



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, August 28, 2019**

Time: **Not before 9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance**

Hearing Body: **Zoning Administrator**

PROJECT INFORMATION		APPLICANT INFORMATION	
Project Address:	172-174 Terra Vista Ave	Applicant:	Ernie Selander
Cross Street(s):	Barcelona Ave	Company:	Selander Architects
Block /Lot No.:	1104 / 031 & 032	Applicant Address:	2095 Jerrold Ave
Zoning District(s):	RM-1 / 30-X	City, State:	San Francisco, CA
Area Plan:	N/A	Telephone:	(415) 385-4339
Record Number:	2016-014049VAR	E-Mail:	ernie@selanderarchitects.com
PROJECT DESCRIPTION			
<p>The project proposes to construct a new three-story, two-unit building fronting O'Farrell Street at the rear of the lot. The project also proposes a one-story horizontal infill addition beneath the cantilevered two-story portion of the existing building fronting Terra Vista Avenue and the conversion of ground floor storage space for a new Accessory Dwelling Unit. A new common roof deck above the third floor, accessed by a stair penthouse, will provide usable open space for the units in the building fronting Terra Vista Avenue and an interior court separating the two buildings will provide common usable open space for the two units in the building fronting O'Farrell Street.</p> <p>PLANNING CODE SECTION 134 requires the subject property to maintain a rear yard of approximately 51 feet. The proposed three-story building will be located entirely within the required rear yard, resulting in no rear yard. Therefore, the project requires a rear yard variance.</p>			
ADDITIONAL INFORMATION			
<p>ARCHITECTURAL PLANS: To view the plans and related documents for the proposed project, visit sf-planning.org/notices and search the Project Address listed above. The plans will also be available one week prior to the hearing through the hearing agenda at: sf-planning.org/hearings or by request at the Planning Department office located at 1650 Mission Street, 4th Floor.</p>			
<p>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF: Planner: Christopher May Telephone: (415) 575-9087 E-Mail: christopher.may@sfgov.org</p>			

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident near the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to comment on the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice to the Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

BUILDING PERMIT APPLICATION INFORMATION

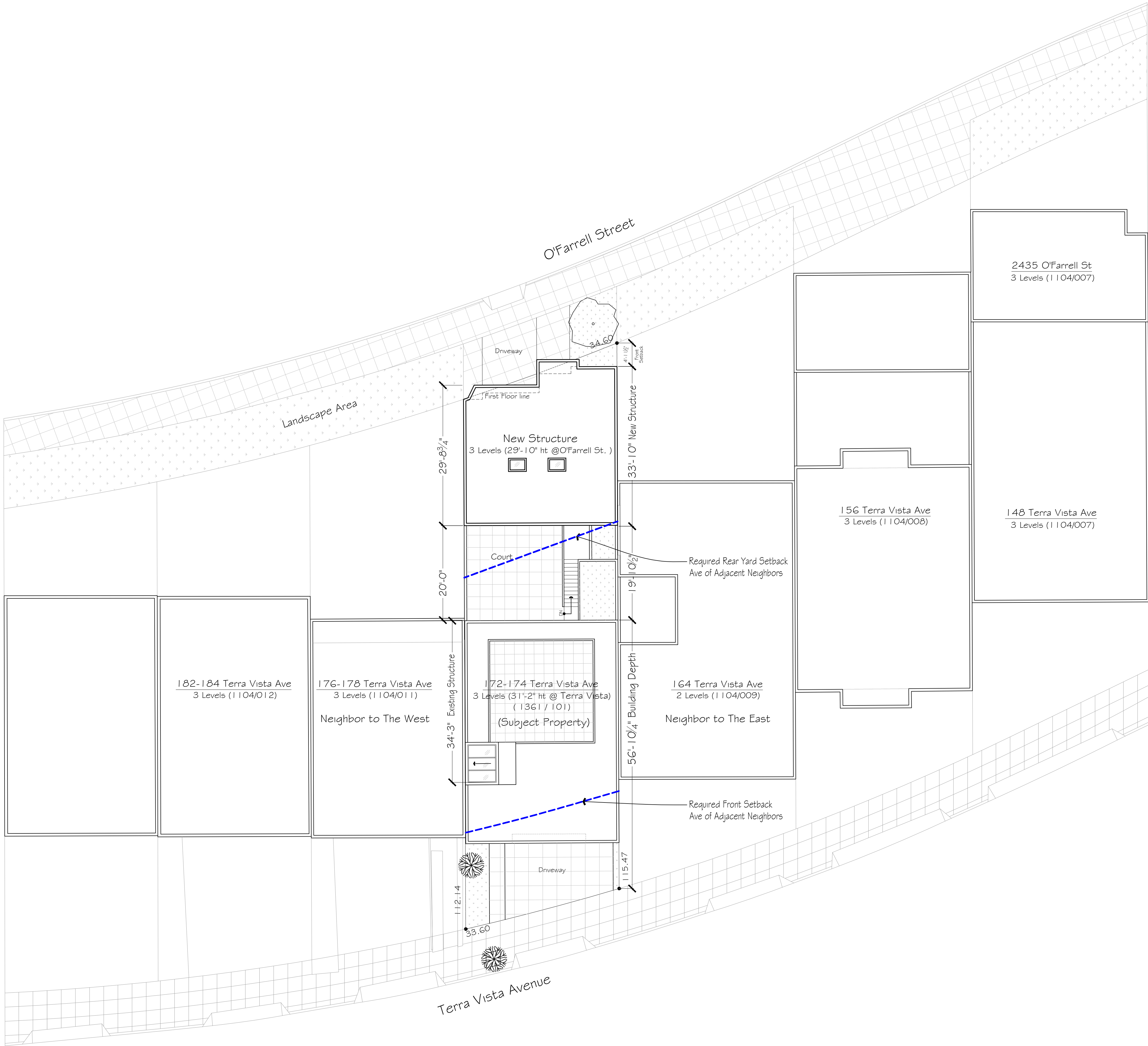
Pursuant to Planning Code Section 311, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department or Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.



I Neighborhood

Scale: 3/32"= 1'-0"

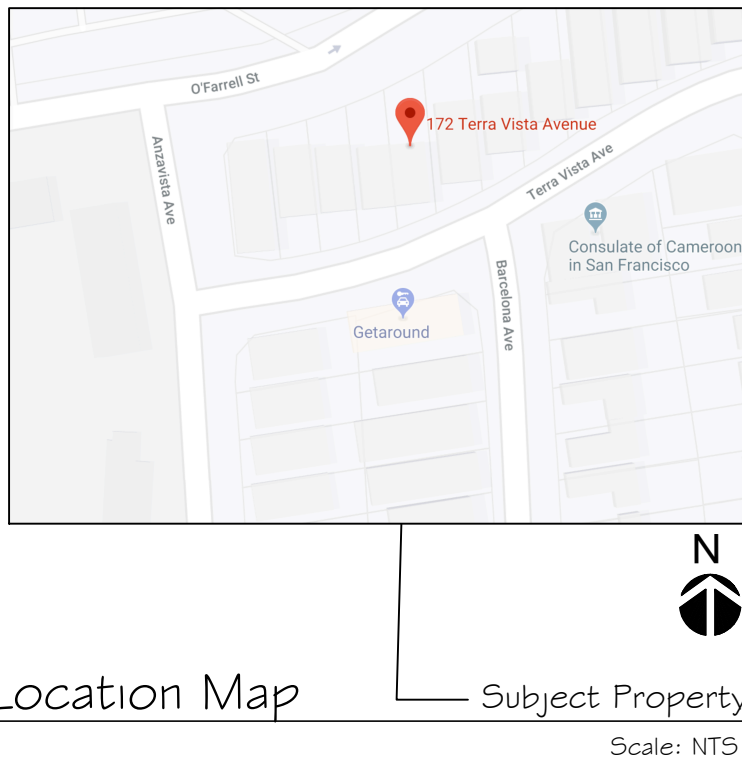
Directory

Owner:

Bashar haddadin
174 Terra Vista Avenue
San Francisco, CA 94115
Mobile: 415.816.2494

Architect:

Ernie Selander
2095 Jerrold Ave. Suite 319
San Francisco, CA 94124
Mobile: 415.385.4339
Email: ernie@selanderarchitects.net



Project Description

Construct 2 new units fronting on O'Farrell street
in detached building
Develop an ADU in ground floor of existing building .

Planning

Block/Lot#: 1104 / 032
Zoning: RM-1
Height: 30-X
Lot Area: 3704
Density: $\frac{3704}{800} = 4.6$ units allowed

Building

Occupancy: R-2
Type: V-A

Summary

	Existing	Proposed
NO. of Stories:	3	3
NO. of Basements:	0	0
NO. of Units:	2	3
Building Height:	29'-5"	29'-5"
Area (Sq.feet):		
Garage	460	343
First Floor	883	1110
Second Floor -(E)Unit 1	1445	1445
Third Floor (E)Unit 2	1368	1445
Total	4156	4343
(N) ADU	-	795
(N) Unit 3	-	535
(N) Unit 4	-	2016

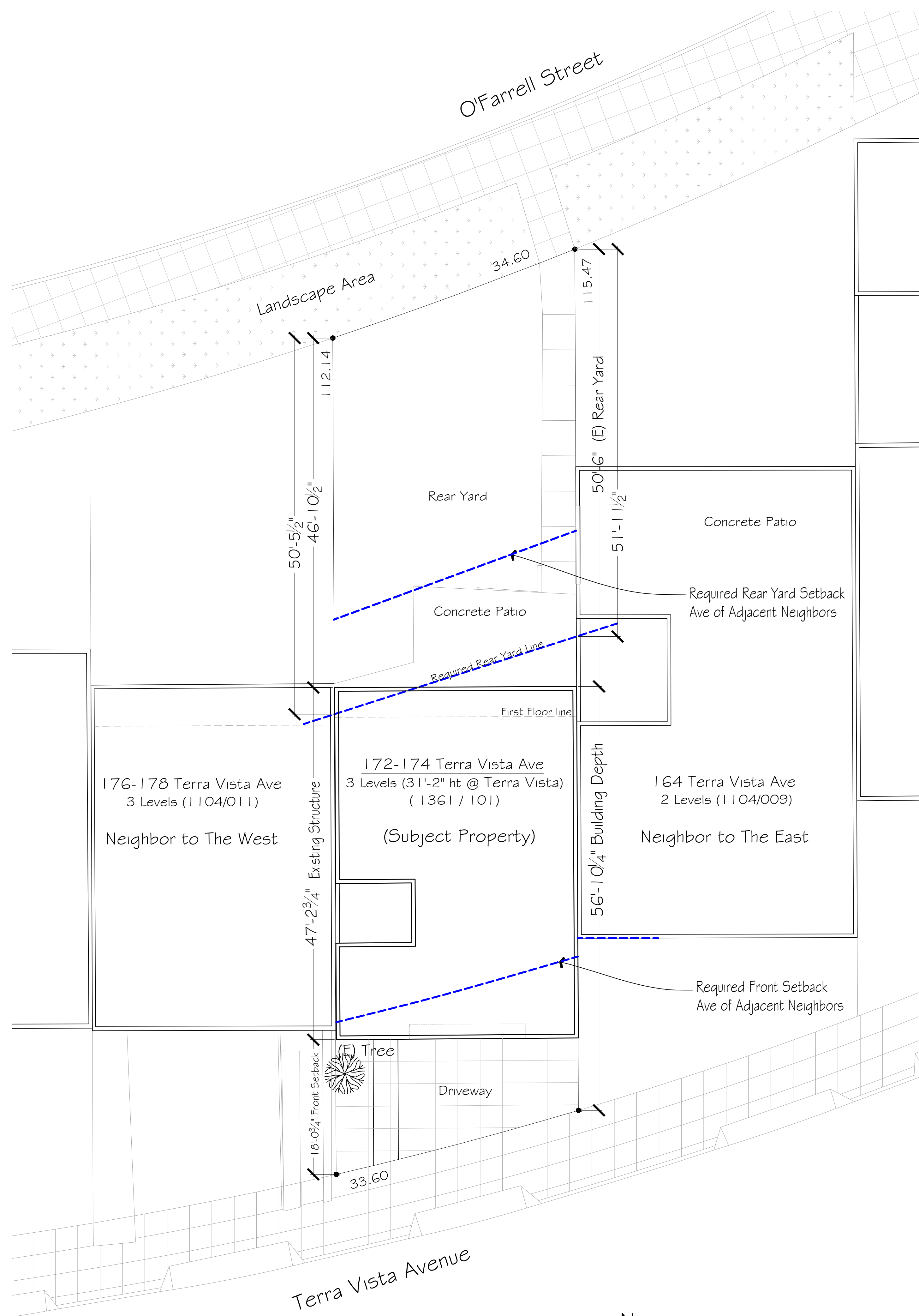
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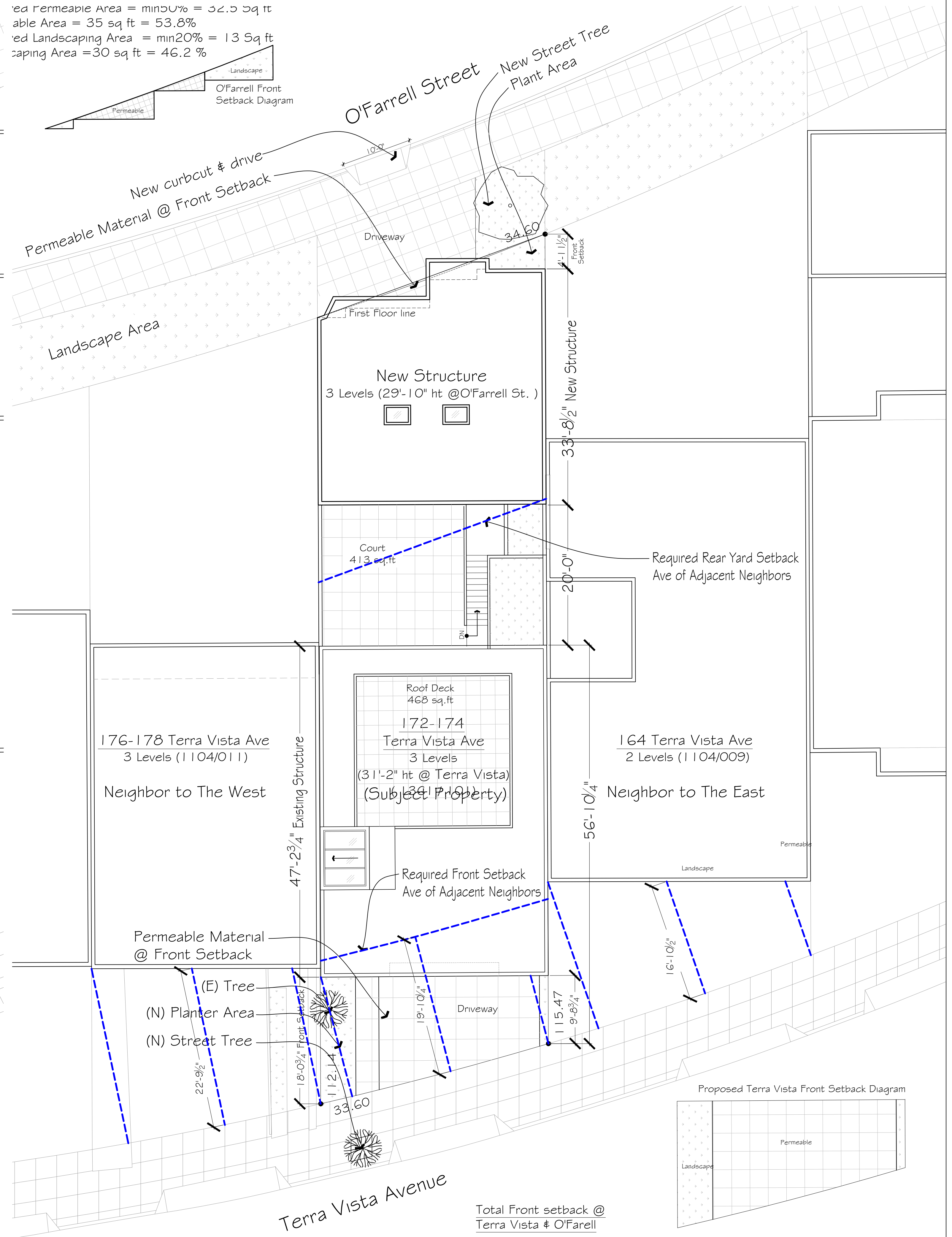
New Detached Unit @
172-174 Terra Vista Ave
San Francisco, CA 94115
Parcel # 1104/031-032

Issue:	Date:
EE/ V	3/15/18
Plot Date:	July 3, 2019
Scale:	As shown



1 (E) Site & Roof Plan

Scale: 1/8" = 1'-0"



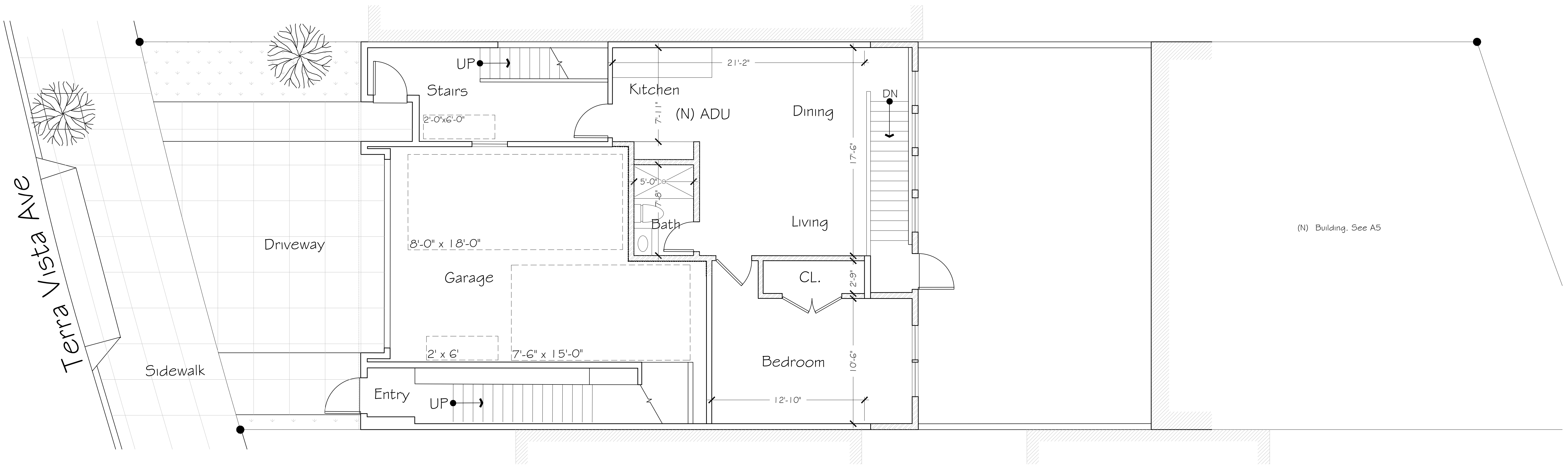
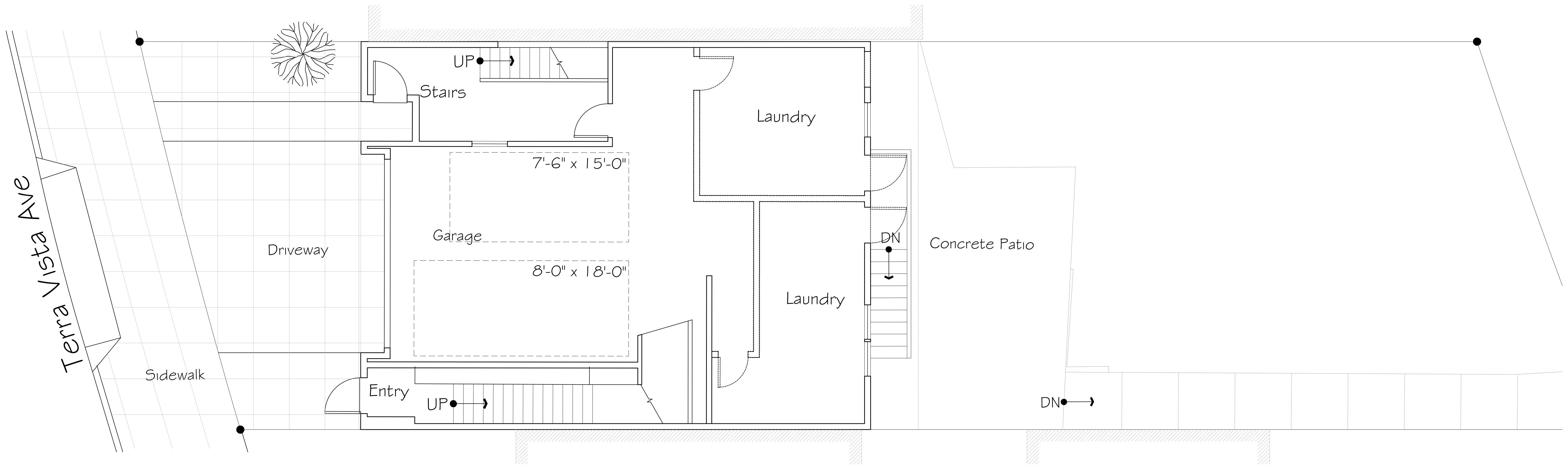
2 (P) Site & Roof Plan

Scale: 1/8" = 1'-0"



Total Front setback @
Terra Vista & O'Farrell

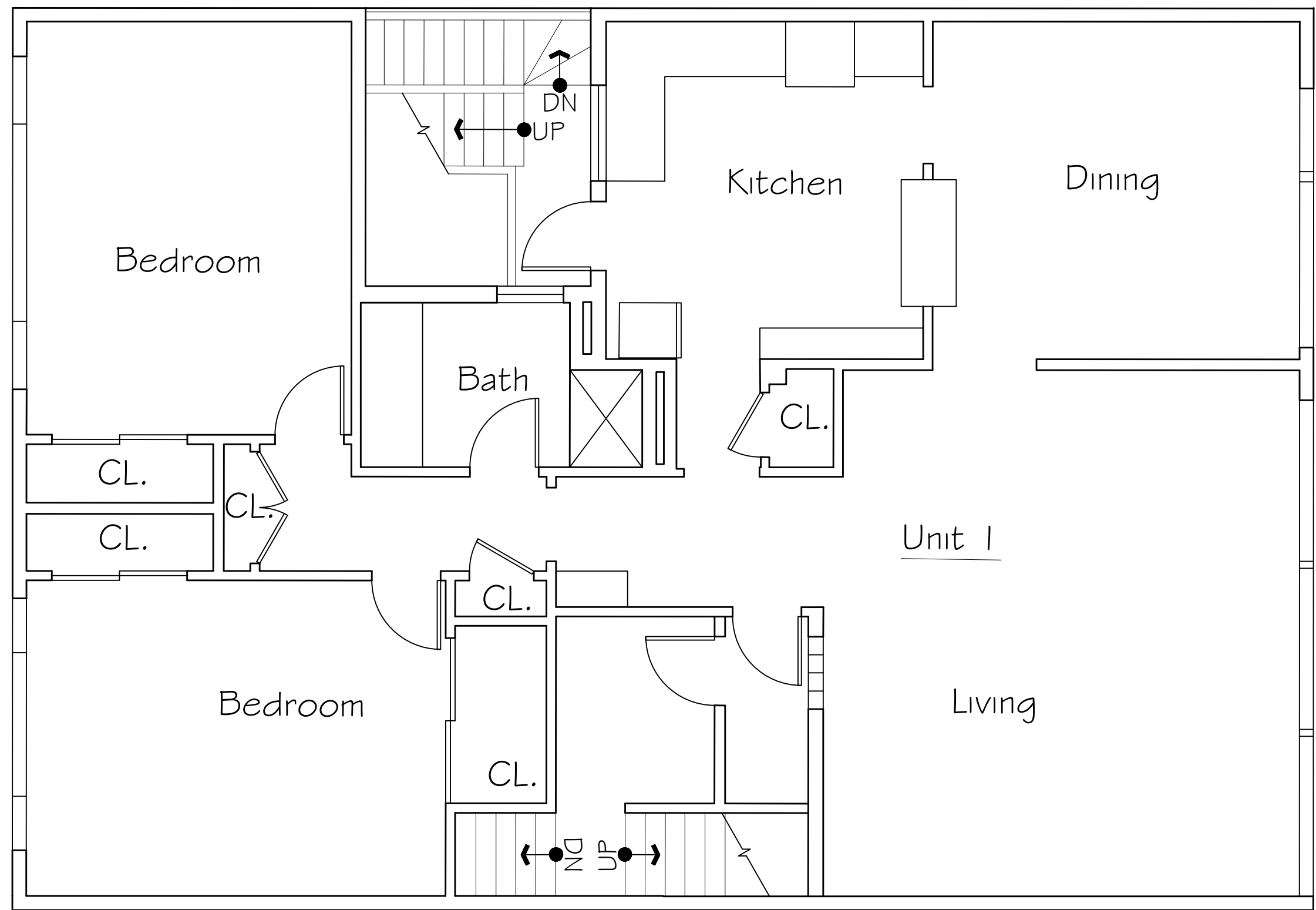
Front Setback = 523 Sq.ft.
Permeable Area = 391 sq.ft. = 74.8%
Landscaping Area = 132 Sq.ft. = 25.2%



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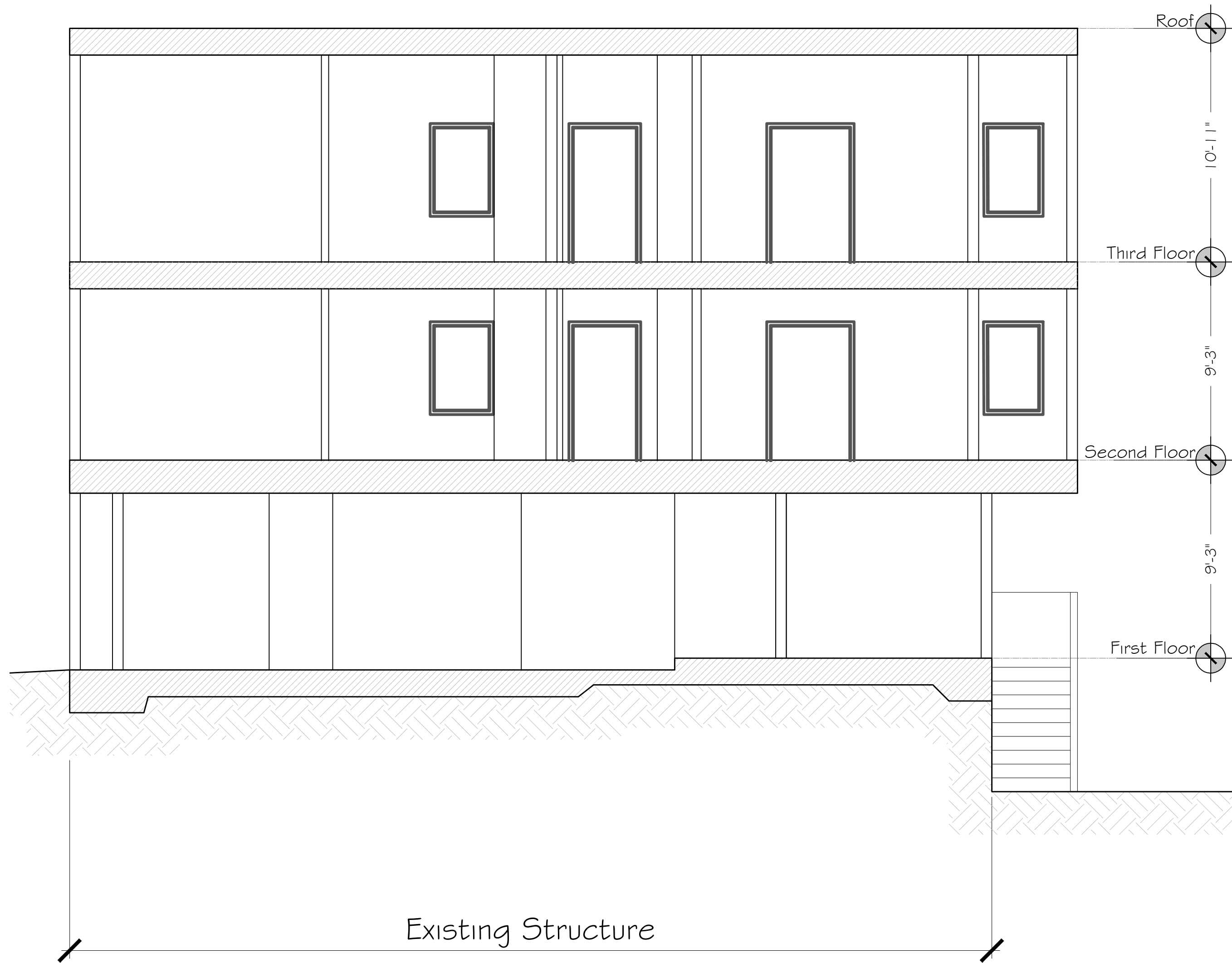
- Removed Wall
- New Wall
- 1 HR Wall



3 (E) Second Floor Plan @ (E) Building

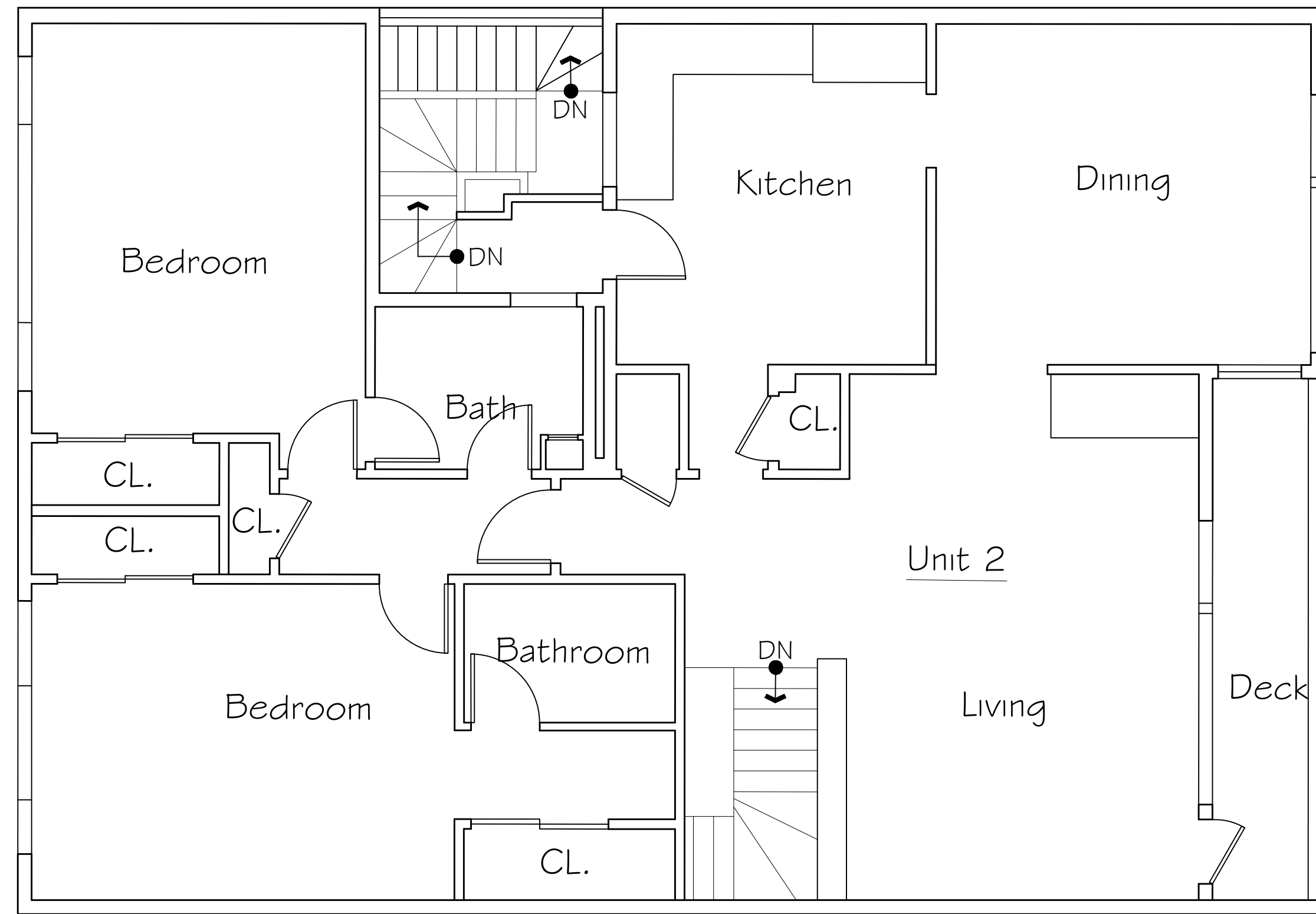
* No Change

Scale: 1/4" = 1'-0"



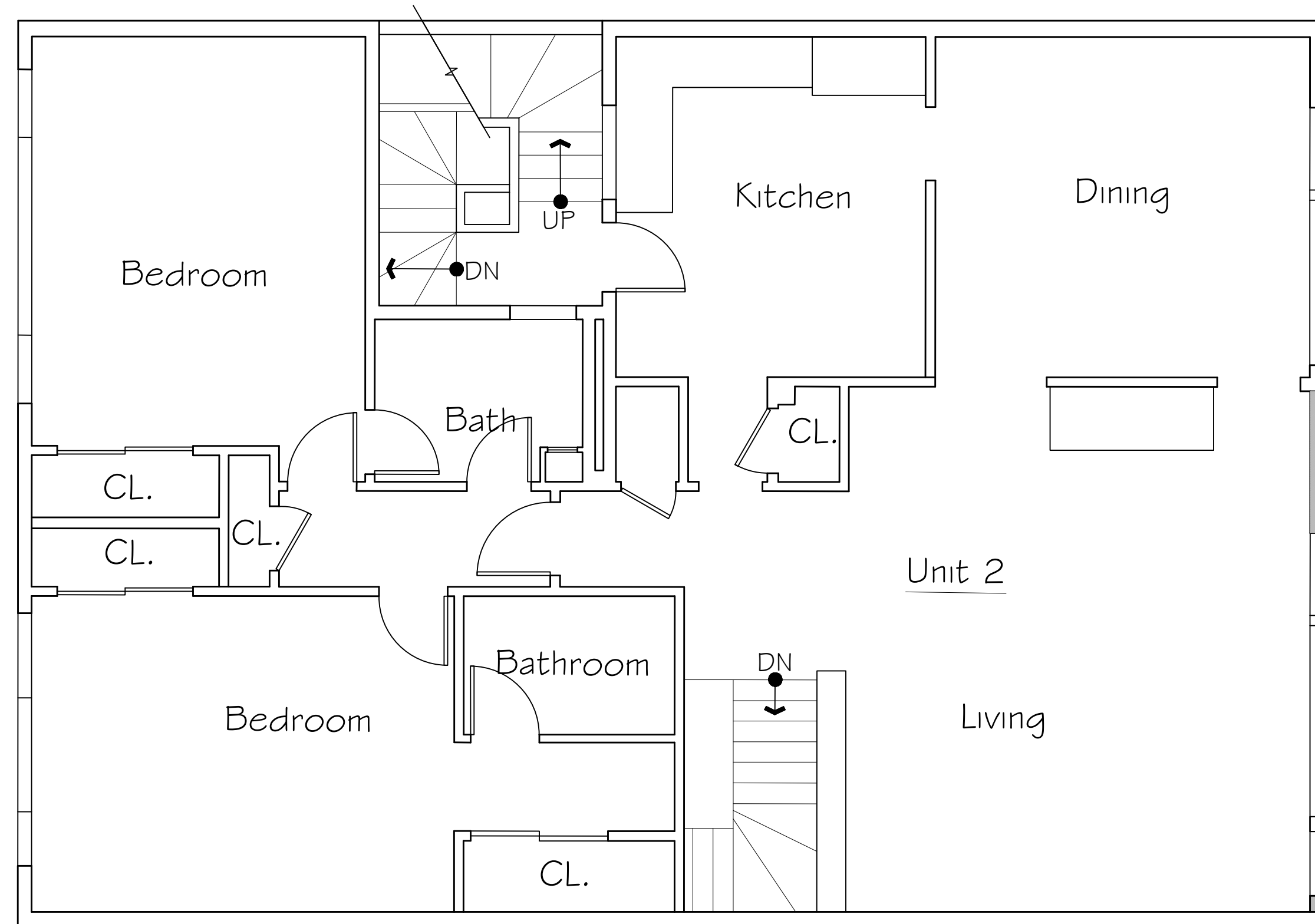
2 (E)Section

Scale: 1/4" = 1'-0"



3 (E) Third Floor Plan @ (E) Building

Scale: 1/4" = 1'-0"



4 (P) Third Floor Plan @ (E) Building

* Add new stairs to the roof deck

Scale: 1/4" = 1'-0"

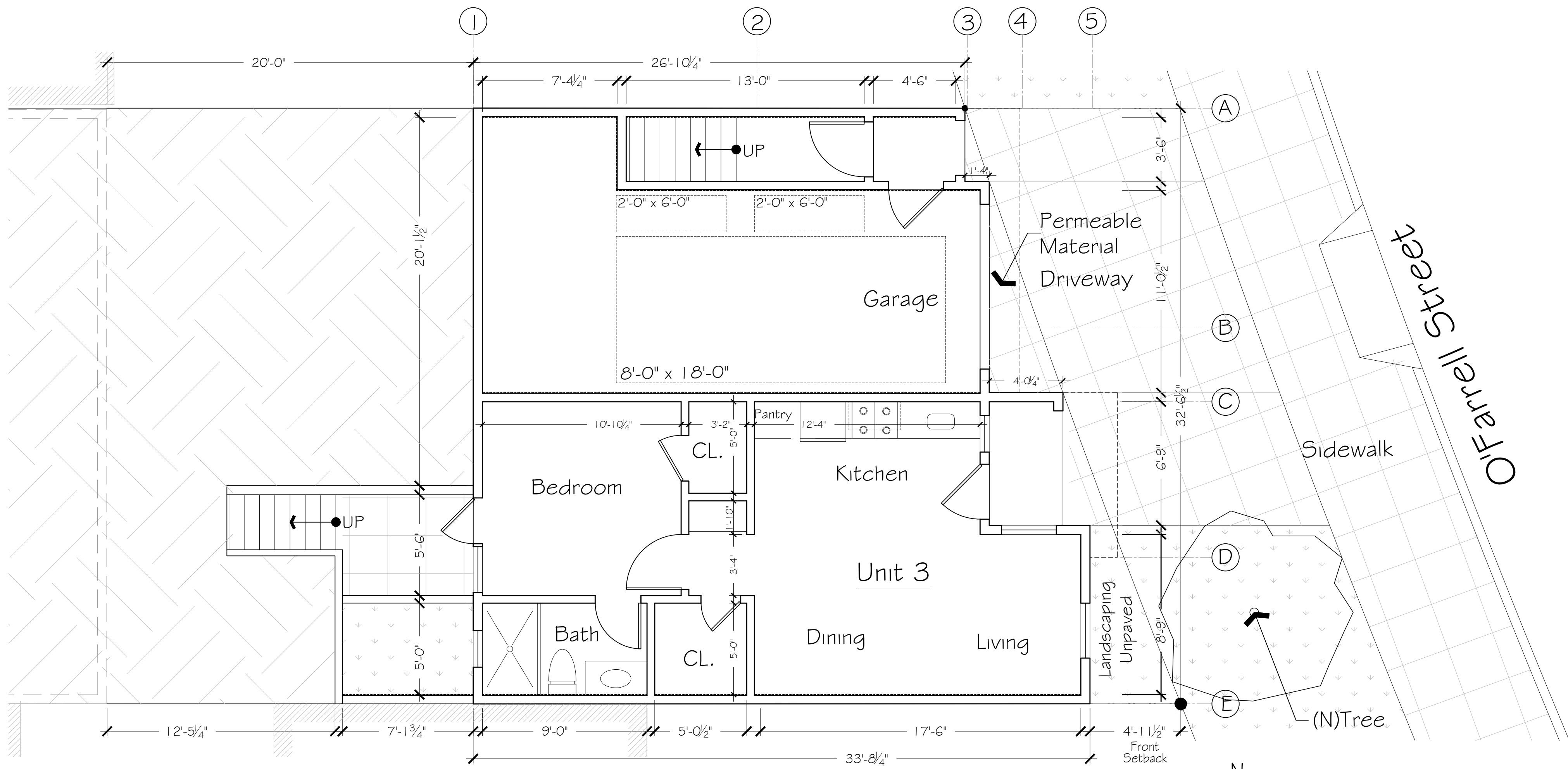


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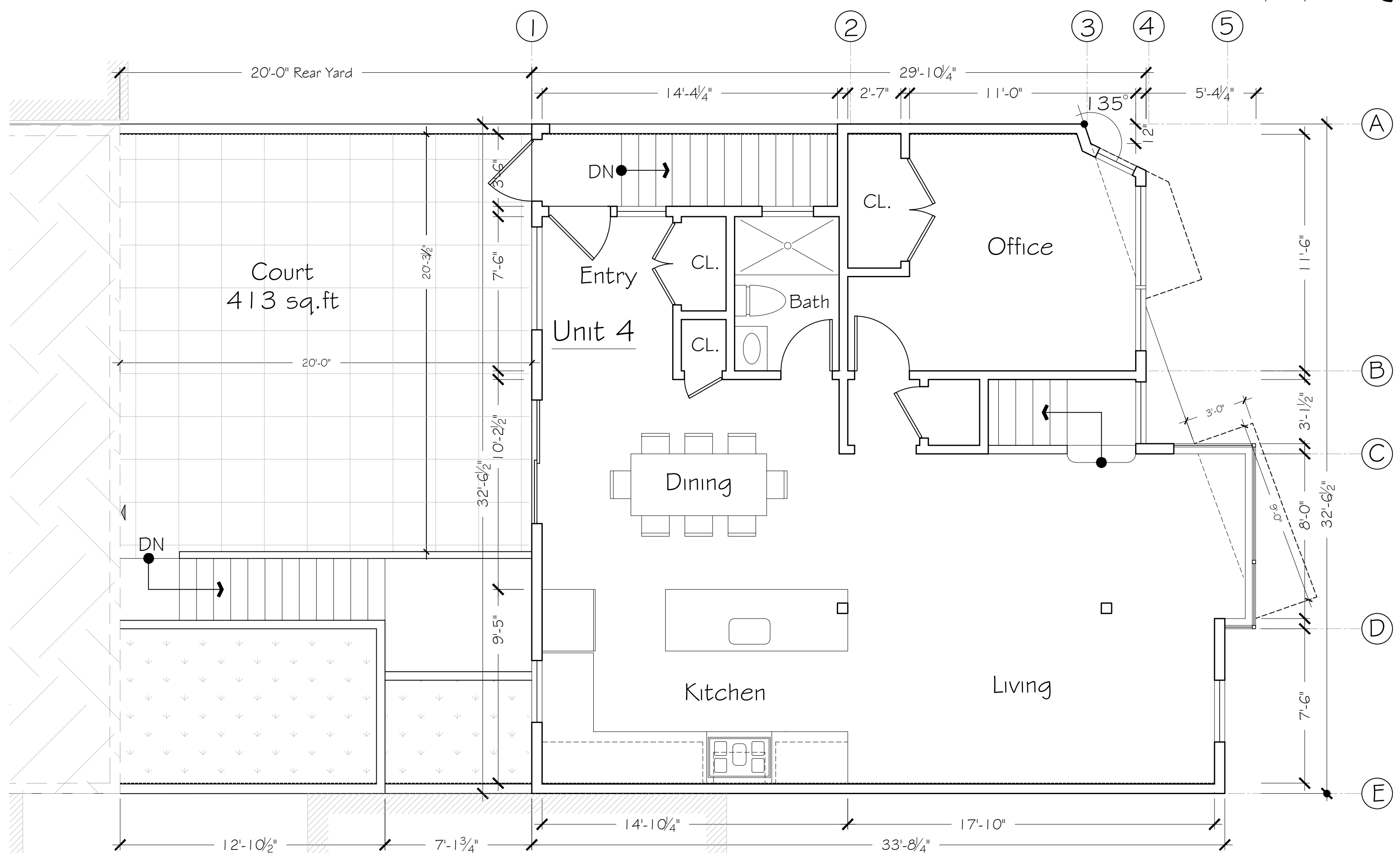
New Detached Unit @
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Parcel # 1104/031-032

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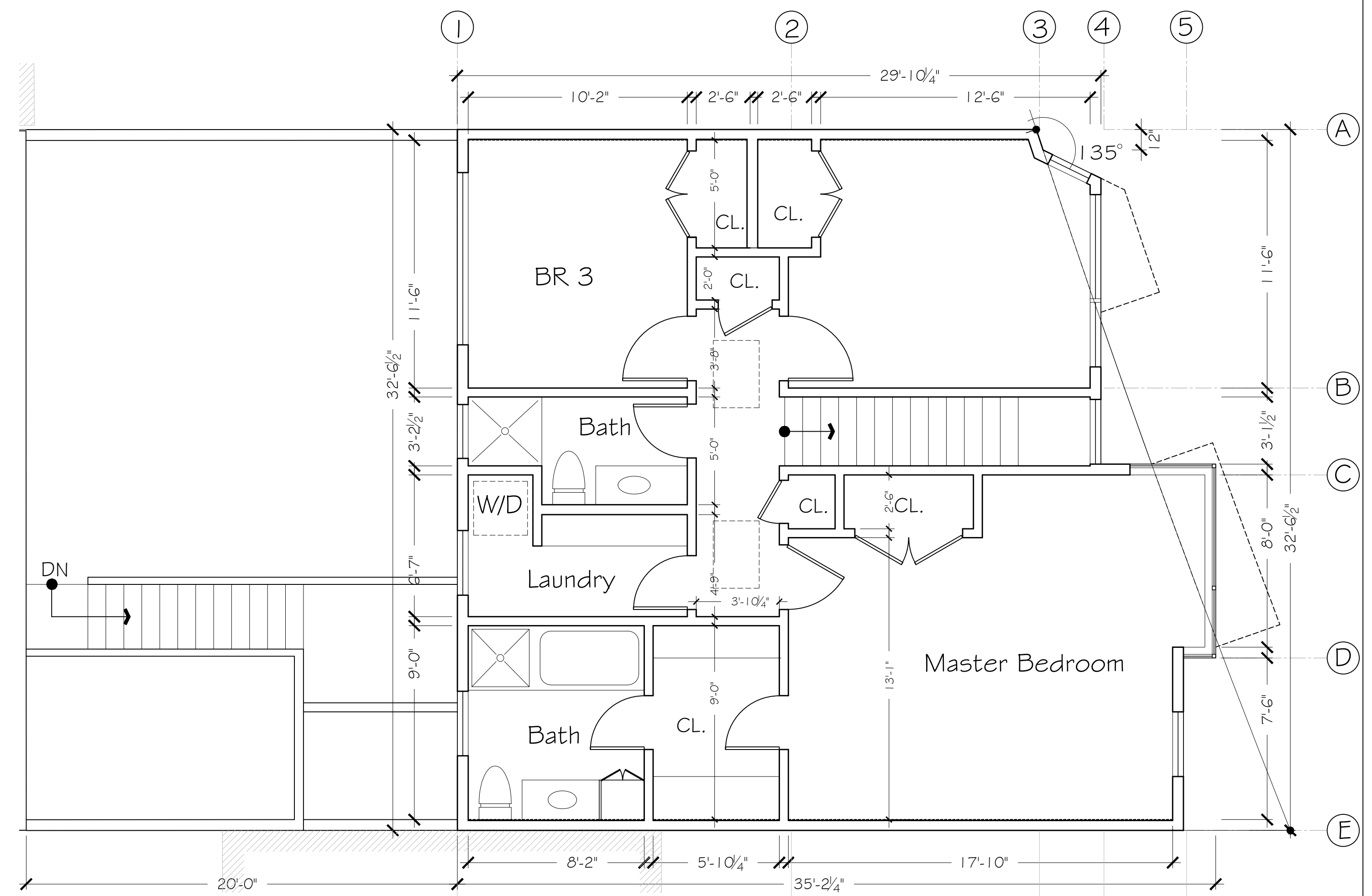
A4



Proposed First Floor Plan

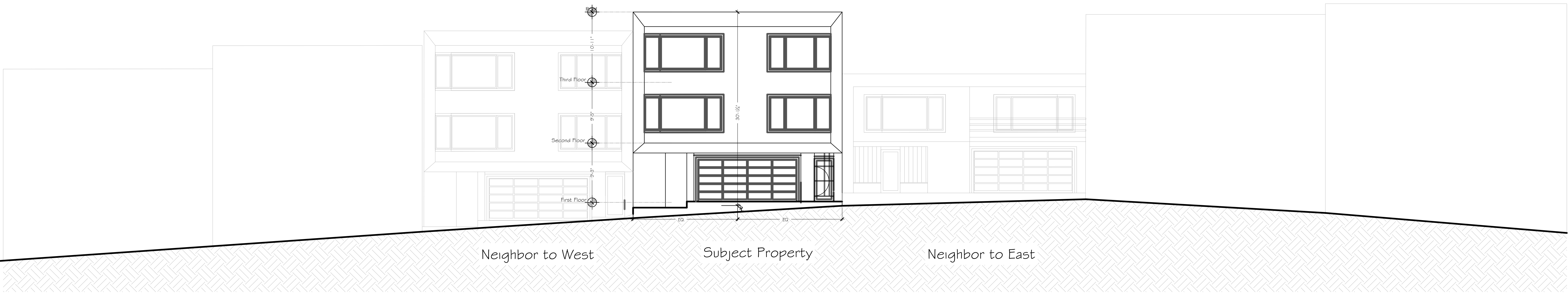


2 Proposed Second Floor Plan



1 Proposed New Third Floor Plan





1 Existing Terra Vista (South) Elevation

Scale: 1/8"=1'-0"



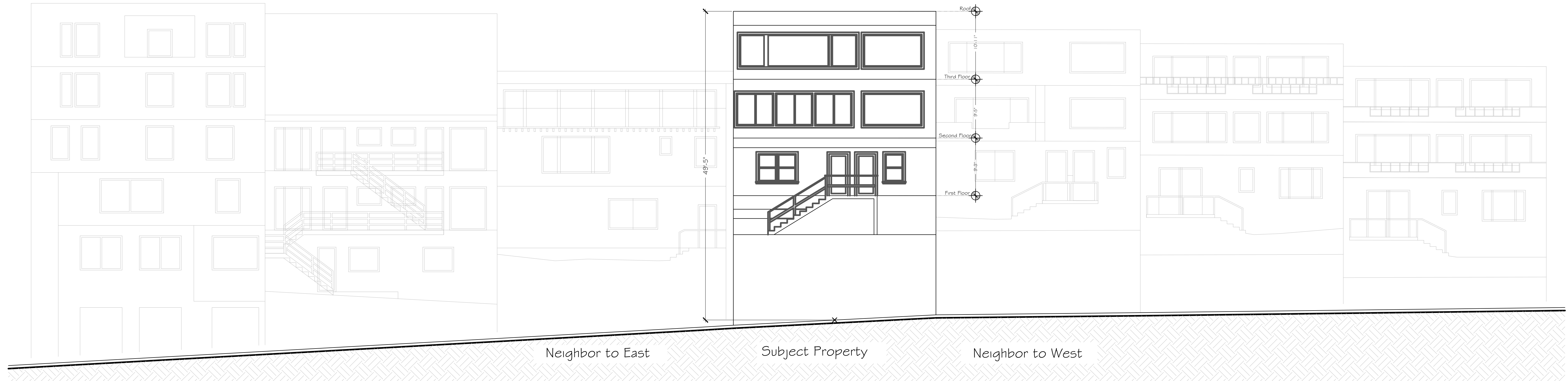
2 Proposed Terra Vista (South) Elevation

Scale: 1/8"=1'-0"

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Parcel # 1104/031-032

Issue:	Date:
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Plot Date:	
July 3, 2019	
Scale:	
As shown	



1 Existing O'Farrell (North) Elevation

Scale: 1/8"=1'-0"

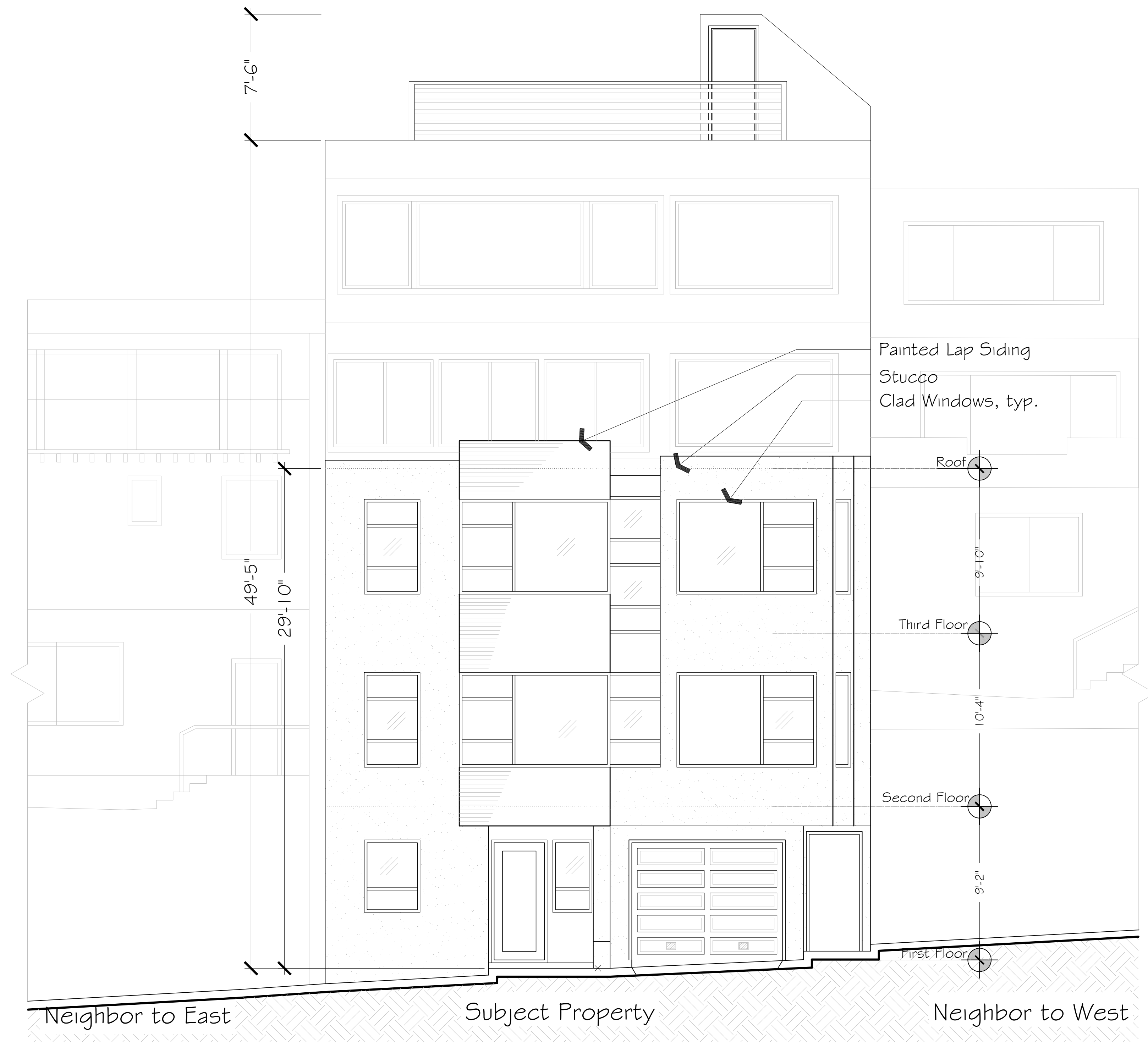


2 Proposed O'Farrell (North) Elevation

Scale: 1/8"=1'-0"

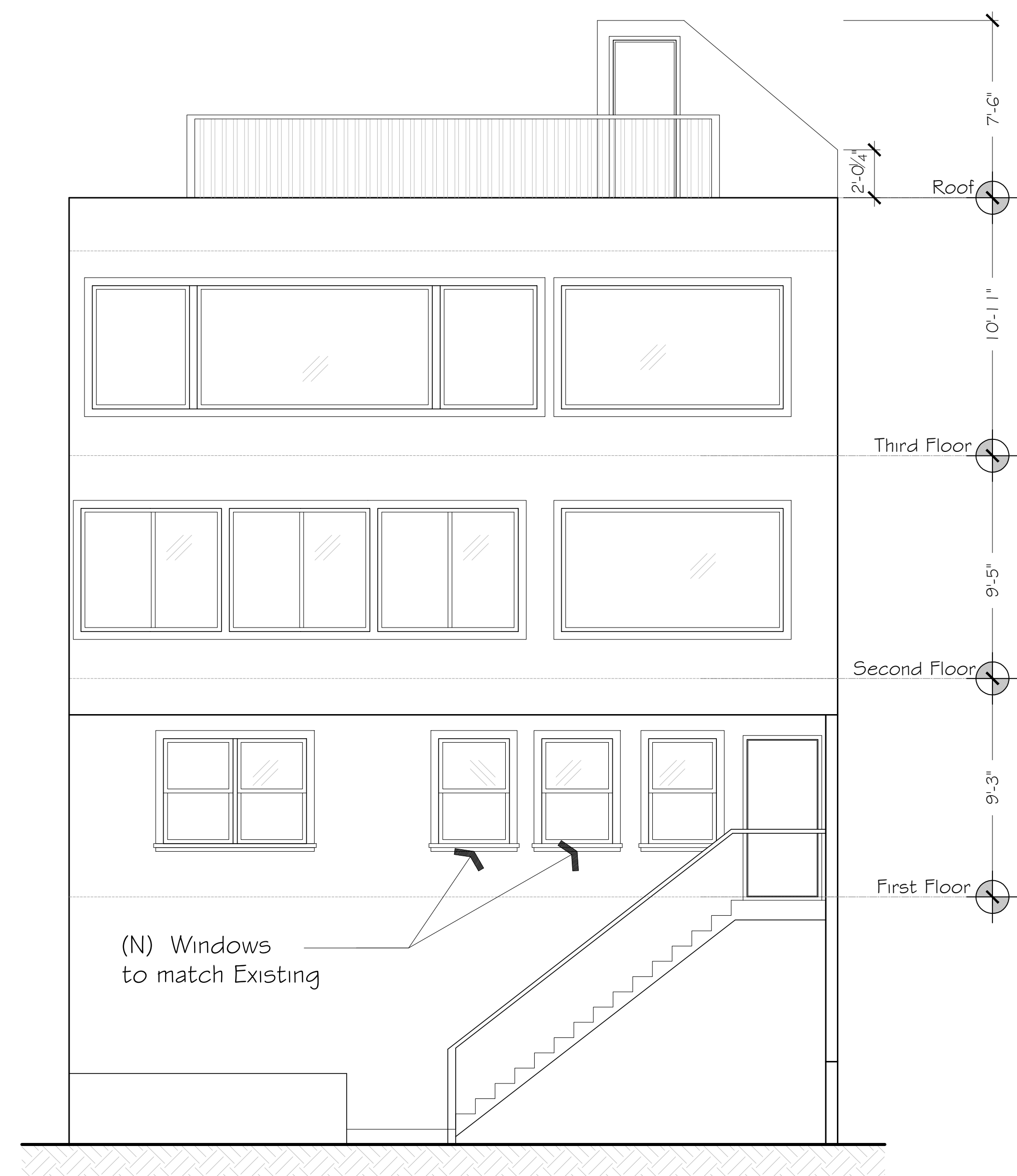
Issue:	Date:
EE/ V	3/15/18

Plot Date:
July 3, 2019
Scale:
As shown



1 Proposed Main (North) Elevation

Scale: 1/4" = 1'-0"



2 (P) Rear Elevation @ (E) Building

Scale: 1/4" = 1'-0"

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Issue:	Date:
EE/ V	3/15/18
Plot Date:	July 3, 2019
Scale:	As shown

A9



1 Proposed Rear Elevation

Scale: 1/4" = 1'-0"

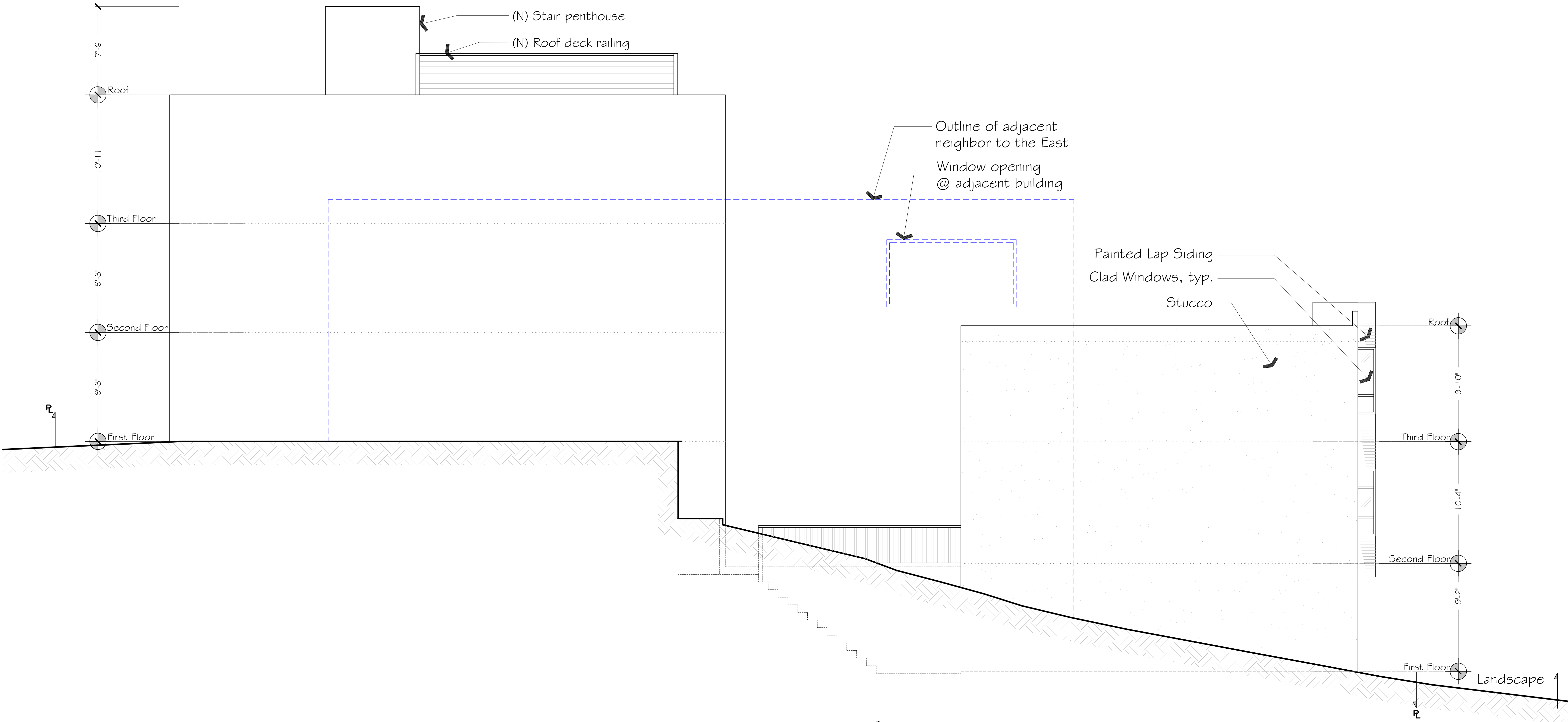
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New Detached Unit @
172-174 Terra Vista Ave
San Francisco, CA 94115
Parcel # 1104/031-032

Issue:	Date:
EE/ V	3/15/18

Plot Date:
July 3, 2019
Scale:
As shown

A10

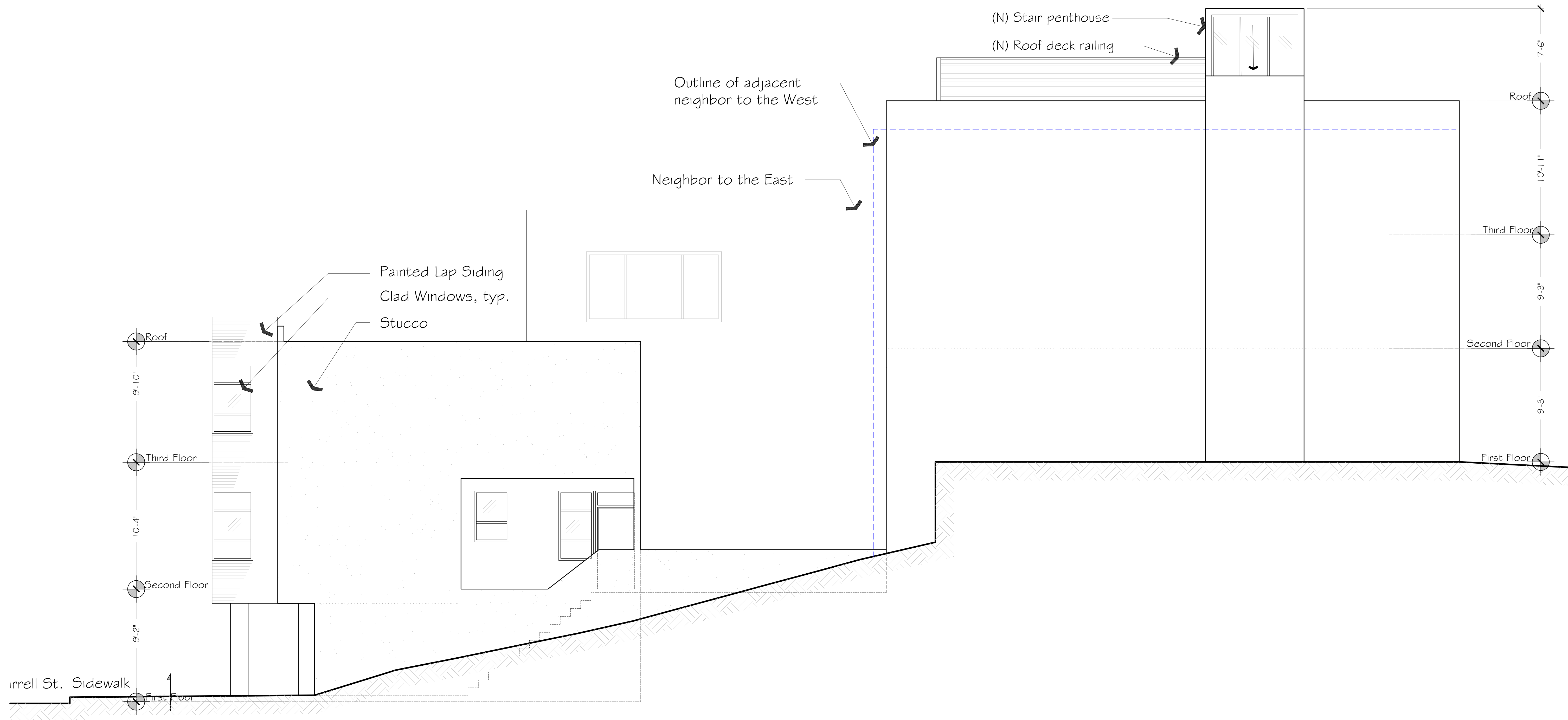


1 Proposed East Elevation

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San Francisco, CA 94115
Parcel # 1104/031-032

Issue:	Date:
EE/ V	3/15/18
Plot Date:	
July 3, 2019	
Scale:	
As shown	



1 Proposed West Elevation

Scale: 1/4"=1'-0"

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New Detached Unit @
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San Francisco, CA 94115
Parcel # 1104/03 -032

Issue:	Date:
EE/ V	3/15/18

Plot Date:
July 3, 2019
Scale:
As shown

A12