOR, PT.	
28A	BEDROOM 2	3'-0" X 3'-0"	N. CASEMENT WINDOW	MARVIN INTEGRITY ICA3735 (EGRESS)
28B	BEDROOM 2	1'-8" X 3'-0"	N. CASEMENT WINDOW	MARVIN INTEGRITY ICA2135
29	BEDROOM 2	2'-4" X 7'-0"	N. RAIL & STILE SWING DOOR, PT.	
30	UTILITY CLOSET	2'-6" X 6'-8" (VIF)	N. SOLID CORE SWING DOOR, EXTERIOR-GRADE, PT.	
31	UTILITY CLOSET	(2) @ 3'-0" X 6'-8" (VIF)	N. SOLID CORE SWING DOORS, EXTERIOR-GRADE, PT.	
32	BATH 2	2'-0" X 3'-0"	N. CASEMENT WINDOW	MARVIN INTEGRITY ICA2535
33	BATH 2	2'-0" X 3'-0"	N. CASEMENT WINDOW	MARVIN INTEGRITY ICA2535
34	BATH 2	TRIANGULAR	N. FIXED WINDOW	MARVIN INTEGRITY CUSTOM
35	M. BEDROOM	6'-0" X 6'-8"	N. SLIDING GLASS DOOR TO REPLACE E. DOOR	MARVIN INTEGRITY ISFD6065 ALL NEW WINDOWS TO HAVE .4 U FACTOR

WINDOW AND DOOR NOTES:

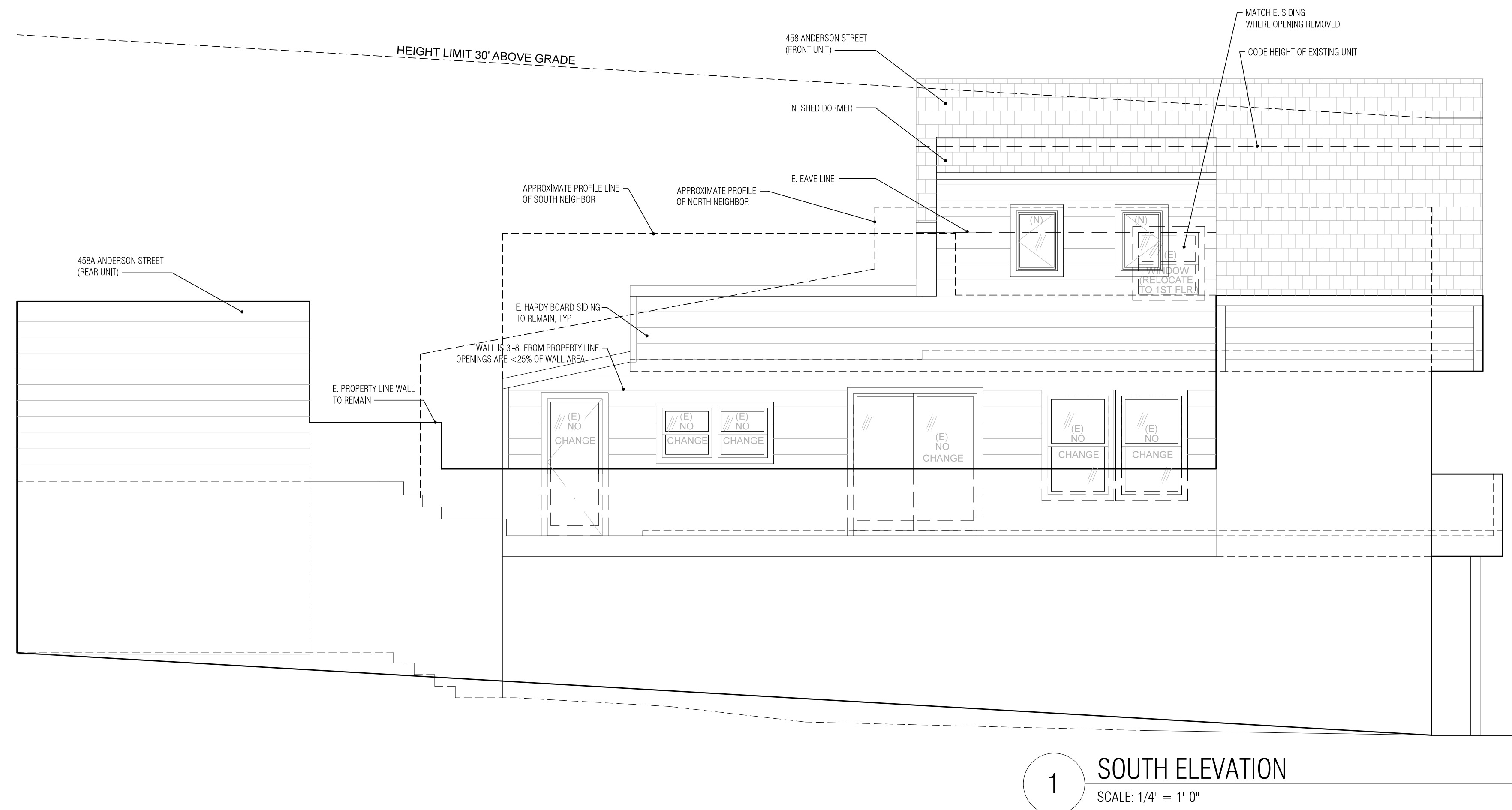
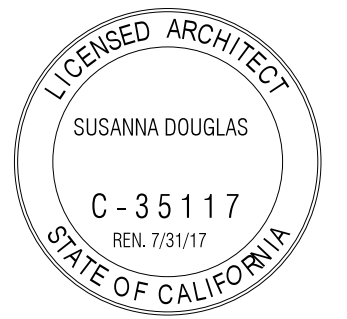
- Contractor must field verify all rough openings for windows and doors and note any discrepancies to the designer prior to ordering from the manufacturer.
- Escape windows must have a net clear opening of 5.7 SF, a clear openable height of 24" and a clear openable width of 20". The sill height shall be no more than 44" above the finished floor.
- Safety glazing shall be provided in hazardous locations per Section 2406 of the UBC which includes glazing.
 - In Ingress and Egress doors, fixed or sliding panels of sliding doors, storm doors, and all unframed swinging doors.
 - In tub and shower doors and enclosures
 - In any portion of showers, tubs, sauna, or steam room that is less than 60" from standing surface.
 - In fixed or operable panels that meet all of the following requirements:
 - Area greater than 9 SF.
 - Bottom edge less than 18" above floor.
 - Top edge greater than 36" above floor.
 - Walking surfaces within 36" horizontally of the plane of glazing.
- In railings regardless of height.
- In walls enclosing stairway landings or within 5' of the bottom or top of stairway where the bottom edge of glass is less than 60" above a walking surface.

Kurien Renovation

458 ANDERSON STREET
SAN FRANCISCO, CA 94110
BLOCK 5706 LOT 011

ARCHITECT
SUSANNA DOUGLAS
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PERMIT SET



- T.O. ROOF
31'-10"
- CODE BUILDING HEIGHT
28'-8"
- THIRD FLOOR FF.
18'-8"
- SECOND FLOOR REAR UNIT FF.
12'-4"
- SECOND FLOOR (MAIN) FF.
9'-11"
- FIRST FLOOR REAR UNIT FF.
4'-0"
- FIRST FLOOR (GARAGE) FF.
0'-0" AT FRONT, VARIES (SLOPING)

1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES
DO NOT SCALE DRAWINGS.
ALL DIMENSIONS TO BE VERIFIED IN THE FIELD.
ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY
TO THE ARCHITECT.

DRAWING TITLE:

Proposed Elevations
Window/Door Schedule

DATE: 12 . 28 . 16

DRAWING NUMBER:

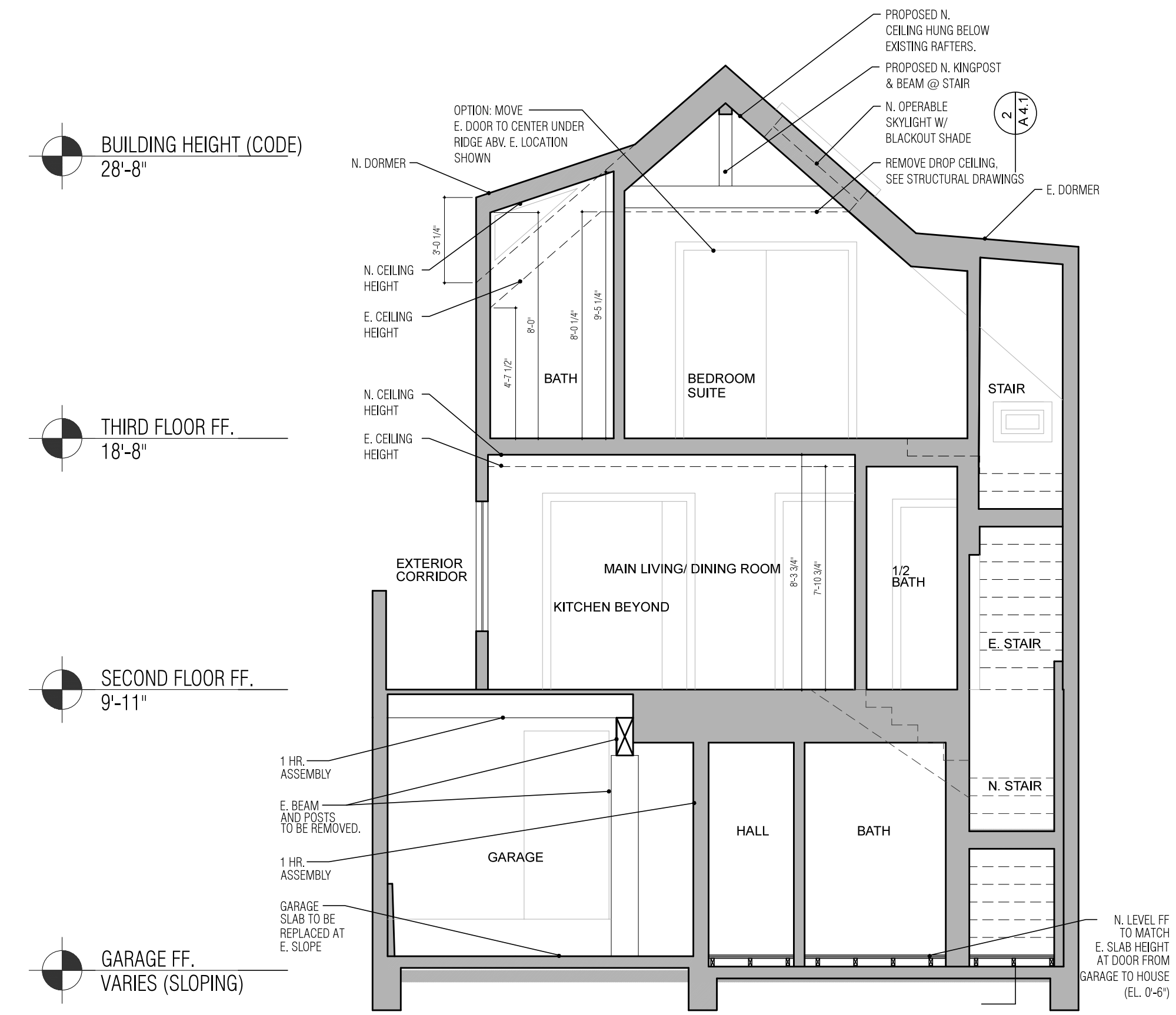
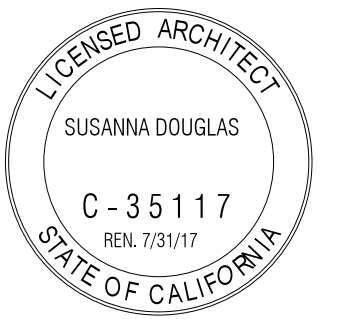
A3.2

Kurien Renovation

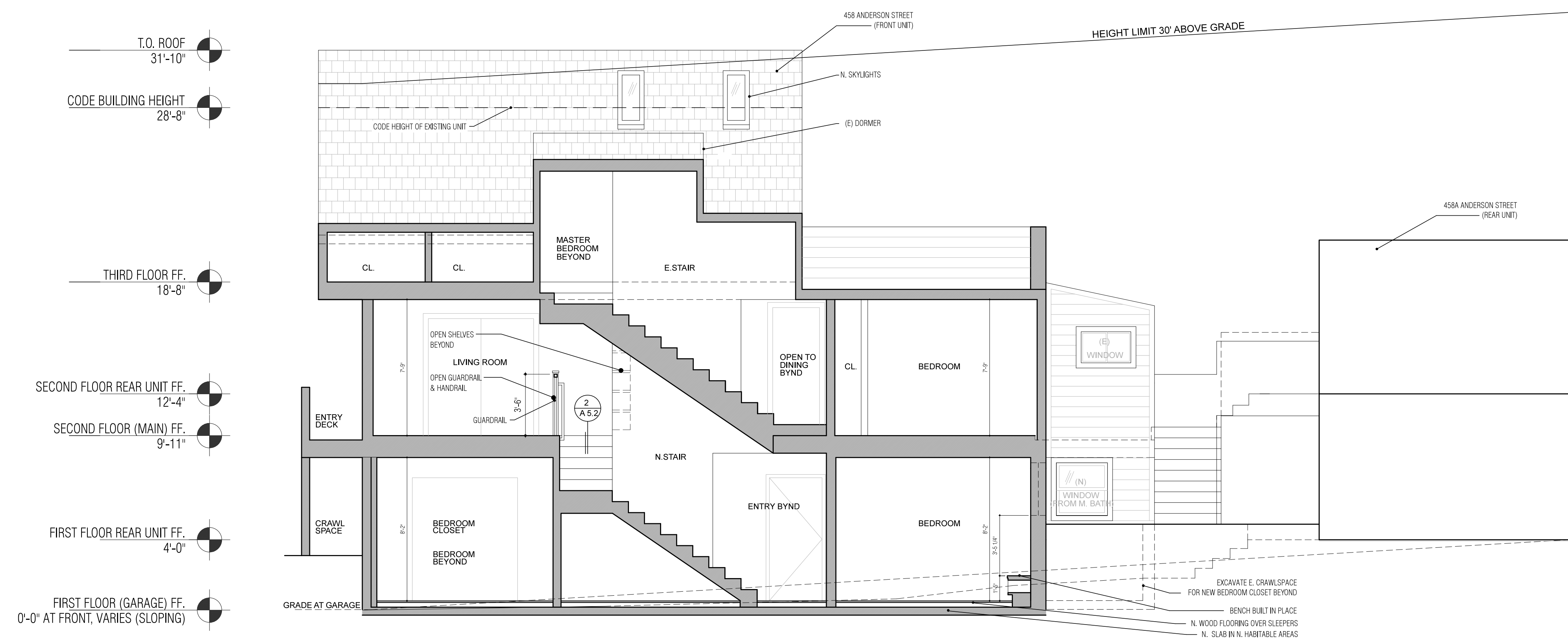
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PERMIT SET



1 SECTION LOOKING EAST
SCALE: 1/4" = 1'-0"



2 SECTION LOOKING SOUTH
SCALE: 1/4" = 1'-0"

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TO THE ARCHITECT.

DRAWING TITLE:
Building Sections

DATE: 12 . 28 . 16

DRAWING NUMBER:
A4.1