



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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CA 94103-2479

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**SAN FRANCISCO
PLANNING DEPARTMENT**

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558*6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, March 22, 2017**
 Time: **Not before 9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 286 Parnassus Avenue	Case No.: 2016-015703VAR
Cross Street(s): Willard Street	Building Permit: 2017.0113.7207
Block /Lot No.: 1274 / 058-060	Applicant: Marc Lindsell
Zoning District(s): RH-3 / 40-X	Telephone: (415) 826-5459
Area Plan: N/A	E-Mail: marc@2marchitecture.com

PROJECT DESCRIPTION

The proposal is to demolish the existing deck at the rear of the ground floor of the three-story, three-unit residential building and construct a larger deck and a spiral staircase to connect the deck to the rear yard. A firewall will also be constructed along the west property line adjacent to the staircase. The deck and stairs are proposed to be constructed along the wall of the property to the west.

PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a rear yard of at least 29 feet based on averaging of the rear walls of the adjacent properties. The existing structure is noncompliant with respect to the rear yard requirement. The proposed project furthers this noncompliance as the deck would extend to within 21 feet of the rear property line and the stairs would extend to within approximately 16 feet of the rear property line. Therefore, the project requires a rear yard variance.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://notice.sfplanning.org/2016-015703VAR.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:
 Planner: **David Weissglass** Telephone: **(415) 575-9177** E-Mail: david.weissglass@sfgov.org

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311 or 312, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **On March 1st, 2017, the Department issued the required Section 311 notification for this project (expires March 31, 2017).**

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

GENERAL CONDITIONS

1.1 Scope of Work —
 To expand an existing rear yard deck
 To provide a new metal spiral stair from that deck to the rear yard
 The intention of these documents is to include all labor, equipment, materials, service and transportation necessary for a complete and properly finished job as indicated on the drawings and specifications, or reasonably inferred therefrom. The Contractor shall be responsible for all cutting and patching required for proper installation of the work and shall protect, patch and refinish (to match existing) areas to remain that are disturbed during construction. The Contractor shall also be responsible for repairing damaged areas that occur during the construction that is outside the scope of work if caused by him or his Subcontractors.

1.2 Codes - Construction shall comply with all applicable national, state and local building codes. It is the responsibility of the Contractor and Owner to insure compliance with said codes and coordinate with the Architect to modify the specifications if needed to comply with such codes.

California Residential Code 2013 Edition, with San Francisco Amendments
 California Plumbing Code 2013 Edition, with San Francisco Amendments
 California Mechanical Code 2013 Edition, with San Francisco Amendments
 California Fire Code 2013 Edition, with San Francisco Amendments
 California Energy Code 2013 Edition
 California Electrical Code 2013 Edition, with San Francisco Amendments

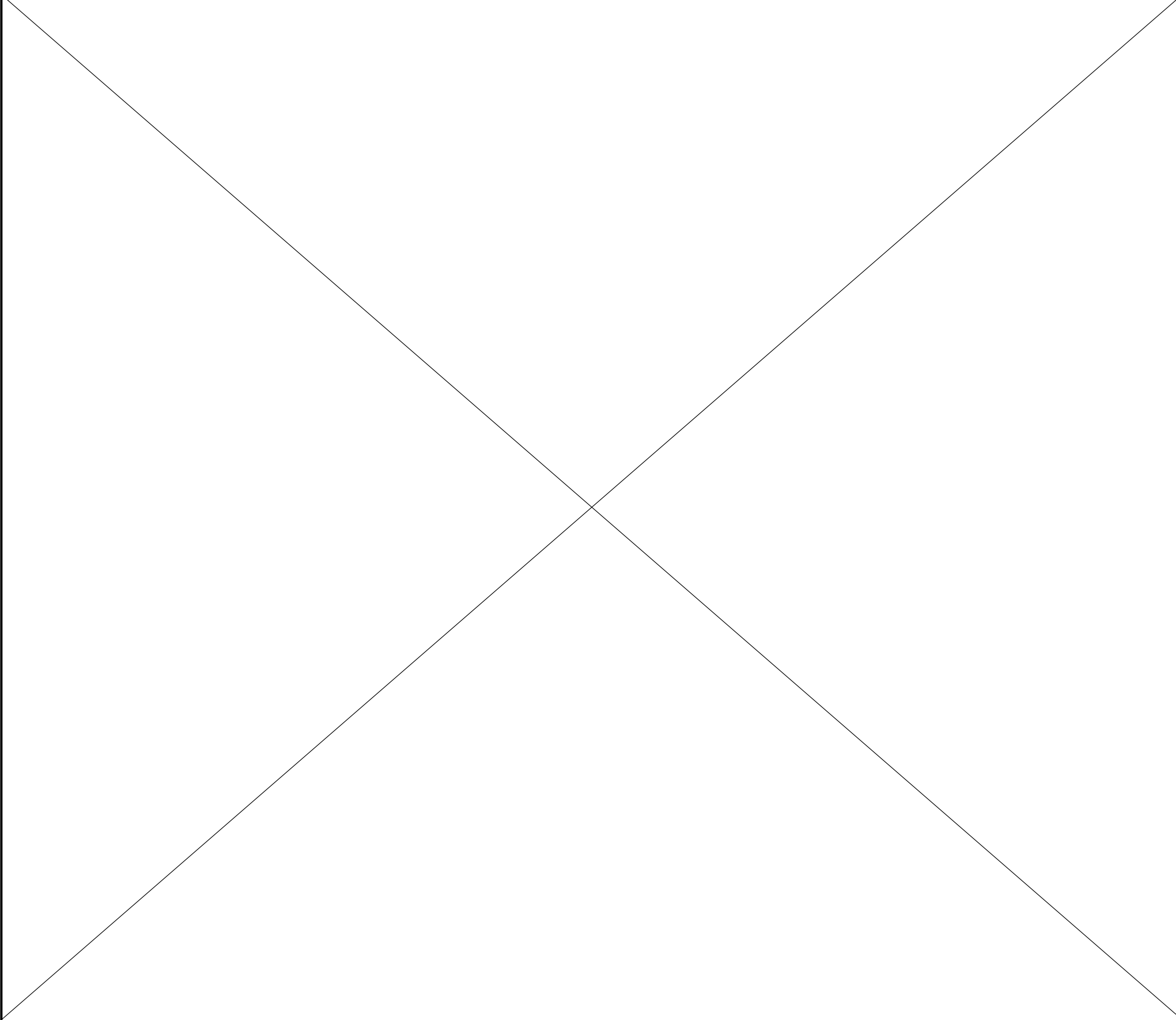
1.3 Measurements - The Contractor shall check and verify all dimensions and field conditions before proceeding with construction. The Architect shall be notified of any discrepancies or inconsistencies between the drawings and existing conditions before proceeding with the work in question. **Dimensions refer to the face of finished wall, floor, ceiling or other architectural element unless otherwise noted.** "ALIGN" as used in these documents shall mean to accurately locate finish faces in the same plane. Do not scale drawings.

1.4 Substitutions - Manufacturers designated are intended to indicate quality and feature standards. Substitutions from indicated products shall be permitted if approved 'as equal' by the Architect. The Contractor shall provide a submittal sufficient to evaluate the performance and features of the proposed substitution.

SUBMITTALS & INSPECTIONS

1.5 Submittals - Contractor shall review required submittal materials and confirm compliance with requirements of contract documents prior to sending to Architect for review. Contractor shall provide current manufacturer's technical product data, including illustrations, performance criteria, options, colors, ratings, warranties, etc. as necessary for evaluation by Architect. Where shop drawings are required, provide graphic information at an accurate scale. Show dimensions and notes based on field measurements. Show how components are assembled, function together, and how they will be installed. Contractor shall send submittals to Architect with sufficient time to allow at least one week for initial review and 2 days for all re-submittals.

RENDERING



DRAWING INDEX

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A-2.4	PROPOSED WEST ELEVATION
A-2.5	EXISTING EAST ELEVATION
A-2.6	PROPOSED EAST ELEVATION

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Lakusta/Seliga Renovation
 286 Parnassus Avenue
 San Francisco, CA 94117

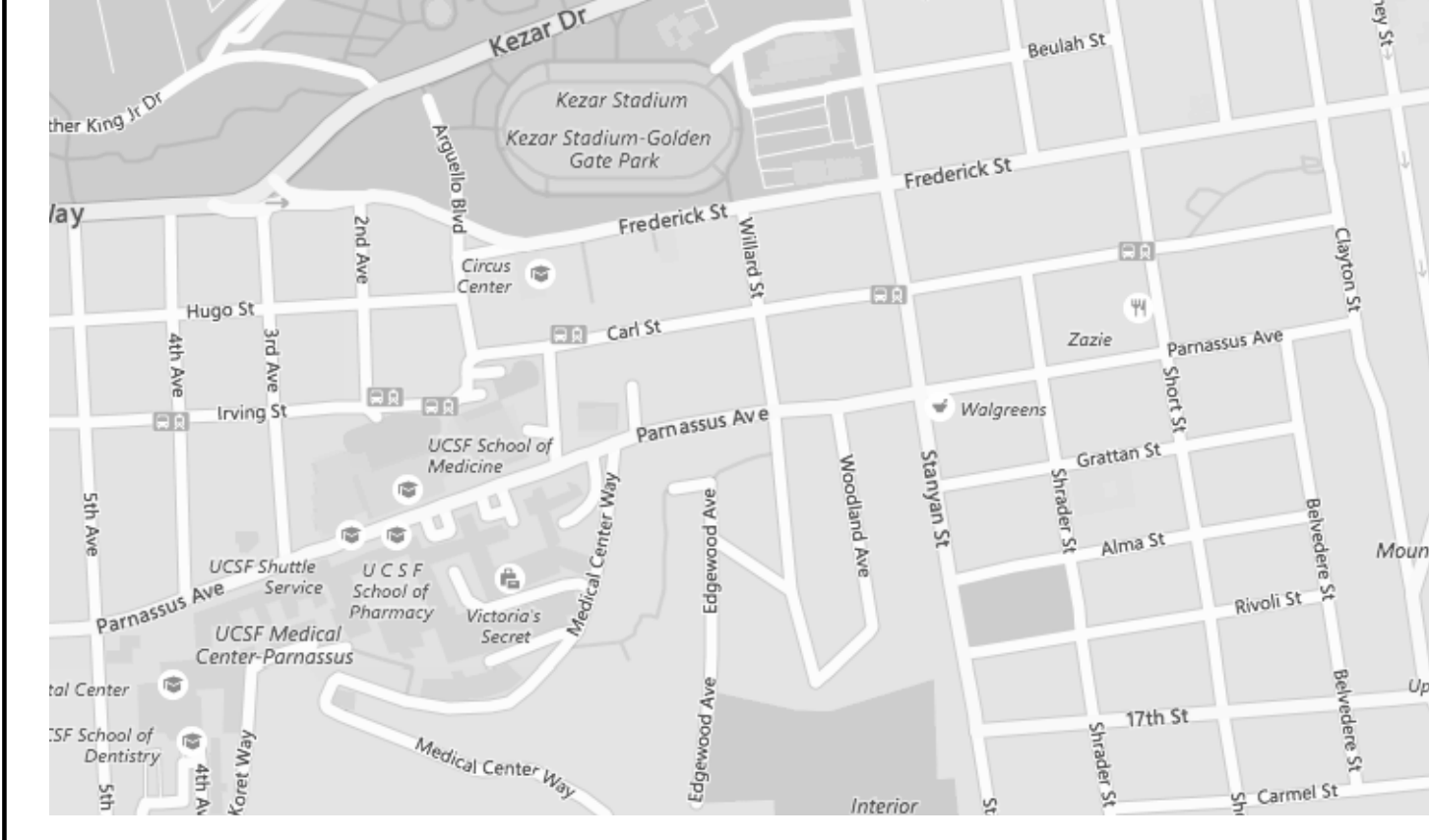
SYMBOLS LEGEND

ARCHITECTURE	LIGHTING	ELECTRICAL
WINDOW TAGS	SWITCH: SINGLE POLE CENTER IS +46" A.F.F. U.O.N.	DUPLEX FLOOR OUTLET
DOOR TAGS	SWITCH: 3 WAY	QUADRAPLEX WALL OUTLET
MECH. ELEC. & PLUMB TAGS	SWITCH: CERTIFIED MOTION SENSOR WITH INTEGRAL PHOTO SENSOR	GROUND FAULT INTERRUPT WALL OUTLET
KEYNOTES	SWITCH: MANUAL-ON OCCUPANCY SENSOR	DUPLEX WALL OUTLET CENTER IS +12" A.F.F. U.O.N.
DETAIL MARK	SWITCH: DIMMER	WATER PROOF WALL OUTLET
ELEVATION MARK	SWITCH: JAMB LIGHT SWITCH	220 VOLT WALL OUTLET
SECTION MARK	CEILING MOUNTED LIGHT FIXTURE (SURFACE OR PENDANT)	JUNCTION BOX IN CEILING
GRID AND COLUMN LINES	WATER-PROOF FIXTURE	SMOKE DETECTOR
NORTH ARROW	RECESSED DIRECTIONAL CEILING LIGHT FIXTURE	SMOKE + CO DETECTOR
DATUM POINT MARK	RECESSED CEILING LIGHT FIXTURE	CARBON MONOXIDE DETECTOR
WALL, FLOOR, ROOF ASSEMBLY TAG	FLUORESCENT FANLIGHT COMBO CEILING FIXTURE	DOOR BELL CHIMES
CENTER LINE	WALL MOUNTED LIGHT FIXTURE	DOOR BELL RINGER
PROPERTY LINE	SURFACE MOUNTED FLUORESCENT LIGHT	CABLE TV OUTLET
HIDDEN LINE	SURFACE MOUNTED LINEAR TRACK	DATA / CATS
		TELEPHONE OUTLET
		THERMOSTAT

ABBREVIATIONS

ABV	Above	FO	Face of Finish	RD	Roof Drain
A/C	Air Conditioning	FOF	Face of Finish	REF	Refrigerator
AD	Area Drain	FOS	Face of Structure	REG	Register
ADJ	Adjustable	FT	Feet, Foot	REQD	Required
AFF	Above Finished Floor	GA	Gauge	RM	Room
AL	Aluminum	GAL	Galvanized	RO	Rough Opening
AMP	Ampere	GALV	Galvanized	ROW	Right of Way
ARCH	Architect, Architectural	GC	General Contractor	RWL	Rain Water Leader
AWN	Awning	GL	Glazing, Glass	SAD	See Architectural Drawings
BD	Board	GLM	Galvanized Sheet Metal	SCD	See Civil Drawings
BEL	Below	GWB	Gypsum Wall Board	SD	Stomach Drain
BLDG	Building	GYP	Gypsum	SF	Square Foot or Feet
BLKG	Blocking	HB	Hose Bib	SFM	CA State Fire Marshall
BO	Bottom of	HDR	Header	SHT	Sheet
BSMT	Basement	HDWR	Hardware	SIM	Similar
CBC	CA Building Code	HM	Hollow Metal	SLD	See Landscape Drawings
CEC	CA Electrical Code	HORIZ	Horizontal	SMD	See Mechanical Drawings
CFM	Cubic Feet per Minute	HVAC	Heating, Ventilation & A/C	SPEC	Specified or Specifications
CL	Centerline	ID	Inside Diameter	SQ	Square
CLG	Ceiling	IN	Inch	SSD	See Structural Drawings
CLOS	Closet	INCAND	Incandescent	SST	Stainless Steel
CLR	Clear	INT	Interior	STC	Sound Transmission Coefficient
CMU	Concrete Masonry Unit	INSUL	Insulation	STL	Steel
COL	Column	LAT	Lateral	T24	CA Energy Code Top and Bottom
CONC	Concrete	LAV	Lavatory	T&B	Tongue and Groove
CRC	CA Residential Code	MAX	Maximum	T&G	To Be Specified
CSMT	Casement	MECH	Mechanical	TBS	To Be Specified
DBL	Double	MH	Man Hole	TD	Trch Drain
DEG	Degree	MIN	Minimum	TME	To Match Existing
DEMO	Demolish	MISC	Miscellaneous	TO	Top Of
DIA	Diameter	MOOP	Matter Out of Place	TYP	Typical
DIM	Dimension	MS	Motion Sensor	UBC	Uniform Building Code
DISP	Disposer	MTL	Metal	UL	Underwriters Laboratory
DN	Down	(N)	New	UON	Unless Otherwise Noted
DR	Door	NIC	Not In Contract	VERT	Vertical
DS	Downspout	NOM	Nominal	VEST	Vestibule
DTL	Detail	NTS	Not To Scale	VIF	Verify In Field
DWG	Drawing(s)	OBSC	Obscure	W/	With
(E)	Existing	OC	On Center	W/O	Without
EA	Each	OD	Outside Diameter	WD	Wood
EJ	Expansion Joint	OF	Outside Face	WDW	Window
EL	Elevation	OFCI	Owner Furnish Contractor Install	WH	Water Heater
ELEC	Electrical	OH	Opposite Hand	WSCT	Wainscot
ELEV	Elevator	OS	Occupancy Sensor		
ENG	Engineer(ed)	OSB	Oriented Strand Board		
EQ	Equal	PAR	Parallel		
EQUIP	Equipment	PER	Perpendicular		
EXT	Exterior	PERF	Perforated		
FAU	Forced Air Unit	PLAM	Plastic Laminate		
FAR	Floor Area Ratio	PNL	Panel		
FBO	Furnished By Owner	PWD	Plywood		
FD	Floor Drain	(R)	Relocated		
FF	Finish Floor (Elevation)	RCP	Reflected Ceiling Plan		
FIN	Finish(ed)				
FIXT	Fixture				
FL	Fluorescent				
FLR	Floor				
FND	Foundation				

VICINITY MAP



APPROVAL STAMPS

MARK	DATE	DESCRIPTION
	12/02/16	VARIANCE APPLICATION
	08/27/16	DESIGN DRAWINGS
	07/12/16	INITIAL DESIGN CONCEPTS

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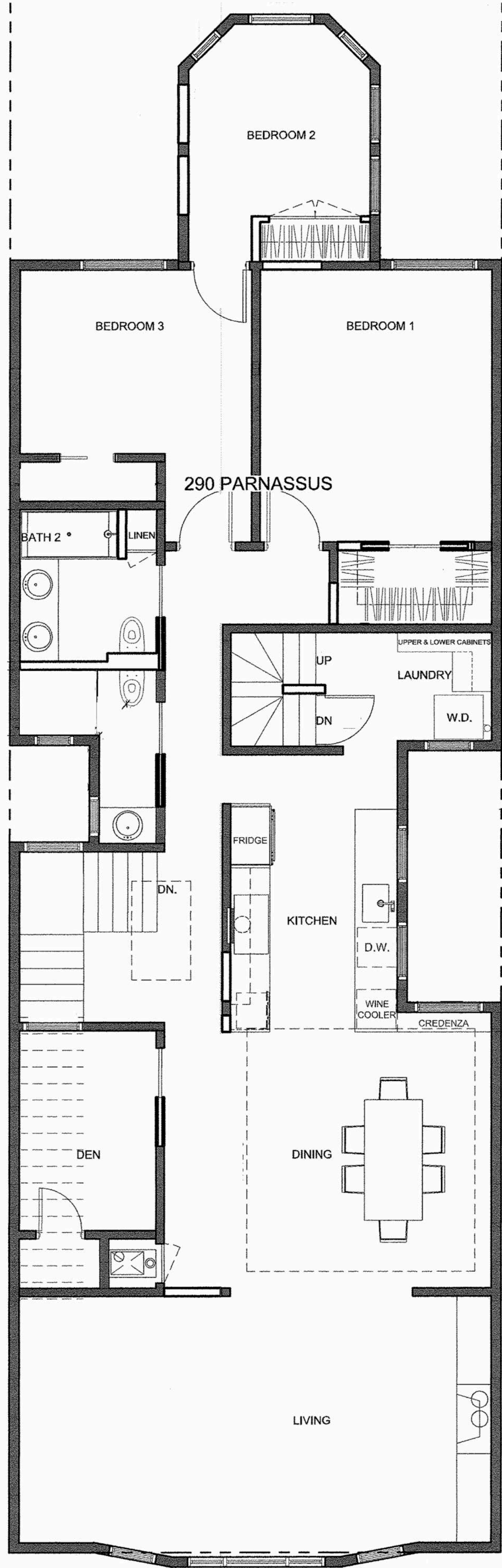
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COVER SHEET

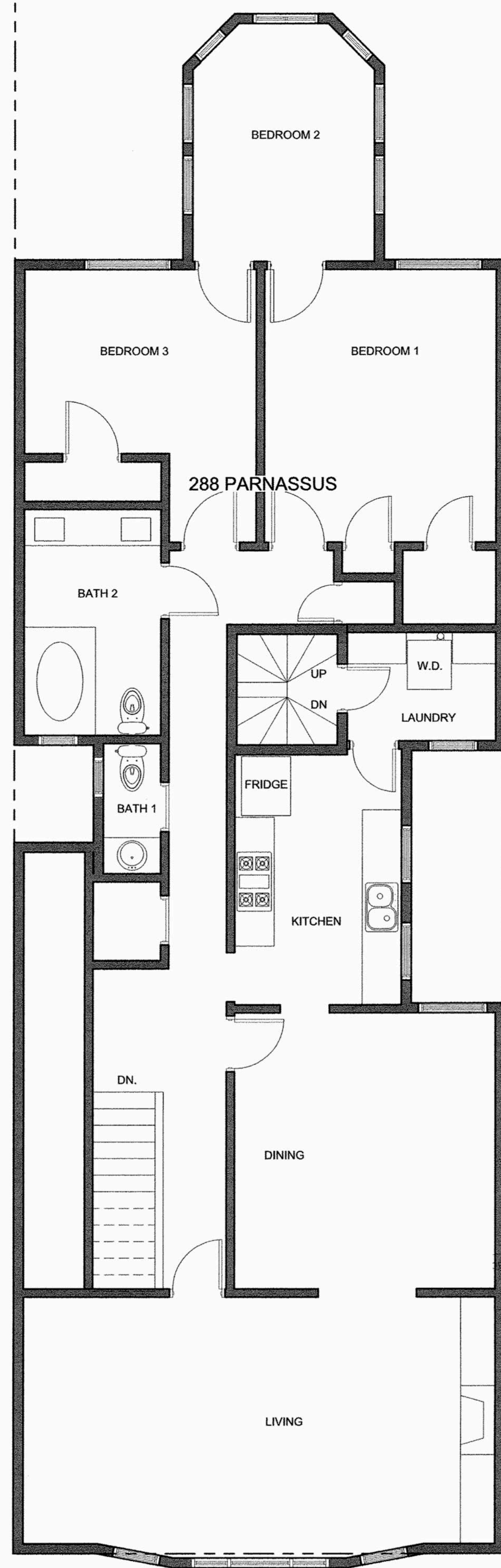
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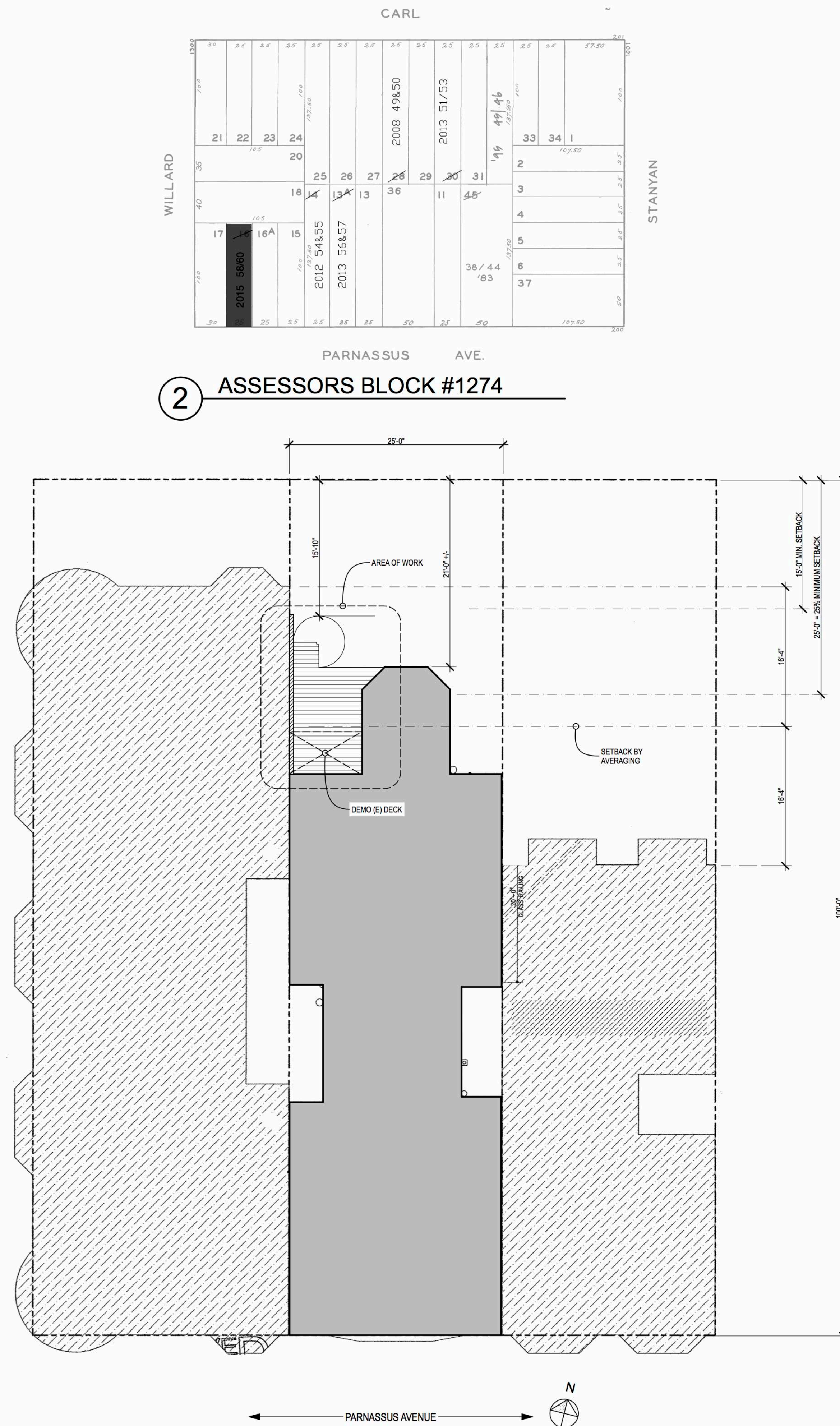
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4 EXISTING THIRD FLOOR (NO WORK)
SCALE: 1/4" = 1'-0"



3 EXISTING SECOND FLOOR (NO WORK)
SCALE: 1/4" = 1'-0"



1 EXISTING SITE PLAN
SCALE: 1/8" = 1'-0"

CARL

17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35
2015 58/60	2012 54&55	2013 56&57						2008 49&50	2013 51/53		49/46							

2 ASSESSORS BLOCK #1274

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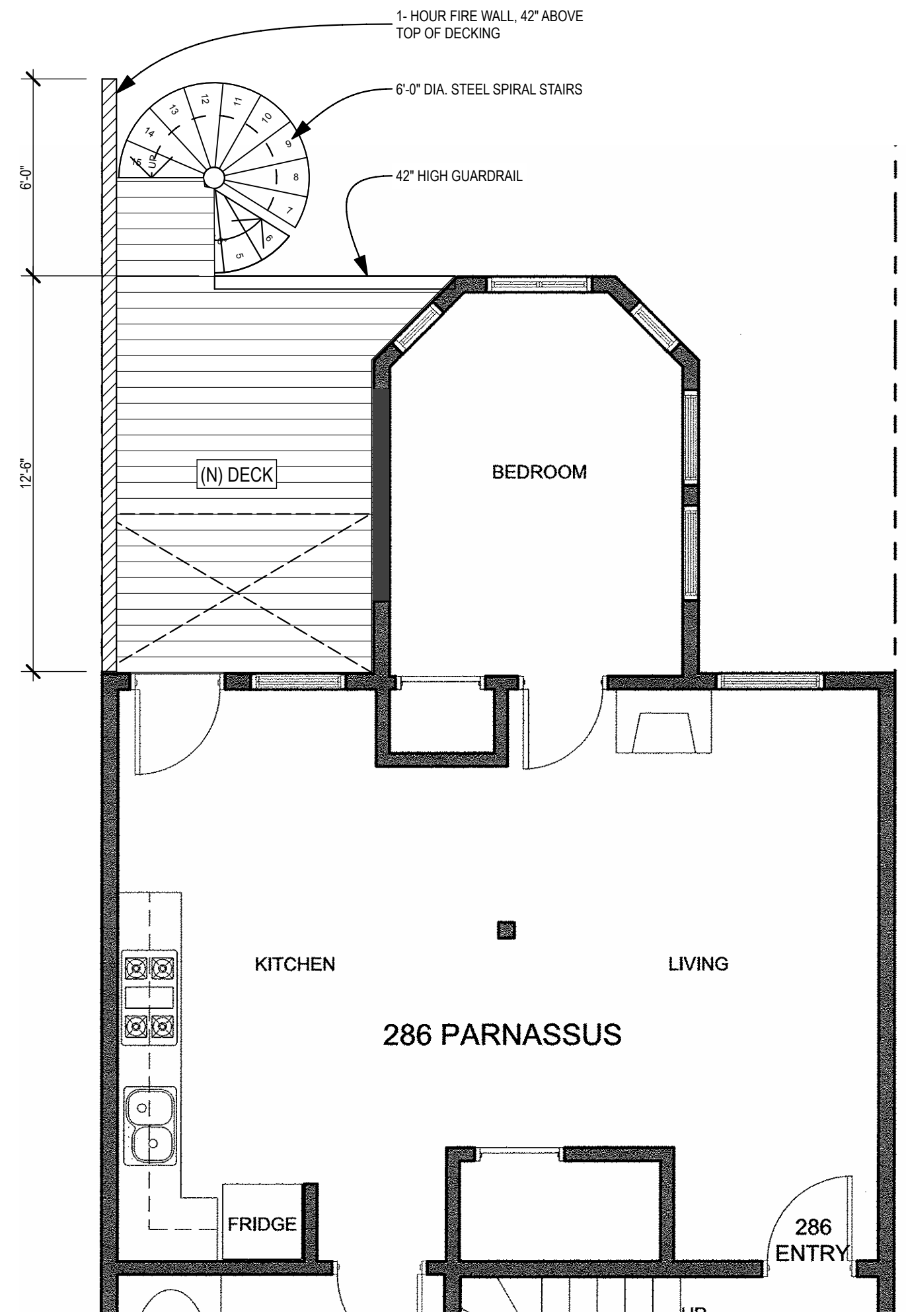
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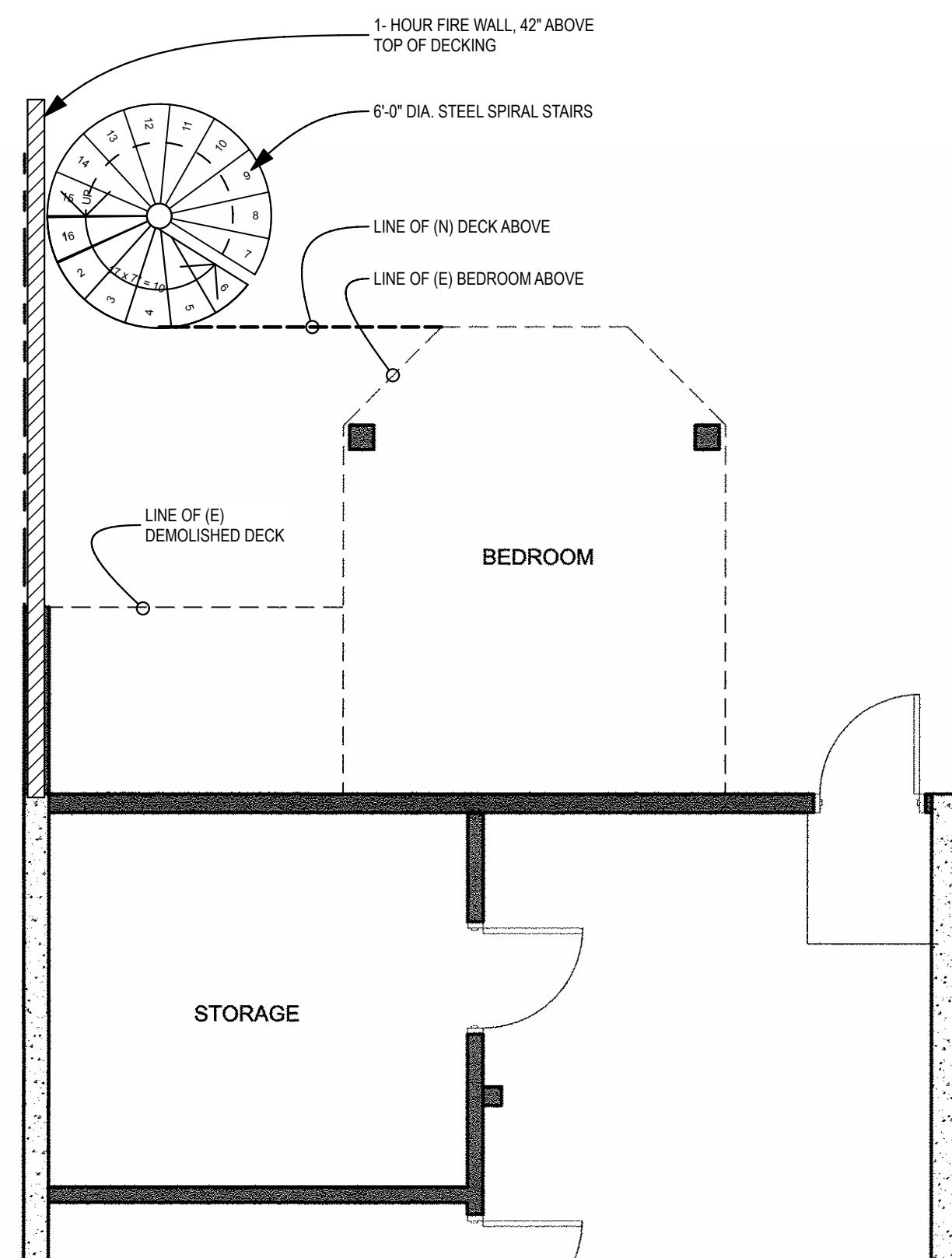
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SITE & EXISTING PLANS

A-1.1

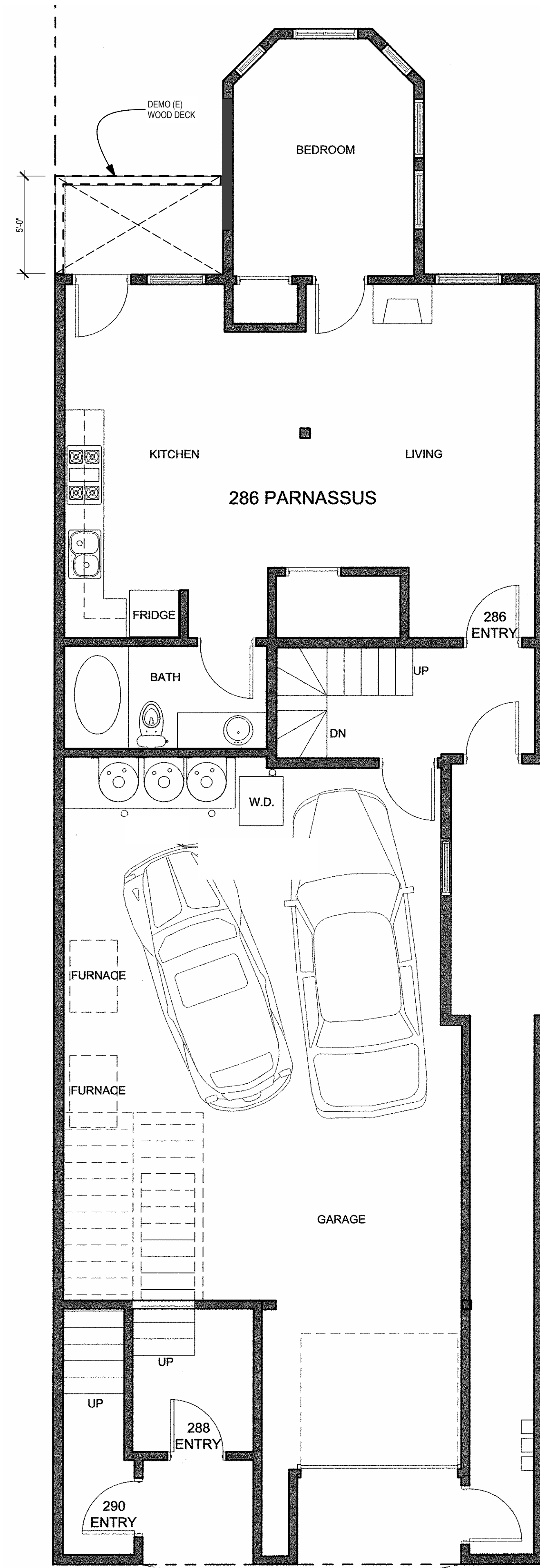




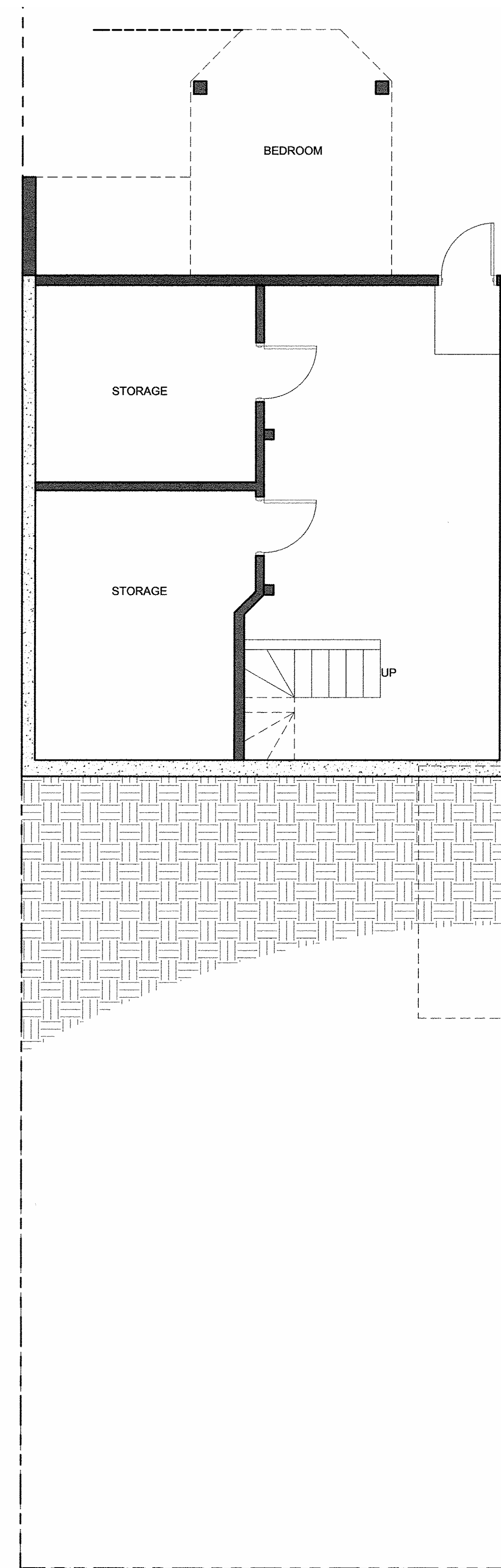
5 PROPOSED GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"



6 PROPOSED BASEMENT PLAN
SCALE: 1/4" = 1'-0"



2 EXISTING GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"



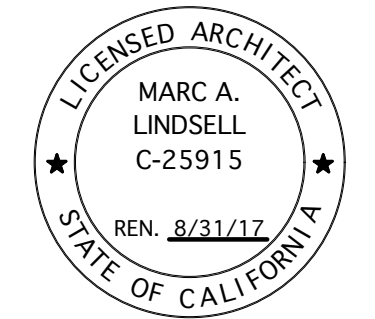
1 EXISTING BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



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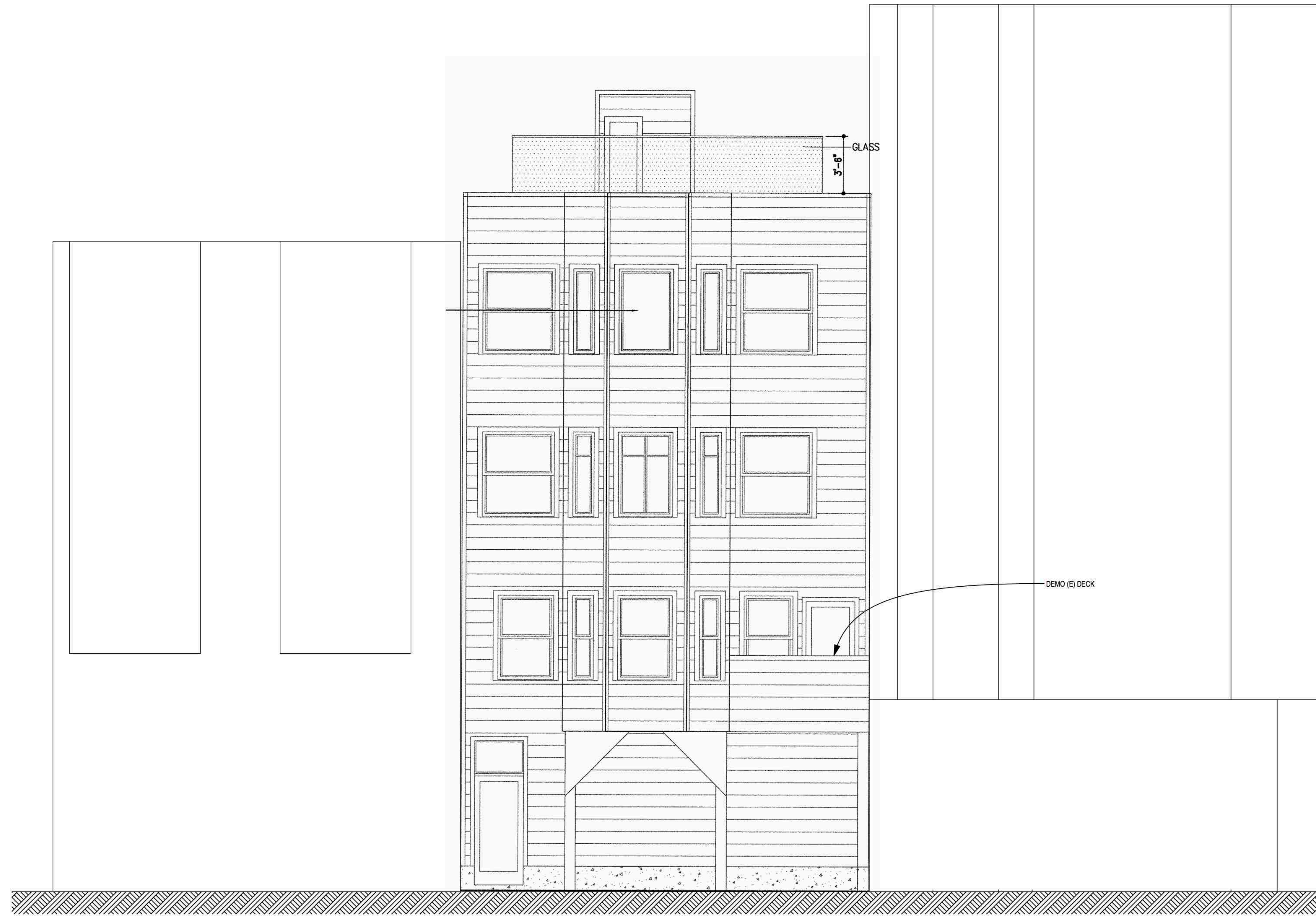
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EXISTING & PROPOSED FLOOR
PLANS

A-1.2





1 EXISTING NORTH (REAR) ELEVATION
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A-2.1





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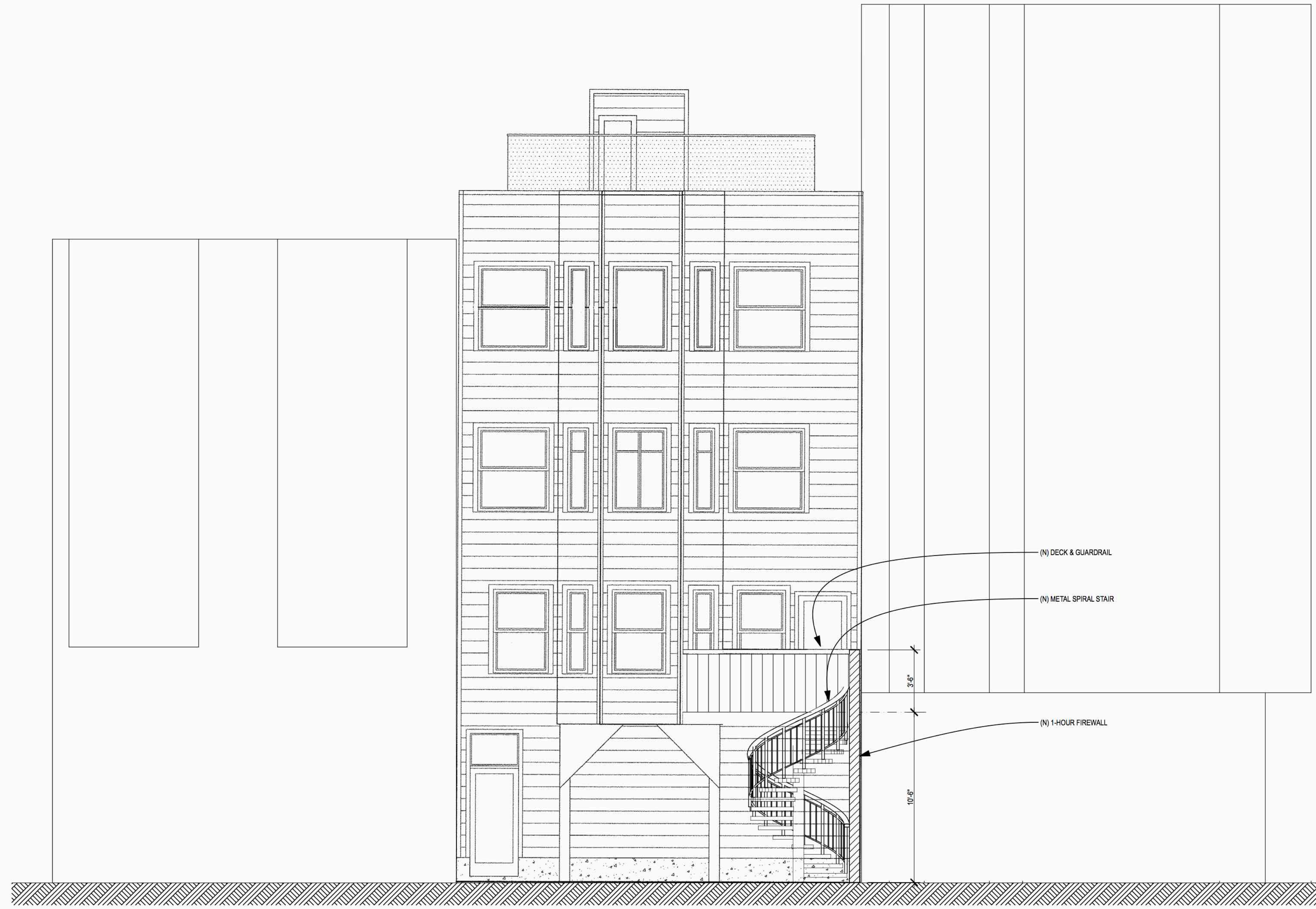
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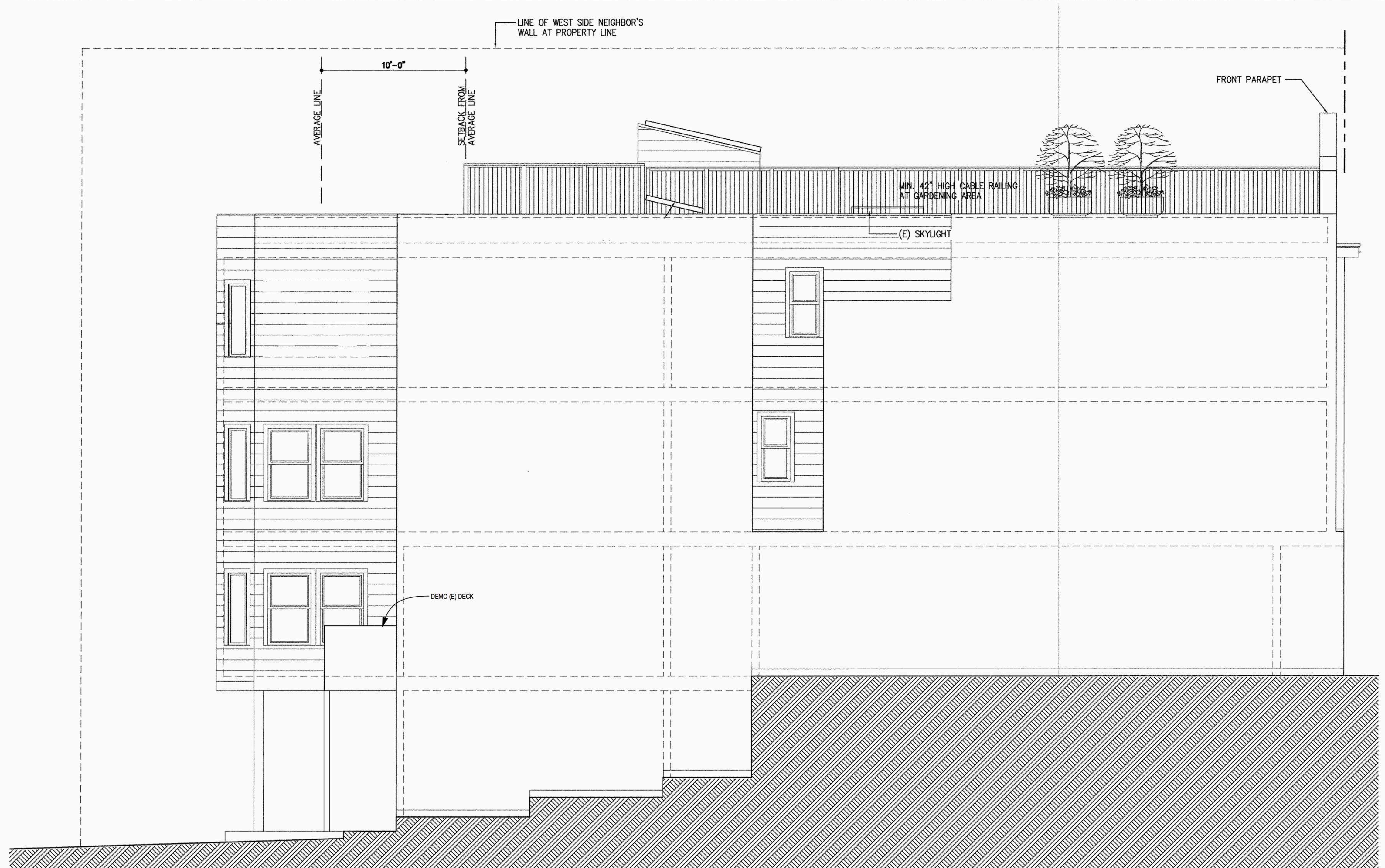
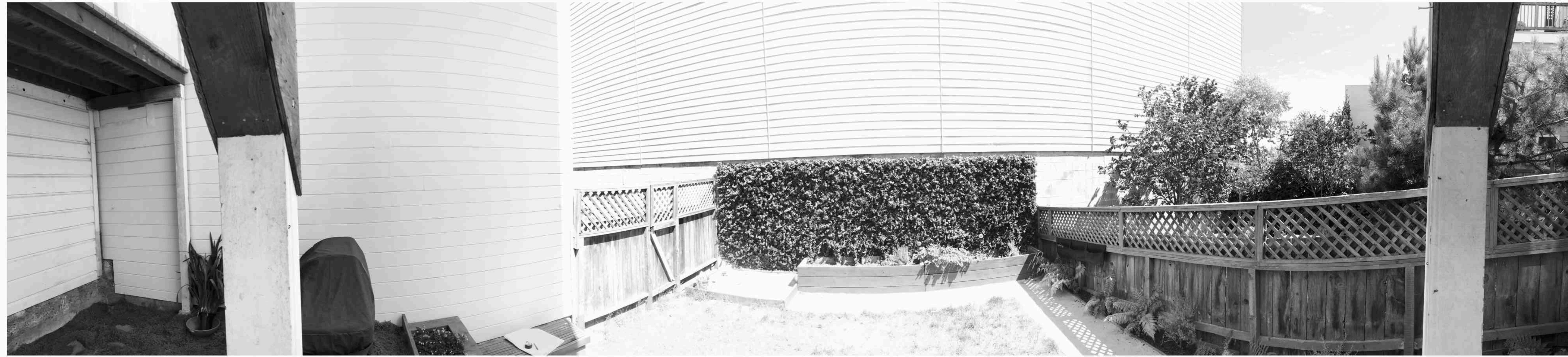
SHEET TITLE
 PROPOSED NORTH (REAR)
 ELEVATION

A-2.2



1 PROPOSED NORTH (REAR) ELEVATION
 SCALE: 1/4" = 1'-0"





1 EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"

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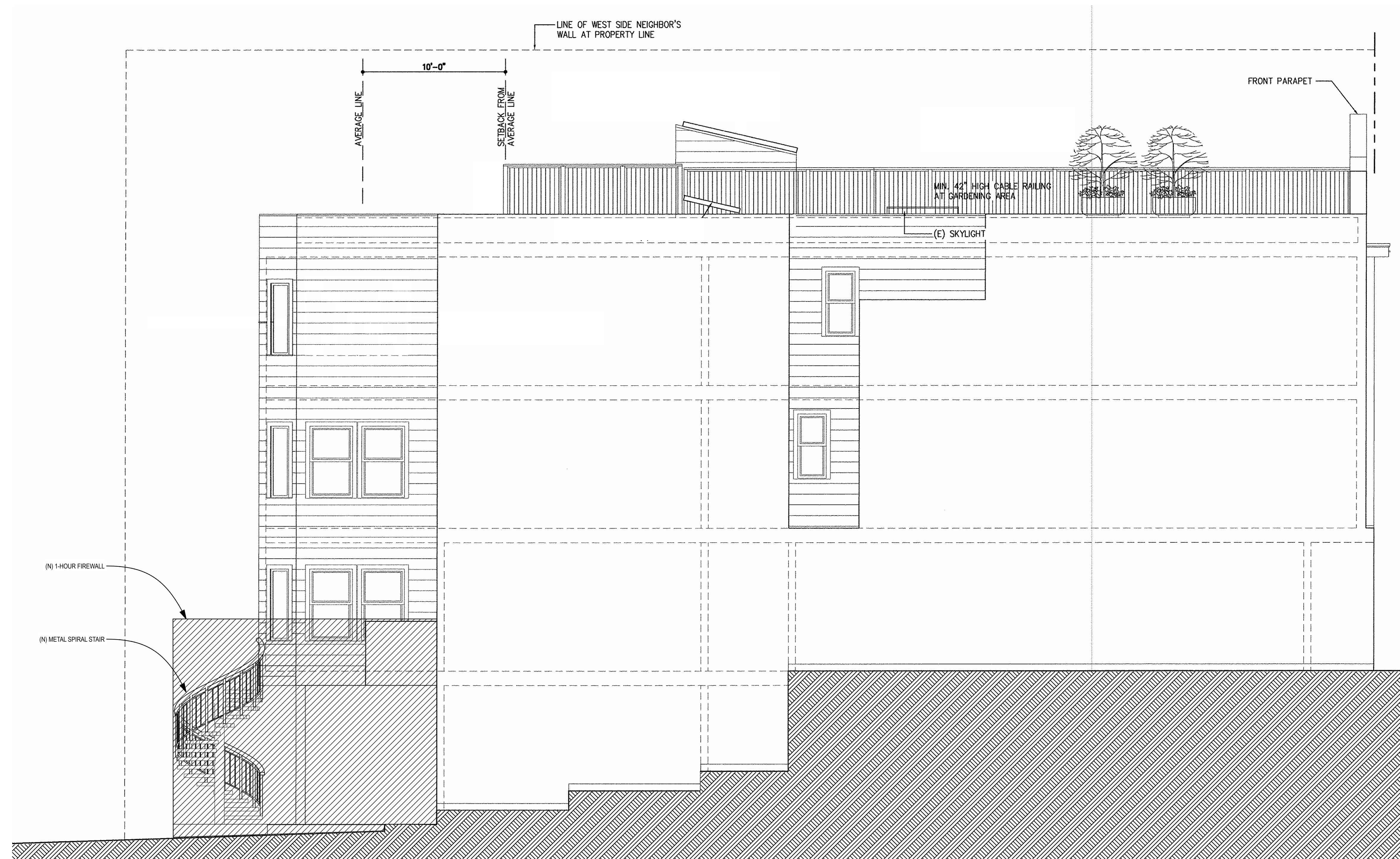
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SHEET TITLE
EXISTING WEST ELEVATION

A-2.3



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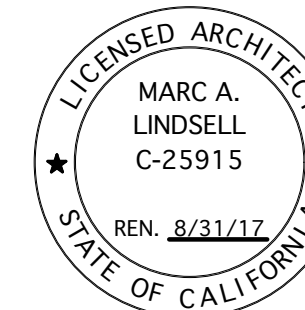
1 PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



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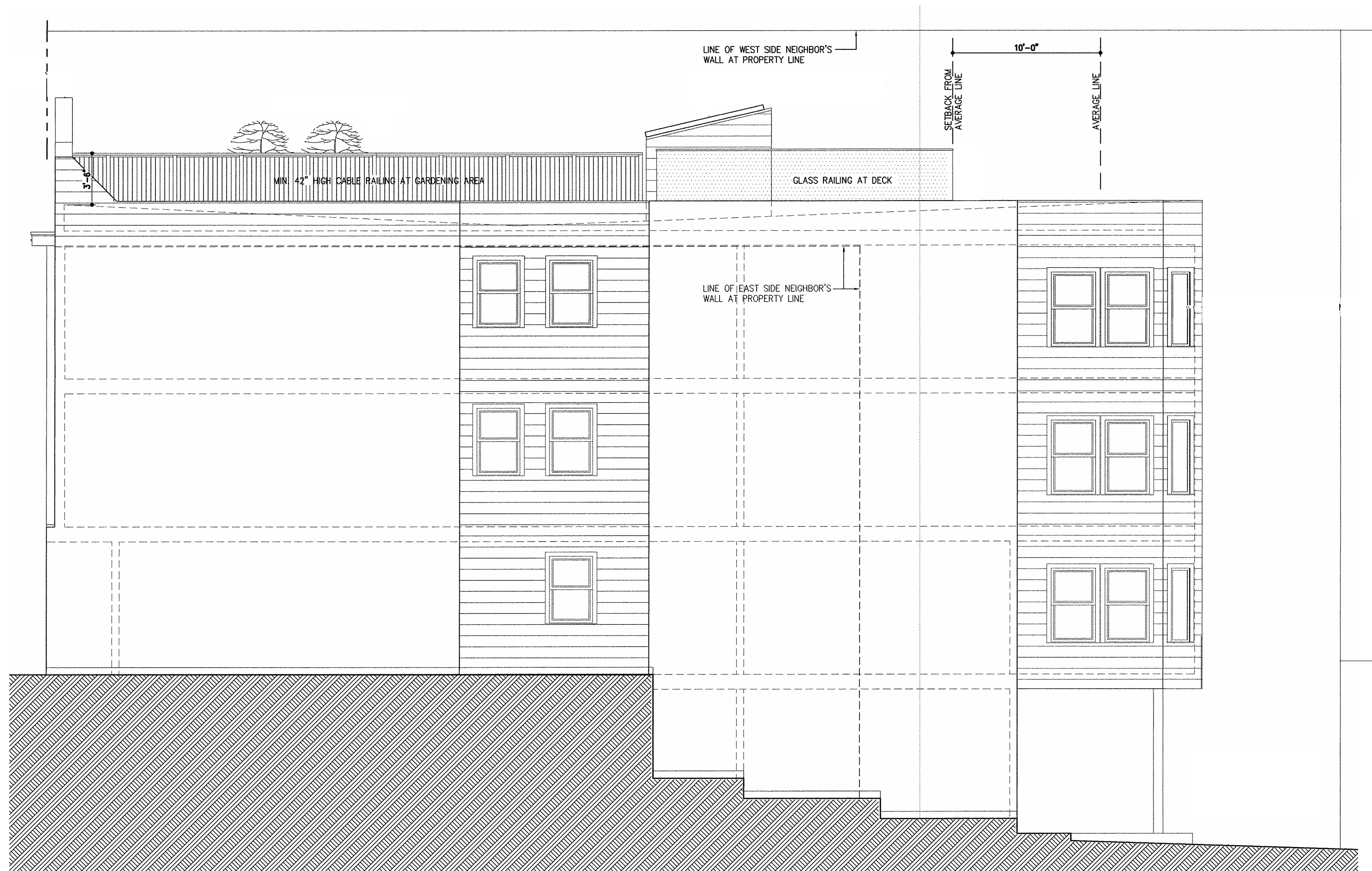
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PROPOSED WEST ELEVATION

A-2.4



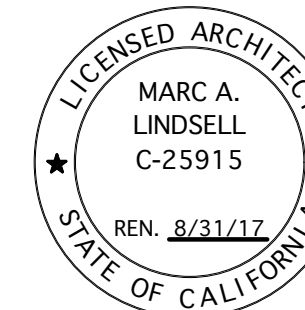
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1 EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0"

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**Lakusta/Seliga
Renovation**
286 Parnassus Avenue
San Francisco, CA 94117

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MARK	DATE	DESCRIPTION
	12/02/16	VARIANCE APPLICATION
	08/27/16	DESIGN DRAWINGS
	07/12/16	INITIAL DESIGN CONCEPTS

PROJECT NO:
MODEL FILE:
DRAWN BY: mal
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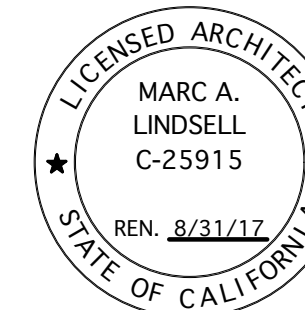
SHEET TITLE
EXISTING EAST ELEVATION



/Volumes/Marc's Public Folder/Lakusta/Seliga/05 - Drawings/2 - Drawings/2 - SD/LAKUSTA-SELIGA-CONCEPT.rvt

CONSULTANTS

PLANNING
REVIEW SET
NOT FOR
CONSTRUCTION



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San Francisco, CA 94117

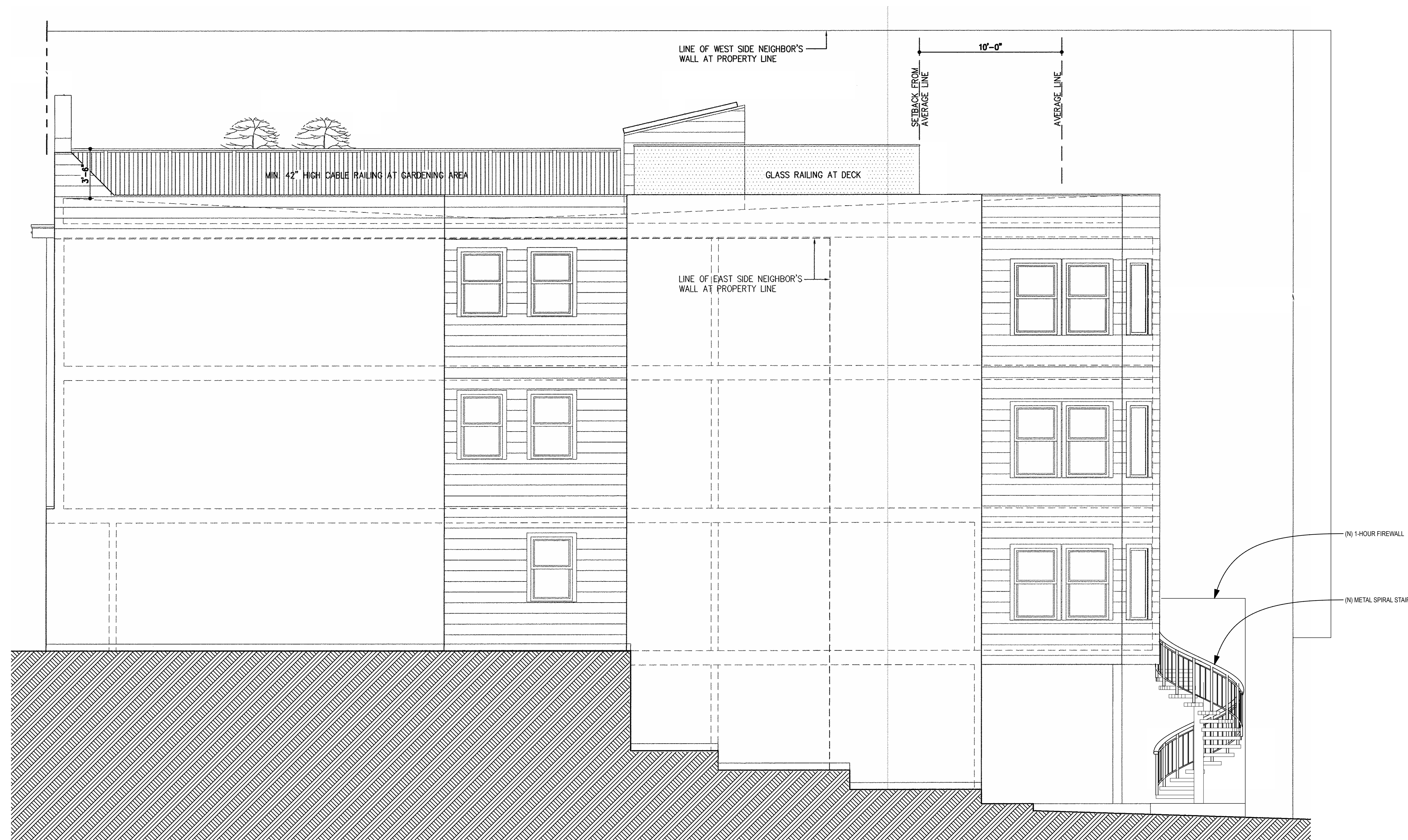
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SHEET TITLE
PROPOSED EAST ELEVATION

A-2.6



1 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"

