



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

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Information:
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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, October 25, 2017**

Time: **Not before 9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address: 1570 Plymouth Avenue		Case No.:	2016-016619VAR
Cross Street(s): Monterey Blvd & Montecito Ave		Building Permit:	2016.12.14.5002
Block /Lot No.: 3109/020		Applicant:	Mark Topetcher
Zoning District: RH-1(D) / 28-X		Telephone:	(415) 359-9997
Area Plan: N/A		E-Mail:	mt@toparchitecture.com
PROJECT DESCRIPTION			
<p>The proposal is to construct a 192 square foot addition above the existing garage located within the required side yard.</p> <p>SECTION 133 OF THE PLANNING CODE requires two side yards each of 4 feet. The project proposes to construct the addition on a noncomplying building that encroaches into the required 4 foot side yard (to the south side property line); therefore, a variance is required.</p>			
ADDITIONAL INFORMATION			
<p>ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://notice.sfplanning.org/2016-016619VAR.pdf</p> <p>Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.</p>			
<p>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:</p> <p>Planner: Nancy Tran Telephone: (415) 575-9174 E-Mail: nancy.h.tran@sfgov.org</p>			

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

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EXISTING BUILDING AREA

BASEMENT:

CONDITIONED: 1,068 sq.ft.
UNCONDITIONED: 318 sq.ft.

GROSS FLOOR AREA: 1,386 sq.ft.

FIRST FLOOR:

CONDITIONED 1,228 sq.ft.
UNCONDITIONED 0 sq.ft.

GROSS FLOOR AREA: 1,228 sq.ft.

TOTAL EXIST GROSS SQ.FT.: 2,614 sq.ft.

PROPOSED BUILDING AREA

BASEMENT:

CONDITIONED: 1,068 sq.ft.
UNCONDITIONED: 318 sq.ft.

GROSS FLOOR AREA: 1,386 sq.ft.

FIRST FLOOR:

CONDITIONED 1,420 sq.ft.
UNCONDITIONED 0 sq.ft.

GROSS FLOOR AREA: 1,420 sq.ft.

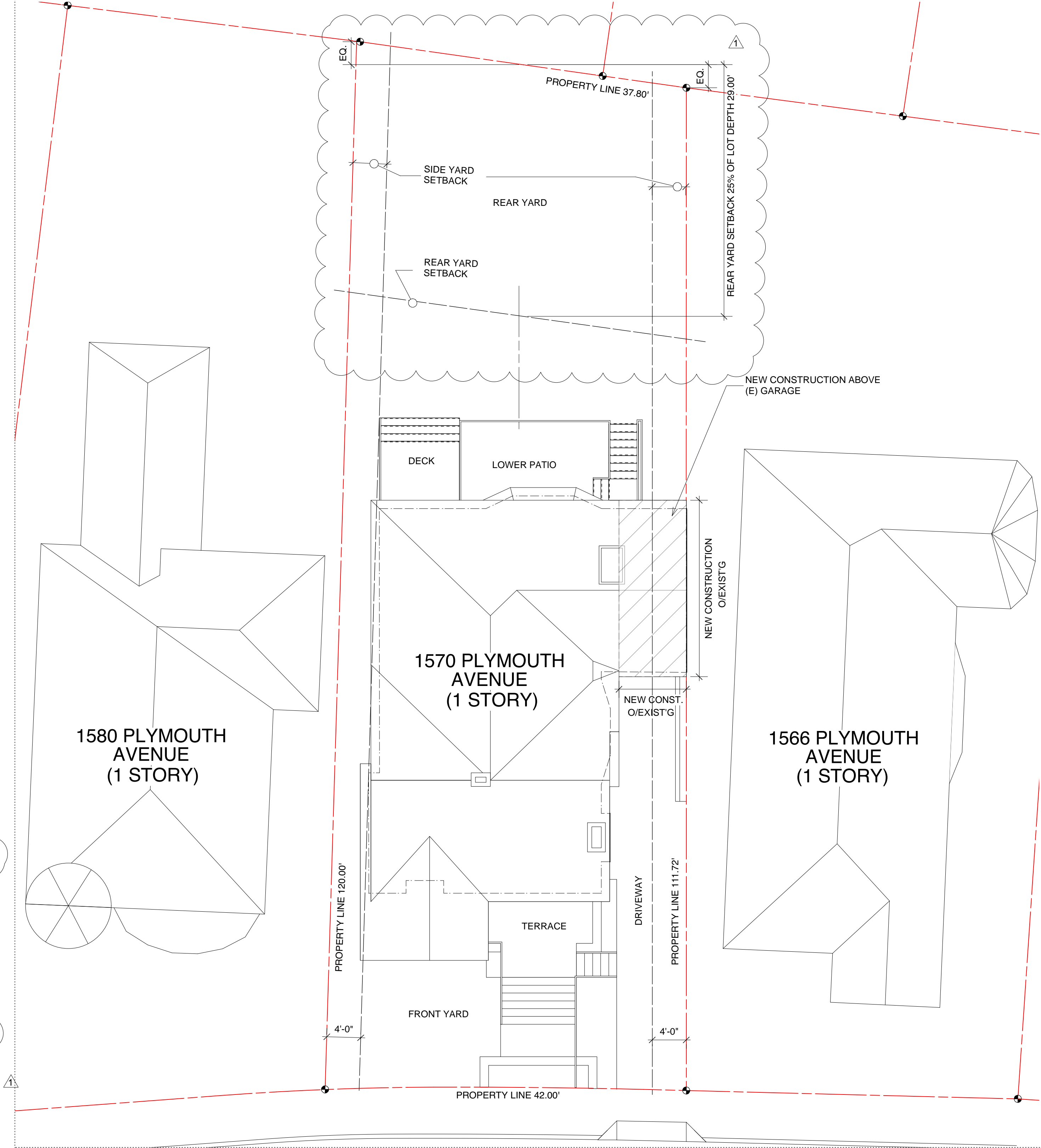
TOTAL PROP GROSS SQ.FT.: 2,806 sq.ft.

TOTAL EXIST CONDITIONED AREA: 2,296 sq.ft.

TOTAL PROP CONDITIONED AREA: 2,488 sq.ft.

TOTAL ADDED COND. AREA: 192 sq.ft.

TOTAL ADDED GROSS SQ.FT.: 192 sq.ft.



PROPOSED SITE PLAN

PLYMOUTH AVENUE

TOPETCHER
ARCHITECTURE INC

828 DIVISADERO
SAN FRANCISCO
CALIFORNIA 94117
TEL 415 359 9997
FAX 415 359 9986
toparchitecture.com

PRINTING RECORD

DATE	ACTION
OCT 11, 2016	CLIENT COORD
NOV 16, 2016	PRE APP MEETING
DEC 19, 2016	PERMIT SUBMITTAL
MAY 15, 2017	PERMIT REVISION

All drawings and written material appearing herein constitute the original and unpublished work of TOPETCHER ARCHITECTURE INC. and the same may not be duplicated, used or disclosed without written consent.

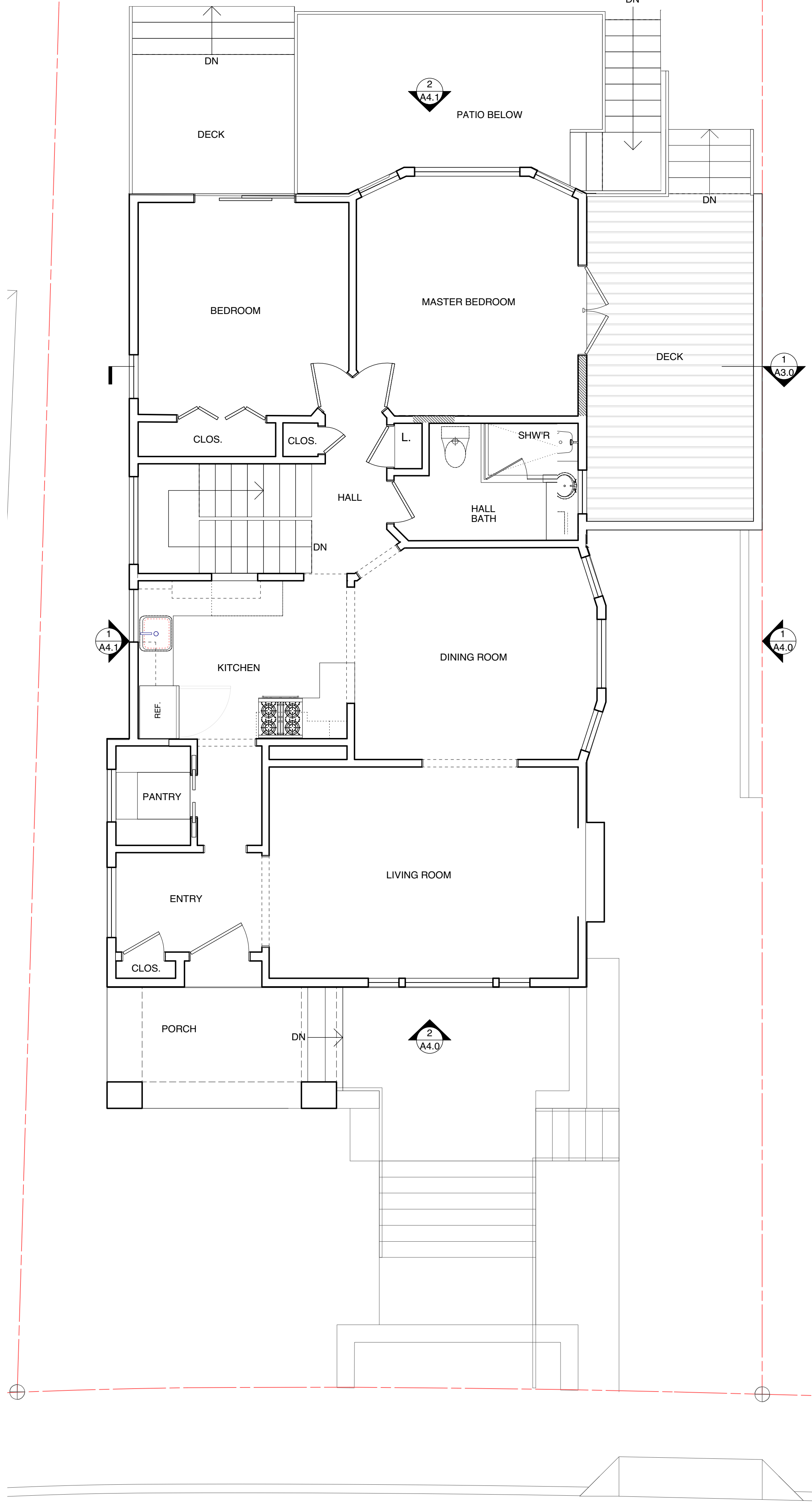
**NONNENBERG
RESIDENCE**
1570 PLYMOUTH AVE.
SAN FRANCISCO, CA. 94112
BLOCK # 3109 LOT # 20

PERMIT
APP. NO.

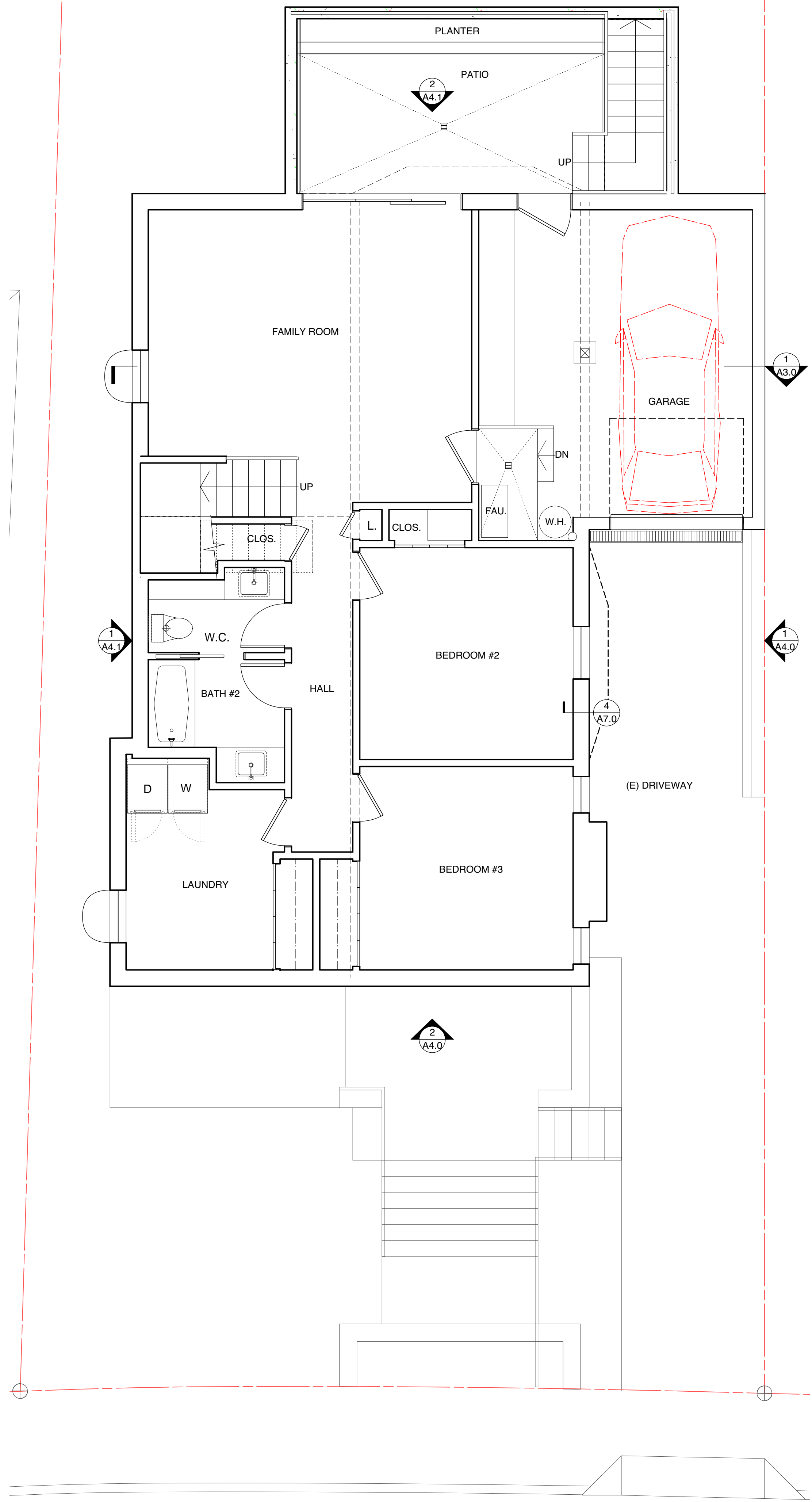
SHEET TITLE
PROPOSED SITE PLAN,
GENERAL NOTES,
& LEGENDS

SCALE:
1/8"= 1'-0"

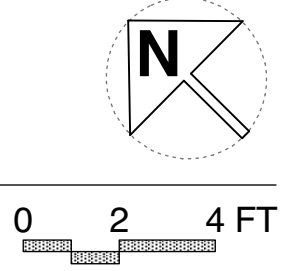
JOB NO.
16.06



EXISTING FIRST FLOOR



EXISTING BASEMENT (NO WORK)



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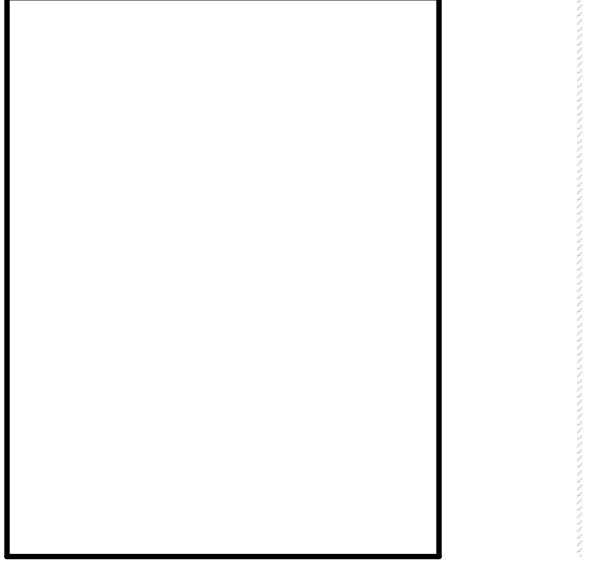
NONNENBERG
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1570 PLYMOUTH AVE.
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SHEET TITLE
EXISTING & PROPOSED
PLANS

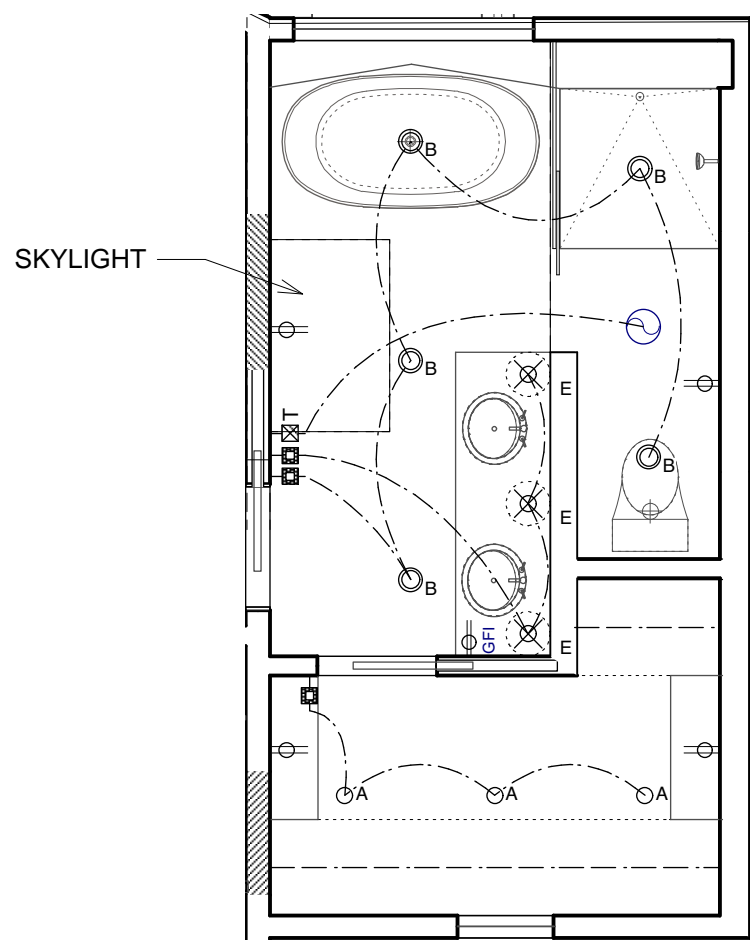
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JOB NO.
16.06

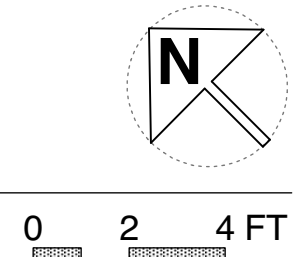


MARK J. TOPETCHER ARCHITECT CA. LIC. # C 21678 - EXP. 5/17

SHEET
A
2.0



PROPOSED FIRST FLOOR



DOOR SCHEDULE						NOTE: VERIFY R.O. FOR DOOR & FRAME, BASED ON LEAF SIZE (TYP.)
NO.	LOCATION	DOOR [LEAF] SIZE	TYPE	GLAZING	HARDWARE	COMMENTS
F1	MASTER BATH	2'-8" x 8'-0"	SLIDER			
F2	MASTER CLOS.	2'-6" x 8'-0"	POCKET			

NOTE: For DOORS U = 0.45 Max., RSHGC = 0.23 Max., V.T. = 0.17 Min.

NOTE: For DOORS U = 0.45 Max., RSHGC = 0.23 Max., V.T. = 0.17 Min.

WINDOW SCHEDULE						
MARK	LOCATION	R.O. SIZE (W X H)	TYPE	FRAME	GLAZING	COMMENTS
1F	MASTER CLOS.	2'-0" x 3'-6"	DOUBLE HUNG	WOOD	TEMP. / INSULATED	
2F	MASTER BATH	5'-0" x 4'-6"	DOUBLE HUNG	WOOD	TEMP. / INSULATED	
1R	ROOF	3'-0" x 4'-6"	FIXED	METAL	TEMP. / INSULATED	CURB MOUNTED SLYLIGHT

NOTE: For WINDOWS U = 0.46 Max., RSHGC = 0.22 Max., V.T. = 0.32 Min.

NOTE: For WINDOWS U = 0.46 Max., RSHGC = 0.22 Max., V.T. = 0.32 Min.



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FRANCISCO, CA.
BLOCK # 3109 LOT # 20

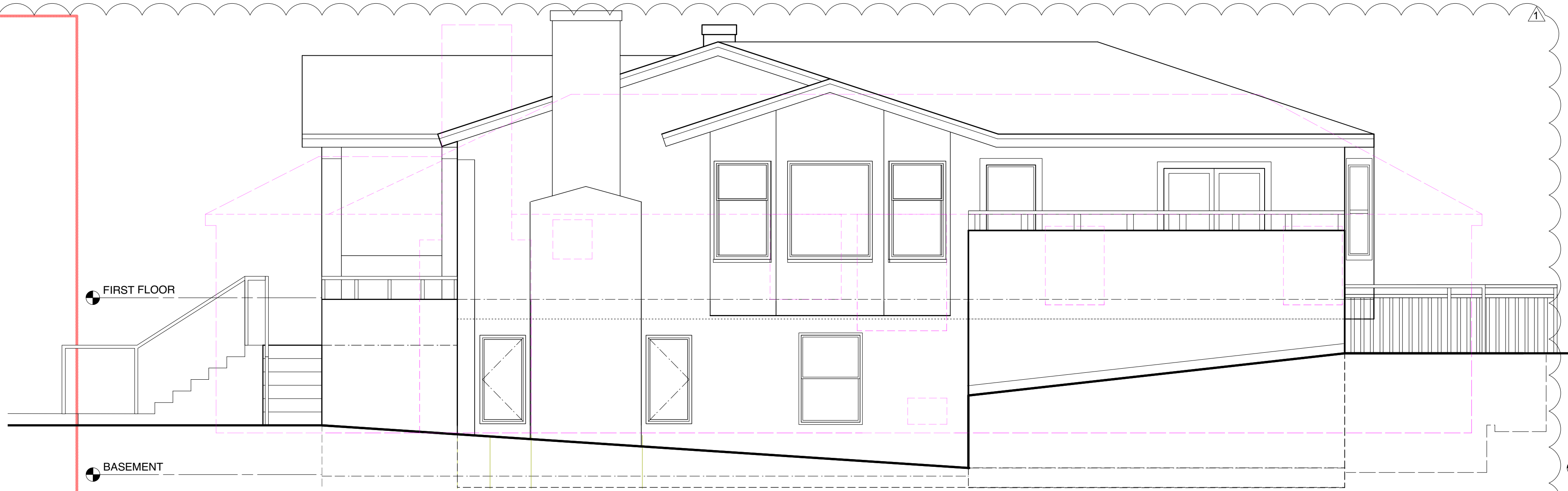
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EXISTING & PROPOSED
SECTIONS & SCHEDULES

JOB NO.
16.06

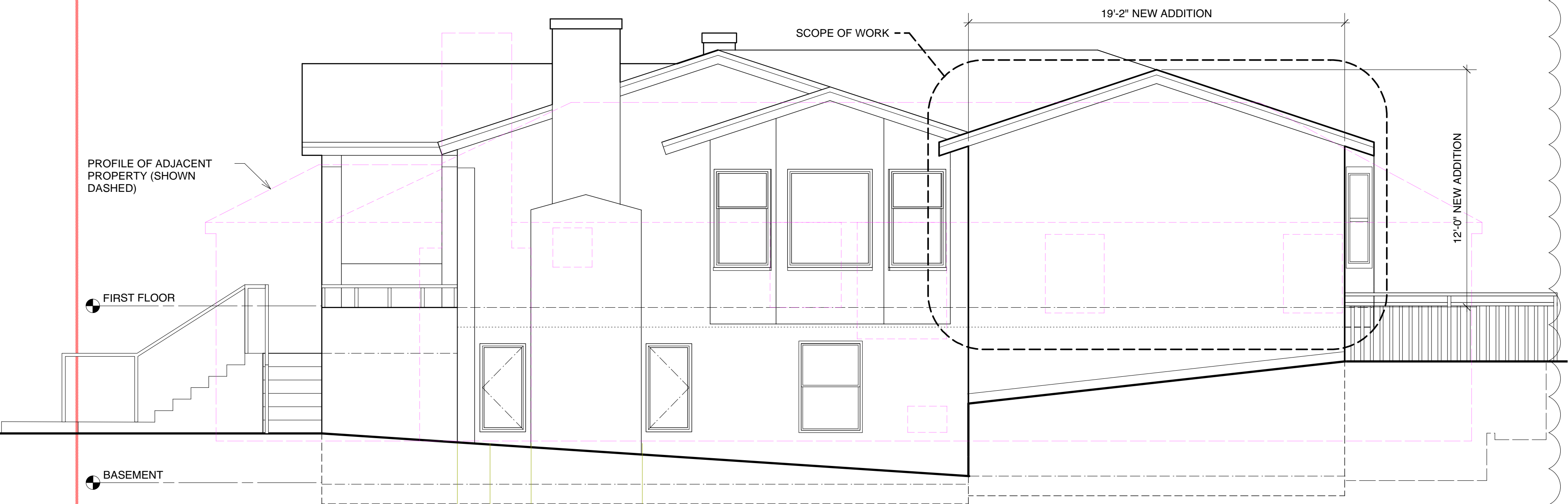
MARK J. TOPETCHER, ARCHITECT CA. LIC. # C 21678, EXP. 5/17

SHEET

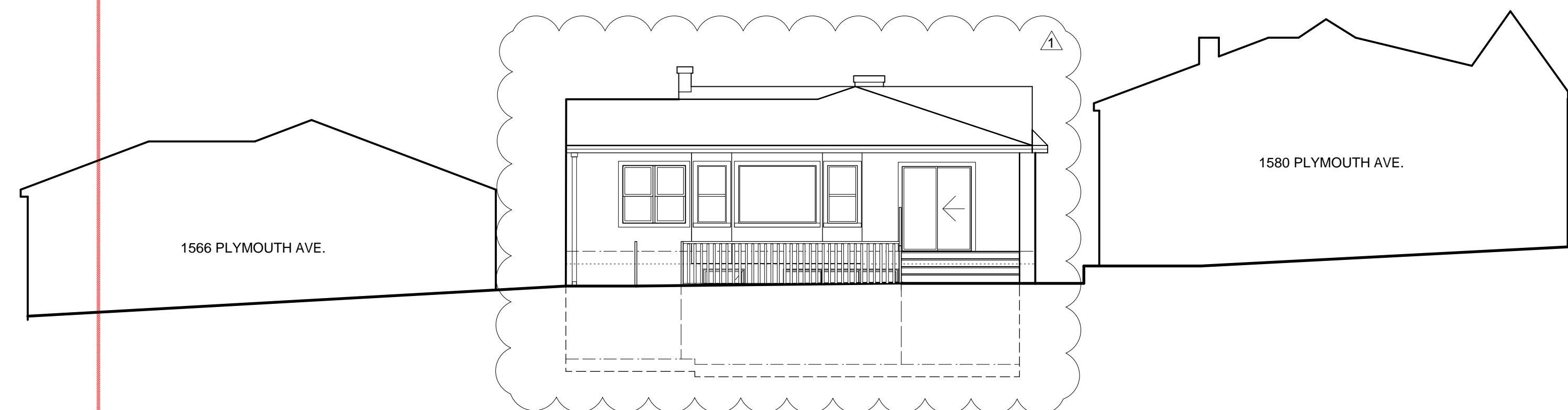
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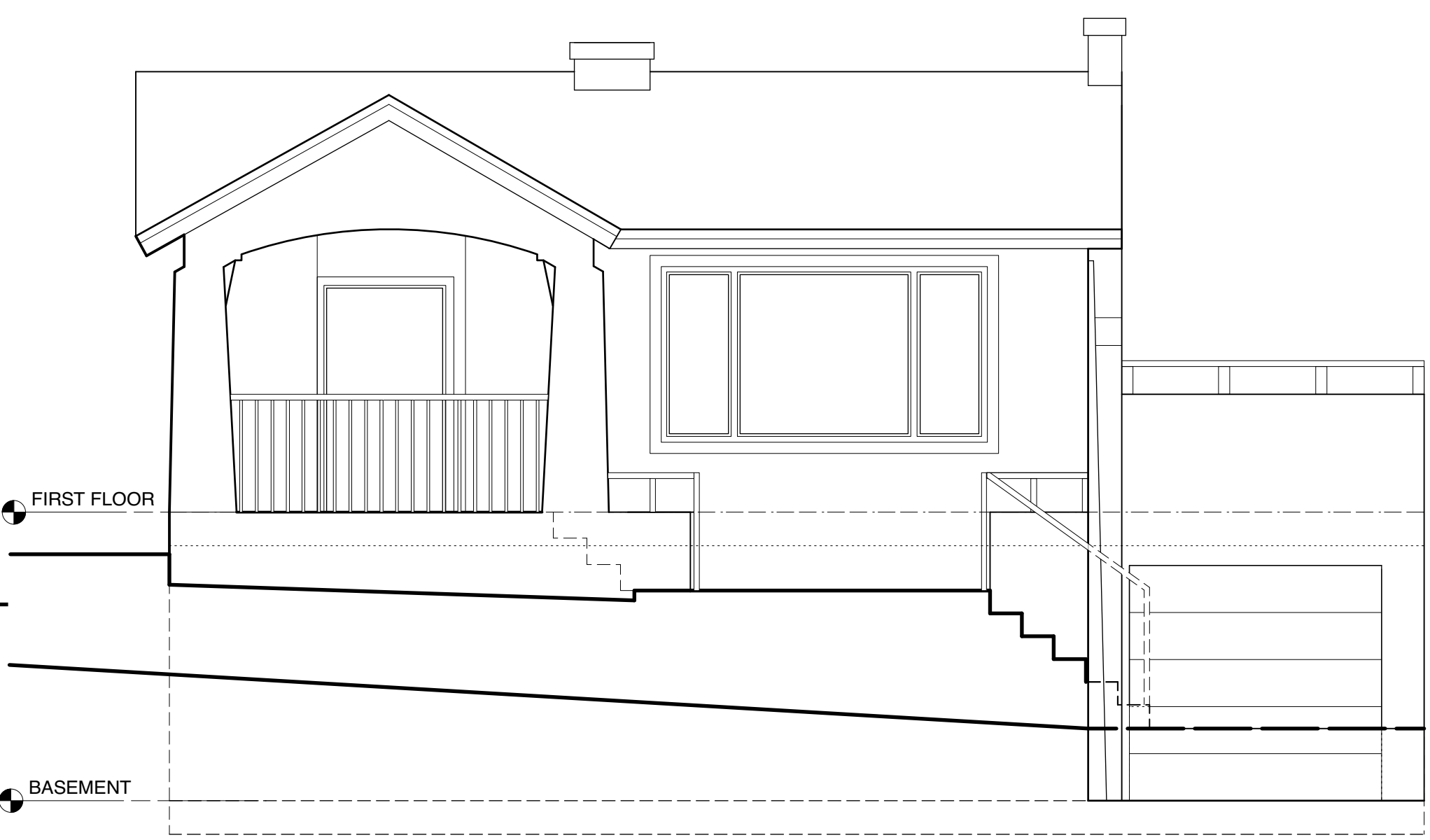
1 EXISTING SOUTH ELEVATION



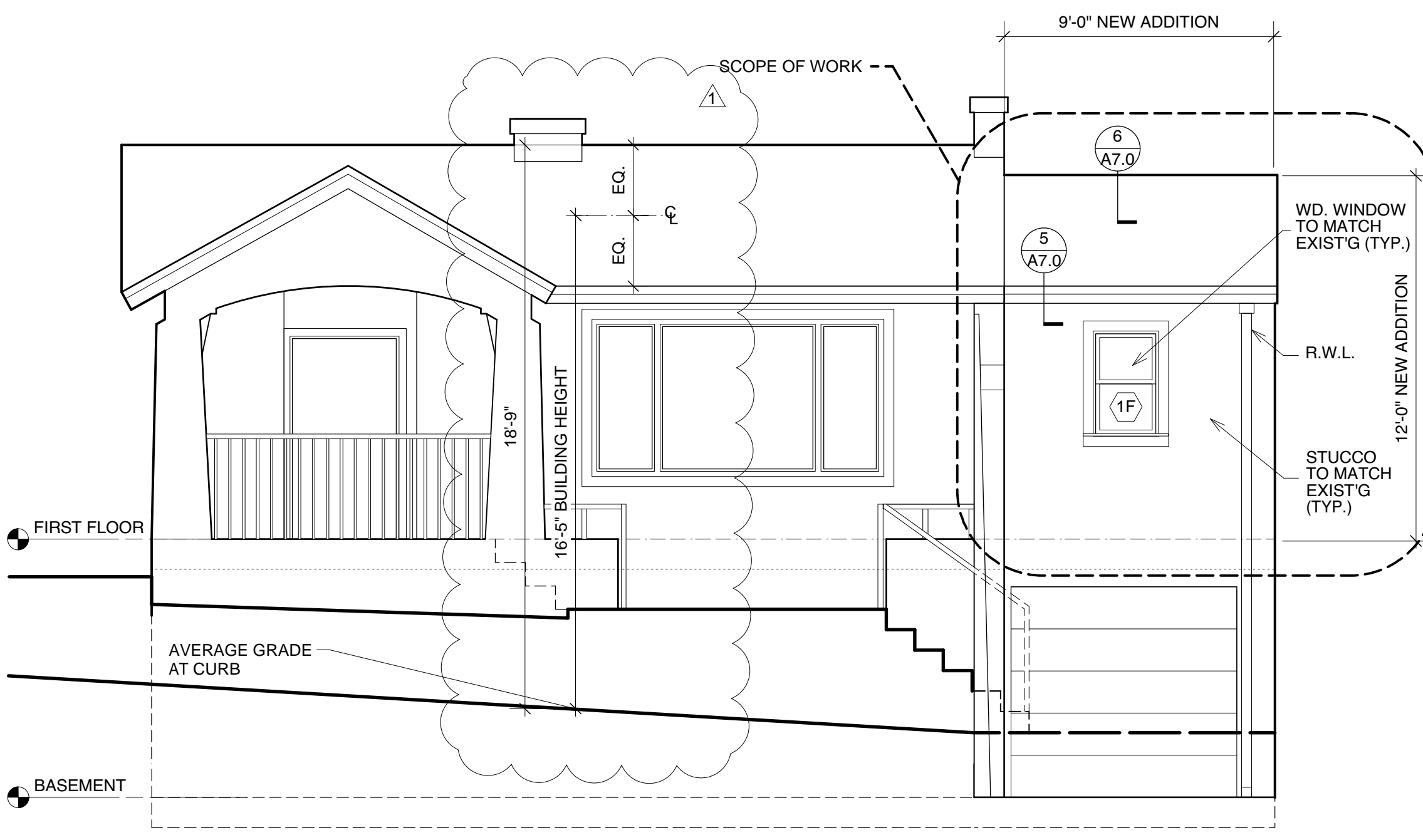
3 PROPOSED SOUTH ELEVATION



5 PROPOSED REAR ELEVATION WITH NEIGHBORING PROPERTIES
SCALE: 1/8" = 1'-0"



2 EXISTING WEST ELEVATION



4 PROPOSED WEST ELEVATION



6 PROPOSED STREET ELEVATION WITH NEIGHBORING PROPERTIES
SCALE: 1/8" = 1'-0"

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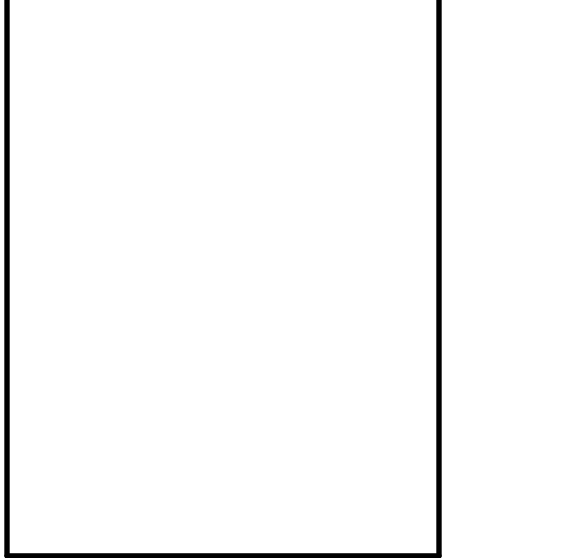
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BLOCK # 3109 LOT # 20

SHEET TITLE
EXISTING & PROPOSED
ELEVATIONS

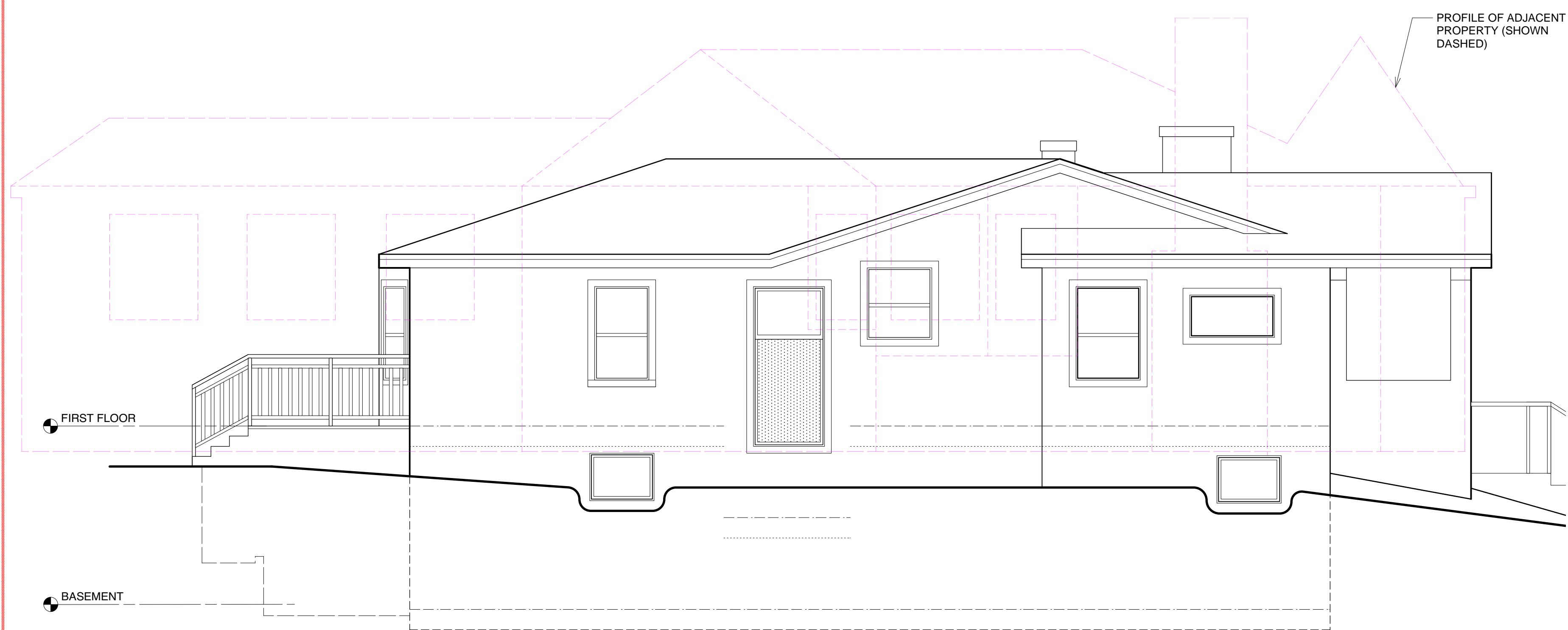
SCALE:
1/4" = 1'-0"

JOB NO.
16.06

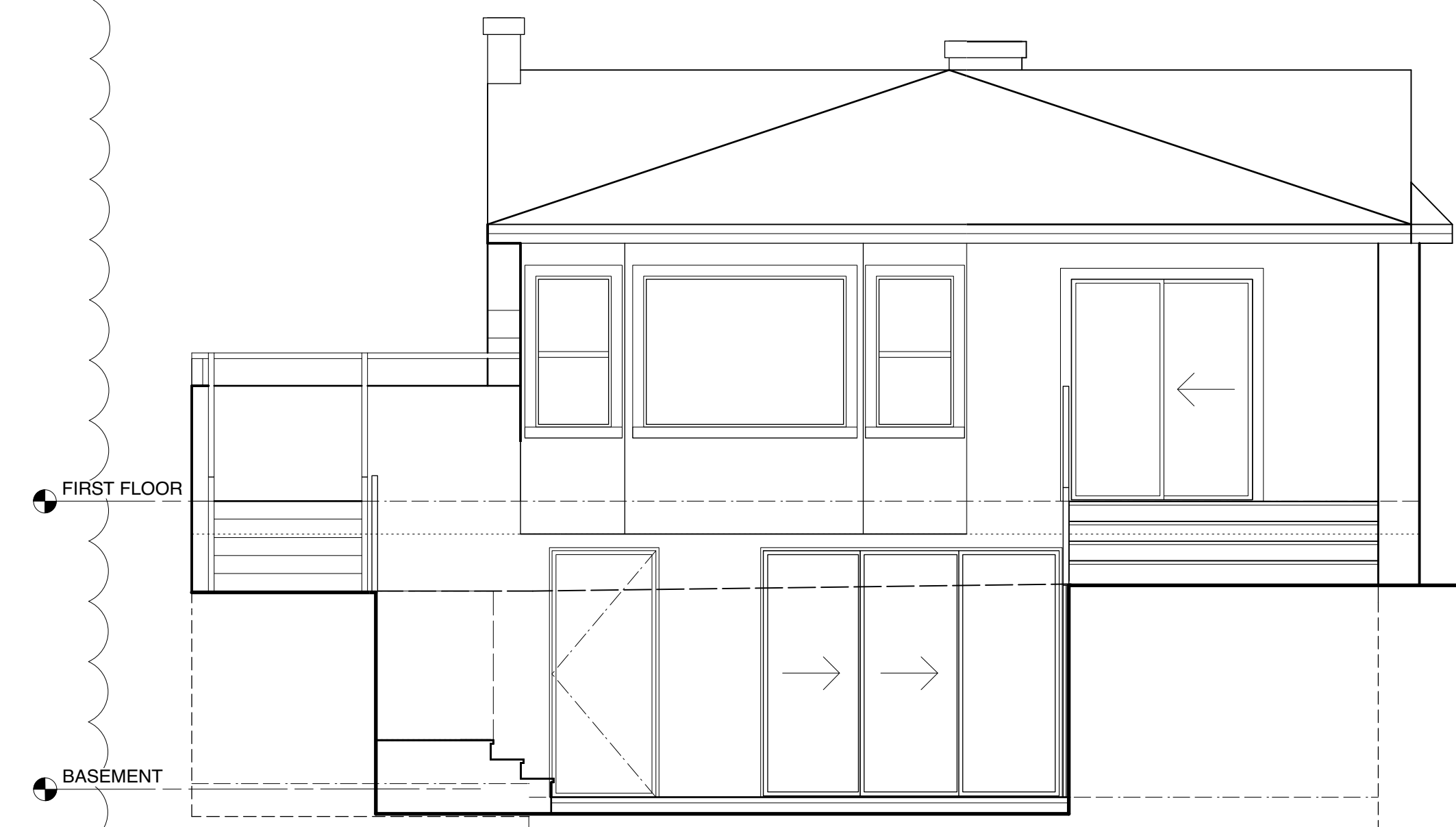


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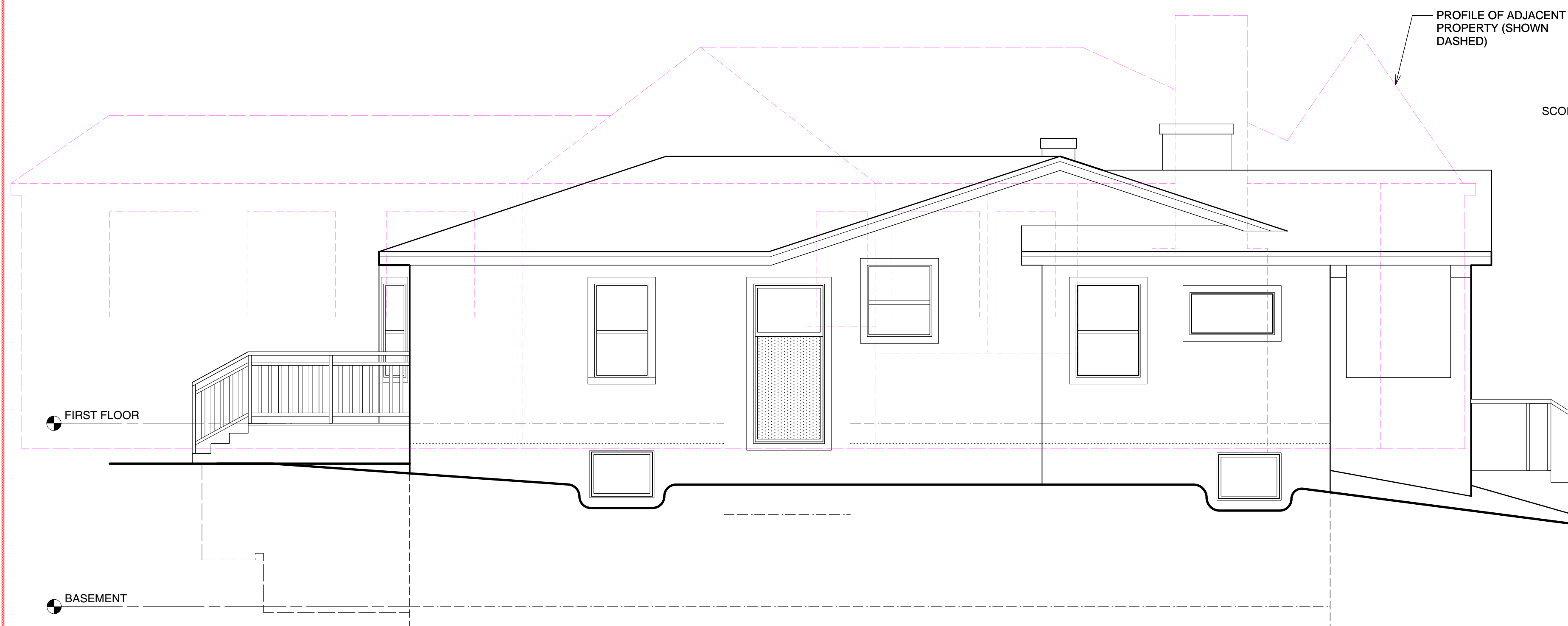
**A
4.0**



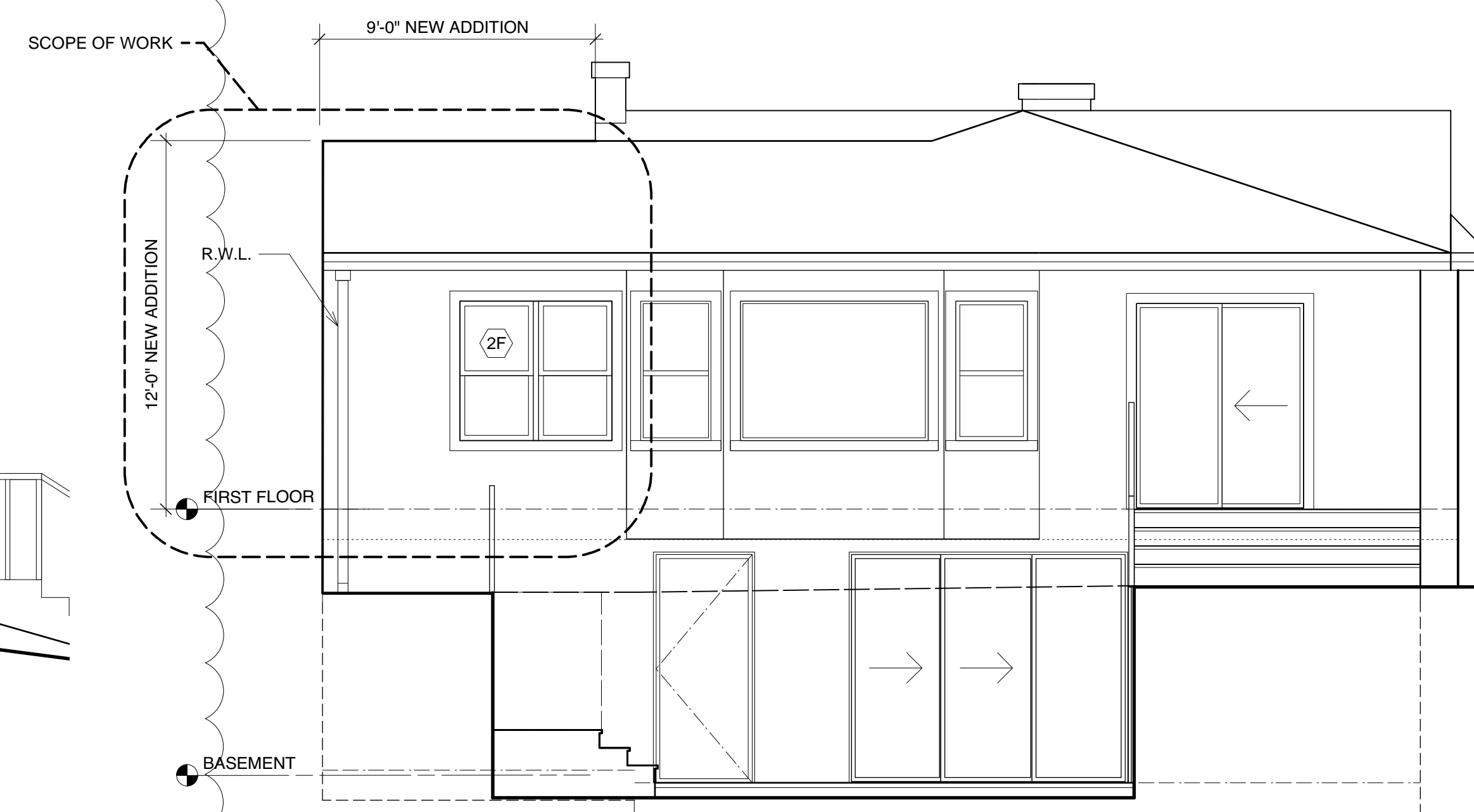
1 EXISTING NORTH ELEVATION



2 EXISTING EAST ELEVATION



3 PROPOSED NORTH ELEVATION



4 PROPOSED EAST ELEVATION

[illegible]

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BLOCK # 3109 LOT # 20**

PERMIT
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SHEET TITLE
EXISTING & PROPOSED
ELEVATIONS

SCALE:
1/4" = 1'-0"

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