



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
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CA 94103-2479

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**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409
558*6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, June 28, 2017**
 Time: **Not before 9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 126 Divisadero Street	Case No.: 2016-016573VAR
Cross Street(s): Duboce Avenue	Building Permit: 2016.1213.4806
Block /Lot No.: 1260 / 027	Applicant: Michael Robbins
Zoning District(s): RH-3 / 40-X	Telephone: (510) 665-4882
Area Plan: N/A	E-Mail: michael@robbinscortina.com

PROJECT DESCRIPTION

The proposal is to demolish an existing deck and balcony at the rear of the 3-story single-family house and replace them with a new lower deck with steps down to the rear yard and a balcony above.

PER SECTION 134 OF THE PLANNING CODE, the subject property is required to maintain a rear yard of approximately 40 feet. The existing building is noncomplying, as a portion of it encroaches approximately 17 feet into the required rear yard. The proposed project furthers the noncompliance by constructing a new deck with a set of stairs from the deck down to the yard as well as a balcony above, all of which will be within the required rear yard. Therefore, the project requires a rear yard variance.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://notice.sfplanning.org/2016-016573VAR.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:
 Planner: **David Weissglass** Telephone: **(415) 575-9177** E-Mail: **david.weissglass@sfgov.org**

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

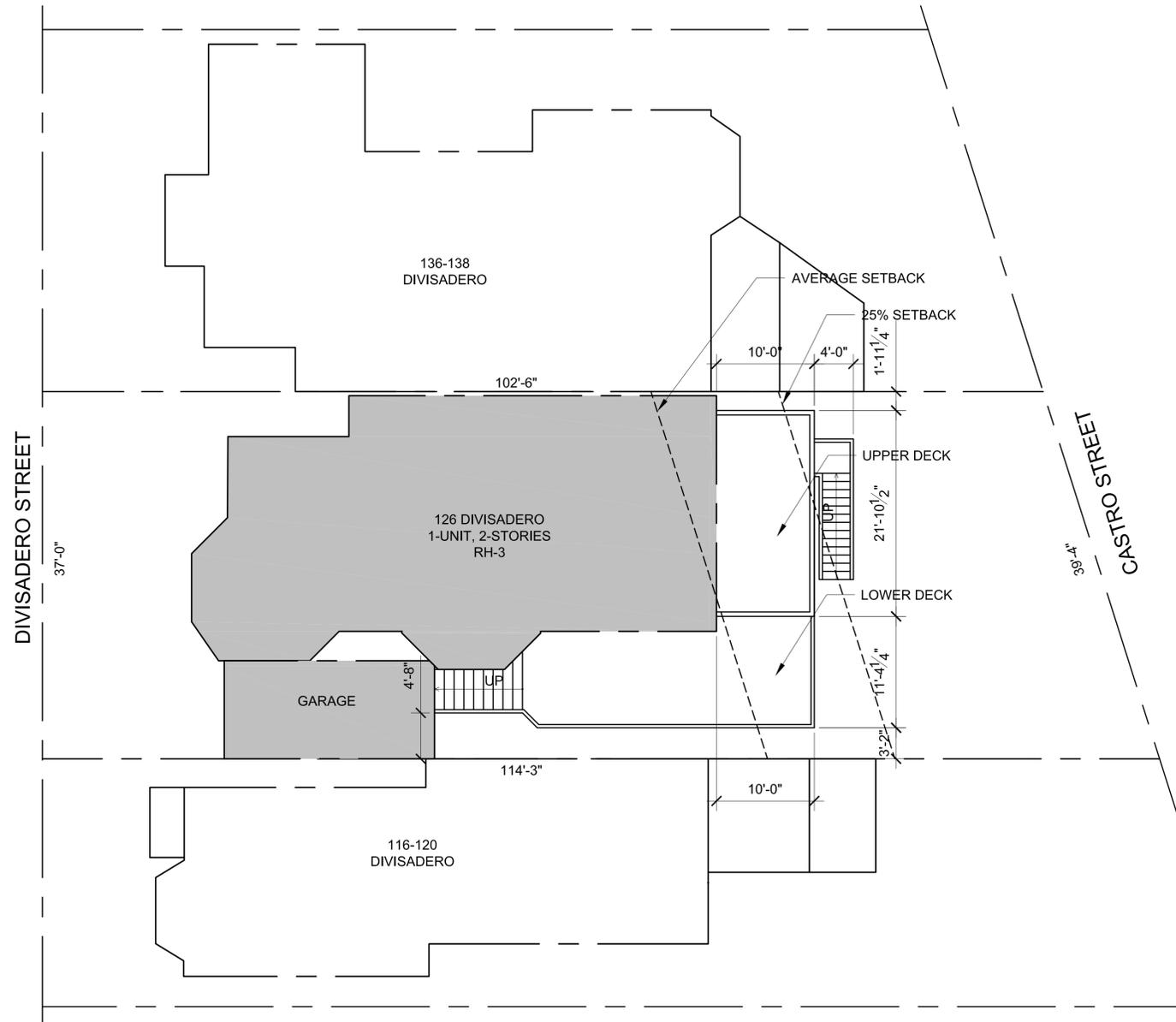
Pursuant to Planning Code Section 311, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **On May 17, 2017, the Department issued the required Section 311 notification for this project, which expires on June 16, 2017.**

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.



PLOT PLAN- EXISTING

SCALE: 1/8" = 1'-0"



DRAWING LIST

- ARCHITECTURAL:
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 - A-2 FLOOR PLAN- LEVEL 1 AND 2, EXISTING/ DEMO
 - A-2.1 SOUTH ELEVATION EXISTING/ DEMO
 - A-2.2 NORTH ELEVATION EXISTING/ DEMO
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 - A-4 FLOOR PLAN- LEVEL 1, PROPOSED
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 - A-6 SOUTH ELEVATION PROPOSED
 - A-7 NORTH ELEVATION PROPOSED
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PROJECT DATA

1. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF:
- 2013 California Building Code
 - 2013 California Plumbing Code
 - 2013 California Green Building Standards Code
 - 2013 California Mechanical Code
 - 2013 California Fire Code
 - 2013 California Electrical Code
 - All San Francisco Ordinances and Zoning Code
 - 2013 California Energy Code

PROJECT DESCRIPTION:

DEMOLISH EXISTING DILAPIDATED DECK AND STAIR. REPLACE WITH NEW DECK AND STAIR

ASSESSOR'S PARCEL NUMBER: 1260/027

ZONING: RH-3

OCCUPANCY GROUP: R-3

TYPE CONSTRUCTION: V-B

STORIES: 2

EXISTING LOT AREA: 4,118 SF

BUILDING AREA: 2,750 SF

DECK AND STAIR AREA:

EXISTING:	208 SF	LOWER:	781 SF
TOTAL:	781 SF*		

PROPOSED:	103 SF	LOWER:	670 SF
TOTAL:	773 SF*		

* AREA EXCLUDES DECK AND STAIRS BELOW 30" FROM GRADE

GRADING:	FILL:	32 CU. YD.
	EXCAVATION:	5 CU. YD.

GENERAL NOTES

1. ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND THE ACTUAL SITE CONDITIONS SHALL BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING FOR CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK.
2. THESE DRAWINGS MAY NOT BE TO SCALE AND ARE FOR ILLUSTRATION PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN THE FIELD. EACH SUBCONTRACTOR SHALL MAKE MEASUREMENTS PERTAINING TO THEIR RESPECTIVE WORK AND SHALL BE RESPONSAB;E FOR ACCURACY.
3. DETAILS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPH SCALE SHOWN ON DRAWINGS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE VARIOUS BUILDING TRADES AND FOR COORDINATING BETWEEN THE VARIOUS CONSTRUCTION DOCUMENTS AS NECESSARY IN SETTING OUT ALL BUILDING LINES AND DETAILS.
5. THE OWNER SHALL PAY FOR THE GENERAL BUILDING PERMIT. THE CONTRACTOR SHALL PAY FOR SUBCONTRACTING TRADE PERMITS AND BE RESPONSIBLE FOR SCHEDULING INSPECTIONS.
6. THE CONTRACTOR SHALL REMOVE FROM THE SITE ALL TRASH, WASTE, RUBBISH AND DEBRIS RESULTING FROM THE WORK AT REGULAR INTERVALS DURING THE COURSE IF THE WORK. ALL SUCH WASTE SHALL BE LEGALLY DISPOSED OF OFF-SITE. PATCH DAMAGED FINISHES AS REQUIRED.
7. SECURITY OF THE WORK SITE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR DURING THE WORK DAY. THE WORK SITE SHALL BE SECURED AGAINST ENTRY DURING NON-WORK HOURS.
8. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY SUPPORTS AS REQUIRED TO PROPERLY AND SAFELY EXECUTE THE WORK. SUCH FACILITIES SHALL INCLUDE BUT ARE NOT LIMITED TO: SHORINGS, BRACING, SCAFFOLDING, BARRIERS AND TEMPORARY UTILITIES. THE CONTRACTOR SHALL MAINTAIN ONE EXISTING OPERABLE TOILET THROUGHOUT THE COURSE OF THE JOB
9. ALL WORK SHALL BE INSTALLED PLUMB, LEVEL AND TRUE.
10. ANY OPENINGS LEFT IN THE FLOORS OR CEILINGS SHALL BE PROTECTED FOR THE SAFETY OF THOSE WORKING ON SITE AND OTHERS.

STUDIO ROBBINS CORTINA
 MICHAEL ROBBINS, AIA, LEED AP
 1125 WARD STREET
 BERKELEY, CA 94702
 TEL: 510 665 4882



**Arons/ Fastiff
 Deck Replacement**

PROJECT ADDRESS:
 126 DIVISADERO ST.
 SAN FRANCISCO CA
 ASSESSOR'S PARCEL NUMBER:
 1260/027

REVISIONS

△	PLANNING 4.17.17
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PLOT PLAN- EXIST
 PROJECT DATA
 SHEET INDEX

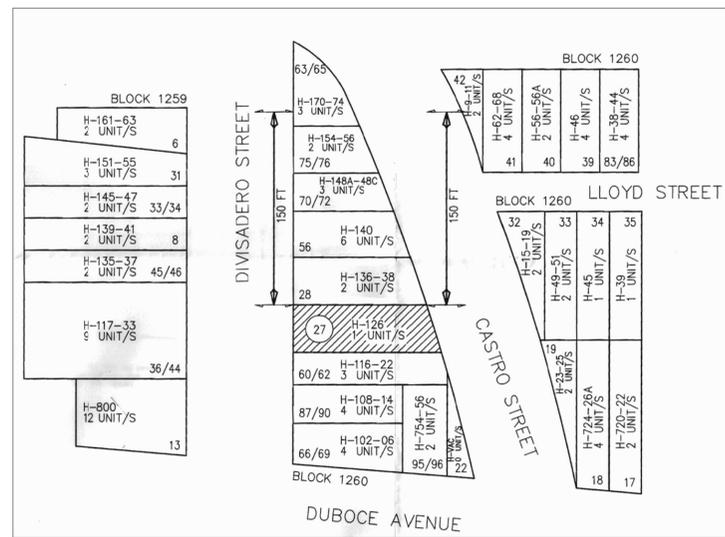
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8/19/16	2016003
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SCALE	DRAWN BY

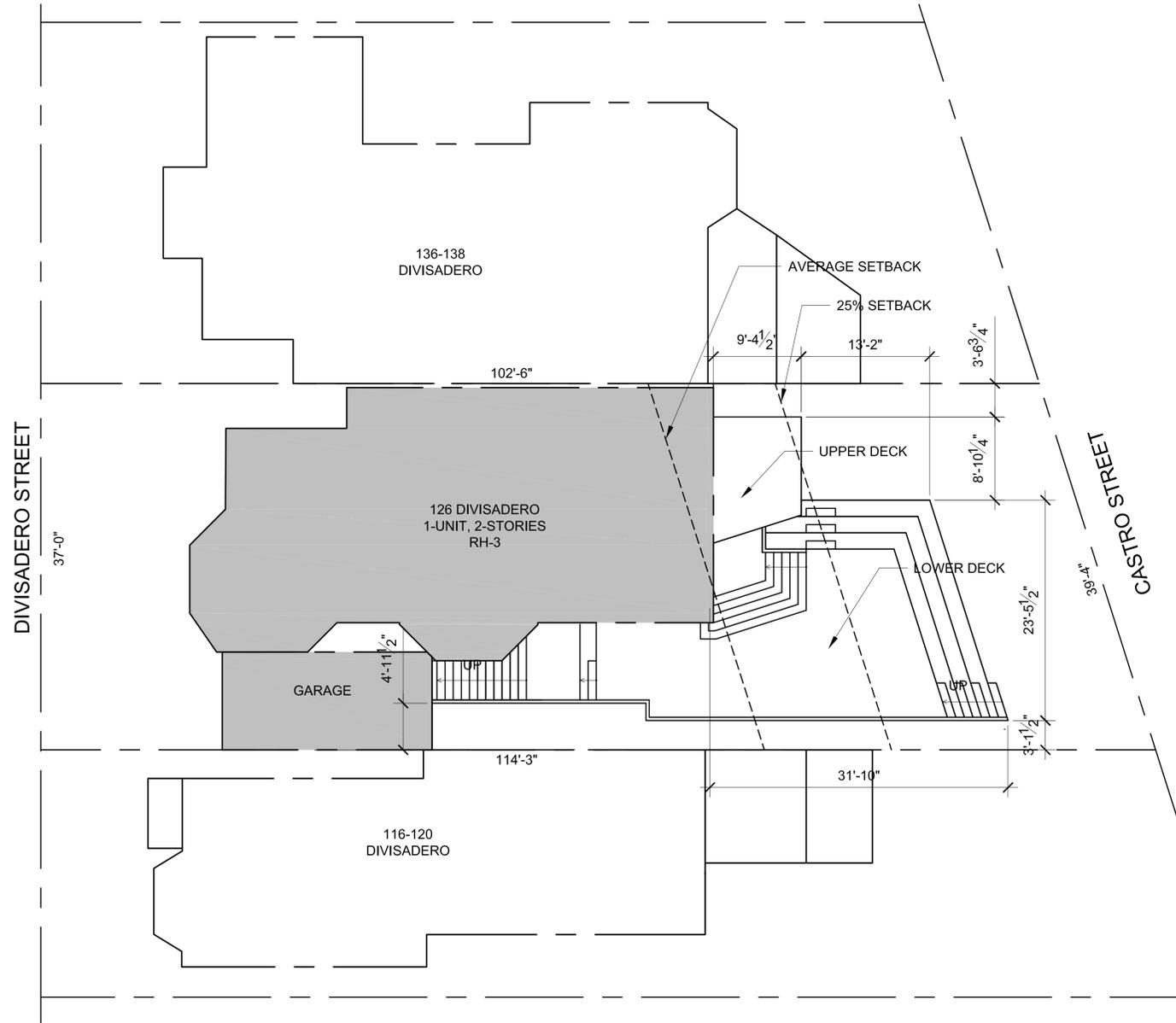
A.O



3 3D RENDERING
NTS



2 PERMIT NOTIFICATION MAP
NTS



1 PLOT PLAN- PROPOSED
SCALE: 1/8" = 1'-0"

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BERKELEY, CA 94702
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SAN FRANCISCO CA
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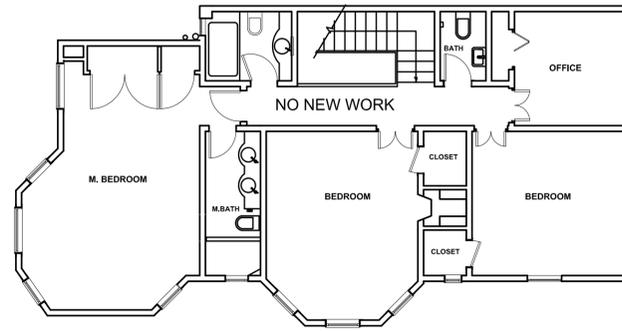
PLOT PLAN- PROP.
3D RENDERING
PERMIT MAP

SHEET TITLE

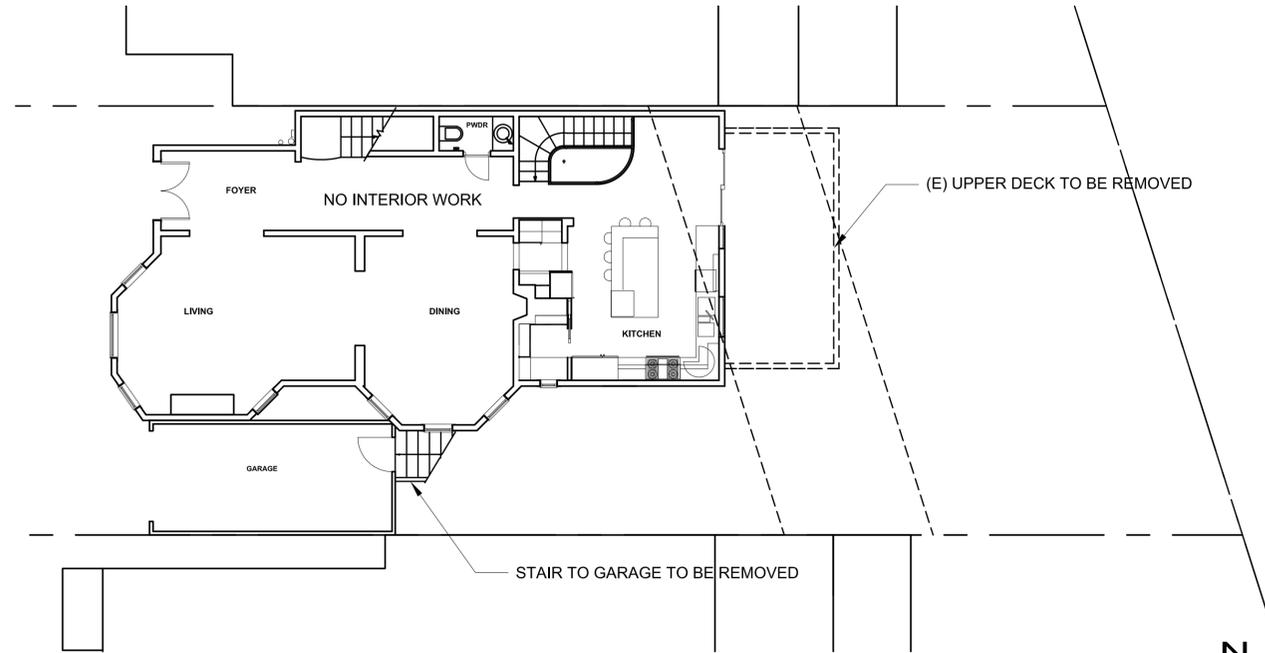
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DATE	JOB NO.

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SCALE	DRAWN BY

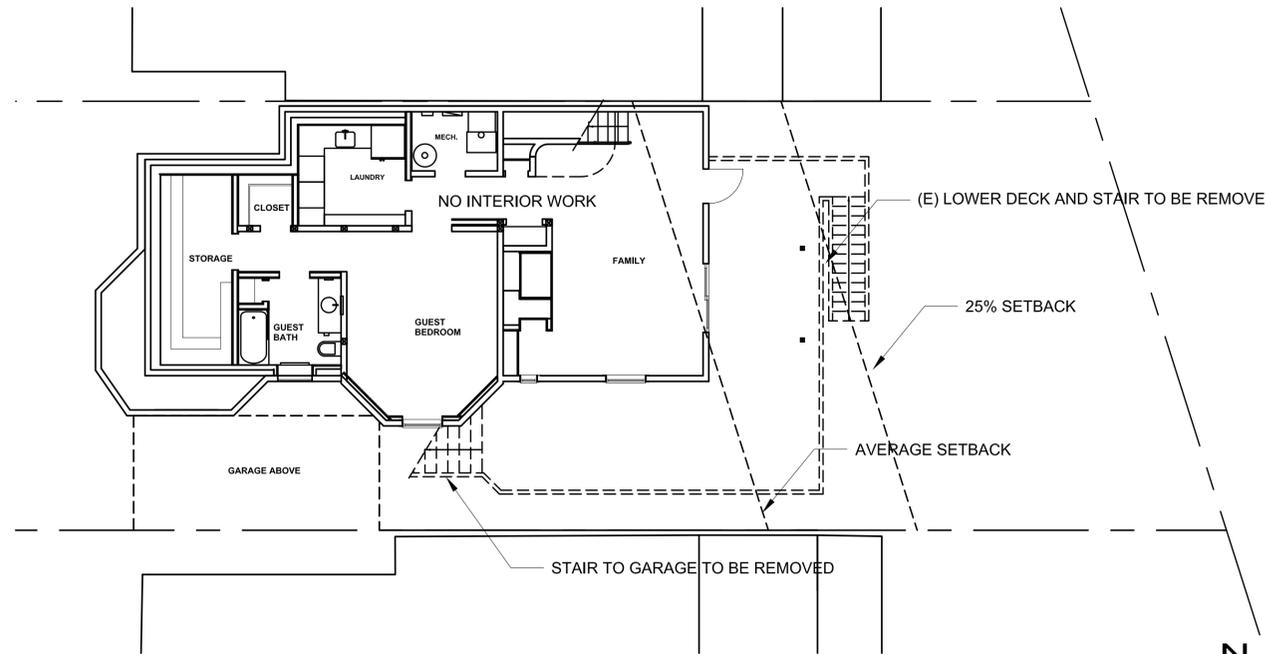
A.1



3 FLOOR PLAN- LEVEL 3 EXISTING (NO WORK)
SCALE: 1/8" = 1'-0"



2 FLOOR PLAN- LEVEL 2 EXISTING/ DEMO
SCALE: 1/8" = 1'-0"



1 FLOOR PLAN- LEVEL 1 EXISTING/ DEMO
SCALE: 1/8" = 1'-0"



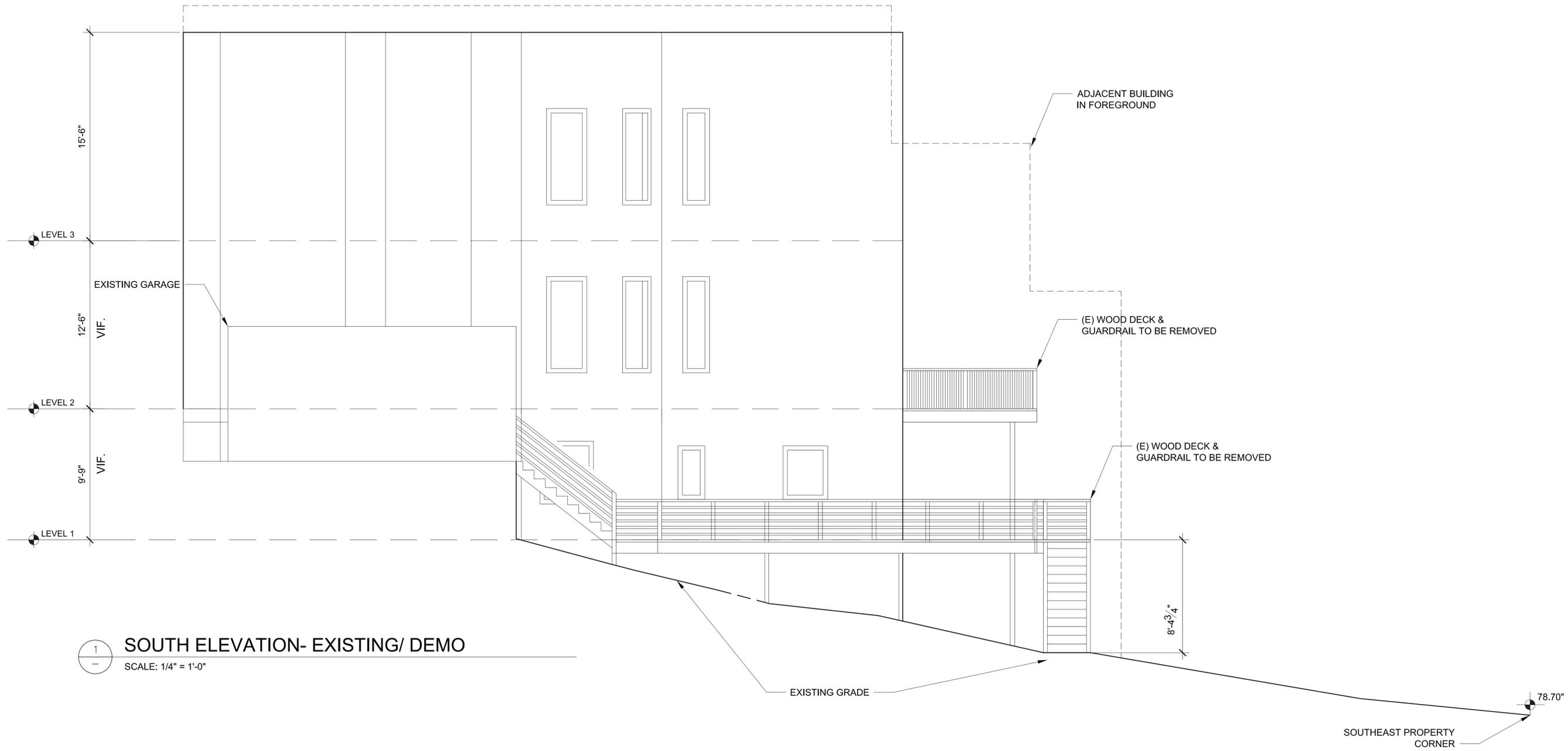
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126 DIVISADERO ST.
SAN FRANCISCO CA
ASSESSOR'S PARCEL NUMBER:
1260/027

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FLOOR PLAN
LEVEL 1, 2 & 3
EXISTING/ DEMO

SHEET TITLE	
8/19/16	2016003
DATE	JOB NO.
1/8"=1'-0"	MAP
SCALE	DRAWN BY



1 SOUTH ELEVATION- EXISTING/ DEMO
SCALE: 1/4" = 1'-0"

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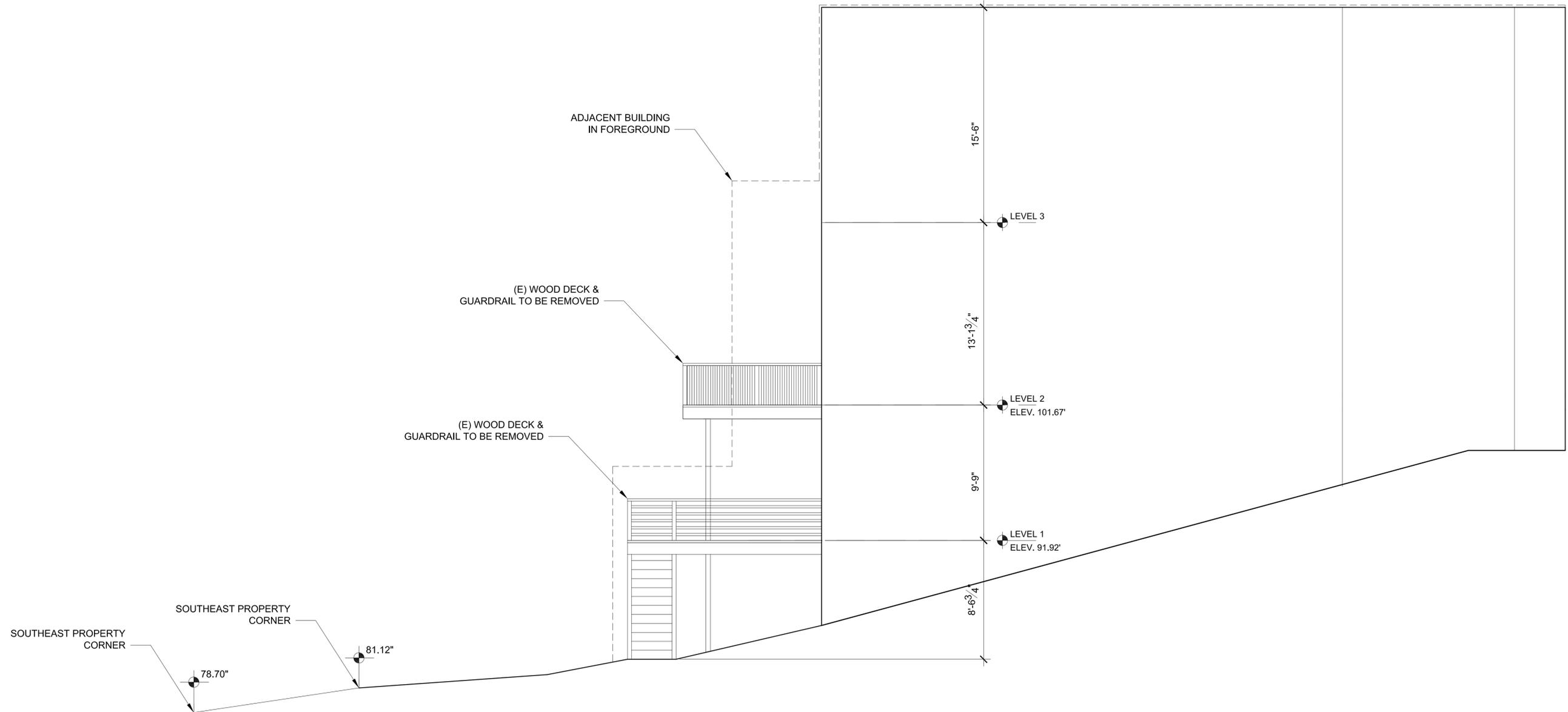
PROJECT ADDRESS:
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ASSESSOR'S PARCEL NUMBER:
1260/027

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SOUTH ELEVATION
EXISTING/ DEMO

SHEET TITLE	
8/19/16	2016003
DATE	JOB NO.
1/4"=1'-0"	MAR
SCALE	DRAWN BY

A2.1



1 NORTH ELEVATION- EXISTING/ DEMO
 SCALE: 1/4" = 1'-0"

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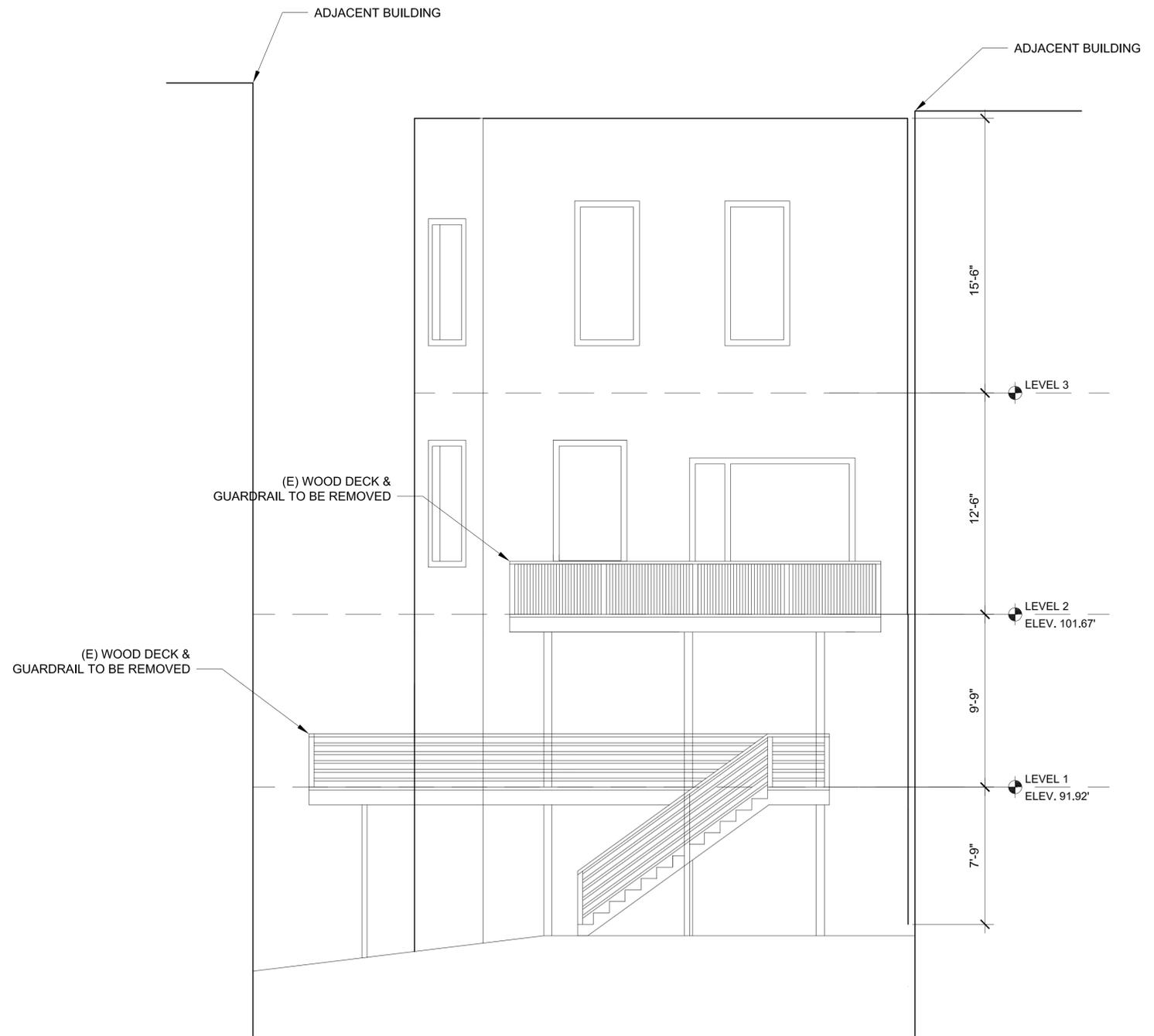
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NORTH
 ELEVATION
 EXISTING/ DEMO
 SHEET TITLE

8/19/16	2016003
DATE	JOB NO.
1/4"=1'-0"	MAR
SCALE	DRAWN BY

A2.2



1 EAST ELEVATION- EXISTING/ DEMO
 SCALE: 1/4" = 1'-0"

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Arons/ Fastiff
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 SAN FRANCISCO CA
 ASSESSOR'S PARCEL NUMBER:
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EAST
 ELEVATION
 EXISTING/ DEMO
 SHEET TITLE

8/19/16	2016003
DATE	JOB NO.
1/4"=1'-0"	MR
SCALE	DRAWN BY

A2.3



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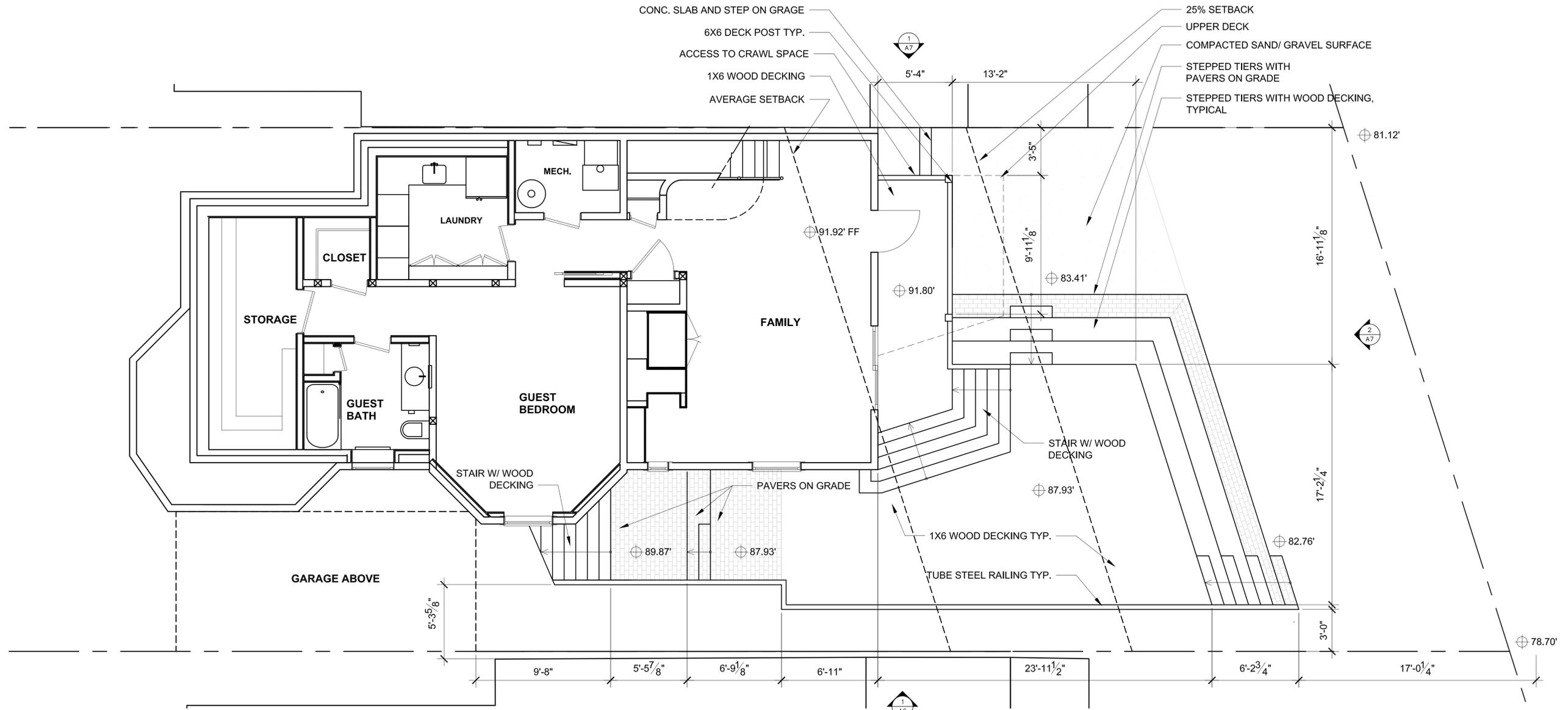
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LEVEL 1 FLOOR
 PLAN- PROPOSED

SHEET TITLE

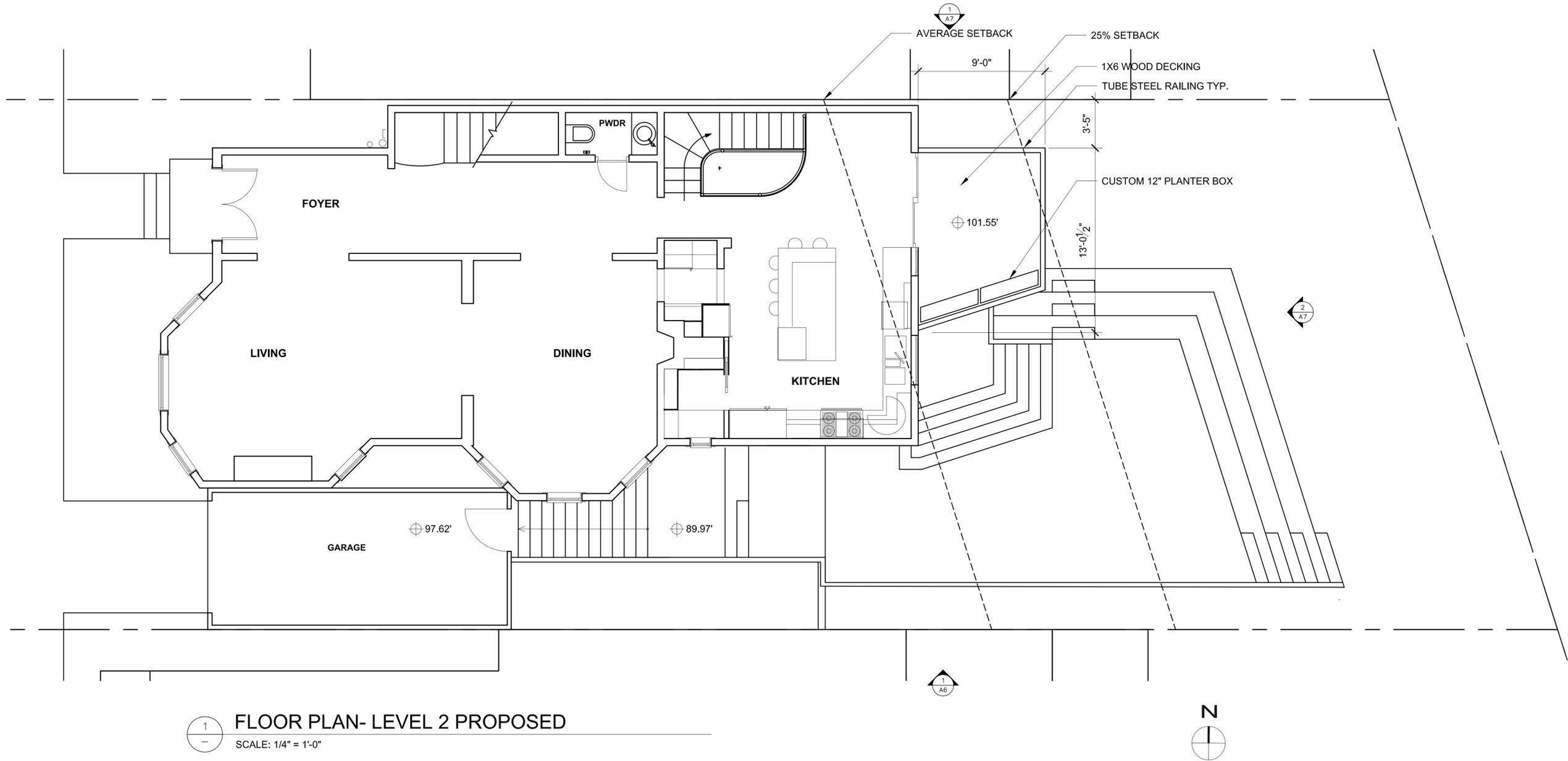
8/19/16	2016003
DATE	JOB NO.
1/4"=1'-0"	MR
SCALE	DRAWN BY

A.4



1 FLOOR PLAN- LEVEL1 PROPOSED
 SCALE: 1/4" = 1'-0"





1
—
FLOOR PLAN- LEVEL 2 PROPOSED
SCALE: 1/4" = 1'-0"

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**Arons/ Fastiff
Deck Replacement**

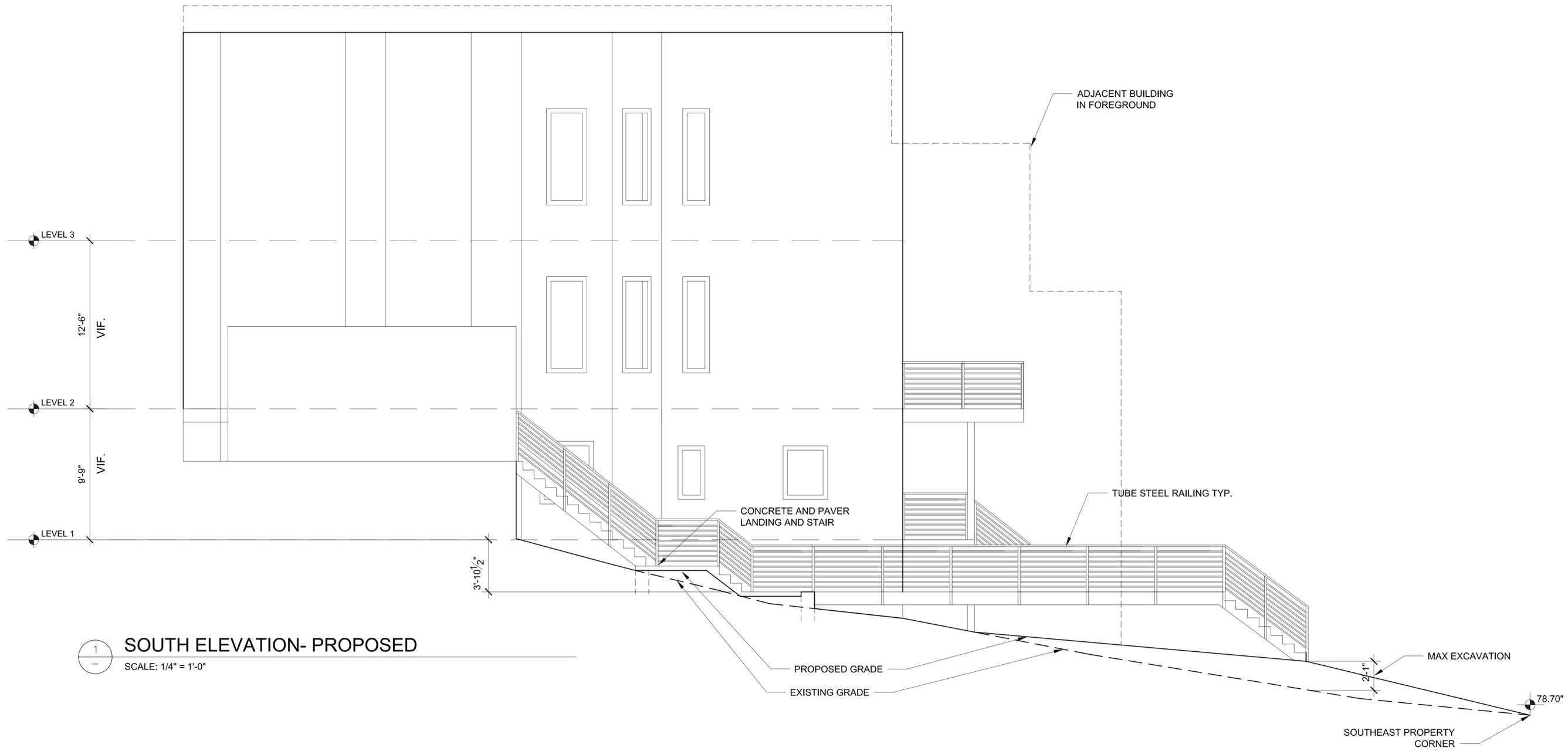
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LEVEL 2 FLOOR
PLAN-PROPOSED

SHEET TITLE	
8/19/16	2016003
DATE	JOB NO.
1/4"=1'-0"	MAR
SCALE	DRAWN BY

A.5



1 SOUTH ELEVATION- PROPOSED
SCALE: 1/4" = 1'-0"

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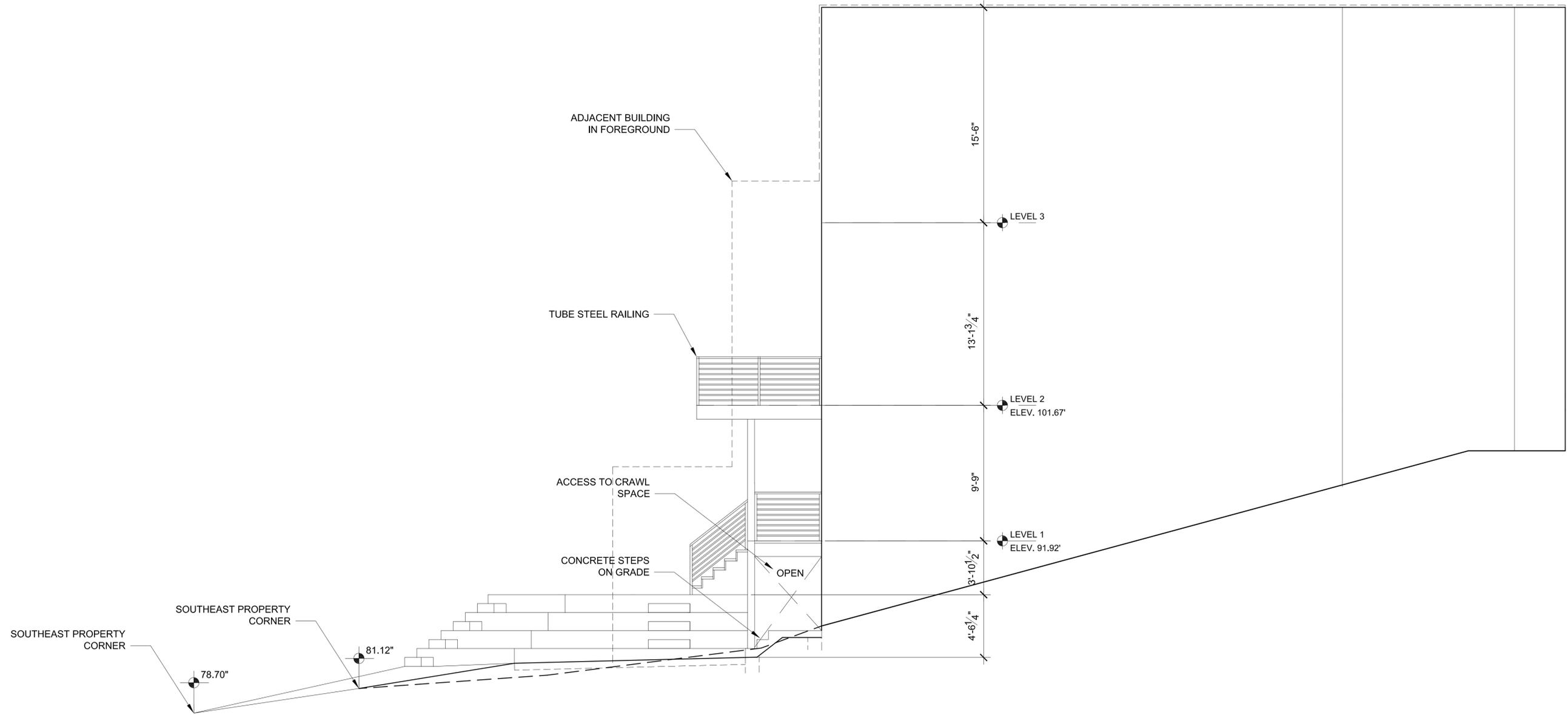
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SOUTH ELEVATION
PROPOSED

SHEET TITLE	
8/19/16	2016003
DATE	JOB NO.
1/4"=1'-0"	MAR
SCALE	DRAWN BY

A.6



1 NORTH ELEVATION- PROPOSED
 SCALE: 1/4" = 1'-0"

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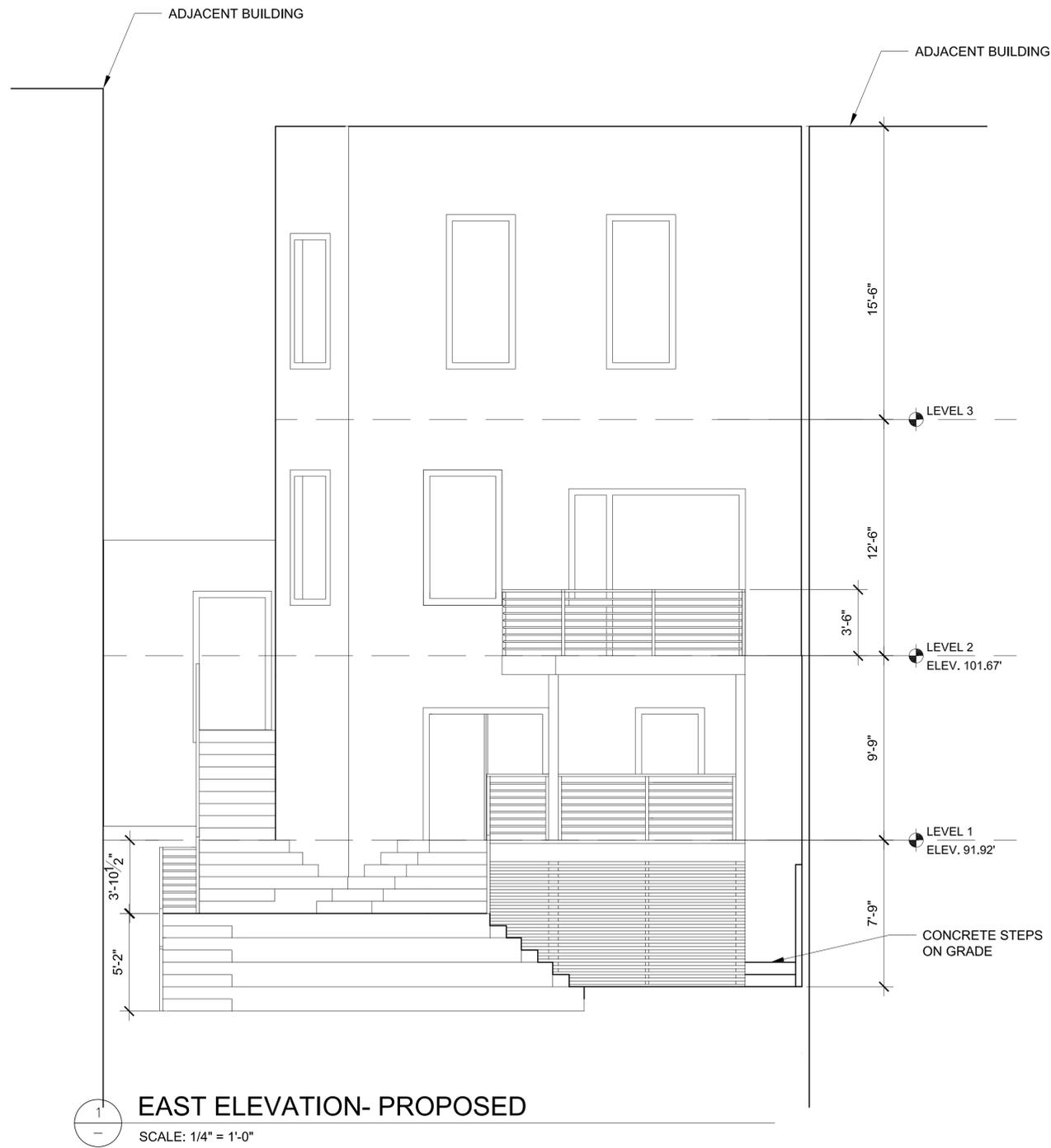
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NORTH
 ELEVATION
 PROPOSED

SHEET TITLE	
8/19/16	2016003
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1/4"=1'-0"	MAR
SCALE	DRAWN BY

A.7



EAST ELEVATION- PROPOSED

SCALE: 1/4" = 1'-0"

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EAST
 ELEVATION
 PROPOSED

SHEET TITLE

8/19/16	2016003
DATE	JOB NO.
1/4"=1'-0"	MAR
SCALE	DRAWN BY

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