



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
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San Francisco,
CA 94103-2479

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**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409
558*6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, March 22, 2017**
 Time: **Not before 9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 505-509 Oak Street	Case No.: 2016-015255VAR
Cross Street(s): Buchanan Street	Building Permit: 2016.1130.3791
Block /Lot No.: 0841 / 026	Applicant: Nick Palter
Zoning District(s): RTO / 40-X	Telephone: (415) 215-7808
Area Plan: Market-Octavia	E-Mail: nicholaspalter@yahoo.com

PROJECT DESCRIPTION

The proposal is to replace an existing interior staircase in a noncomplying rear portion of the structure with an exterior spiral staircase as well as a 1-hour firewall on the west property line at the rear of the three-story, three-unit residential building. The project also proposes a reduction in massing at the top story to provide additional open space for the rear unit on the top story.

PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a rear yard of 54 feet, or 45% of the lot depth. The existing building is noncompliant, as a portion of the structure encroaches approximately 25 feet into the required rear yard. While the proposed spiral staircase is allowed to be constructed within the required rear yard as a replacement of the existing interior staircase, the firewall on the west property line is not exempt from the rear yard requirement and a rear yard variance is required to allow its construction.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://notice.sfplanning.org/2016-015255VAR.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:
 Planner: **David Weissglass** Telephone: **(415) 575-9177** E-Mail: david.weissglass@sfgov.org

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311 or 312, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **The Mailing of such notification will be performed separately.**

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

GENERAL CONDITIONS:

CONTRACTORS RESPONSIBILITIES:

- CONTRACTOR TO PROVIDE ALL WORK AND MATERIALS IN ACCORDANCE WITH 2016 CALIFORNIA BUILDING CODE (CBC), & CURRENT EDITIONS OF CALIFORNIA PLUMBING, MECHANICAL, ELECTRICAL & ENERGY CODES, AS WELL AS ALL SAN FRANCISCO LOCAL AMENDMENTS & ORDINANCES.
- CONTRACTOR SHALL MAKE SITE INSPECTIONS AND BE RESPONSIBLE FOR ALL NEW AND DEMOLITION WORK, WHETHER DETAILED BY THE SPECIFICATIONS & DRAWINGS, OR IMPLIED BY EXISTING CONDITIONS.
- ANY DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS, AS CONFLICTS WITH ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL PROVIDE ALL TEMPORARY SHORING & UNDERPINNING AS NECESSARY. THIS WORK SHALL BE PERFORMED UNDER SEPARATE PERMIT.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PROVIDE ALL NECESSARY TEMPORARY UTILITY HOOK-UPS FOR ALL EQUIPMENT DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTION / CAPPING OFF OF ALL EXISTING UTILITIES. PROVIDE RE-CONNECTION AS REQUIRED, WHERE RE-USE IS POSSIBLE.
- CONFIRM ALL WINDOW SIZES WITH ACTUAL EXISTING ROUGH OPENING DIMENSIONS PRIOR TO ORDERING WINDOWS.
- SLOPE ALL FLOORS / ROOFS TO DRAIN A MINIMUM OF 1/4" PER 1'-0", UNLESS SPECIFICALLY NOTED OTHERWISE.
- MECHANICAL, PLUMBING AND ELECTRICAL WORK SHOWN ON DRAWINGS IS SCHEMATIC IN NATURE. CONTRACTOR TO CONFIRM FINAL LAYOUT WITH ARCHITECT, PRIOR TO PROCEEDING WITH THE WORK.
- ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, NOR CONSTRUCTION SEQUENCING, THIS IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

DRAWINGS:

- DO NOT SCALE DRAWINGS!** ALL WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS.
- ALL DIMENSIONS ARE TO "FACE OF STUD" UNLESS SPECIFICALLY NOTED OTHERWISE. EXISTING DIMENSIONS DENOTED BY "E" ARE TO "FACE OF EXISTING FINISH" UNLESS SPECIFICALLY NOTED OTHERWISE. ALL EXISTING DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO PROCEEDING WITH THE WORK.
- LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS. WRITTEN SPECIFICATIONS TAKE PRECEDENCE OVER ALL DRAWINGS.
- REFER TO EXTERIOR ELEVATIONS FOR INDICATIONS OF WINDOW OPERATION & HANDING, U.O.N.

ASSEMBLIES:

(SEE LEGEND ON FLOOR PLANS, FOR RATED WALL DESIGNATIONS, WALL TYPES & OTHER RATED ASSEMBLIES)

- PROVIDE MINIMUM 1-HOUR WALL DEMISING WALL BETWEEN UNITS. SEE PLANS & BUILDING SECTIONS FOR DESIGNATIONS & STANDARD DETAILS FOR COMPLETE ASSEMBLY DESCRIPTIONS.
- INSULATE ALL ASSEMBLIES BETWEEN HEATED AND UNHEATED AREAS: R-30 AT ROOFS, R-13 AT WALLS, R-19 AT FLOORS, UNLESS SPECIFICALLY NOTED OTHERWISE. SEE TITLE 24, ENERGY COMPLIANCE STATEMENT & MANDATORY MEASURES CHECKLIST FOR SPECIFIC REQUIREMENTS.
- PROVIDE VENTILATION OF ALL JOIST, STUD AND RAFTER SPACES ENCLOSED BY BUILDING ASSEMBLIES BETWEEN HEATED & UNHEATED AREAS INCLUDING: ATTICS, BASEMENTS, ROOFS, SOFFITS, PARAPET & RAILING WALLS, ETC.
- ALL DOORS BETWEEN HEATED AND UNHEATED AREAS SHALL BE PROVIDED WITH WEATHER STRIPPING AND THRESHOLDS.
- PROVIDE MOISTURE RESISTANT GYPSUM WALL BOARD (M.R. GWB) ON ALL BATHROOM WALLS, U.O.N. DO NOT USE A CONTINUOUS VAPOR BARRIER BEHIND M.R. GWB. DO NOT USE M.R. GWB ON BATHROOM CEILINGS; USE 5/8" TYPE "X" GWB.

MECHANICAL:

- ALL GAS VENT TERMINATIONS SHALL MEET THE REQUIREMENTS OF CMC SEC. 802.6 & 802.9.
- ALL COMBUSTION AIR SHALL MEET THE REQUIREMENTS OF CMC CHAP. 7.
- ALL INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH SPACE HEATING PER CBC SEC. 1204.1.
- CLOTHES DRYERS EXHAUST SHALL BE A MINIMUM OF 4" DIAMETER, TERMINATE @ BUILDING EXTERIOR & BE EQUIPPED WITH A BACK-DRAFT DAMPER & MEET THE REQUIREMENTS OF CMC SEC. 504.4 PROVIDE A MINIMUM OF 100 SQ. IN. OF MAKE-UP AIR OPENING FOR ALL DOMESTIC DRYERS.
- ALL ENVIRONMENTAL DUCTS SHALL TERMINATE 3' MINIMUM FROM PROPERTY LINES & FROM OPENINGS INTO THE BUILDING, PER CMC SEC. 504.0.
- ALL DOMESTIC RANGE HOOD VENTS SHALL MEET THE REQUIREMENTS OF CMC SEC. 504.3.
- ALL GARAGES SHALL BE PROVIDED WITH A MINIMUM OF 200 SQ. INCHES OF NET FREE VENTILATION.

ELECTRICAL:

- ALL ELECTRICAL RECEPTACLES IN DAMP LOCATIONS TO BE GROUND FAULT INTERRUPTER (GFI) AS REQUIRED PER CODE.
- BEDROOMS: ALL BRANCH CIRCUITS PROVIDING 125 VOLT, SINGLE-PHASE, 15 OR 20 AMP OUTLETS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION FOR THE ENTIRE BRANCH CIRCUIT(S).
- ALL RESIDENTIAL LIGHTING SHALL COMPLY WITH CEC SEC. 150.0(k).
- AT LEAST 50% OF ALL KITCHEN LIGHTING SHALL BE HIGH-EFFICACY.

WATERPROOFING:

- ALL SHEET METAL WORK TO BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF S.M.A.C.N.A. STANDARDS.
- PROVIDE GALVANIZED SHEET METAL Z-BAR FLASHING AT ALL WINDOW & DOOR HEADS; INSTALL UNDER EXTERIOR SIDING OR CEMENT PLASTER & BUILDING PAPER; & OVER HEAD FRAME OF ALL NEW DOORS AND WINDOWS, U.O.N. PROVIDE ADDITIONAL BITUMINOUS MEMBRANE WATERPROOF FLEXIBLE FLASHING (INDUSTRY STANDARD) AROUND ALL WINDOW & DOOR OPENINGS. SEE STANDARD DETAILS FOR INSTALLATION REQUIREMENTS.
- PROVIDE GALVANIZED SHEET METAL FLASHING AT ALL ROOF CONDITIONS INCLUDING BUT NOT LIMITED TO: PERIMETER EDGES, VALLEYS, PARAPET CAPS, WALL / ROOF INTERSECTIONS, ROOF PENETRATIONS, ETC., U.O.N. SEE DETAILS FOR SPECIFIC REQUIREMENTS.
- ALL NEW EXTERIOR FINISHES TO BE INSTALLED OVER A MINIMUM MOISTURE BARRIER OF TWO LAYERS OF 15 POUND (GRADE D) BUILDING PAPER, OR APPROVED EQUAL.

DRAWING INDEX:

ARCHITECTURAL DRAWINGS:

- A-0 COVER SHEET & PROPOSED SITE PLAN
 (E)-0 EXISTING / DEMO SITE PLAN
 (E)-1 EXISTING / DEMO GROUND / GARAGE & 2ND FLOOR PLANS
 (E)-2 EXISTING / DEMO 3RD FLOOR & ROOF PLANS
 (E)-3 EXISTING / DEMO (EAST & WEST) PROPERTY LINE ELEVATIONS
 A-1 PROPOSED GROUND / GARAGE & 2ND FLOOR PLANS
 A-2 PROPOSED 3RD FLOOR & ROOF PLANS
 A-3 EXISTING & PROPOSED BUILDING SECTIONS
 A-4 EXISTING & PROPOSED LILLY STREET (REAR) ELEVATIONS
 A-5 PROPERTY LINE (EAST & WEST) ELEVATIONS & PARTIAL BUILDING SECTIONS

BUILDING AREA CALCULATIONS:

EXISTING:
 3RD Floor: Unit #507: 770 sq. ft. + Unit #509: 1299 sq. ft. + Hall: 90 sq. ft. = 2159 sq. ft.
 2ND Floor: Unit #505 = 1980 sq. ft.
 1ST Floor: Garage: 985 sq. ft. + Storage: 838 sq. ft. = 1823 sq. ft.
TOTAL: 5962 sq. ft.

(Open Space: Unit #505: Rear Yard: 770 sq. ft. + Deck: 130 sq. ft.; Unit #507: 0 sq. ft.; Unit #509: Rear Yard: 770 sq. ft.)

PROPOSED:

3RD Floor: Unit #507: 770 sq. ft. + Unit #509: 1216 sq. ft. + Common: 90 sq. ft. = 2076 sq. ft.
 2ND Floor: Unit #505 = 2019 sq. ft.
 1ST Floor: Garage: 985 sq. ft. + Storage: 838 sq. ft. = 1823 sq. ft.
TOTAL: 5918 sq. ft.

(Open Space: Unit #505: Rear Yard: 770 sq. ft. + Deck: 130 sq. ft.; Unit #507: 0 sq. ft.; Unit #509: Private Deck: 37 sq. ft. + Rear Yard: 770 sq. ft.)

LOCATION MAP:



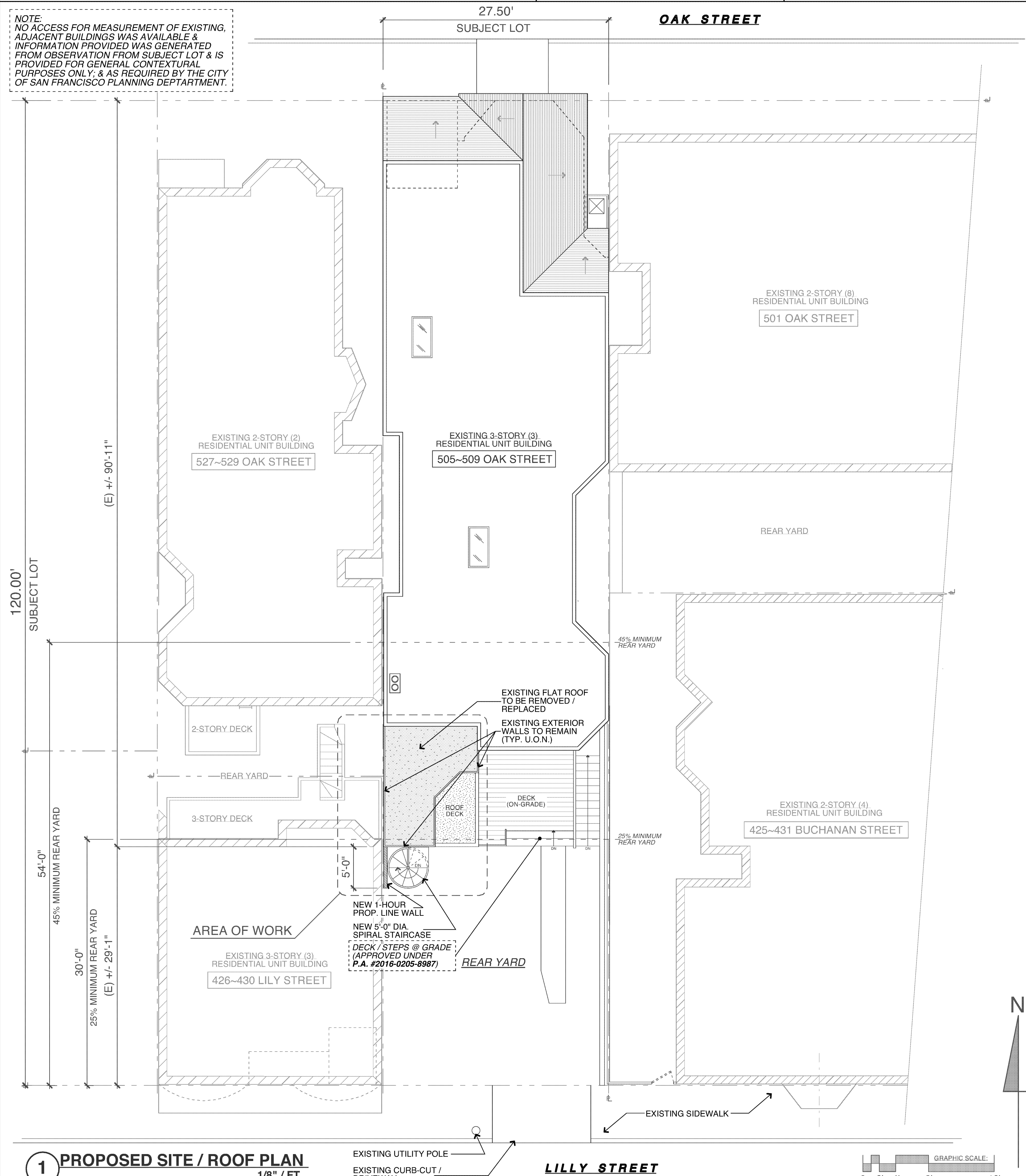
LEGEND:

<p>ONE-WAY SWITCH</p> <p>TWO-WAY SWITCH</p> <p>DIMMER SWITCH</p> <p>OCCUPANCY SENSOR SW.</p> <p>VACANCY SENSOR SWITCH</p> <p>DOOR OPERATED SWITCH</p> <p>24 HOUR TIMERSWITCH</p> <p>DUPLEX RECEPTACLE 240: 220/240 VOLT WP; WATERPROOF CA; ABOVE COUNTER</p> <p>FLOOR DUPLEX RECEPT. W/ REMOVABLE FLUSH COVER</p> <p>FOURPLEX RECEPT.</p> <p>DIRECT CONNECTION RECEPTACLE</p> <p>RECEPTACLE STRIP (OUTLETS @ 6" O.C.)</p> <p>TELEPHONE RECEPT. (W: WALL MTD.)</p> <p>WALL / CEILING AUDIO SYSTEM SPEAKER</p>	<p>SURFACE-MOUNTED INCANDESCENT LIGHT FIXTURE AT WALL. PC=PULL CHAIN, LV=LOW VOLTAGE</p> <p>SURFACE-MOUNTED INCANDESCENT LIGHT FIXTURE AT CEILING. PC=PULL CHAIN, LV=LOW VOLTAGE</p> <p>SURFACE-MOUNTED COMPACT FLUORESCENT LIGHT FIXTURE AT WALL. LV=LOW VOLTAGE</p> <p>SURFACE-MOUNTED COMPACT FLUORESCENT LIGHT FIXTURE AT CEILING. LV=LOW VOLTAGE</p> <p>RECESSED INCANDESCENT LIGHT FIXTURE AT CEILING. (H: HEAT LAMP LV: LOW VOLT.)</p> <p>RECESSED COMPACT FLUORESCENT LIGHT FIXTURE AT CEILING.</p> <p>UNDER CABINET FLUOR. LIGHT STRIP</p> <p>FLUORESCENT LIGHT FIXTURE (LENGTH IN FEET)</p> <p>INCANDESCENT TRACK LIGHT FIXTURE</p> <p>HALOGEN TRACK LIGHT FIXTURE</p> <p>RECESSED HI-EFFICACY STEP-LIGHT FIXTURE</p> <p>T.V. OUTLET; STANDARD CABLE / INTERNET CONNECTION</p> <p>SMOKE DETECTOR (AC POWERED W/ BATTERY BACK-UP) ("co" DESIGNATES CARBON-MONOXIDE MONITOR - MIN. 1 REQ'D. PER UNIT / FLOOR OF OCCUPANCY)</p>	<p>THERMOSTAT</p> <p>DOOR BELL</p> <p>SECURITY ALARM</p> <p>SECURITY ALARM PANEL BOX</p> <p>IN-SINK TRASH DISPOSAL</p> <p>EXHAUST FAN W/ MOISTURE DETECTION SENSOR</p> <p>GAS METER</p> <p>ELECTRIC METER</p> <p>ELECTRIC WALL HEATER</p> <p>FLOOR SUPPLY</p> <p>FLOOR RETURN</p> <p>CEILING SUPPLY</p> <p>CEILING RETURN</p> <p>WALL/TOE SPACE SUPPLY</p> <p>WALL/TOE SPACE RETURN</p> <p>FLOOR DRAIN</p> <p>ROOF DRAIN</p> <p>HOSE BIB</p> <p>WATER CONNECTION AS REQUIRED</p> <p>GAS HOOK-UP</p>
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SCOPE OF WORK:

- REMODEL OF AN EXISTING 3-STORY WITH GARAGE, 3-UNIT APARTMENT BUILDING INCLUDING:
- REMOVAL OF EXISTING INTERIOR STAIR FROM REAR OF UPPER FLOOR UNIT #509 & REPLACEMENT WITH NEW EXTERIOR SPIRAL STAIR DOWN TO REAR YARD.
 - NEW 1-HOUR FIRE RATED WEST PROPERTY LINE WALL (5'-0" LONG x +/- 14'-0" HIGH).
 - CREATION OF NEW 37 SQ. FT. ROOF DECK & SUNROOM AREA @ REAR OF UPPER FLOOR UNIT #509; AS WELL AS RECONFIGURATION OF REAR YARD FACING EXTERIOR GLAZING.
 - MINOR EXPANSION OF LOWER FLOOR UNIT #505 DINING AREA INTO LOCATION OF REMOVED UNIT #509 STAIR & RECONFIGURATION OF REAR YARD FACING EXTERIOR GLAZING.

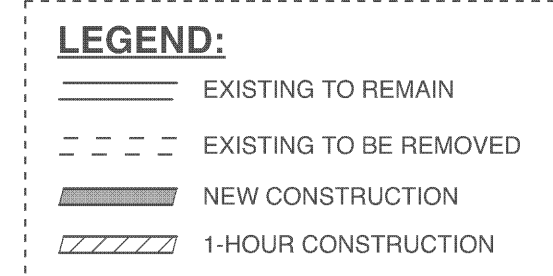
NOTE: NO ACCESS FOR MEASUREMENT OF EXISTING ADJACENT BUILDINGS WAS AVAILABLE & INFORMATION PROVIDED WAS GENERATED FROM OBSERVATION FROM SUBJECT LOT & IS PROVIDED FOR GENERAL CONTEXTURAL PURPOSES ONLY & AS REQUIRED BY THE CITY OF SAN FRANCISCO PLANNING DEPARTMENT.



1 PROPOSED SITE / ROOF PLAN
1/8" / FT.

SITE DATA:

ZONING: RTO
 HEIGHT: 40-X
 LOT SIZE: 25' x 120'
 BLOCK: 0841
 LOT: 026



Revisions By

pd
 palter / donzell design
 508 Hancock St.
 San Francisco, CA 94114
 (415) 552-9892

COVER SHEET / SITE PLAN

505~509 OAK STREET
 (REAR YARD REMODEL / ADDITION)
 SAN FRANCISCO, CA
 BLOCK #0841; LOT #026

Date: 2/09/17
 Scale: AS NOTED
 Drawn: NP
 Sheet: **A-0**
 PH. 2

SITE DATA:

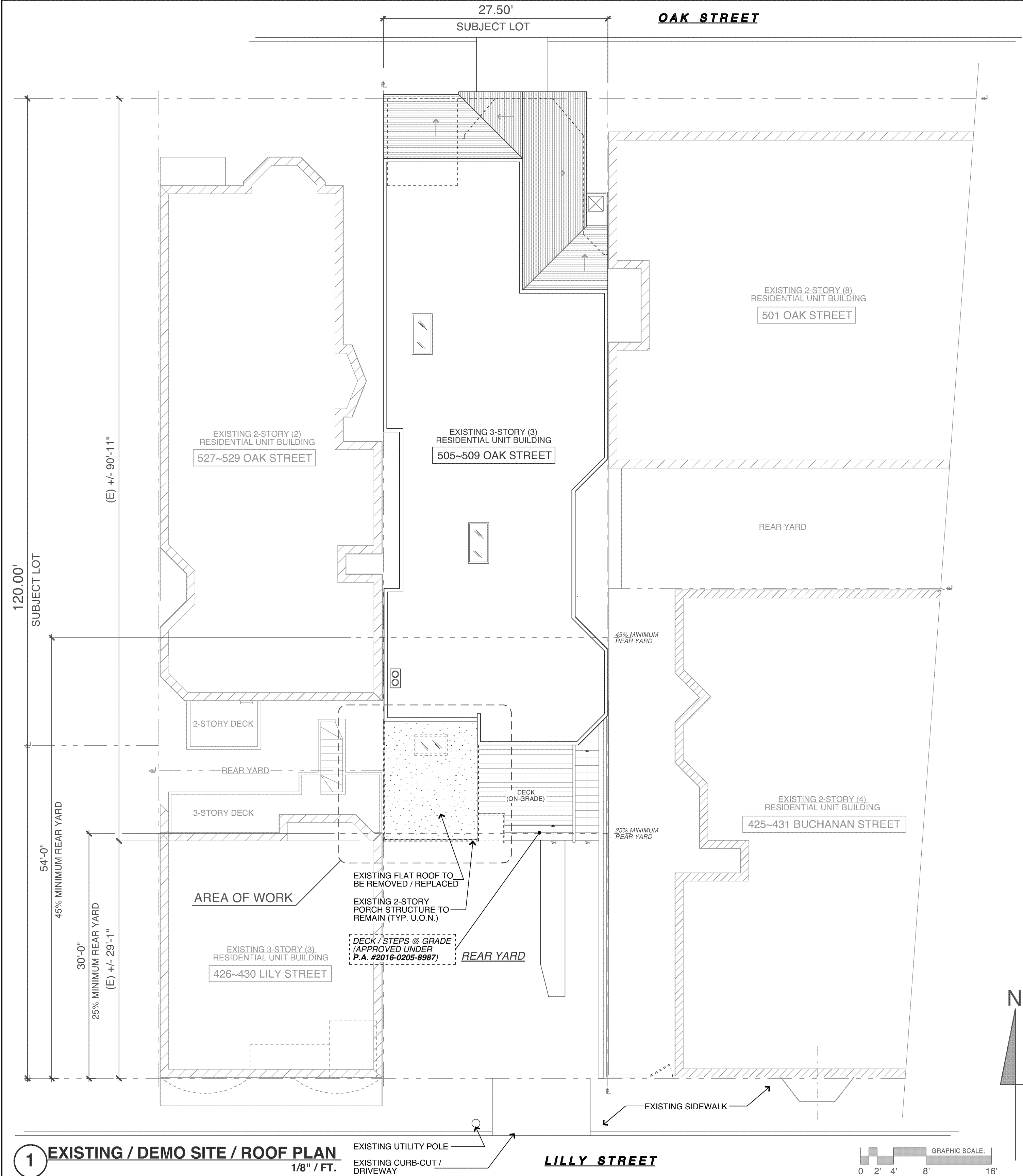
ZONING: RTO
HEIGHT: 40-X
LOT SIZE: 25' x 120'
BLOCK: 0841
LOT: 026

LEGEND:

	EXISTING TO REMAIN
	EXISTING TO BE REMOVED
	NEW CONSTRUCTION
	1-HOUR CONSTRUCTION

Revisions By

pd
palter / donzelli design
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San Francisco, CA 94114
(415) 552-9892



COVER SHEET / SITE PLAN

505~509 OAK STREET
(REAR YARD REMODEL / ADDITION)
SAN FRANCISCO, CA
BLOCK #0841; LOT #026

1 EXISTING / DEMO SITE / ROOF PLAN
1/8" / FT.

Date: 2/09/17
Scale: AS NOTED
Drawn: NP

Sheet:
(E)-0
PH. 2

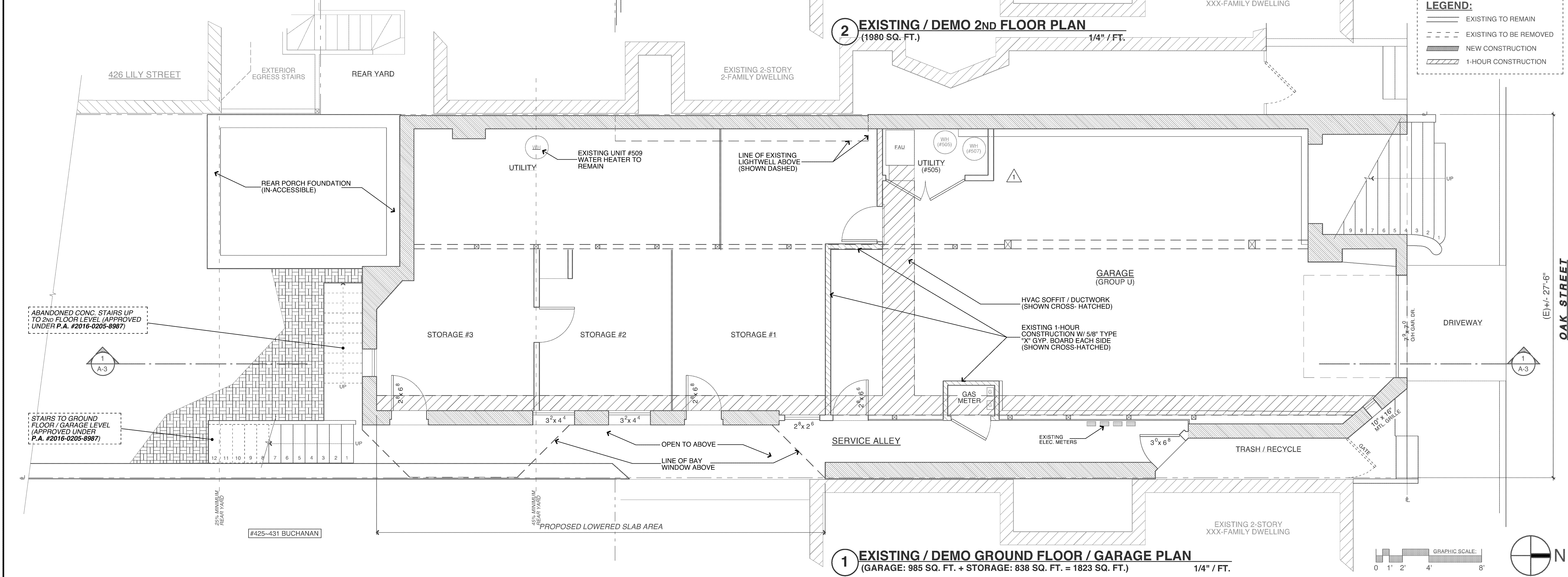
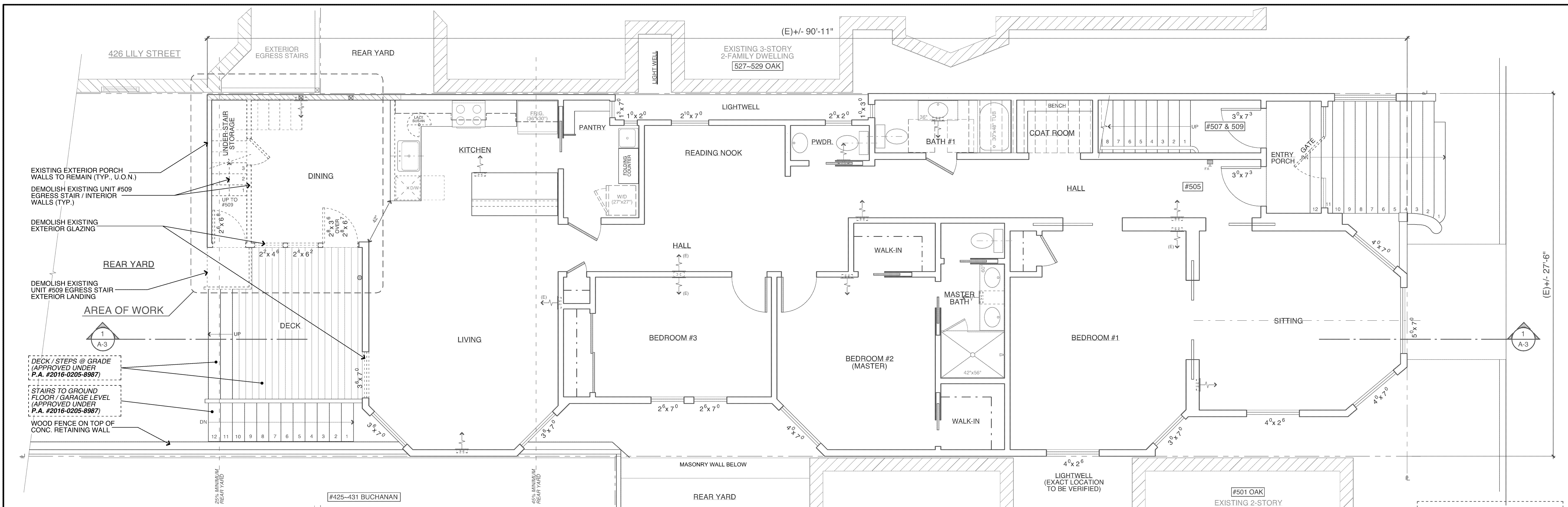


EXISTING / DEMOLITION FLOOR PLANS

505~509 OAK STREET
 (REAR YARD REMODEL / ADDITION)
 SAN FRANCISCO, CA
 BLOCK #0841; LOT #026

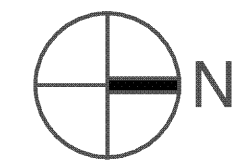
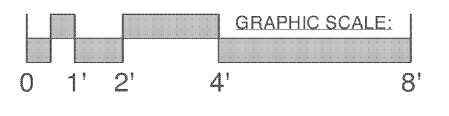
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(E)-1
 PH. 2



LEGEND:

- EXISTING TO REMAIN
- - - EXISTING TO BE REMOVED
- ▨ NEW CONSTRUCTION
- ▨ 1-HOUR CONSTRUCTION



EXISTING EXTERIOR PORCH WALLS TO REMAIN (TYP., U.O.N.)
 DEMOLISH EXISTING UNIT #509 EGRESS STAIR / INTERIOR WALLS (TYP.)
 DEMOLISH EXISTING EXTERIOR GLAZING
 DEMOLISH EXISTING UNIT #509 EGRESS STAIR EXTERIOR LANDING
 REAR YARD
 AREA OF WORK
 DECK / STAIRS @ GRADE (APPROVED UNDER P.A. #2016-0205-8987)
 STAIRS TO GROUND FLOOR / GARAGE LEVEL (APPROVED UNDER P.A. #2016-0205-8987)
 WOOD FENCE ON TOP OF CONC. RETAINING WALL

ABANDONED CONC. STAIRS UP TO 2ND FLOOR LEVEL (APPROVED UNDER P.A. #2016-0205-8987)
 STAIRS TO GROUND FLOOR / GARAGE LEVEL (APPROVED UNDER P.A. #2016-0205-8987)

426 LILY STREET

#425-431 BUCHANAN

EXISTING 3-STORY 2-FAMILY DWELLING #527-529 OAK

EXISTING 2-STORY XXX-FAMILY DWELLING #501 OAK

EXISTING 2-STORY 2-FAMILY DWELLING

EXISTING 2-STORY XXX-FAMILY DWELLING

2 EXISTING / DEMO 2ND FLOOR PLAN
 (1980 SQ. FT.) 1/4" / FT.

1 EXISTING / DEMO GROUND FLOOR / GARAGE PLAN
 (GARAGE: 985 SQ. FT. + STORAGE: 838 SQ. FT. = 1823 SQ. FT.) 1/4" / FT.

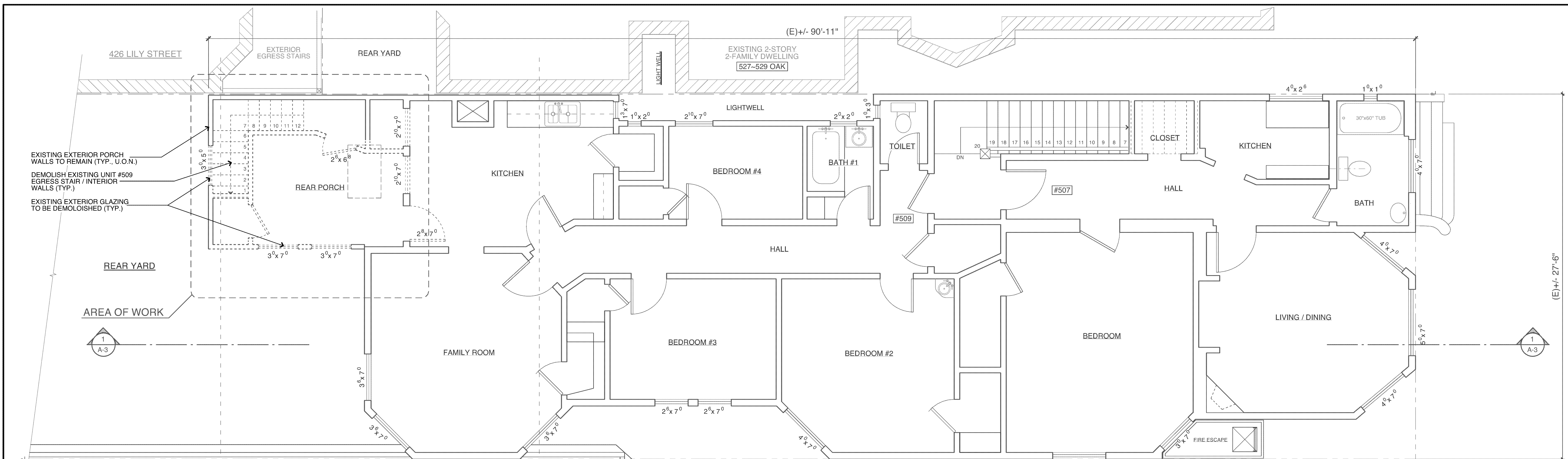


EXISTING / DEMOLITION FLOOR PLANS

505~509 OAK STREET
 (REAR YARD REMODEL / ADDITION)
 SAN FRANCISCO, CA
 BLOCK #0841; LOT #026

Date: 2/09/17
 Scale: AS NOTED
 Drawn: NP
 Sheet:

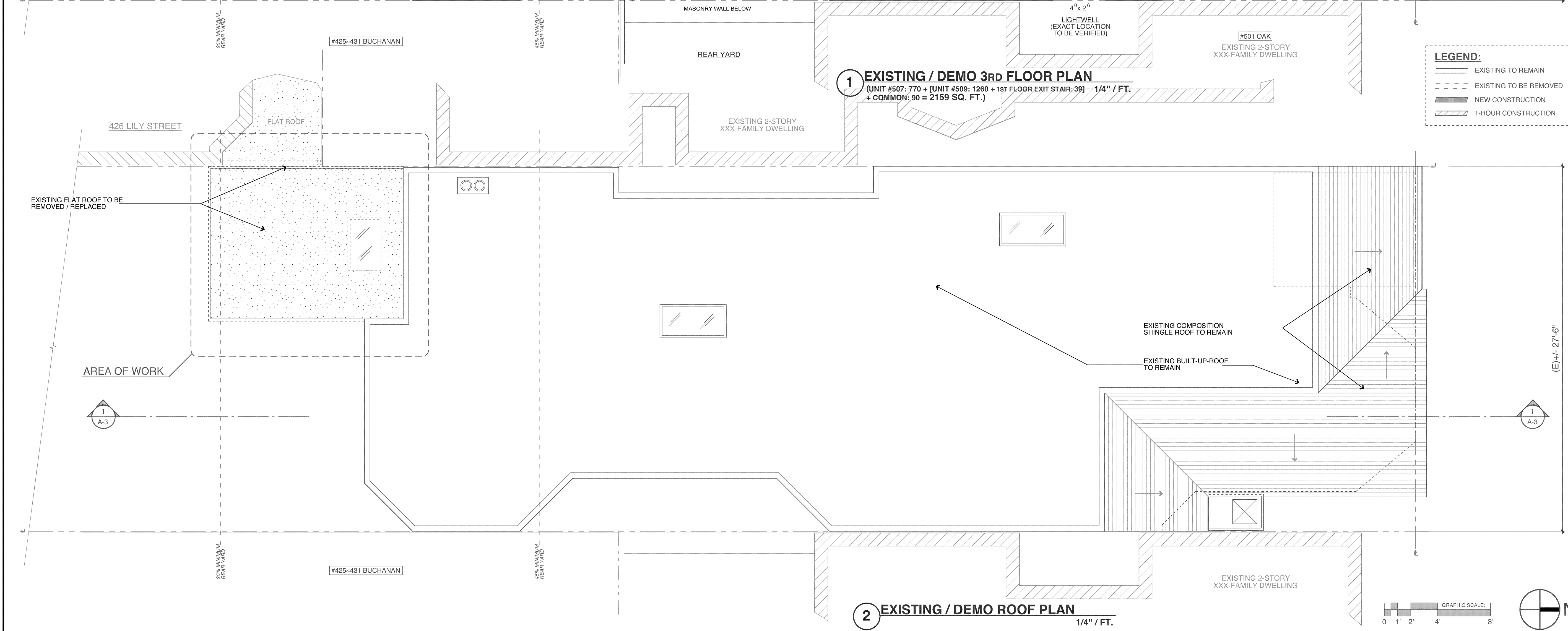
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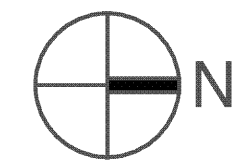
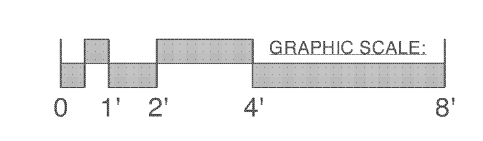
1 EXISTING / DEMO 3RD FLOOR PLAN
 (UNIT #507: 770 + [UNIT #509: 1260 + 1ST FLOOR EXIT STAIR: 39] - 1/4" / FT.
 + COMMON: 90 = 2159 SQ. FT.)

LEGEND:





- EXISTING TO REMAIN
- EXISTING TO BE REMOVED
- NEW CONSTRUCTION
- 1-HOUR CONSTRUCTION



2 EXISTING / DEMO ROOF PLAN
 1/4" / FT.



LEGEND:

	EXISTING TO REMAIN
	EXISTING TO BE REMOVED
	NEW CONSTRUCTION
	1-HOUR CONSTRUCTION

NOTE:
NO ACCESS FOR MEASUREMENT OF EXISTING ADJACENT BUILDINGS WAS AVAILABLE & INFORMATION PROVIDED WAS GENERATED FROM OBSERVATION FROM SUBJECT LOT & IS PROVIDED FOR GENERAL CONTEXTURAL PURPOSES ONLY, & AS REQUIRED BY THE CITY OF SAN FRANCISCO PLANNING DEPARTMENT.

Revisions By

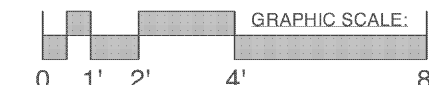
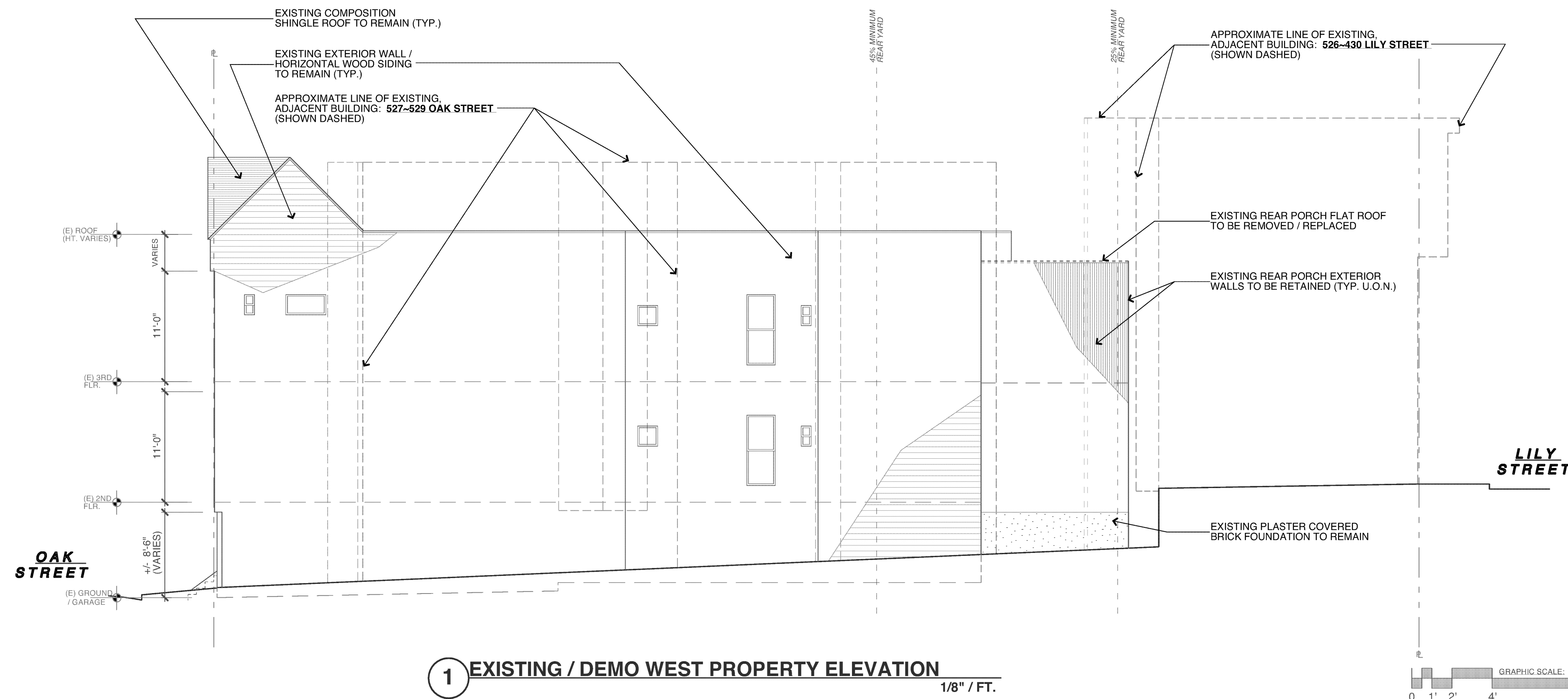
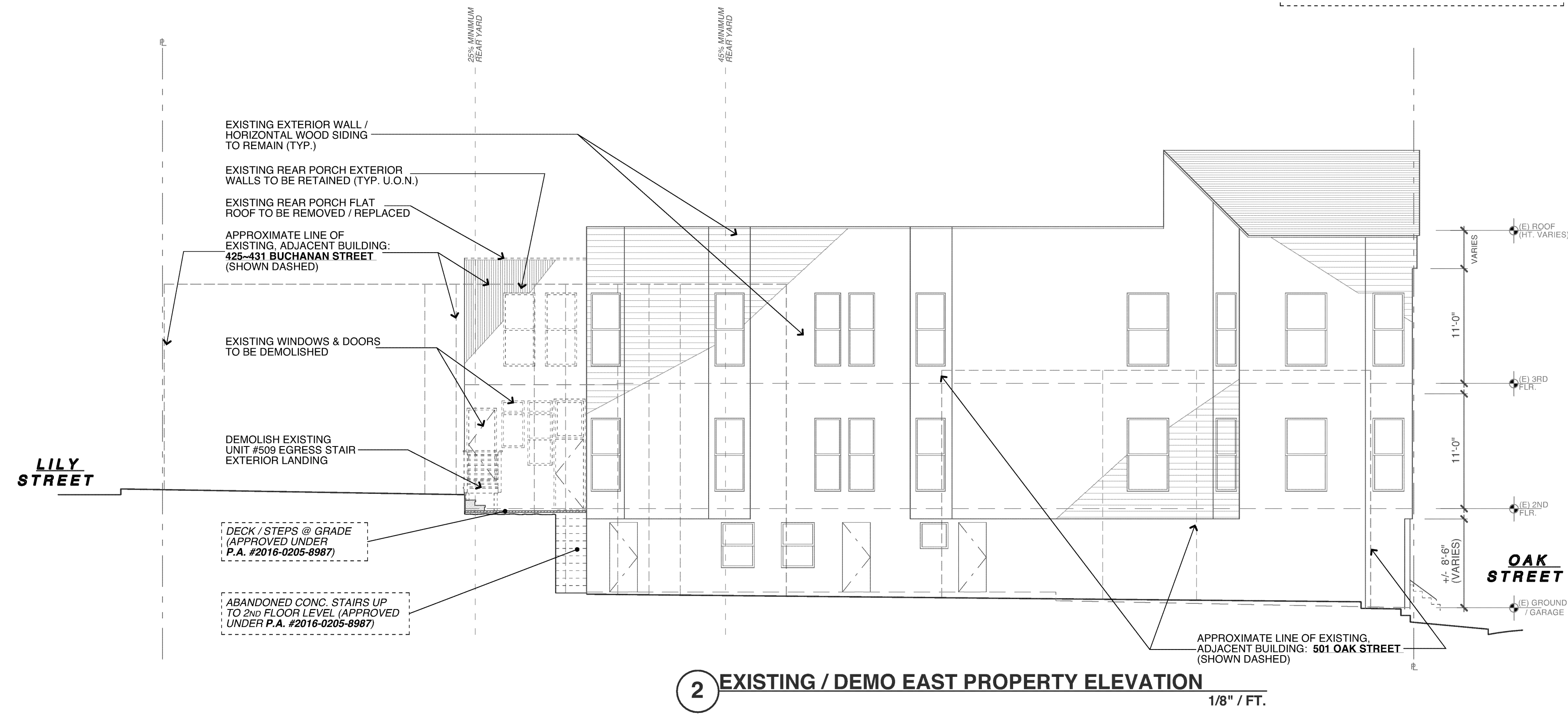

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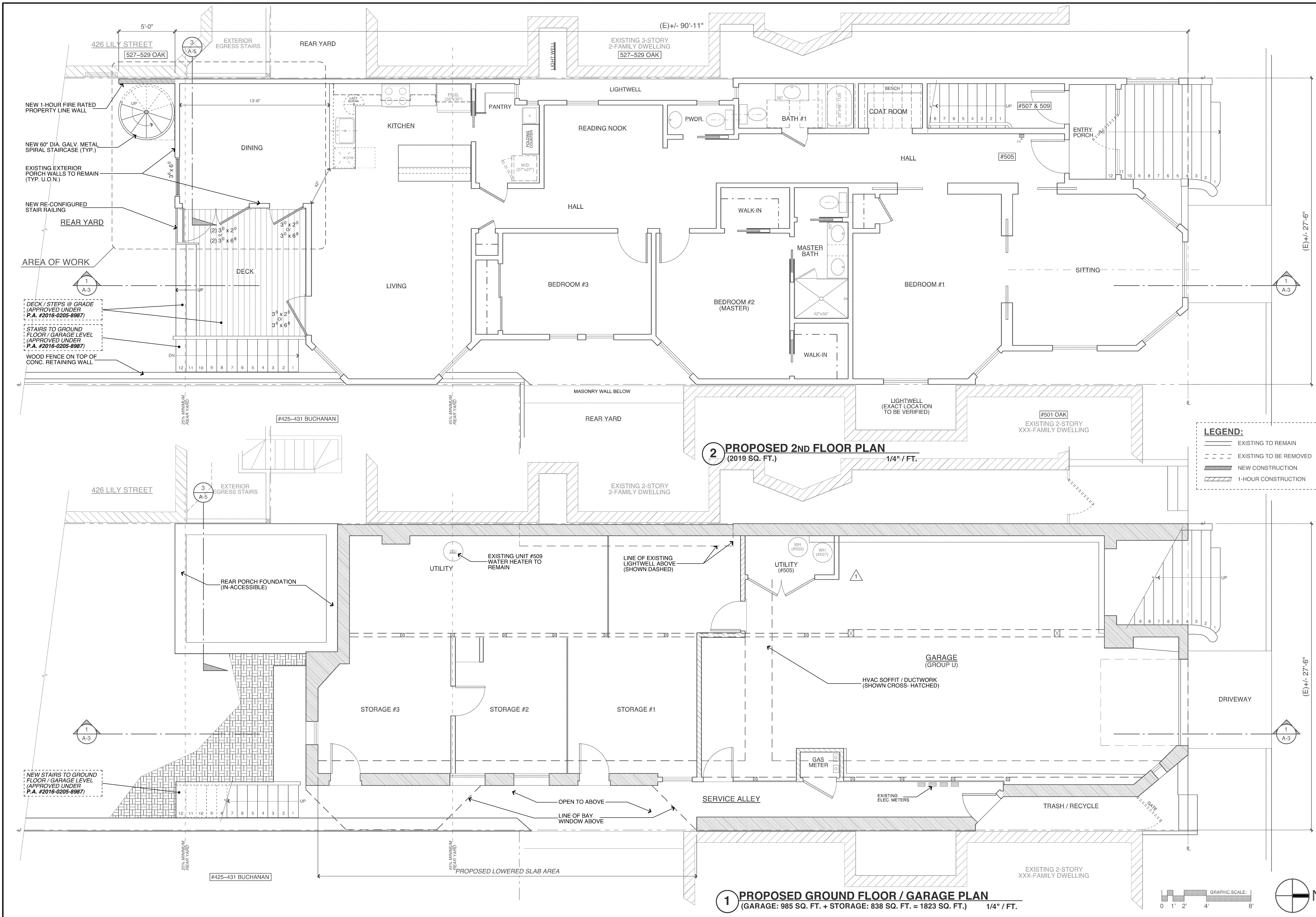
**EXISTING / DEMOLITION
PROPERTY LINE ELEVATIONS**

505~509 OAK STREET
 (REAR YARD REMODEL / ADDITION)
 SAN FRANCISCO, CA
 BLOCK #0841; LOT #026

Date: 2/09/17
 Scale: AS NOTED
 Drawn: NP
 Sheet:

(E)-3
 PH. 2





Revisions By



PROPOSED FLOOR PLANS

505-509 OAK STREET
(REAR YARD REMODEL / ADDITION)
SAN FRANCISCO, CA
BLOCK #0841; LOT #026

Date: 2/09/17
 Scale: AS NOTED
 Drawn: NP
 Sheet:

A-1
PH. 2

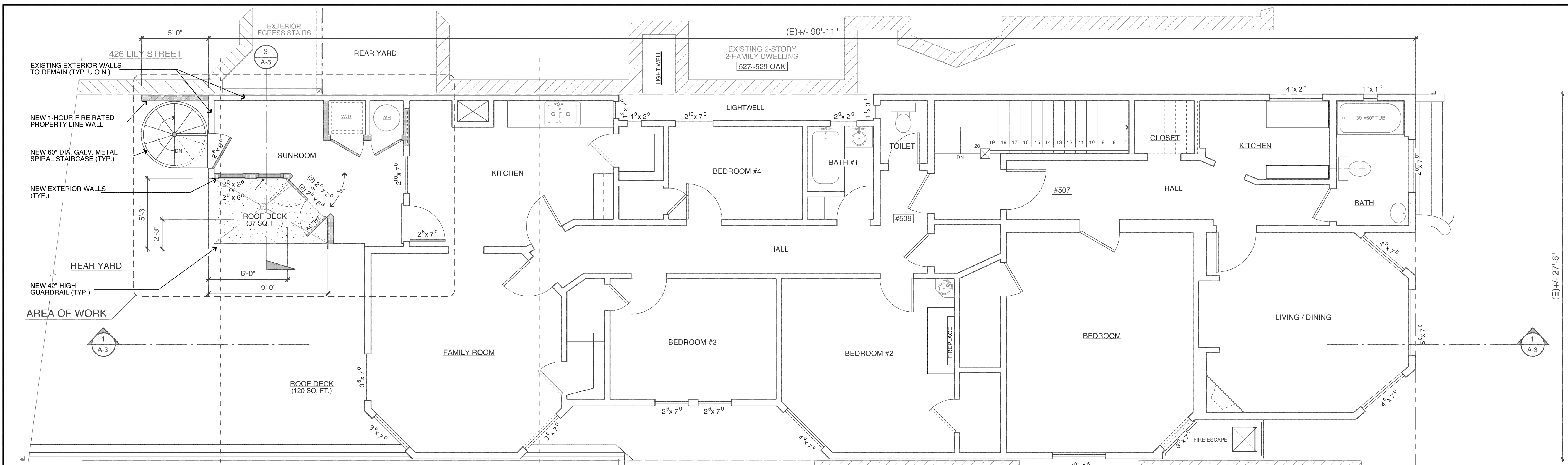


PROPOSED FLOOR PLANS

505~509 OAK STREET
 (REAR YARD REMODEL / ADDITION)
 SAN FRANCISCO, CA
 BLOCK #0841; LOT #026

Date: 2/09/17
 Scale: AS NOTED
 Drawn: NP
 Sheet:

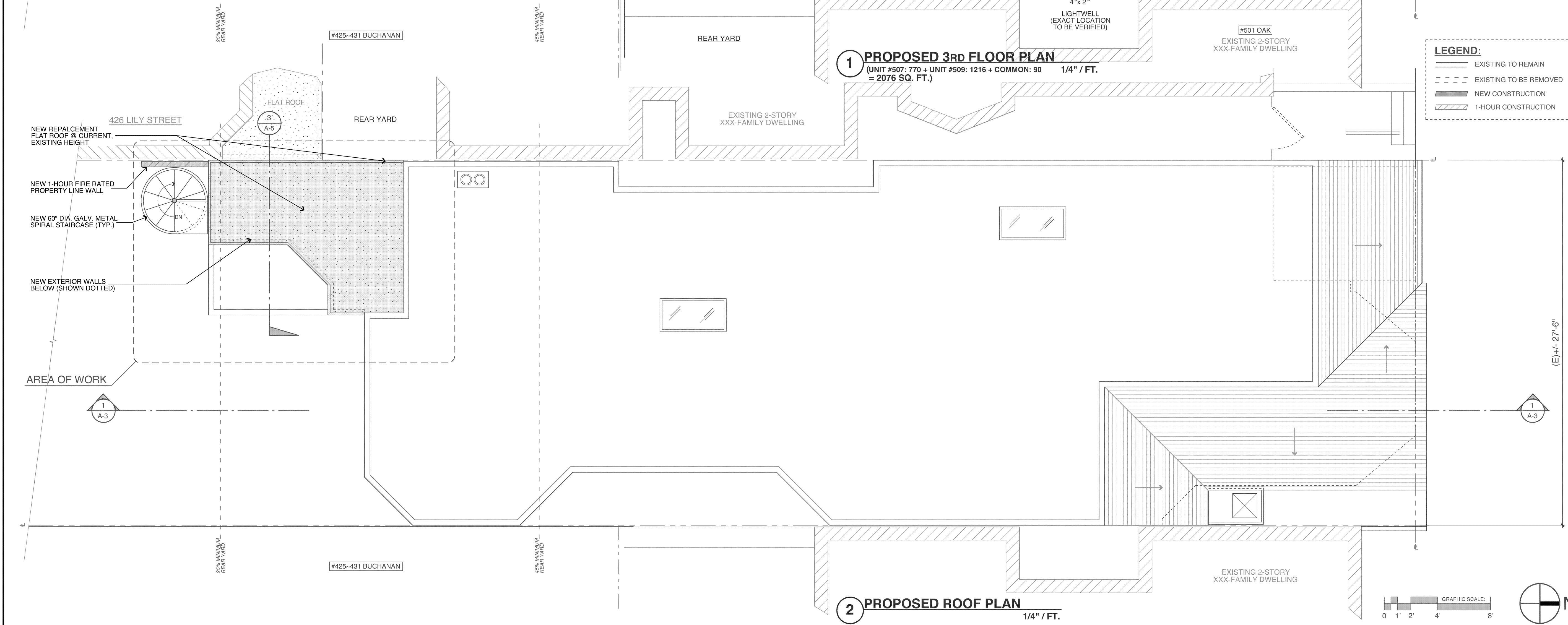
A-2
 PH. 2



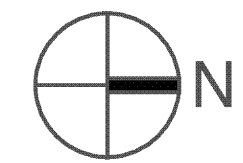
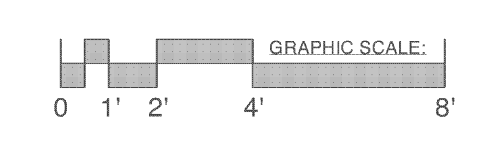
1 PROPOSED 3RD FLOOR PLAN
 (UNIT #507: 770 + UNIT #509: 1216 + COMMON: 90) 1/4" / FT.
 = 2076 SQ. FT.

LEGEND:

- EXISTING TO REMAIN
- EXISTING TO BE REMOVED
- NEW CONSTRUCTION
- 1-HOUR CONSTRUCTION



2 PROPOSED ROOF PLAN
 1/4" / FT.

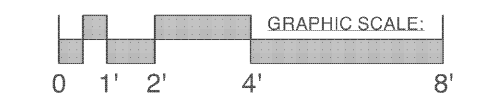




LEGEND:
 - - - - - EXISTING TO REMAIN
 - - - - - EXISTING TO BE REMOVED
 - - - - - NEW CONSTRUCTION

2 PROPOSED BUILDING SECTION
 1/4" / FT.

1 EXISTING / DEMOLITION BUILDING SECTION
 1/4" / FT.



NOTE:
 NO ACCESS FOR MEASUREMENT OF EXISTING ADJACENT BUILDINGS WAS AVAILABLE & INFORMATION PROVIDED WAS GENERATED FROM OBSERVATION FROM SUBJECT LOT & IS PROVIDED FOR GENERAL CONTEXTURAL PURPOSES ONLY. & AS REQUIRED BY THE CITY OF SAN FRANCISCO PLANNING DEPARTMENT.

DECK / STEPS @ GRADE (APPROVED UNDER P.A. #2016-0205-0367)
 ABANDONED CONC. STAIRS UP TO 2ND FLOOR LEVEL (APPROVED UNDER P.A. #2016-0205-0367)

DEMOLISH EXISTING UNIT #509 EGRESS STAIR EXTERIOR LANDING & RAILING

EXISTING ADJACENT PROPERTY LINE WINDOW TO REMAIN

EXISTING WOOD WINDOW TO BE REMOVED (TYP.)

EXISTING REAR PORCH EXTERIOR WALLS TO BE RETAINED (TYP. U.O.N.)

EXISTING REAR PORCH FLAT ROOF TO BE REMOVED / REPLACED

EXISTING BUILT-UP ROOF TO REMAIN (TYP.)

EXISTING ADJACENT WALL OF 428-430 LILY STREET

Revisions	By

pd
 palter / donzelli design
 50-B Hancock St.
 San Francisco, CA 94114
 (415) 552-9892

BUILDING SECTIONS

505~509 OAK STREET
 (REAR YARD REMODEL / ADDITION)
 SAN FRANCISCO, CA
 BLOCK #0841; LOT #026

Date: 2/09/17
 Scale: AS NOTED
 Drawn: NP
 Sheet: **A-3**
 PH. 2

**EXISTING & PROPOSED LILY STREET
(REAR) ELEVATIONS**

505~509 OAK STREET
(REAR YARD REMODEL / ADDITION)
SAN FRANCISCO, CA
BLOCK #0841; LOT #026

Date: 2/09/17
Scale: AS NOTED
Drawn: NP
Sheet:

A-4
PH. 2



3 EXISTING COMPOSITE LILY STREET PHOTOGRAPH
NO SCALE

LEGEND:

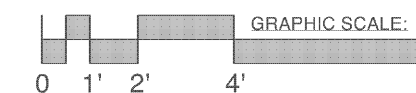
- EXISTING TO REMAIN
- EXISTING TO BE REMOVED
- NEW CONSTRUCTION
- 1-HOUR CONSTRUCTION



2 PROPOSED LILY STREET (REAR) ELEVATION
1/4" / FT.



1 EXISTING LILY STREET (REAR) ELEVATION
1/4" / FT.



- EXISTING WOOD SIDING TO REMAIN (TYP.)
- EXISTING REAR PORCH FLAT ROOF TO BE REMOVED / REPLACED
- NEW HORIZONTAL WOOD SIDING TO MATCH EXISTING ADJACENT (TYP.)
- NEW OPEN WOOD GUARDRAIL
- NEW GALVANIZED METAL SPIRAL STAIRCASE
- NEW 1-HOUR PROPERTY LINE WALL
- NEW ALUMINUM-CLAD WOOD WINDOWS / DOORS (TYP.)
- NEW HORIZONTAL WOOD SIDING OVER EXISTING - PAINT TO MATCH EXISTING ADJACENT (TYP.)

- EXISTING WOOD SIDING TO REMAIN (TYP.)
- EXISTING REAR PORCH FLAT ROOF TO BE REMOVED / REPLACED
- EXISTING REAR PORCH EXTERIOR WALLS TO BE RETAINED
- EXISTING WOOD WINDOW TO BE REMOVED
- DEMOLISH EXISTING UNIT #509 EGRESS STAIR EXTERIOR LANDING & RAILING

STAIRS TO GROUND FLOOR / GARAGE LEVEL BEYOND - SHOWN DOTTED (APPROVED UNDER P.A. #2016-0205-8987)

NOTE:
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LEGEND:

	EXISTING TO REMAIN
	EXISTING TO BE REMOVED
	NEW CONSTRUCTION
	1-HOUR CONSTRUCTION

NOTE:
 NO ACCESS FOR MEASUREMENT OF EXISTING ADJACENT BUILDINGS WAS AVAILABLE & INFORMATION PROVIDED WAS GENERATED FROM OBSERVATION FROM SUBJECT LOT & IS PROVIDED FOR GENERAL CONTEXTURAL PURPOSES ONLY, & AS REQUIRED BY THE CITY OF SAN FRANCISCO PLANNING DEPARTMENT.

Revisions By

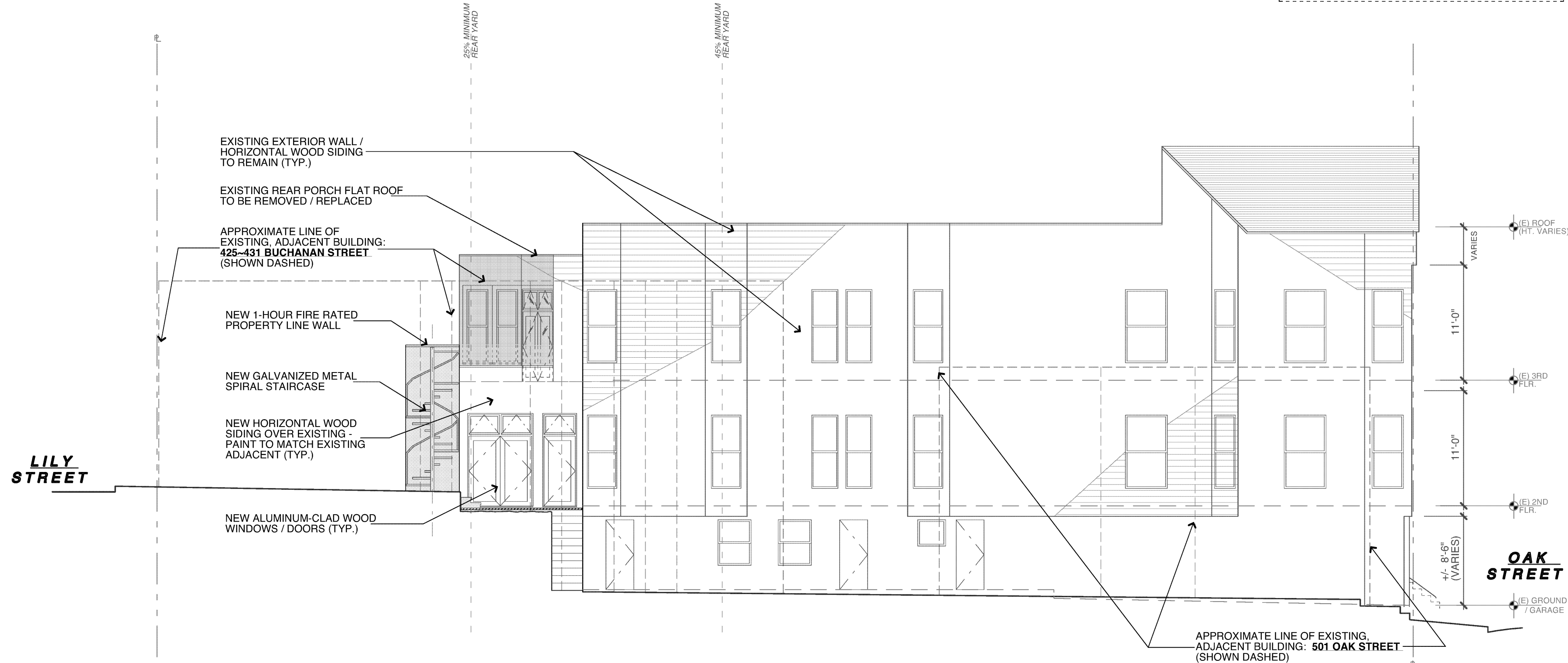
pd
 palter / donzelli design
 508 Hancock St.
 San Francisco, CA 94114
 (415) 552-0802

PROPOSED PROPERTY LINE ELEVATIONS & PARTIAL SECTIONS

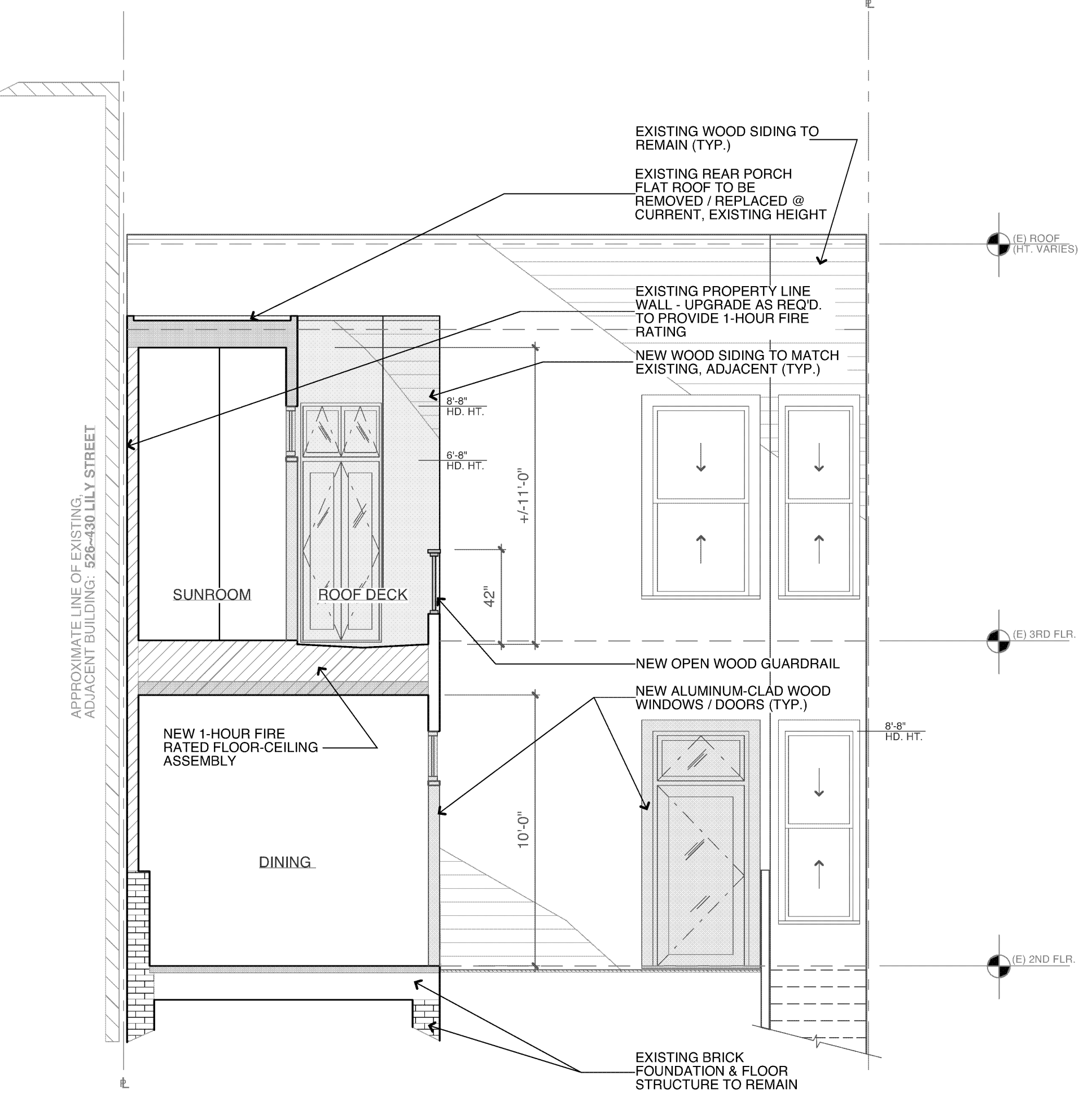
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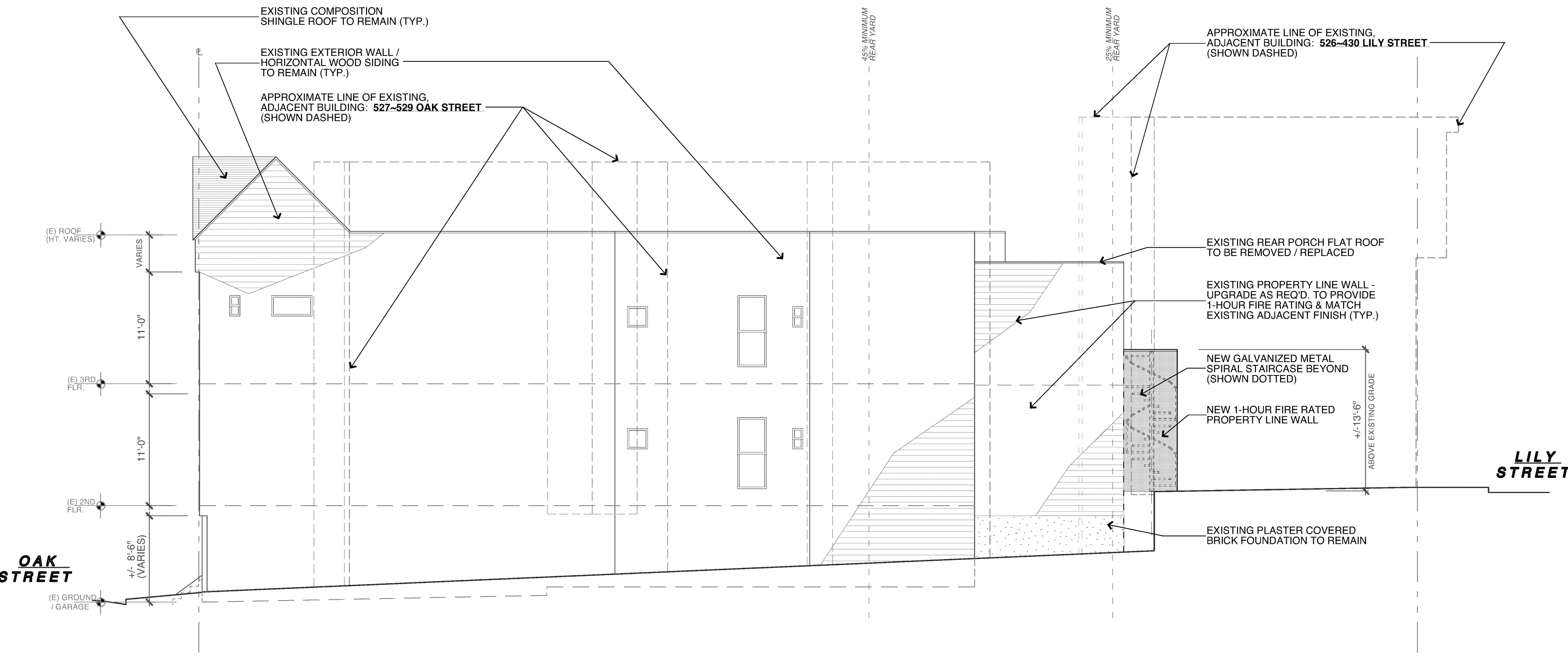
A-5
 PH. 2



2 PROPOSED EAST PROPERTY ELEVATION
 1/8" / FT.



3 PARTIAL SECTION @ NEW 3RD FLOOR ROOF DECK
 1/4" / FT.



1 PROPOSED WEST PROPERTY ELEVATION
 1/8" / FT.

