



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
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San Francisco,
CA 94103-2479

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**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, September 27th, 2017**

Time: **Not before 9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 497 29th Street	Case No.: 2016-013458VAR
Cross Street(s): Noe Street	Building Permit: 2016.09.13.7606
Block /Lot No.: 6631 / 049	Applicant: Hood Thomas Architects
Zoning District(s): RH-2 / 40-X	Telephone: (415) 543-5005
Area Plan: N/A	E-Mail: john@hoodthomas.com

PROJECT DESCRIPTION

The proposed project is to add one Accessory Dwelling Unit at the ground floor of an existing 2-story, 4-unit mixed-use building.

PER SECTION 140 OF THE PLANNING CODE the subject property is required to have windows of each unit face directly on an open area which is unobstructed and is no less than 25 feet in every horizontal direction, with an increase of five feet in every horizontal dimension at each subsequent floor immediately above. The dimensions of the open area may be reduced to 15 feet in width and depth for Accessory Dwelling Units. The subject property faces an open area that is 16' x 29' but is obstructed by a 7' x 17' deck and stairs above, thereby requiring an exposure variance.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://notice.sfplanning.org/2016-013458.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Seema Adina** Telephone: **(415) 575-8722** E-Mail: seema.adina@sfgov.org

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

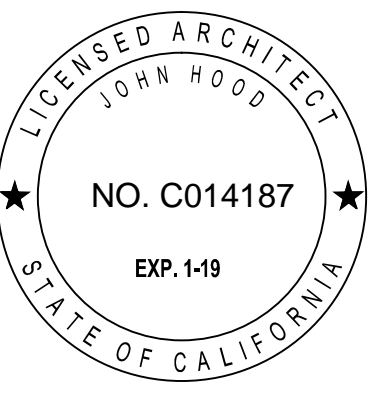
Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

497 29TH STREET

SAN FRANCISCO CALIFORNIA

INTERIOR & EXTERIOR ALTERATIONS

VARIANCE APPLICATION SET



GENERAL CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE 2013 CALIFORNIA BUILDING CODE, AS AMENDED BY THE CITY OF SAN FRANCISCO, AND ANY OTHER GOVERNING CODES, RULES, REGULATION, ORDINANCES, LAWS, ORDER, APPROVALS, ETC. THAT ARE REQUIRED BY PUBLIC AUTHORITIES. IN THE EVENT OF A CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL APPLY.
- ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- VERIFY ALL DIMENSIONS IN THE FIELD. CARE HAS BEEN TAKEN TO PREPARE THESE DOCUMENTS USING ALL AVAILABLE INFORMATION PROVIDED BY THE OWNER. DIMENSIONS MARKED (+/-) MAY BE ADJUSTED UP TO 2" AS REQUIRED BY FIELD CONDITIONS. ADJUSTMENTS OF MORE THAN 2" SHALL BE APPROVED BY THE ARCHITECT. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS IF CONFLICTS EXIST NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH WORK. DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF HIS WORK AND THAT OF ALL SUB-CONTRACTORS. VERIFY AND COORDINATE ALL ROUTING OF MECHANICAL, ELECTRICAL AND PLUMBING ITEMS, ROUGH-IN DIMENSIONS, AND REQUIRED CLEARANCES ASSOCIATED WITH THE PROJECT WORK SUCH THAT CONFLICTS DO NOT OCCUR. NOTIFY ARCHITECT OF PROBLEMATIC CONDITIONS.
- WHERE WORK REQUIRES CUTTING INTO OR DISRUPTION OF EXISTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR PATCHING AND REPAIRING BOTH THE AREA OF WORK AND ITS ADJACENT SURFACES TO MATCH ADJACENT EXISTING SURFACES. PATCHING INCLUDES FINISHED PAINTING OF AREA DISRUPTED.
- CONTRACTOR SHALL REMOVE EXISTING WALLS AND OTHER ASSOCIATED CONSTRUCTION AS INDICATED ON THE DEMOLITION PLAN BY DASHED LINES.
- CONTRACTOR TO VERIFY ALL CONDITIONS BEFORE PROCEEDING WITH DEMOLITION WORK IN ANY AREA. DEMOLITION OF DOORS, WINDOWS, CABINETRY, FINISHES, PARTITIONS OR ANY OTHER NONSTRUCTURAL ITEMS MAY PROCEED AS INDICATED, WHERE DISCREPANCIES INVOLVE STRUCTURAL ITEMS, REPORT SUCH DIFFERENCES TO THE ARCHITECT AND SECURE INSTRUCTIONS BEFORE PROCEEDING IN THE AFFECTED AREA.
- SEE ELECTRICAL POWER & LIGHTING DRAWINGS & GENERAL NOTES FOR EXTENT OF (N) LIGHTING TO BE INSTALLED. CONTRACTOR TO REMOVE CEILING PLASTER AS REQUIRED FOR INSTALLATION OF PROPOSED LIGHTING.
- CONTRACTOR SHALL COORDINATE WITH OWNER THE SALVAGE OF LIGHT FIXTURES, FURNISHINGS, DOORS AND MISC. EQUIPMENT.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO GUARD THE OWNER, OTHER TENANTS AND THE GENERAL PUBLIC FROM INJURY DUE TO DEMOLITION WORK.
- CONTRACTOR SHALL ENSURE THAT DEMOLITION WORK DOES NOT INTERFERE WITH OR PROHIBIT THE CONTINUING OCCUPATION OF ADJACENT DWELLINGS WITHIN THE STRUCTURE. THIS INCLUDES BUT IS NOT LIMITED TO THE SELECTIVE DEMOLITION OF PARTITIONS, ELECTRICAL AND MECHANICAL SYSTEMS, THE CONTRACTOR SHALL INFORM OWNER 72 HOURS IN ADVANCE OF DEMOLITION ACTIVITIES THAT WILL AFFECT NORMAL OPERATION OF BUILDING.
- CONTRACTOR SHALL REPAIR DAMAGE CAUSED TO ADJACENT FACILITIES BY DEMOLITION WORK.

GENERAL ENERGY CONSERVATION NOTES

- EXTERIOR WALL, ROOF & RAISED FLOOR CAVITIES EXPOSED DURING DEMOLITION ARE TO BE INSULATED PER TITLE 24 ENERGY CALCULATIONS AND OR MANDATORY MEASURES PROVIDED WITHIN THIS DRAWING SET. SEE GENERAL INSULATION NOTES BELOW FOR MINIMUM INSULATION REQUIREMENTS SHOULD TITLE 24 ENERGY CALCULATION NOT BE REQUIRED FOR THIS PROJECT.
- ALL LIGHTING TO COMPLY WITH CCR TITLE 24, LATEST EDITION. SEE GENERAL LIGHTING NOTES & ELECTRICAL & LIGHTING PLANS FOR ENERGY CONSERVATION FEATURES.

GENERAL INSULATION NOTES

- PROVIDE INSULATION AT ALL EXTERIOR WALLS, FLOORS AND ROOFS WHEN EXPOSED DURING REMODELING PER MINIMUM REQUIREMENTS LISTED BELOW, UNLESS OTHERWISE NOTED IN TITLE 24 OR SUPPLEMENTAL GREEN COMPLIANCE DOCUMENTATION.

R-15 AT 2X4 WALLS
R-19 AT 2X6 WALLS AND FLOORS
R-30 AT CEILING

GENERAL STRUCTURAL NOTES

- STRUCTURAL OBSERVATION SHALL BE REQUIRED BY THE ENGINEER FOR STRUCTURAL CONFORMANCE TO THE APPROVED PLANS.
- SEE STRUCTURAL DRAWINGS FOR ADDITIONAL NOTES & REQUIREMENTS.

GENERAL ELECTRICAL NOTES

- ALL ELECTRICAL WORK IS DESIGN/BUILD BY CONTRACTOR. VERIFY LOCATIONS OF EQUIPMENT AND FIXTURES AS SHOWN ON THE PLANS W/ ACTUAL FIELD CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES. DO NOT CUT NOTCH, HEAD OFF OR MODIFY ANY STRUCTURAL MEMBERS.
- VERIFY ELECTRICAL / TELEPHONE / CATV / SPEAKER REQUIREMENTS WITH OWNER BEFORE INITIATING ANY WORK.
- ELECTRICAL CONTRACTOR SHALL PROVIDE PROPER ELECTRICAL SERVICE TO ALL APPLIANCES. CONSULT MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SPECIFICATIONS AS REQUIRED.
- INSTALL THERMOSTATS AT 64" FROM CENTERLINE OF COVER PLATE TO FINISH FLOOR.
- MINIMUM REQUIREMENTS FOR ELECTRICAL WORK AT ALL HABITABLE ROOMS: PROVIDE DUPLEX RECEPTACLES TO COMPLY WITH CURRENT CEC AS AMENDED BY LOCAL BUILDING CODES AS FOLLOWS:
 - RECEPTACLES SHALL BE 6'-0" FROM DOOR OPENINGS
 - RECEPTACLES SHALL BE SPACED 12'-0" MAXIMUM ON CENTER ALONG WALLS IN HALLWAYS AND IN ROOMS.
 - ANY WALL 2'-0" OR GREATER IN LENGTH SHALL HAVE MINIMUM (1) ELECTRICAL OUTLET
 - RECEPTACLES SHALL BE PLACED +12" ABOVE THE FINISH FLOOR UNLESS NOTED OTHERWISE.
- MINIMUM REQUIREMENTS FOR ELECTRICAL WORK AT NEW & REMODELED KITCHENS & BATHROOMS: PROVIDE DUPLEX RECEPTACLES IN COMPLIANCE WITH CURRENT CEC AND LOCAL BUILDING CODE AMENDMENTS AS FOLLOWS:
 - RECEPTACLES SHALL BE 4'-0" MINIMUM FROM SINK LOCATIONS.
 - RECEPTACLES SHALL BE SPACED 4'-0" MAX. ON CENTER ALONG KITCHEN & BATH COUNTERS.
 - PROVIDE GFIC AT RECEPTACLES WHERE REQUIRED BY CODE.
 - ALL KITCHEN COUNTERS WIDER THAN 12" TO HAVE RECEPTACLE OUTLETS PER 2010 CEC.
- KITCHENS SHALL BE PROVIDED WITH AT LEAST (2) 20 AMP SMALL APPLIANCE BRANCH CIRCUITS.
- RANGES, DISHWASHERS, WASHER & DRYERS, HVAC EQUIPMENT & GARAGE DOOR OPENERS WHEN INSTALLED, TO BE PROVIDED WITH DEDICATED CIRCUIT AS REQUIRED BY CODE.
- BEDROOM BRANCH CIRCUITS SHALL BE PROTECTED BY LISTED ARC FAULT CIRCUIT INTERRUPTER PER CEC 210.12.
- INSTALL HARDWIRED SMOKE DETECTORS PER CRC & CBC SECT 907.2.11.2 AT EACH FLOOR OF RESIDENCE ON WALL OR CEILING GIVING ACCESS TO SLEEPING AREAS AND INSIDE ROOMS INTENDED FOR SLEEPING. VERIFY ACCEPTABILITY OF LOCATIONS WITH FIRE MARSHALL / BUILDING INSPECTOR BEFORE INSTALLATION. SMOKE DETECTORS SHALL BE HARDWIRED w/ BATTERY BACK-UP & AUDIBLE IN ALL SLEEPING ROOMS.
- CARBON MONOXIDE ALARMS TO BE INSTALLED PER CBC 420.4 IN DWELLING UNITS CONTAINING FUEL BURNING APPLIANCES. ALARM TO BE LOCATED IN HALLWAYS GIVING ACCESS TO BEDROOMS & ON ALL FLOORS OF DWELLING. COMBINATION CARBON MONOXIDE / SMOKE ALARMS ARE PERMITTED PER CBC 420.4.3.1. IF COMBINATION UNIT IS USED, UNIT TO BE INSTALLED PER REQUIREMENTS OF SMOKE ALARMS.
- KITCHEN LIGHTING (REMODELED OR NEW) SHALL BE MIN. 50% HIGH EFFICACY & MUST BE SWITCHED SEPARATELY FROM NON-HIGH EFFICACY LIGHTING.
- BATHROOM, LAUNDRY ROOM, GARAGE & UTILITY ROOM (REMODELED & NEW) SHALL BE ALL HIGH EFFICACY UNLESS NON-HIGH EFFICACY CONTROLLED BY CERTIFIED OCCUPANCY SENSOR(S) WITH MANUAL ON MOTION SENSOR. "ALWAYS-ON" OPTION NOT PERMITTED.
- BEDROOM, HALLWAY, STAIR, DINING ROOM & CLOSET LIGHTING SHALL BE HIGH EFFICACY UNLESS NON-HIGH EFFICACY LIGHTING CONTROLLED BY DIMMER SWITCH OR CERTIFIED OCCUPANCY SENSOR(S) WITH MANUAL ON MOTION SENSOR. "ALWAYS-ON" OPTION NOT PERMITTED.
- RECESSED LIGHTING FIXTURES TO BE "ZERO CLEARANCE INSULATION COVER" (IC) APPROVED AT INSULATED AREAS.
- CLOSET LAMPS SHALL BE ENCLOSED TYPE IF INCANDESCENT. FIXTURE CLEARANCES SHALL BE PER CEC 410.16 (C).

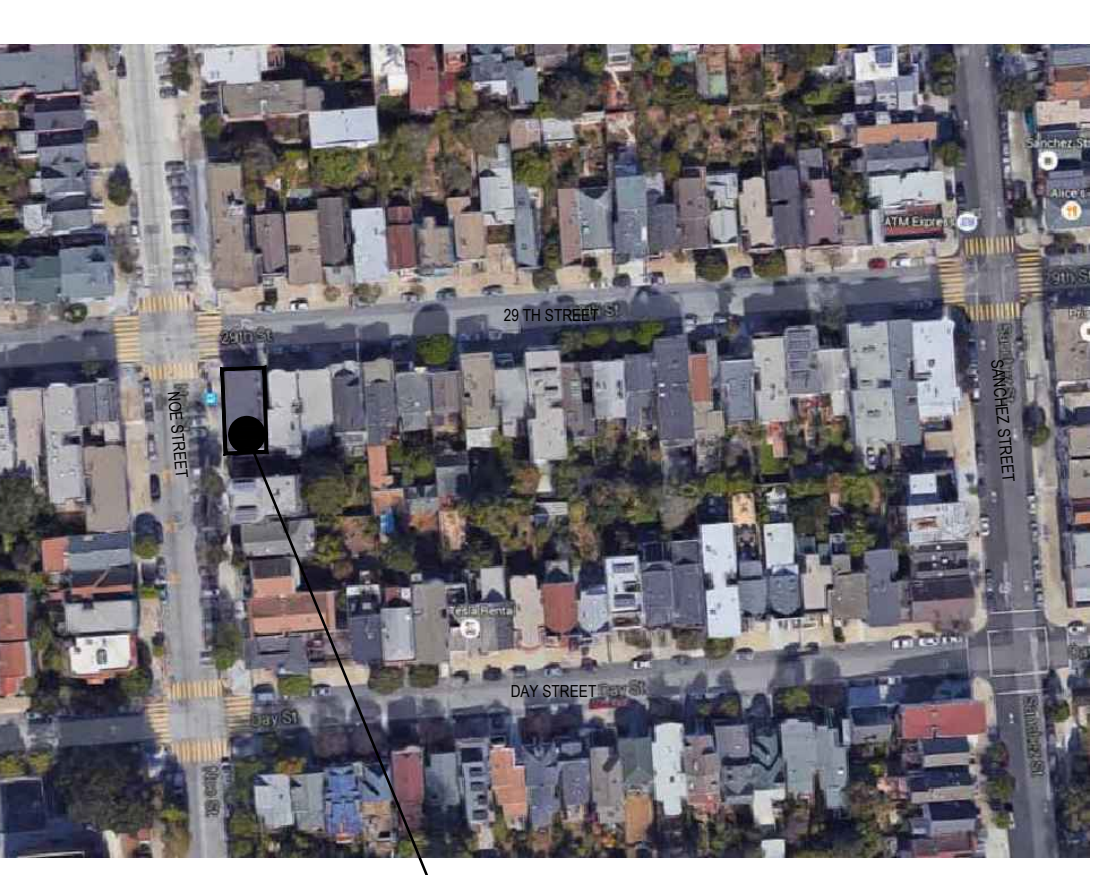
GENERAL PLUMBING NOTES

- ALL PLUMBING SYSTEMS ARE DESIGN / BUILD BY CONTRACTOR. LOCATE THE VARIOUS PLUMBING RUNS INCLUDING DWV AND VERIFY LOCATIONS OF PROPOSED RUNS WITH ACTUAL FIELD CONDITIONS. VERIFY LOCATIONS WITH ARCHITECT. DO NOT CUT, NOTCH, HEAD OFF OR MODIFY ANY STRUCTURAL MEMBERS.
- RELOCATE / RECONFIGURE ALL PLUMBING AS REQUIRED AND AS DIAGRAMMATICALLY SHOWN ON DRAWINGS TO ACHIEVE REMODELING OR NEW CONSTRUCTION. WHERE SPACES CONTAINING PLUMBING FIXTURES ARE EITHER NEW OR REMODELED THE FOLLOWING MINIMUM STANDARDS ARE TO BE MET.
- KITCHEN AND LAVATORY FAUCETS TO BE MAX. 2.2 G.P.M MEASURED AT 60 PSI.
- DISHWASHER WASTE LINE TO BE PROVIDED WITH APPROVED AIR GAP SEPARATION DEVICE.
- WATER CLOSETS HAVE MAX. 1.6 GPF WATER CONSUMPTION.
- SHOWER HEADS NOT TO EXCEED 2.5 GPM MEASURED AT 80 PSI.
- SHOWERS & TUBS TO HAVE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIX TYPE.
- SHOWER VALVES & HEADS SHALL BE PLACED INSIDE SHOWER COMPARTMENT SUCH THAT SHOWER HEAD DOES NOT DISCHARGE DIRECTLY TOWARD THE ENTRANCE OF THE COMPARTMENT AND THE BATHER CAN ADJUST VALVES PRIOR TO STEPPING INTO SHOWER SPRAY.
- HOSE BIBBS TO HAVE APPROVED BACK-FLOW PREVENTION DEVICE.
- PROVIDE SEISMIC BRACING FOR WATER HEATERS IN ACCORDANCE WITH CPC 510.
- ALL COLD WATER PIPES TO BE INSULATED.

GENERAL MECHANICAL NOTES

- ALL MECHANICAL WORK IS DESIGN / BUILD BY CONTRACTOR. VERIFY LOCATION OF EQUIPMENT AND FIXTURES AS SHOWN ON THE PLANS WITH ACTUAL FIELD CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES. DO NOT CUT, NOTCH, HEAD OFF OR MODIFY ANY STRUCTURAL MEMBERS. VERIFY ALL ELECTRICAL / TELEPHONE / CATV / SPEAKER REQUIREMENTS WITH OWNER BEFORE INITIATING ANY MECHANICAL SYSTEM WORK.
- PROVIDE MINIMUM 100 S.I. COMBUSTION AIR AT NEW & REMODELED FAU'S & SPACES CONTAINING THEM PER UMC.
- ALL NEW FAU'S TO BE RATED FOR THEIR SPECIFIC LOCATION.
- NEW & REMODELED BATHROOMS TO BE PROVIDED WITH EXHAUST FAN CAPABLE OF PROVIDING 5 AIR CHANGES PER HOUR. VENT TO OUTSIDE PER CMC 504.5. PROVIDE BACK-DRAFT DAMPER.
- TYPE B GAS VENTS, WHEN INSTALLED AS PART OF THIS PROJECT TO BE PER CMC 802.6
- RANGEHOOD, BATH VENTILATION EXHAUST, DRYER EXHAUST & SIMILAR ENVIRONMENTAL DUCTS TO TERMINATE AT EXTERIOR OF BUILDING PER CMC 504.5. TERMINATE AT LEAST 3'-0" FROM PROPERTY LINE & 3'-0" FROM OPENINGS INTO BUILDINGS.
- INTERSTITIAL SPACES SHALL NOT BE USED TO SUPPLY OR RETURN FORCED AIR.

VICINITY MAP



SITE

SYMBOL LEGEND

- | | | | |
|--|--------------------------|--|------------------|
| | SECTION IDENTIFICATION | | GRID LINE |
| | SHEET WHERE LOCATED | | NUMBER OR LETTER |
| | DETAIL IDENTIFICATION | | COLUMN LINE |
| | SHEET WHERE LOCATED | | DOOR SYMBOL |
| | INTERIOR ELEVATIONS | | WINDOW SYMBOL |
| | ELEVATION IDENTIFICATION | | SHEET NOTE |
| | SHEET WHERE LOCATED | | REVISION |
| | ELEVATION VIEW | | REVISION |

PROJECT DATA

- PROJECT DESCRIPTION**
- ADD ONE UNIT ON BASEMENT FLOOR REMODEL ONE UNIT ON THE FIRST FLOOR OF AN EXISTING 3-UNIT BUILDING.
 - PROJECT ADDRESS:**
497 29TH STREET
SAN FRANCISCO, CA 94131

- PLANNING DEPARTMENT DATA**
- PROPERTY BLOCK: 6631 LOT:049
 - ZONING: RH-2 (RESIDENTIAL-HOUSE, TWO FAMILY)
 - MAXIMUM HEIGHT: 40-X PROPOSED HEIGHT: 25'-9"

BUILDING DEPARTMENT DATA

	EXISTING	PROPOSED
CONSTRUCTION GROUP	V-B	V-B
OCCUPANCY TYPE	R2	R2
BUILDING HEIGHT	25'-9"	25'-9"
BUILDING STORIES	2	2
SPRINKLER SYSTEM	NO	YES @ 1ST FLOOR (SEPARATE PERMIT)

GOVERNING CODES

ALL WORK SHALL BE IN COMPLIANCE WITH ALL STATE AND LOCAL CODES, INCLUDING THE FOLLOWING:
2013 CALIFORNIA BUILDING CODE (W/ SAN FRANCISCO AMENDMENTS)
2013 CALIFORNIA MECHANICAL CODE (W/ SAN FRANCISCO AMENDMENTS)
2013 CALIFORNIA PLUMBING CODE (W/ SAN FRANCISCO AMENDMENTS)
2013 CALIFORNIA ELECTRICAL CODE (W/ SAN FRANCISCO AMENDMENTS)
2013 CALIFORNIA ENERGY CODE (W/ SAN FRANCISCO AMENDMENTS)
2013 CALIFORNIA FIRE CODE

AREA CALCULATIONS

DESCRIPTION	EXISTING	PROPOSED	ADDITIONAL
BASEMENT			
CRAWL SPACE	1513.9 S.F.	702.0 S.F.	--
RESIDENTIAL (UNIT 1)	0 S.F.	798.4 S.F.	798.4 S.F.
FIRST FLOOR			
COMMERCIAL	604.8 S.F.	604.8 S.F.	0 S.F.
RESIDENTIAL (UNIT 2)	840.1 S.F.	755.6 S.F.	-84.5 S.F.
SECOND FLOOR			
RESIDENTIAL	1477.3 S.F.	1477.3 S.F.	0 S.F.

PROJECT DIRECTORY

OWNER NORMA A. PAOLINI TRUSTEE OF THE EZIO M. PAOLINI TESTAMENTARY TRUST 22 OCEAN AVENUE SAN FRANCISCO, CA 94112	ARCHITECT JOHN HOOD HOOD THOMAS ARCHITECTS 440 SPEAR STREET SAN FRANCISCO, CA 94105 P: (415) 543-5005 F: (415) 495-3336
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SCOTT DOBBINS
CO-TRUSTEE OF THE BARBARA
DOBBINS TESTAMENTARY TRUST

DRAWING INDEX

- ARCHITECTURAL DRAWINGS**
- A0.0 COVER SHEET, PROJECT DATA, VICINITY MAP
 - A0.1 EXISTING/ DEMO SITE PLAN
 - A0.2 PROPOSED SITE PLAN
 - A1.1 DEMOLITION & PROPOSED BASEMENT PLANS
 - A1.2 DEMOLITION & PROPOSED FIRST FLOOR PLANS
 - A1.3 EXISTING SECOND FLOOR PLAN
 - A2.1 EXISTING AND PROPOSED WEST ELEVATIONS
 - A2.1A EXISTING AND PROPOSED WEST ELEVATIONS W/O (E) FENCE
 - A2.2 EXISTING AND PROPOSED NORTH AND SOUTH ELEVATIONS
 - A2.3 EXISTING AND PROPOSED EAST ELEVATIONS
 - A3.1 EXISTING AND PROPOSED SECTIONS

UNIT ADDITION

497 29th St.
San Francisco, CA
94131
Block: 6631 Lot: 049

ISSUE: DATE:

DRAWN BY: JC
DATE: 06.29.17
SHEET TITLE:

COVER SHEET

SHEET NUMBER:

A0.0

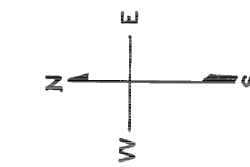
REV #: DATE:

© COPYRIGHT SAN FRANCISCO CITY & COUNTY ASSESSOR 1995
 lot44 into lots50&51 For 2003 roll
 lot19 into lots50&51 For 2010 roll
 lot42 into lots54to56 For 2009 roll
 lot51 into lots78&58 For 2012 roll
 Lot 48 into lots 59 to 64 for 2016 roll

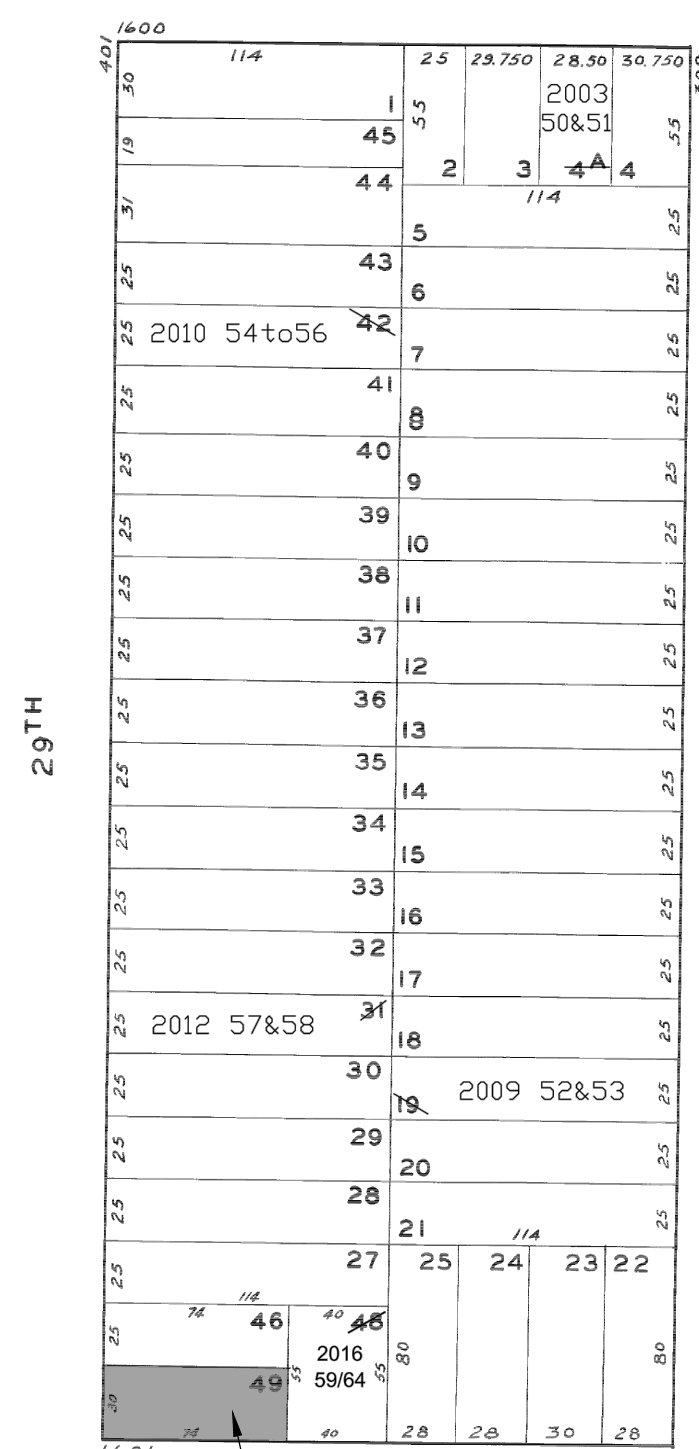
6631

HORNER'S ADDN BLK. 123

REVISED '71
 " 172
 Revised 2003
 Revised 2009
 Revised 2012
 REVISED 2016



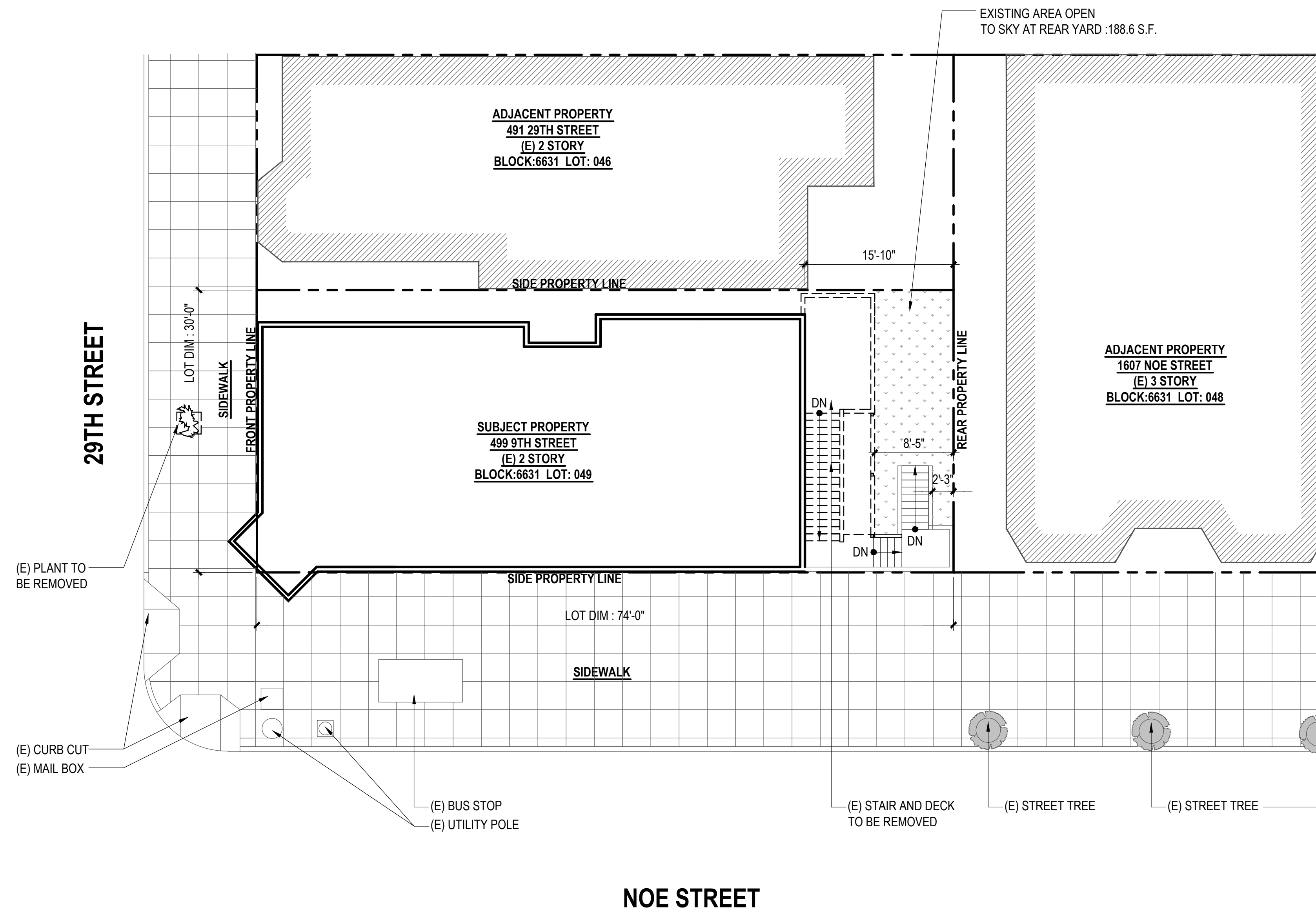
SANCHEZ



1634 Sanchez St.
 A CONDOMINIUM
 LOT, W/LL & CURB AREA
 50 A 50
 51 B 50

NOE

SUBJECT LOT



SITE PLAN CALCULATIONS

STREET TREE CALCULATION
 1 PER 20' STREET FRONTAGE
 PER SFPWC ARTICLE 16. 806(d)(2)

TOTAL STREET FRONTAGE	104'-0"
TOTAL STREET TREES REQ'D	5
EXISTING STREET TREES	0
NET STREET TREES REQ'D	5
NEW STREET TREES PROPOSED	5

USABLE OPEN SPACE CALCULATION
 COMMON @ 166 SF / UNIT REQUIRED FOR RH-2 ZONING
 PER SFPWC 209.1

UNITS	COUNT	REQUIRED	PROVIDED
EXISTING	3	498 SF	188.6 SF
PROPOSED (N)	1	166 SF	266.4 SF
TOTAL	4	664 SF	266.4 SF

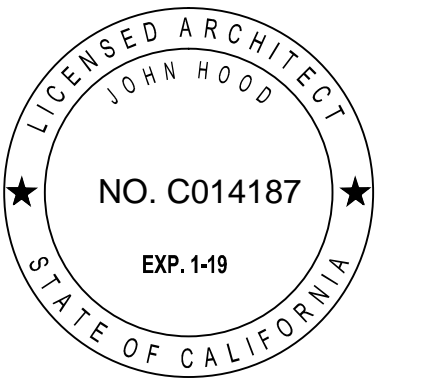
UNIT EXPOSURE CALCULATION
 15'-0" X 15'-0" (225 SF) REQUIRED
 PER SFPWC 140 (ADU)

(N) UNIT	PROVIDED
BASEMENT	15' X 15' w/ (E) EXIT STAIR OBSTRUCTION
1ST FLOOR	OPEN TO STREET

HTA!

HOOD THOMAS ARCHITECTS

440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105
 P: (415) 643-4005 F: (415) 496-3336
 WWW.HOODTHOMAS.COM



UNIT ADDITION

497 29th St.
 San Francisco, CA
 94131
 Block: 6631 Lot: 049

ISSUE: _____ DATE: _____

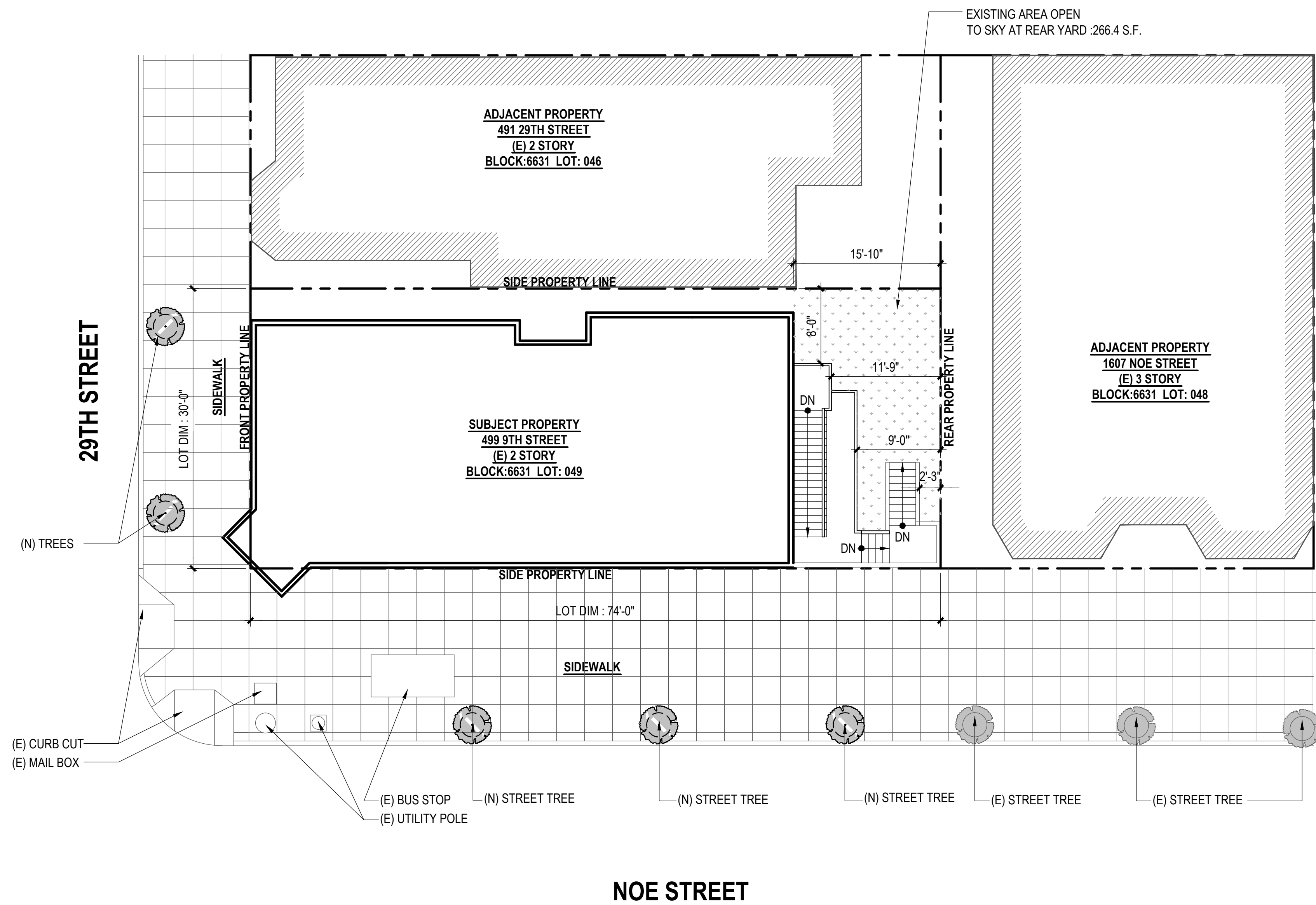
DRAWN BY: JC
 DATE: 06.29.17
 SHEET TITLE: _____

**EXISTING/
 DEMO SITE
 PLAN**

SHEET NUMBER: _____

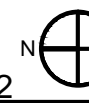
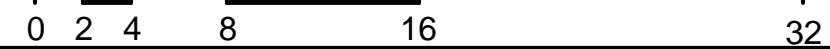
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REV #: _____ DATE: _____



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PROPOSED SITE PLAN
 SCALE: 1/8" = 1'-0"



SITE PLAN CALCULATIONS

STREET TREE CALCULATION
 1 PER 20' STREET FRONTAGE
 PER SFPWC ARTICLE 16. 806(d)(2)

TOTAL STREET FRONTAGE	104'-0"
TOTAL STREET TREES REQ'D	5
EXISTING STREET TREES	0
NET STREET TREES REQ'D	5
NEW STREET TREES PROPOSED	5

USABLE OPEN SPACE CALCULATION
 COMMON @ 166 SF / UNIT REQUIRED FOR RH-2 ZONING
 PER SFPC 209.1

UNITS	COUNT	REQUIRED	PROVIDED
EXISTING	3	498 SF	188.6 SF
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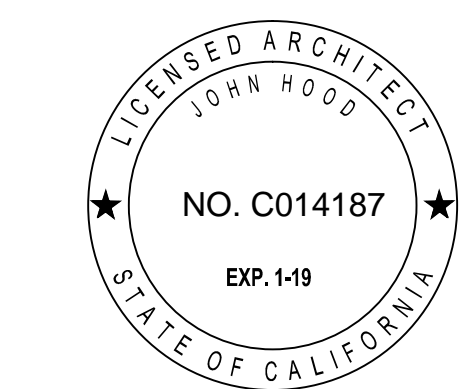
UNIT EXPOSURE CALCULATION
 15'-0" X 15'-0" (225 SF) REQUIRED
 PER SFPC 140 (ADU)

(N) UNIT	PROVIDED
BASEMENT	15' X 15' w/ (E) EXIT STAIR OBSTRUCTION
1ST FLOOR	OPEN TO STREET

HTA!

HOOD THOMAS ARCHITECTS

440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105
 P: (415) 443-4005 F: (415) 495-3336
 WWW.HOODTHOMAS.COM



UNIT ADDITION

497 29th St.
San Francisco, CA
 94131
 Block: 6631 Lot: 049

ISSUE: _____ DATE: _____

DRAWN BY: JC

DATE: 06.29.17

SHEET TITLE: _____

PROPOSED SITE PLAN

SHEET NUMBER: _____

A0.2

REV #: _____ DATE: _____

FLOOR PLAN KEYNOTES

DRAWING SET GENERAL NOTES

- 1.1 SEE SHEET A0.0 FOR GENERAL CONSTRUCTION NOTES
- 1.2 SEE SHEET EMP1.1 FOR ELECTRICAL & MECHANICAL NOTES & PLANS
- 1.3 DIMENSIONS SHOWN IN PLANS AND ELEVATIONS ARE TAKEN FROM FACE OF WALLBOARD AT INTERIOR WALLS AND FACE OF EXTERIOR FINISH AT EXTERIOR WALLS. U.O.N.

DOORS, WINDOW AND SKYLIGHT PROJECT NOTES

- D1. PRIMARY EXIT DOORS SHALL MEET THE REQUIREMENTS OF CBC SECTION 1008 FOR SIZE, PROJECTIONS INTO CLEAR WIDTH OF EGRESS PATH, DOOR SWING, & OPENING FORCE.
- D2. DOORS SHALL BE PROVIDED WITH A MIN. 36" X 36" LEVEL LANDING ON EACH SIDE OF THE DOORS EXCEPT AS FOLLOWS: LANDINGS AT THE EXTERIOR SIDE OF A DOOR MAY BE A MAX. OF 7 1/2' BELOW THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING. FOR DOORS THAT SWING OVER THE LANDING THE MAX. DISTANCE BELOW THE THRESHOLD IS 7 1/2' PER CBC 1008.1.5. SLIDING GLASS DOORS SHALL HAVE A MAX. 7' LEVEL CHANGE FROM THRESHOLD.
- D3. DOORWAY BETWEEN GARAGES & HABITABLE SPACE SHALL BE PROVIDED WITH EITHER SOLID WOOD DOORS OR SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 1/2" THICK & PROVIDED WITH SELF CLOSING AND SELF LATCHING H HARDWARE.
- D4. PROVIDE LISTED, GASKETED DOORS W/ LISTED SELF CLOSING DEVICE & BOTTOM SEAL AT THRESHOLD PER CMC 904.1 WHERE COMPARTMENTS CONTAINING FURNACES & BOILERS ARE INSTALLED IN BEDROOMS OR BATHROOMS.
- W1. (N) WINDOWS OR WINDOW SCHEDULE INCLUDED IN THIS DRAWING SET SHALL COMPLY WITH TITLE 24 REQUIREMENTS. SEE SCHEDULE FOR ADDITIONAL NOTES.
- W2. EMERGENCY ESCAPE & RESCUE WINDOWS REQUIRED AT SLEEPING AREAS SHALL MEET THE FOLLOWING REQUIREMENTS: MIN. 5.7' CLEAR OPENING, MIN. 24" CLEAR HEIGHT, MIN. 20" CLEAR WIDTH, SILL HEIGHT MAX. 44" AFF.

LIGHT / AIR REQUIRED BY CBC SEC 1205.2 & 1203.4.1

	LIVING AREA	BEDROOM 1	BEDROOM 2
UNIT #1	454 SF	131.1 SF	--
LIGHT 8%	36.32 SF	10.48 SF	--
LIGHT PROV.	51.53 SF	41.53 SF	--
AIR 4%	18.16 SF	6.84 SF	--
AIR PROV.	46.53 SF	41.53 SF	--
UNIT #2	363 SF	123.2 SF	108.3 SF
LIGHT 8%	29.04 SF	9.85 SF	8.66 SF
LIGHT PROV.	92 SF	30.8 SF	19.4 SF
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AIR PROV.	46 SF	15.4 SF	9.7 SF

LIGHT & AIR REQUIRED BY CBC SEC 1205.2 & 1203.4.1

DOOR SHALL BE READILY OPENABLE FROM EGRESS SIDE WITHOUT USE OF KEY OR SPECIAL KNOWLEDGE OR EFFORT PER CBC 1008.1.9. DOOR TO MEET EXIT REQUIREMENTS OF CBC 1008.

(N) STAIR

MAX. EXIT ACCESS TRAVEL DISTANCE FROM MOST REMOTE POINT OF STORY TO POINT OF EXIT: **37'-7"**. ALLOWED 75' PER CBC 1014.3

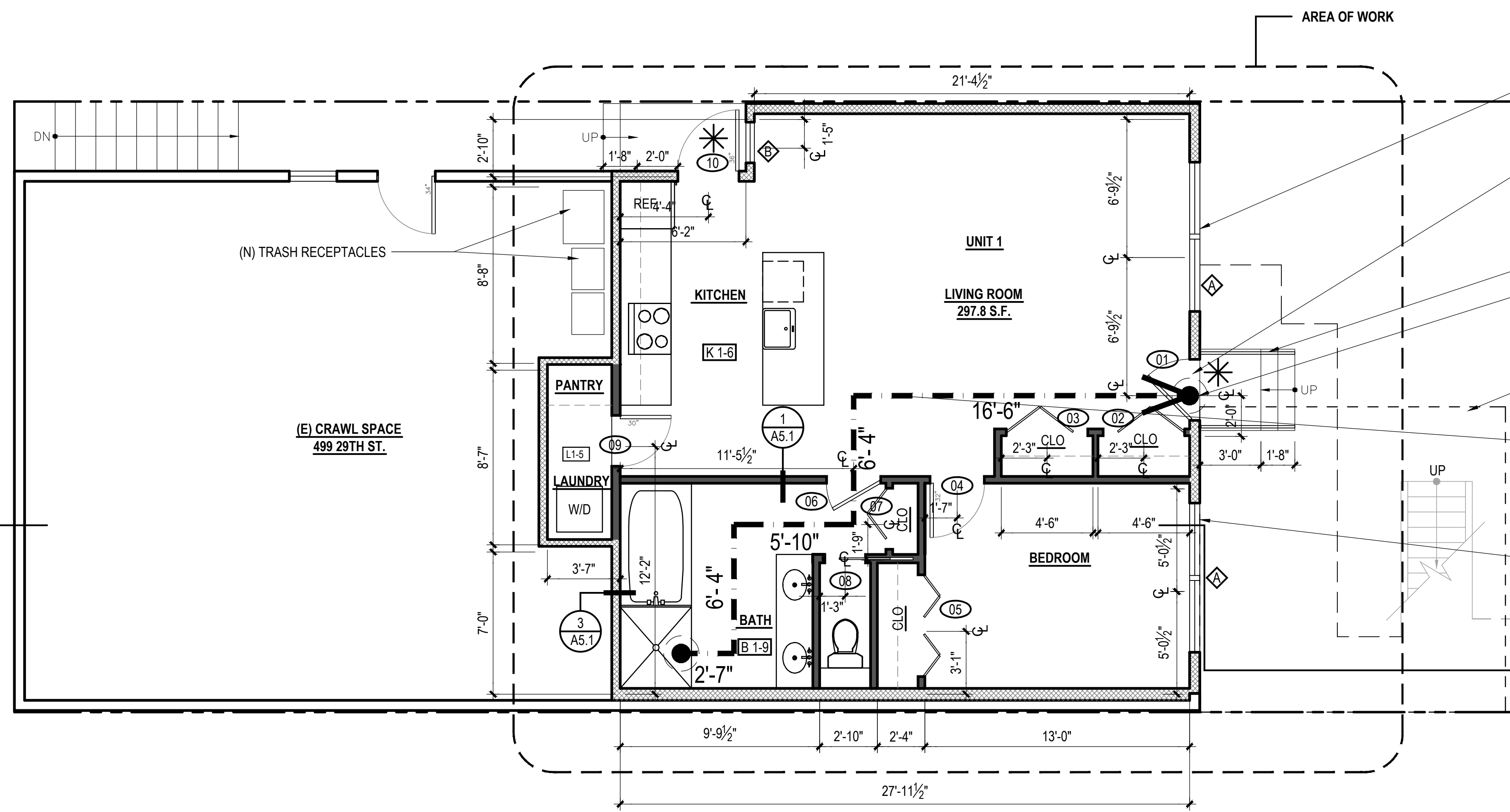
15' X 15' UNIT EXPOSURE AS REQUIRED BY SFPC SEC 140

ONE MEANS OF EGRESS IS PERMITTED WITHIN & FROM INDIVIDUAL DWELLING UNITS WHERE THE DWELLING UNIT IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM. CBC 1015.1

BEDROOMS & SLEEPING SPACES SHALL BE PROVIDED WITH EMERGENCY ESCAPE & RESCUE WINDOWS

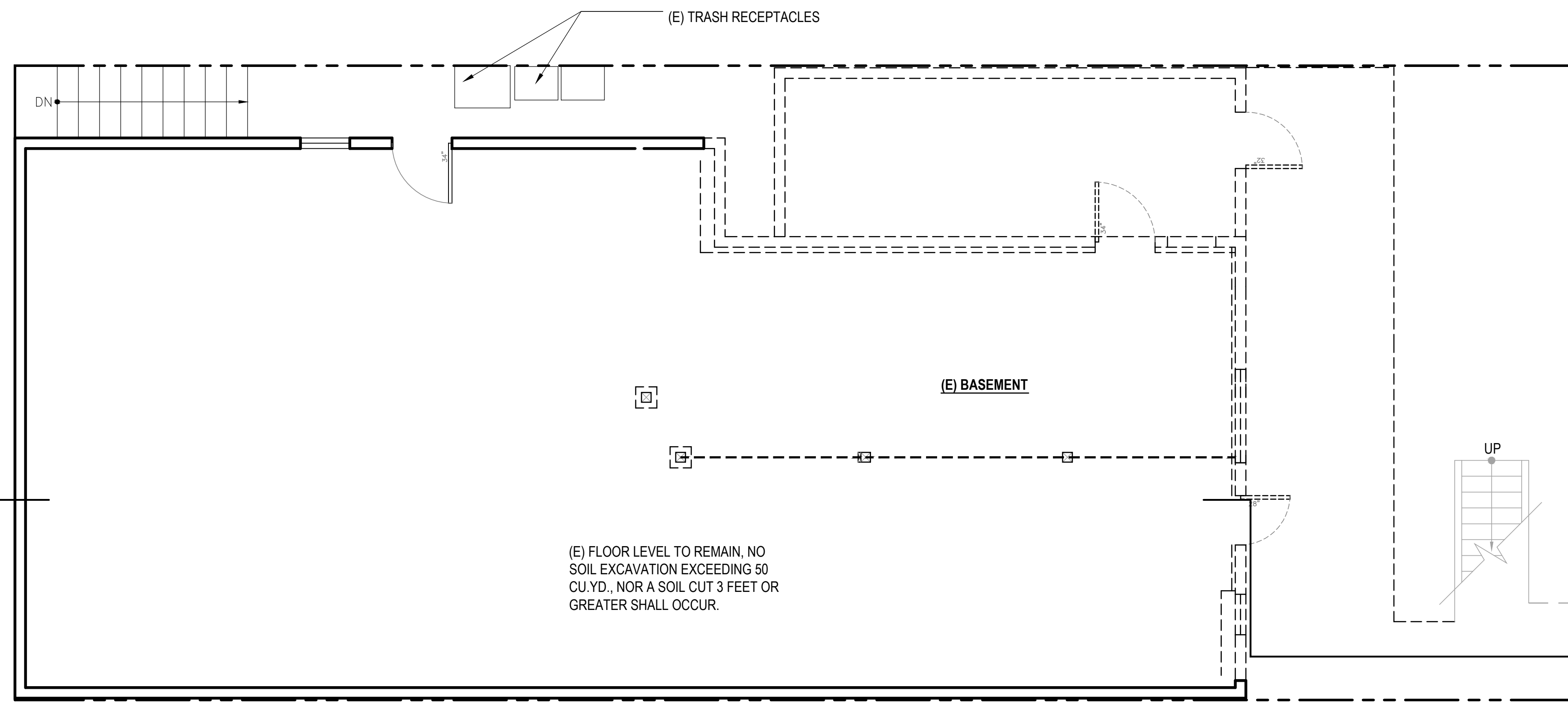
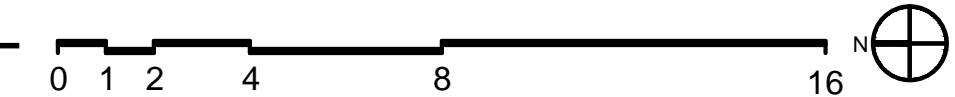
MIN. 20" CLEAR WIDTH
MIN. 24" CLEAR HEIGHT
MIN. 5.7' S.F. NET CLEAR OPENING BOTTOM OF CLEAR OPENING MAX. 44" A.F.F. PER CBC 1029.1 W2

UNIT SEPARATION (TYPICAL @ ALL (N) UNITS):
WALLS SEPARATING UNITS TO BE MIN. 1HR FIRE RATED PER CBC 708.3
CEILING SEPARATING UNITS TO BE MIN. 1HR FIRE RATED PER CBC711.3
CORRIDOR WALLS & CEILINGS TO BE MIN. 1HR FIRE RATED PER CBC 1018.1



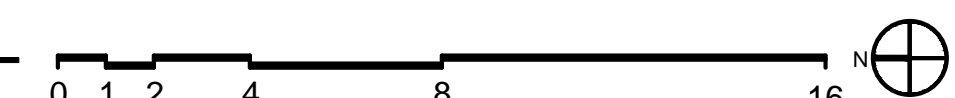
2 PROPOSED BASEMENT PLAN - ONE BEDROOM ONE BATH

SCALE: 1/4" = 1'-0"



1 EXISTING/DEMO BASEMENT PLAN

SCALE: 1/4" = 1'-0"



- W3. WINDOWS IN LOCATIONS SUBJECT TO HUMAN IMPACT LOADS SHALL BE PROVIDED WITH SAFETY GLAZING INSTALLED IN ACCORDANCE WITH CBC 2406 & 2407.

KITCHEN PROJECT NOTES

- K1. KITCHEN FAUCETS SHALL HAVE A MAX. FLOW RATE OF 1.5 G.P.M MEASURED AT 60 PSI.
- K2. GARBAGE DISPOSAL UNITS AT KITCHEN SINKS SHALL BE PROVIDED WITH REQUIRED AIR GAP.
- K3. GAS COOKING APPLIANCES SHALL BE UL LISTED & INSTALLED PER MANUF. INSTRUCTIONS. PROVIDE GAS SHUT-OFF VALVE IN APPROVED, ACCESSIBLE LOCATION.
- K4. RESIDENTIAL RANGEHOOD EXHAUST PER CMC 403.7. SHALL MEET REQUIREMENTS OF CMC 504.2 EXHAUST TERMINATION SHALL BE LOCATED AT LEAST 3'-0" AWAY FROM PROPERTY LINES AND BUILDING OPENINGS & BE PROVIDED WITH WEATHERPROOF BACKDRAFT DAMPER. WHERE REMOTE EXHAUST OR BOOSTER FANS ARE REQUIRED, FAN SHALL BE ON DEDICATED CIRCUIT.
- K5. UPPER CABINETS SHALL BE MIN. 30" ABOVE COOKING TOP PER CMC 916.1.2. PROVIDE THE COOKING APPLIANCE MIN. CLEARANCE TO COMBUSTIBLES PER CMC 916.1.
- K6. (N) DISHWASHERS SHALL BE PROVIDED WITH REQUIRED AIRGAP, HOT WATER STUB & DEDICATED CIRCUIT.
- K7. (N) APPLIANCES TO BE UL LISTED AND INSTALLED PER MANUF. INSTRUCTIONS. INSTALLING CONTRACTOR SHALL COORDINATE ALL ELECTRICAL AND PLUMBING REQUIREMENTS WITH MANUF. SPECIFICATIONS.
- K8. (N) CABINETRY AND NONPOROUS COUNTERTOPS THROUGHOUT. U.O.N.

BATHROOM PROJECT NOTES

- B1. (N) NONPOROUS SLAB COUNTERTOP & SPLASH.
- B2. GLASS SHOWER ENCLOSURES SAFETY GLAZING SUBJECT TO HUMAN IMPACT LOADS INSTALLED IN ACCORDANCE W/ CBC 2406 & 2407. SHOWER DOORS SHALL PROVIDE MIN 22" CLEAR OPENING WIDTH, PER CPC 408.5.
- B3. SHOWER COMPARTMENTS & WALLS ABOVE TUBS W/ SHOWERHEADS SHALL BE FINISHED WITH A SMOOTH NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 70" ABOVE DRAIN INLET. CBC 1210.3
 - A. NONPAPER-FACED BACKER BOARD TO BE USED IN ALL TUB, SHOWER & SPA AREAS. (WATER-RESISTANT TO A HEIGHT AS INDICATED ABOVE).
- B4. SHOWER PER CPC 408. MIN FLOOR AREA OF 1024 SQUARE INCHES & CAPABLE OF ENCOMPASSING A 30" CIRCLE. THE AREA & DIMENSION SHALL BE MAINTAINED TO A POINT NOT LESS THAN 70" ABOVE THE SHOWER DRAIN. DRAIN INLET MIN. 2" MAX. 9" BELOW THRESHOLD INTO SHOWER.
- B5. SHOWER HEADS SHALL HAVE A MAX. FLOW RATE OF 2.0 GPM MEASURED AT 80 PSI.
- B6. SHOWER VALVES & HEADS SHALL BE PLACED INSIDE SHOWER COMPARTMENT SUCH THAT SHOWER HEAD DOES NOT DISCHARGE DIRECTLY TOWARD THE ENTRANCE OF THE COMPARTMENT AND THE BATHER CAN ADJUST VALVES PRIOR TO STEPPING INTO SHOWER SPRAY.
- B7. WATER CLOSET PER CBC 2903 CENTERED WITHIN 30" WIDE CLEAR SPACE. TOILETS SHALL HAVE MAX. 1.28 GPF WATER CONSUMPTION.
- B8. BATH & LAUNDRY ROOM FAUCETS SHALL HAVE A MAX. FLOW RATE OF 1.5 GPM MEASURED AT 60 PSI.
- B9. PROVIDE EXHAUST FAN CAPABLE OF PROVIDING 5 AIR CHANGES PER HOUR. VENT TO OUTSIDE. PROVIDE BACKDRAFT DAMPER.

LAUNDRY & MECHANICAL ROOM PROJECT NOTES

- L1. CLOTHES WASHER: PROVIDE FLUSH MOUNT 'GUY BOX' FOR HOT & COLD WATER & DRAIN CONNECTIONS.
- L2. CONVENTIONAL CLOTHES DRYER: PROVIDE OPENING OF 100 SQ. INCHES MIN. FOR MAKE-UP AIR AT DOORS ENCLOSING APPLIANCE PER CMC 504.3.2. DIRECT EXHAUST TO OUTSIDE USING STEEL, SMOOTH BORE, 4" MIN. DIA. DUCT. PROVIDE WEATHERPROOF CAP & BACKDRAFT DAMPER. TERMINATE VENT MIN. 3'-0" FROM OPERABLE WINDOWS & DOORS PER CMC 504.5. PROVIDE IN-LINE BOOSTER FAN FOR DUCT RUNS OVER 14'-0" IN LENGTH. PROVIDE GAS SHUTOFF VALVE IN APPROVED LOCATION. CONDENSING DRYERS TO HAVE DRAIN & DRAIN PAN.
- L3. PROVIDE DRAIN PAN @ TANK WATER HEATERS AND CLOTHES WASHERS INSTALLED OVER LIVING SPACE.
- L4. WATER HEATER TO BE PROVIDED WITH SEISMIC STRAPPING PER CPC 510.5
- L5. ROOMS CONTAINING GAS CONSUMING SPACE AND WATER HEATING EQUIPMENT SHALL BE PROVIDED WITH COMBUSTION AIR OPENINGS IN COMPLIANCE WITH CMC CHAPTER 7.

PLAN LEGEND

- EXISTING WALL
- DEMOLISHED WALL
- NEW 1 HOUR WALL
- NEW INTERIOR WALL
- 20 MIN. DOOR
- EXIT PATH

UNIT ADDITION

497 29th St.
San Francisco, CA
94131
Block: 6631 Lot: 049

ISSUE: DATE:

DRAWN BY: JC

DATE: 06.29.17

SHEET TITLE:

EXISTING/
PROPOSED
BASEMENT
PLANS

SHEET NUMBER:

A1.1

REV #: DATE:

FLOOR PLAN KEYNOTES

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- D2. DOORS SHALL BE PROVIDED WITH A MIN. 36" X 36" LEVEL LANDING ON EACH SIDE OF THE DOORS EXCEPT AS FOLLOWS: LANDINGS AT THE EXTERIOR SIDE OF A DOOR MAY BE A MAX. OF 7" BELOW THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING. FOR DOORS THAT SWING OVER THE LANDING THE MAX. DISTANCE BELOW THE THRESHOLD IS 3/4" PER CBC 1008.1.5. SLIDING GLASS DOORS SHALL HAVE A MAX. 3/4" LEVEL CHANGE FROM THRESHOLD.
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497 29th St.
San Francisco, CA
94131
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ISSUE: _____ DATE: _____

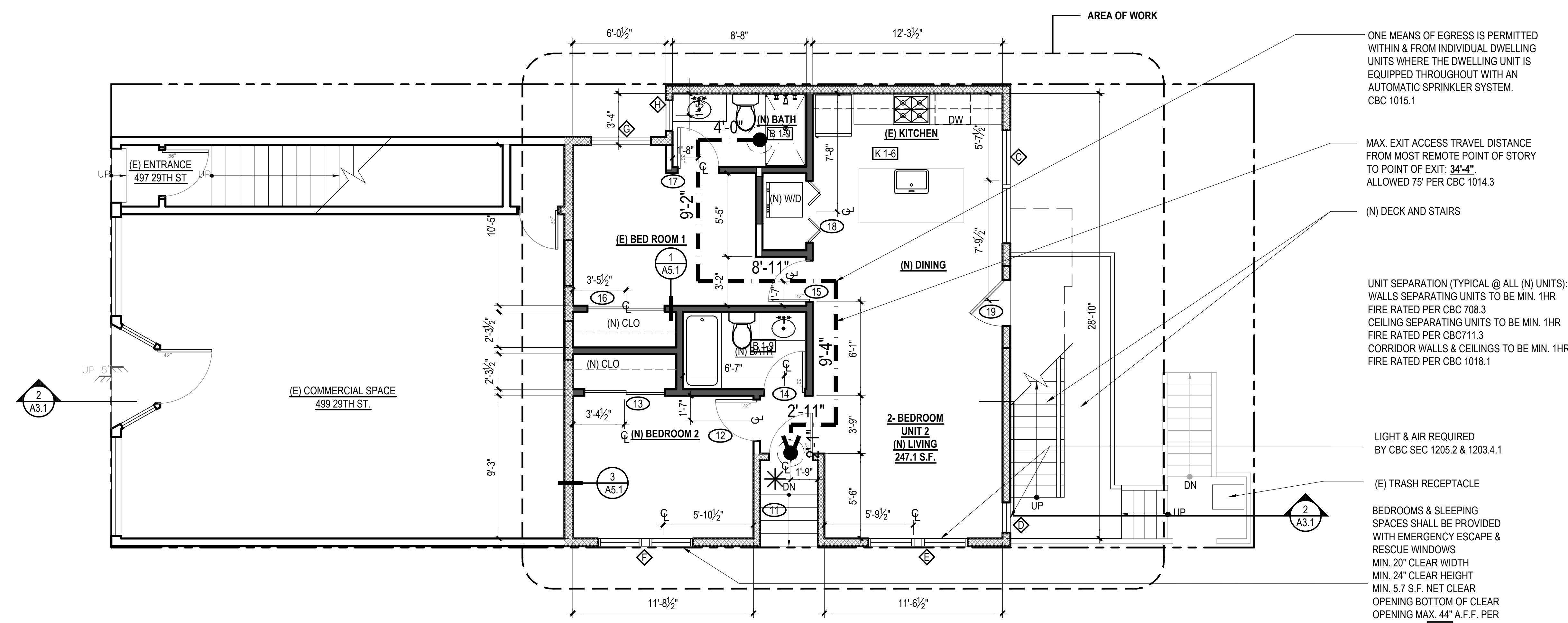
DRAWN BY: JC
DATE: 06.29.17
SHEET TITLE: _____

EXISTING & PROPOSED FIRST FLOOR PLANS

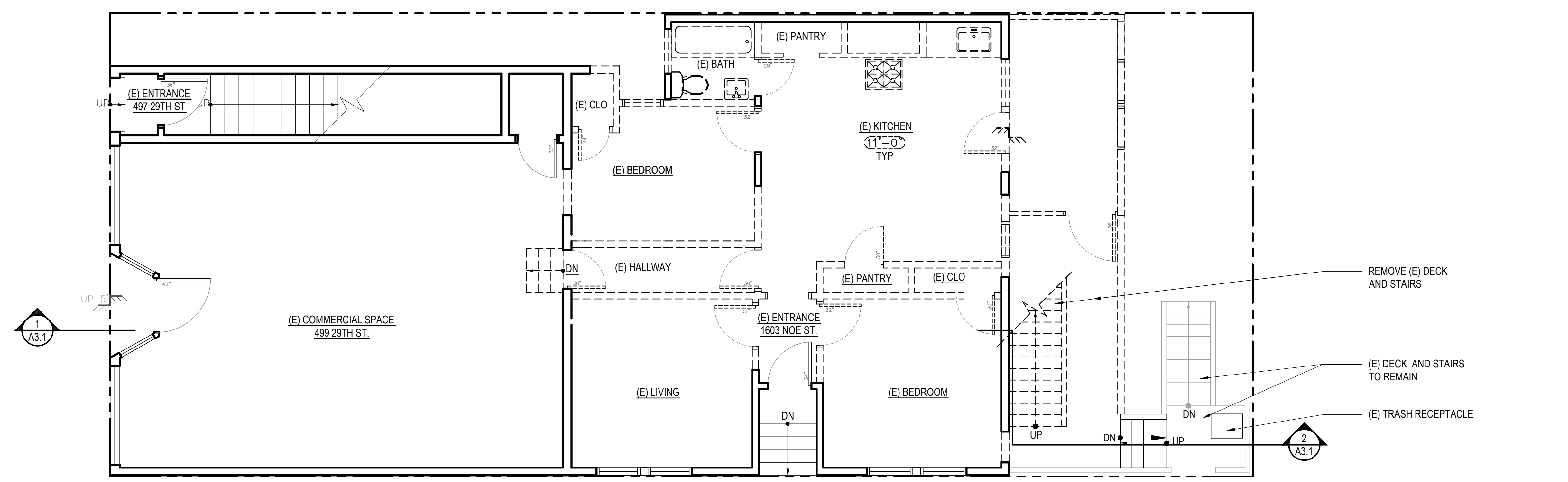
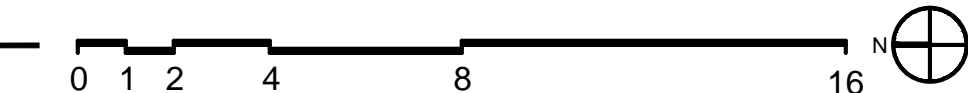
SHEET NUMBER: _____

A1.2

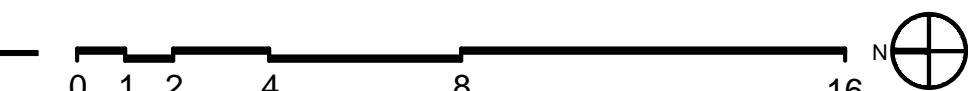
REV #: _____ DATE: _____



2 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 EXISTING/ DEMO FIRST FLOOR PLAN
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BATHROOM PROJECT NOTES

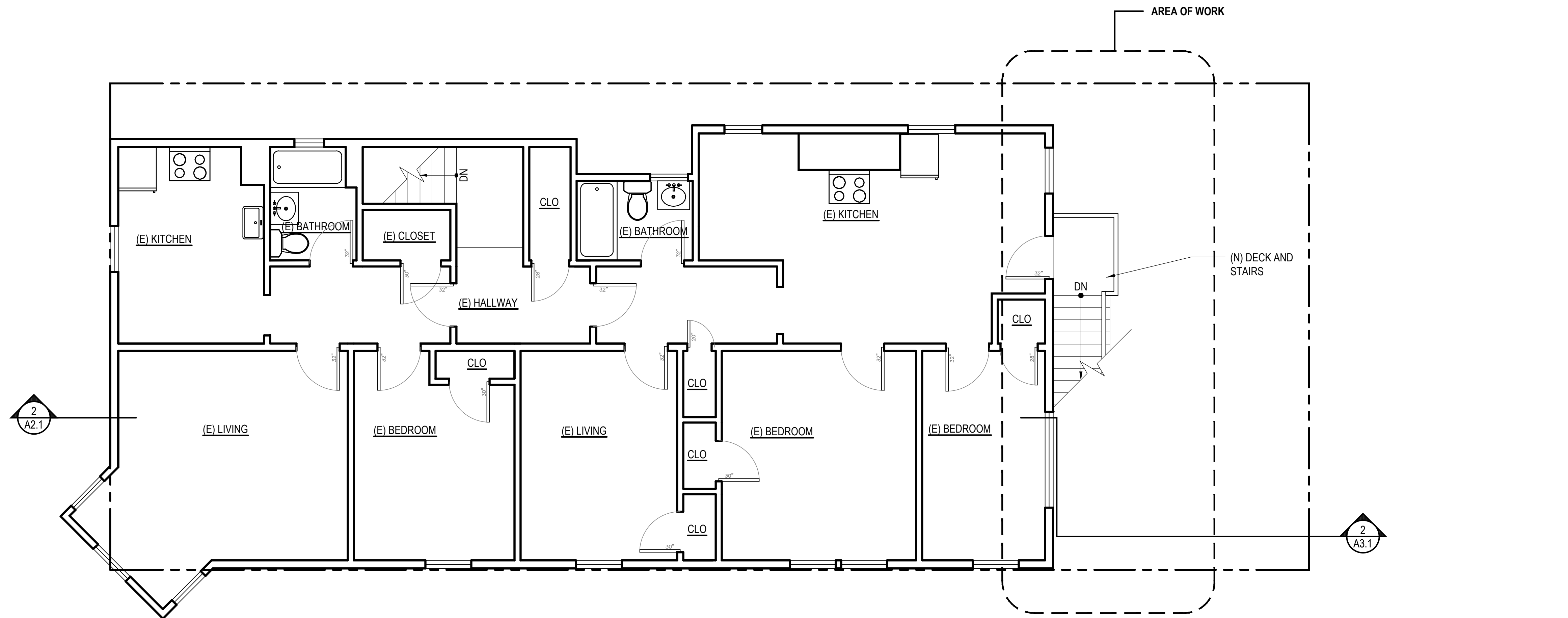
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- B8. BATH & LAUNDRY ROOM FAUCETS SHALL HAVE A MAX. FLOW RATE OF 1.5 GPM MEASURED AT 60 PSI.
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LAUNDRY & MECHANICAL ROOM PROJECT NOTES

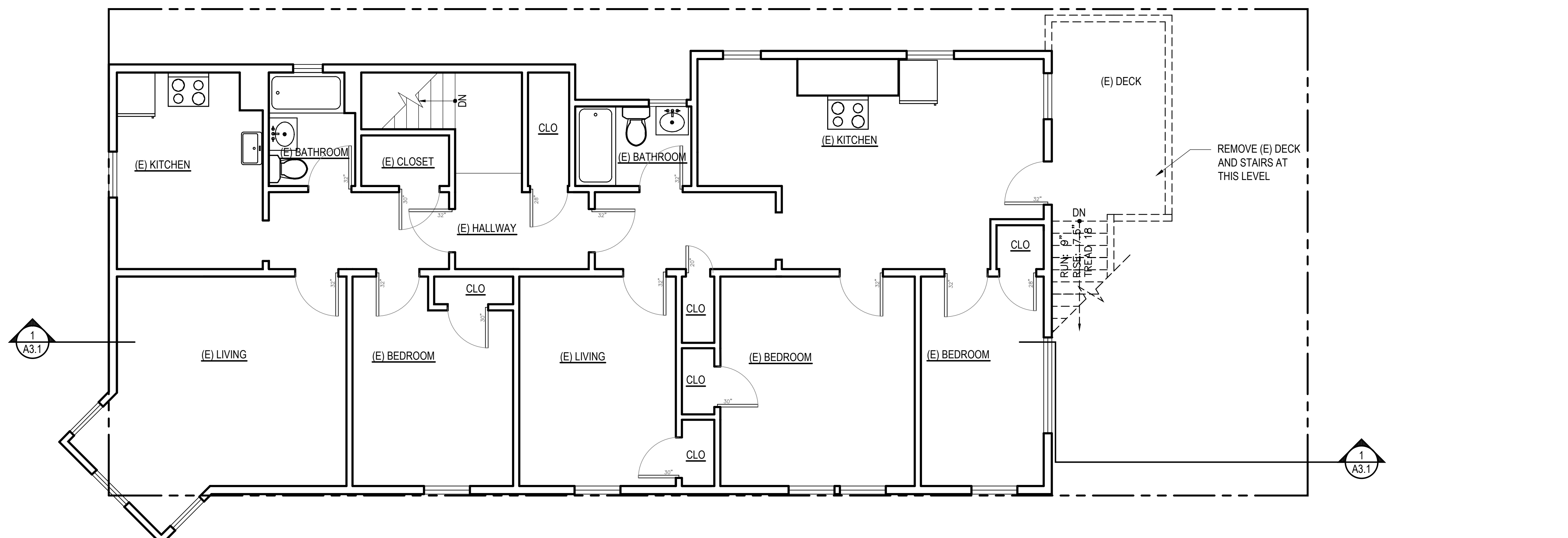
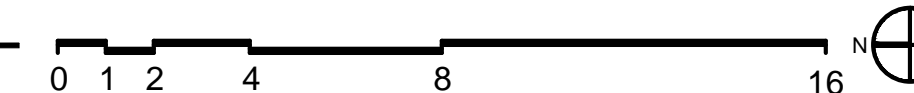
- L1. CLOTHES WASHER: PROVIDE FLUSH MOUNT 'GUY BOX' FOR HOT & COLD WATER & DRAIN CONNECTIONS.
- L2. CONVENTIONAL CLOTHES DRYER: PROVIDE OPENING OF 100 SQ. INCHES MIN. FOR MAKE-UP AIR AT DOORS ENCLOSING APPLIANCE PER CMC 504.3.2. DIRECT EXHAUST TO OUTSIDE USING STEEL, SMOOTH BORE, 4" MIN. DIA. DUCT. PROVIDE WEATHERPROOF CAP & BACKDRAFT DAMPER. TERMINATE VENT MIN. 3'-0" FROM OPERABLE WINDOWS & DOORS PER CMC 504.5. PROVIDE IN-LINE BOOSTER FAN FOR DUCT RUNS OVER 14'-0" IN LENGTH. PROVIDE GAS SHUTOFF VALVE IN APPROVED LOCATION. CONDENSING DRYERS TO HAVE DRAIN & DRAIN PAN.
- L3. PROVIDE DRAIN PAN @ TANK WATER HEATERS AND CLOTHES WASHERS INSTALLED OVER LIVING SPACE.
- L4. WATER HEATER TO BE PROVIDED WITH SEISMIC STRAPPING PER CPC 510.5
- L5. ROOMS CONTAINING GAS CONSUMING SPACE AND WATER HEATING EQUIPMENT SHALL BE PROVIDED WITH COMBUSTION AIR OPENINGS IN COMPLIANCE WITH CMC CHAPTER 7.

PLAN LEGEND

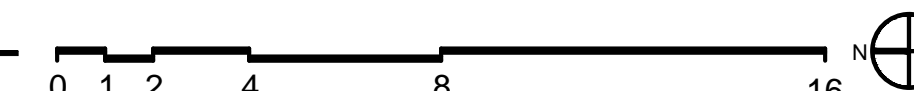
- EXISTING WALL
- DEMOLISHED WALL
- 20 MIN. DOOR
- NEW 1 HOUR WALL
- NEW INTERIOR WALL
- EXIT PATH



2 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 EXISTING/ DEMO SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



UNIT ADDITION

497 29th St.
San Francisco, CA
94131
Block: 6631 Lot: 049

ISSUE: DATE:

DRAWN BY: JC
DATE: 06.29.17
SHEET TITLE:

EXISTING & PROPOSED SECOND FLOOR PLANS

SHEET NUMBER:

A1.3

REV #: DATE:

FLOOR PLAN KEYNOTES

- DRAWING SET GENERAL NOTES**
- SEE SHEET A0.0 FOR GENERAL CONSTRUCTION NOTES
 - SEE SHEET EMP1.1 FOR ELECTRICAL & MECHANICAL NOTES & PLANS
 - DIMENSIONS SHOWN IN PLANS AND ELEVATIONS ARE TAKEN FROM FACE OF WALLBOARD AT INTERIOR WALLS AND FACE OF EXTERIOR FINISH AT EXTERIOR WALLS, U.O.N.
- DOORS, WINDOW AND SKYLIGHT PROJECT NOTES**
- PRIMARY EXIT DOORS SHALL MEET THE REQUIREMENTS OF CBC SECTION 1008 FOR SIZE, PROJECTIONS INTO CLEAR WIDTH OF EGRESS PATH, DOOR SWING, & OPENING FORCE.
 - DOORS SHALL BE PROVIDED WITH A MIN. 36" X 36" LEVEL LANDING ON EACH SIDE OF THE DOORS EXCEPT AS FOLLOWS: LANDINGS AT THE EXTERIOR SIDE OF A DOOR MAY BE A MAX. OF 7" BELOW THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING. FOR DOORS THAT SWING OVER THE LANDING THE MAX. DISTANCE BELOW THE THRESHOLD IS 2" PER CBC 1008.1.5. SLIDING GLASS DOORS SHALL HAVE A MAX. 2" LEVEL CHANGE FROM THRESHOLD.
 - DOORWAY BETWEEN GARAGES & HABITABLE SPACE SHALL BE PROVIDED WITH EITHER SOLID WOOD DOORS OR SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 1/2" THICK & PROVIDED WITH SELF CLOSING AND SELF LATCHING HARDWARE.
 - PROVIDE LISTED, GASKETED DOORS w/ LISTED SELF CLOSING DEVICE & BOTTOM SEAL AT THRESHOLD PER CMC 904.1 WHERE COMPARTMENTS CONTAINING FURNACES & BOILERS ARE INSTALLED IN BEDROOMS OR BATHROOMS.
 - (N) WINDOWS PER WINDOW SCHEDULE INCLUDED IN THIS DRAWING SET SHALL COMPLY WITH TITLE 24 REQUIREMENTS. SEE SCHEDULE FOR ADDITIONAL NOTES. EMERGENCY ESCAPE & RESCUE WINDOWS REQUIRED AT SLEEPING AREAS SHALL MEET THE FOLLOWING REQUIREMENTS: MIN. 5' CLEAR OPENING, MIN. 24" CLEAR HEIGHT, MIN. 20" CLEAR WIDTH, SILL HEIGHT MAX. 44" AFF.

	LIGHT / AIR REQUIRED BY CBC SEC 1205.2 & 1203.4.1		
	LIVING AREA	BEDROOM 1	BEDROOM 2
UNIT #1	454 SF	131.1 SF	--
LIGHT 8%	36.32 SF	10.48 SF	--
LIGHT PROV.	51.53 SF	41.53 SF	--
AIR 4%	18.16 SF	6.84 SF	--
AIR PROV.	46.53 SF	41.53 SF	--
UNIT #2	363 SF	123.2 SF	108.3 SF
LIGHT 8%	29.04 SF	9.85 SF	8.66 SF
LIGHT PROV.	92 SF	30.8 SF	19.4 SF
AIR 4%	14.52 SF	4.92 SF	4.33 SF
AIR PROV.	46 SF	15.4 SF	9.7 SF

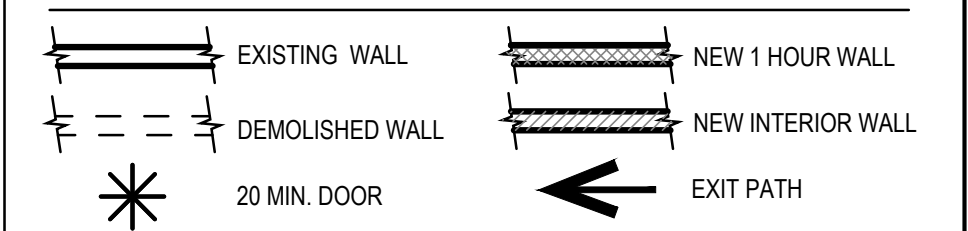
- WINDOWS IN LOCATIONS SUBJECT TO HUMAN IMPACT LOADS SHALL BE PROVIDED WITH SAFETY GLAZING INSTALLED IN ACCORDANCE WITH CBC 2406 & 2407.

- K1-8 KITCHEN PROJECT NOTES**
- KITCHEN FAUCETS SHALL HAVE A MAX. FLOW RATE OF 1.5 G.P.M MEASURED AT 60 PSI.
 - GARBAGE DISPOSAL UNITS AT KITCHEN SINKS SHALL BE PROVIDED WITH REQUIRED AIR GAP.
 - GAS COOKING APPLIANCES SHALL BE UL LISTED & INSTALLED PER MANUF. INSTRUCTIONS. PROVIDE GAS SHUT-OFF VALVE IN APPROVED, ACCESSIBLE LOCATION.
 - RESIDENTIAL RANGEHOOD EXHAUST PER CMC 403.7, SHALL MEET REQUIREMENTS OF CMC 504.2. EXHAUST TERMINATION SHALL BE LOCATED AT LEAST 3'-0" AWAY FROM PROPERTY LINES AND BUILDING OPENINGS & BE PROVIDED WITH WEATHERPROOF BACKDRAFT DAMPER. WHERE REMOTE EXHAUST OR BOOSTER FANS ARE REQUIRED, FAN SHALL BE ON DEDICATED CIRCUIT.
 - UPPER CABINETS SHALL BE MIN. 30" ABOVE COOKING TOP PER CMC 916.1.2. PROVIDE THE COOKING APPLIANCE MIN. CLEARANCE TO COMBUSTIBLES PER CMC 916.1.
 - (N) DISHWASHERS SHALL BE PROVIDED WITH REQUIRED AIRGAP, HOT WATER STUB & DEDICATED CIRCUIT.
 - (N) APPLIANCES TO BE UL LISTED AND INSTALLED PER MANUF. INSTRUCTIONS. INSTALLING CONTRACTOR SHALL COORDINATE ALL ELECTRICAL AND PLUMBING REQUIREMENTS WITH MANUF. SPECIFICATIONS.
 - (N) CABINETRY AND NONPOROUS COUNTERTOPS THROUGHOUT, U.O.N.

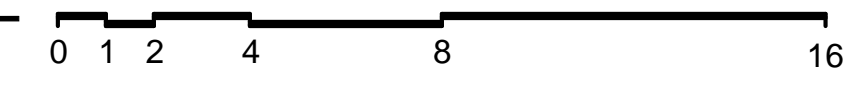
- B1-9 BATHROOM PROJECT NOTES**
- (N) NONPOROUS SLAB COUNTERTOP & SPLASH.
 - GLASS SHOWER ENCLOSURES SAFETY GLAZING SUBJECT TO HUMAN IMPACT LOADS INSTALLED IN ACCORDANCE W/ CBC 2406 & 2407. SHOWER DOORS SHALL PROVIDE MIN 22" CLEAR OPENING WIDTH, PER CPC 408.5.
 - SHOWER COMPARTMENTS & WALLS ABOVE TUBS w/ SHOWERHEADS SHALL BE FINISHED WITH A SMOOTH NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 70" ABOVE DRAIN INLET. CBC 1210.3
 - NONPAPER-FACED BACKER BOARD TO BE USED IN ALL TUB, SHOWER & SPA AREAS. (WATER-RESISTANT TO A HEIGHT AS INDICATED ABOVE).
 - SHOWER PER CPC 408. MIN FLOOR AREA OF 1024 SQUARE INCHES & CAPABLE OF ENCOMPASSING A 30" CIRCLE. THE AREA & DIMENSION SHALL BE MAINTAINED TO A POINT NOT LESS THAN 70" ABOVE THE SHOWER DRAIN. DRAIN INLET MIN. 2" MAX. 9" BELOW THRESHOLD INTO SHOWER.
 - SHOWER HEADS SHALL HAVE A MAX. FLOW RATE OF 2.0 GPM MEASURED AT 80 PSI. SHOWER VALVES & HEADS SHALL BE PLACED INSIDE SHOWER COMPARTMENT SUCH THAT SHOWER HEAD DOES NOT DISCHARGE DIRECTLY TOWARD THE ENTRANCE OF THE COMPARTMENT AND THE BATHER CAN ADJUST VALVES PRIOR TO STEPPING INTO SHOWER SPRAY.
 - WATER CLOSET PER CBC 2903 CENTERED WITHIN 30" WIDE CLEAR SPACE. TOILETS SHALL HAVE MAX. 1.28 GPF WATER CONSUMPTION.
 - BATH & LAUNDRY ROOM FAUCETS SHALL HAVE A MAX. FLOW RATE OF 1.5 GPM MEASURED AT 60 PSI.
 - PROVIDE EXHAUST FAN CAPABLE OF PROVIDING 5 AIR CHANGES PER HOUR. VENT TO OUTSIDE. PROVIDE BACKDRAFT DAMPER.

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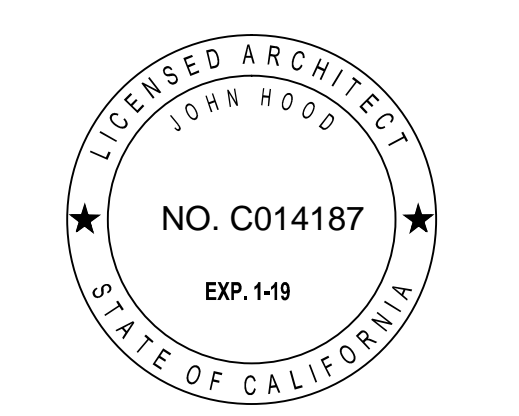
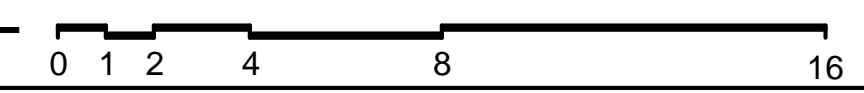
PLAN LEGEND



2 PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



1 EXISTING/ DEMO WEST ELEVATION
SCALE: 1/4" = 1'-0"



UNIT ADDITION

497 29th St.
San Francisco, CA
94131
Block: 6631 Lot: 049

ISSUE: _____ DATE: _____

DRAWN BY: **JC**
DATE: **06.29.17**
SHEET TITLE:

**EXISTING/
PROPOSED
WEST
ELEVATIONS**

SHEET NUMBER:

A2.1

REV #: _____ DATE: _____

FLOOR PLAN KEYNOTES

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LIGHT / AIR REQUIRED BY CBC SEC 1205.2 & 1203.4.1			
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AIR PROV.	46.53 SF	41.53 SF	--
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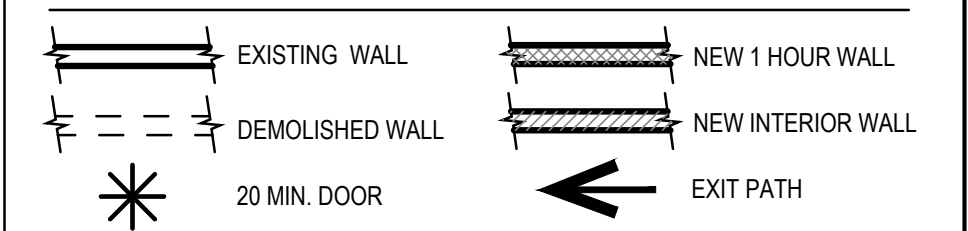
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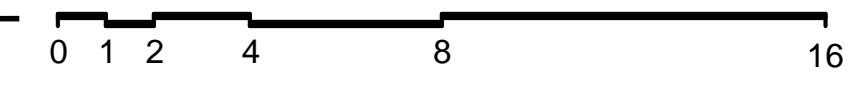
L1-5 LAUNDRY & MECHANICAL ROOM PROJECT NOTES

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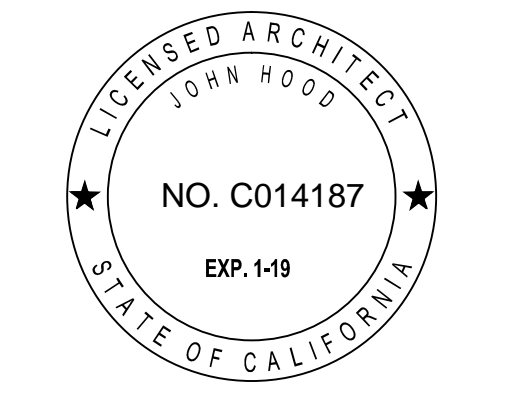
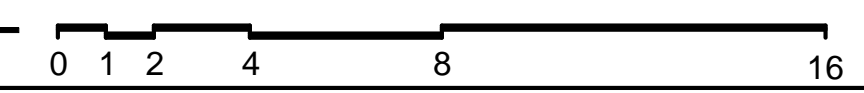
PLAN LEGEND



2 PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



1 EXISTING/ DEMO WEST ELEVATION
SCALE: 1/4" = 1'-0"



UNIT ADDITION

497 29th St.
San Francisco, CA
94131
Block: 6631 Lot: 049

ISSUE: _____ DATE: _____

DRAWN BY: **JC**
DATE: **06.29.17**

**EXISTING/
PROPOSED
WEST
ELEVATIONS
W/O (E) FENCE**

SHEET NUMBER: _____

A2.1A

REV #: _____ DATE: _____

FLOOR PLAN KEYNOTES

- DRAWING SET GENERAL NOTES**
 1.1 SEE SHEET A0.0 FOR GENERAL CONSTRUCTION NOTES
 1.2 SEE SHEET EMP.1.1 FOR ELECTRICAL & MECHANICAL NOTES & PLANS
 1.3 DIMENSIONS SHOWN IN PLANS AND ELEVATIONS ARE TAKEN FROM FACE OF WALLBOARD AT INTERIOR WALLS AND FACE OF EXTERIOR FINISH AT EXTERIOR WALLS, U.O.N.

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 D2. DOORS SHALL BE PROVIDED WITH A MIN. 36" X 36" LEVEL LANDING ON EACH SIDE OF THE DOORS EXCEPT AS FOLLOWS: LANDINGS AT THE EXTERIOR SIDE OF A DOOR MAY BE A MAX. OF 7" BELOW THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING. FOR DOORS THAT SWING OVER THE LANDING THE MAX. DISTANCE BELOW THE THRESHOLD IS 3/8" PER CBC 1008.1.5. SLIDING GLASS DOORS SHALL HAVE A MAX. 3/8" LEVEL CHANGE FROM THRESHOLD.
 D3. DOORWAY BETWEEN GARAGES & HABITABLE SPACE SHALL BE PROVIDED WITH EITHER SOLID WOOD DOORS OR SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK & PROVIDED WITH SELF CLOSING AND SELF LATCHING HARDWARE.
 D4. PROVIDE LISTED, GASKETED DOORS W/ LISTED SELF CLOSING DEVICE & BOTTOM SEAL AT THRESHOLD PER CMC 904.1 WHERE COMPARTMENTS CONTAINING FURNACES & BOILERS ARE INSTALLED IN BEDROOMS OR BATHROOMS.
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	LIVING AREA	BEDROOM 1	BEDROOM 2
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 K3. GAS COOKING APPLIANCES SHALL BE UL LISTED & INSTALLED PER MANUF. INSTRUCTIONS. PROVIDE GAS SHUT-OFF VALVE IN APPROVED, ACCESSIBLE LOCATION.
 K4. RESIDENTIAL RANGEHOOD EXHAUST PER CMC 403.7, SHALL MEET REQUIREMENTS OF CMC 504.2, EXHAUST TERMINATION SHALL BE LOCATED AT LEAST 3'-0" AWAY FROM PROPERTY LINES AND BUILDING OPENINGS & BE PROVIDED WITH WEATHERPROOF BACKDRAFT DAMPER. WHERE REMOTE EXHAUST OR BOOSTER FANS ARE REQUIRED, FAN SHALL BE ON DEDICATED CIRCUIT.
 K5. UPPER CABINETS SHALL BE MIN. 30" ABOVE COOKING TOP PER CMC 916.1.2. PROVIDE THE COOKING APPLIANCE MIN. CLEARANCE TO COMBUSTIBLES PER CMC 916.1.
 K6. (N) DISHWASHERS SHALL BE PROVIDED WITH REQUIRED AIRGAP, HOT WATER STUB & DEDICATED CIRCUIT.
 K7. (N) APPLIANCES TO BE UL LISTED AND INSTALLED PER MANUF. INSTRUCTIONS. INSTALLING CONTRACTOR SHALL COORDINATE ALL ELECTRICAL AND PLUMBING REQUIREMENTS WITH MANUF. SPECIFICATIONS.
 K8. (N) CABINETRY AND NONPOROUS COUNTERTOPS THROUGHOUT, U.O.N.

B1-9 | BATHROOM PROJECT NOTES

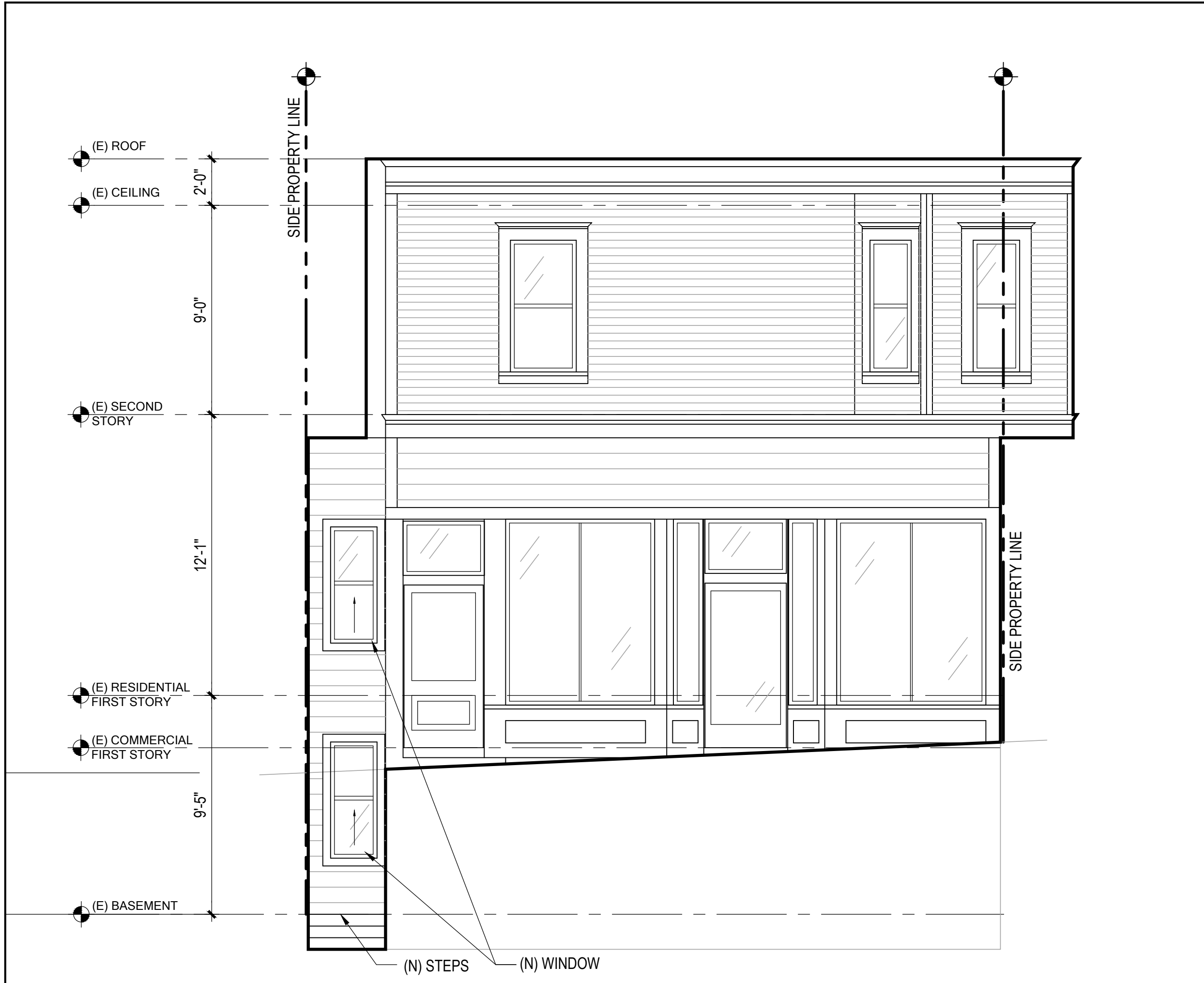
- B1. (N) NONPOROUS SLAB COUNTERTOP & SPLASH.
 B2. GLASS SHOWER ENCLOSURES SAFETY GLAZING SUBJECT TO HUMAN IMPACT LOADS SHALL BE INSTALLED IN ACCORDANCE WITH CBC 2408 & 2407. SHOWER DOORS SHALL PROVIDE MIN 22" CLEAR OPENING WIDTH. PER CPC 408.5.
 B3. SHOWER COMPARTMENTS & WALLS ABOVE TUBS w/ SHOWERHEADS SHALL BE FINISHED WITH A SMOOTH NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 70" ABOVE DRAIN INLET. CBC 1210.3
 A. NONPAPER-FACED BACKER BOARD TO BE USED IN ALL TUB SHOWER & SPA AREAS. WATER-RESISTANT TO A HEIGHT AS INDICATED ABOVE.
 B4. SHOWER PER CPC 408. MIN FLOOR AREA OF 1024 SQUARE INCHES & CAPABLE OF ENCOMPASSING A 30" CIRCLE. THE AREA & DIMENSION SHALL BE MAINTAINED TO A POINT NOT LESS THAN 70" ABOVE THE SHOWER DRAIN. DRAIN INLET MIN. 2" MAX. 9" BELOW THRESHOLD INTO SHOWER.
 B5. SHOWER HEADS SHALL HAVE A MAX. FLOW RATE OF 2.0 GPM MEASURED AT 80 PSI. SHOWER VALVES & HEADS SHALL BE PLACED INSIDE SHOWER COMPARTMENT SUCH THAT SHOWER HEAD DOES NOT DISCHARGE DIRECTLY TOWARD THE ENTRANCE OF THE COMPARTMENT AND THE BATHER CAN ADJUST VALVES PRIOR TO STEPPING INTO SHOWER SPRAY.
 B7. WATER CLOSET PER CBC 2903. CENTERED WITHIN 30" WIDE CLEAR SPACE. TOILETS SHALL HAVE MAX. 1.28 GPF WATER CONSUMPTION.
 B8. BATH & LAUNDRY ROOM FAUCETS SHALL HAVE A MAX. FLOW RATE OF 1.5 GPM MEASURED AT 80 PSI.
 B9. PROVIDE EXHAUST FAN CAPABLE OF PROVIDING 5 AIR CHANGES PER HOUR. VENT TO OUTSIDE. PROVIDE BACKDRAFT DAMPER.

L1-5 | LAUNDRY & MECHANICAL ROOM PROJECT NOTES

- L1. CLOTHES WASHER: PROVIDE FLUSH MOUNT "GUY BOX" FOR HOT & COLD WATER & DRAIN CONNECTIONS.
 L2. CONVENTIONAL CLOTHES DRYER: PROVIDE OPENING OF 100 SQ. INCHES MIN. FOR MAKE-UP AIR AT DOORS ENCLOSING APPLIANCE PER CMC 504.3.2. DIRECT EXHAUST TO OUTSIDE USING STEEL, SMOOTH BORE, 4" MIN. DIA. DUCT. PROVIDE WEATHERPROOF CAP & BACKDRAFT DAMPER. TERMINATE VENT MIN. 3'-0" FROM OPERABLE WINDOWS & DOORS PER CMC 504.5. PROVIDE IN-LINE BOOSTER FAN FOR DUCT RUNS OVER 14'-0" IN LENGTH. PROVIDE GAS SHUTOFF VALVE IN APPROVED LOCATION. CONDENSING DRYERS TO HAVE DRAIN & DRAIN PAN.
 L3. PROVIDE DRAIN PAN @ TANK WATER HEATERS AND CLOTHES WASHERS INSTALLED OVER LIVING SPACE.
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 L5. ROOMS CONTAINING GAS CONSUMING SPACE AND WATER HEATING EQUIPMENT SHALL BE PROVIDED WITH COMBUSTION AIR OPENINGS IN COMPLIANCE WITH CMC CHAPTER 7.

PLAN LEGEND

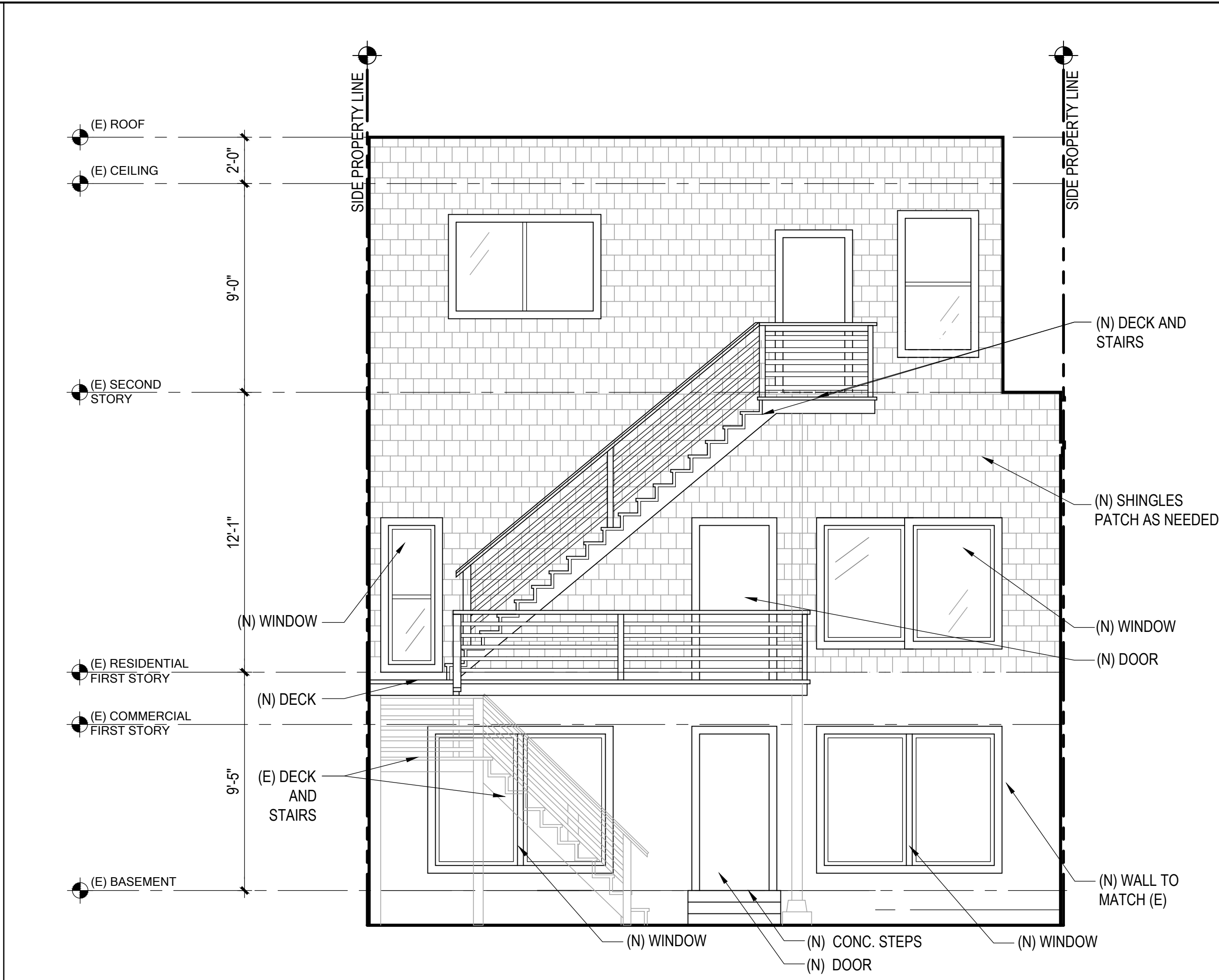
- EXISTING WALL NEW 1 HOUR WALL
 DEMOLISHED WALL NEW INTERIOR WALL
 20 MIN. DOOR EXIT PATH



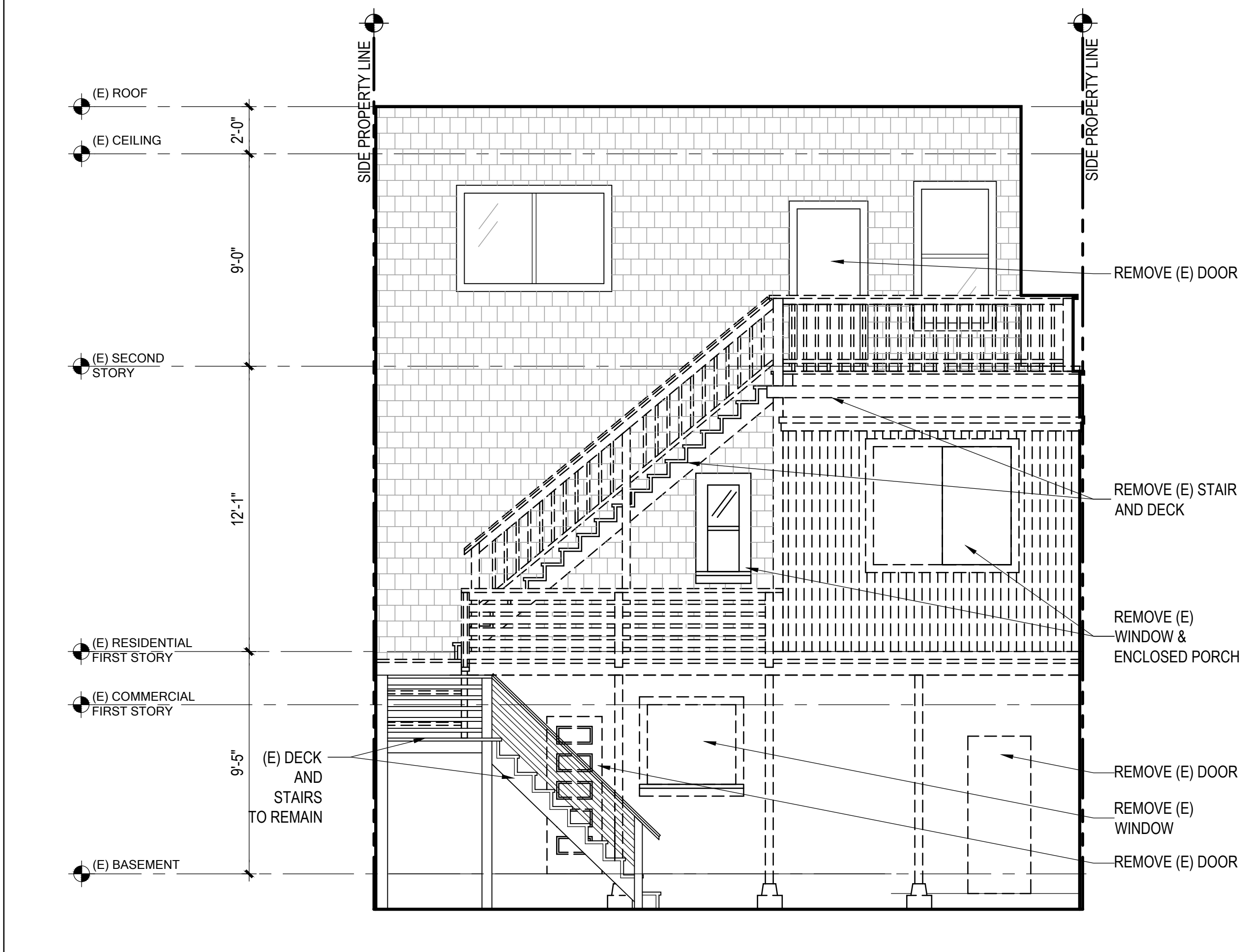
4 PROPOSED NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



3 EXISTING/DEMO NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



1 EXISTING/DEMO SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

UNIT ADDITION

497 29th St.
San Francisco, CA
 94131
 Block: 6631 Lot: 049

ISSUE:	DATE:

DRAWN BY: JC
 DATE: 06.29.17
 SHEET TITLE:

**EXISTING/
 PROPOSED
 NORTH & SOUTH
 ELEVATIONS**

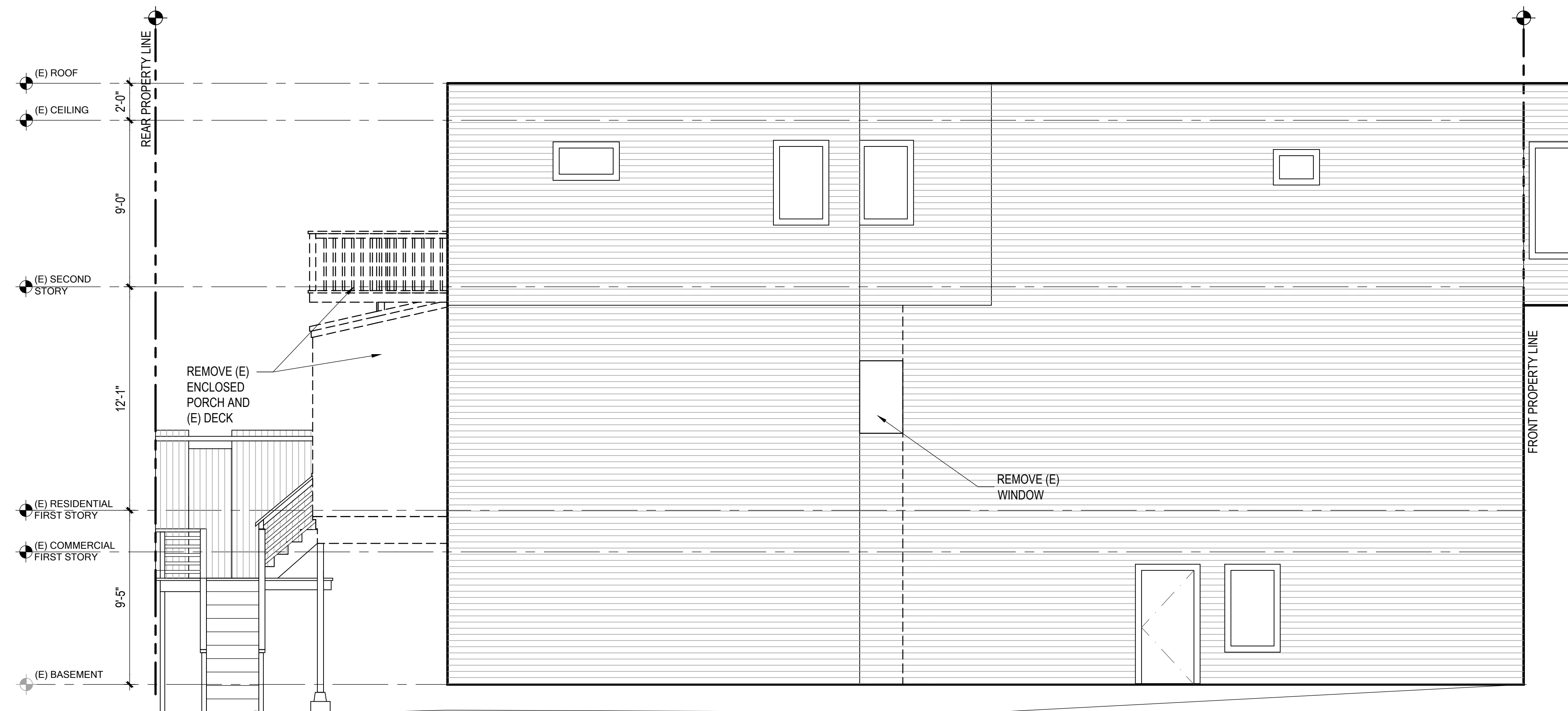
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A2.2

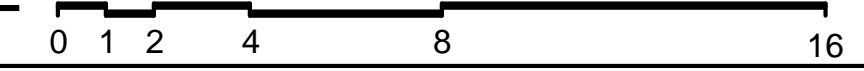
REV #: DATE:



2 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



1 EXISTING/DEMO EAST ELEVATION
SCALE: 1/4" = 1'-0"



FLOOR PLAN KEYNOTES

DRAWING SET GENERAL NOTES

- 1.1 SEE SHEET A0.0 FOR GENERAL CONSTRUCTION NOTES
- 1.2 SEE SHEET EMP.1.1 FOR ELECTRICAL & MECHANICAL NOTES & PLANS
- 1.3 DIMENSIONS SHOWN IN PLANS AND ELEVATIONS ARE TAKEN FROM FACE OF WALLBOARD AT INTERIOR WALLS AND FACE OF EXTERIOR FINISH AT EXTERIOR WALLS, U.O.N.

DOORS, WINDOW AND SKYLIGHT PROJECT NOTES

- D1. PRIMARY EXIT DOORS SHALL MEET THE REQUIREMENTS OF CBC SECTION 1008 FOR SIZE, PROJECTIONS INTO CLEAR WIDTH OF EGRESS PATH, DOOR SWING, & OPENING FORCE
- D2. DOORS SHALL BE PROVIDED WITH A MIN. 36" X 36" LEVEL LANDING ON EACH SIDE OF THE DOORS EXCEPT AS FOLLOWS: LANDINGS AT THE EXTERIOR SIDE OF A DOOR MAY BE A MAX. OF 7 1/2" BELOW THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING. FOR DOORS THAT SWING OVER THE LANDING THE MAX. DISTANCE BELOW THE THRESHOLD IS 3/4" PER CBC 1008.1.5. SLIDING GLASS DOORS SHALL HAVE A MAX. 3/4" LEVEL CHANGE FROM THRESHOLD.
- D3. DOORWAY BETWEEN GARAGES & HABITABLE SPACE SHALL BE PROVIDED WITH EITHER SOLID WOOD DOORS OR SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK & PROVIDED WITH SELF CLOSING AND SELF LATCHING HARDWARE.
- D4. PROVIDE LISTED, GASKETED DOORS w/ LISTED SELF CLOSING DEVICE & BOTTOM SEAL AT THRESHOLD PER CMC 904.1 WHERE COMPARTMENTS CONTAINING FURNACES & BOILERS ARE INSTALLED IN BEDROOMS OR BATHROOMS.
- W1. (N) WINDOWS PER WINDOW SCHEDULE INCLUDED IN THIS DRAWING SET SHALL COMPLY WITH TITLE 24 REQUIREMENTS. SEE SCHEDULE FOR ADDITIONAL NOTES.
- W2. EMERGENCY ESCAPE & RESCUE WINDOWS REQUIRED AT SLEEPING AREAS SHALL MEET THE FOLLOWING REQUIREMENTS: MIN. 5.7' CLEAR OPENING, MIN. 24" CLEAR HEIGHT, MIN. 20" CLEAR WIDTH, SILL HEIGHT MAX. 44" AFF.

LIGHT / AIR REQUIRED BY CBC SEC 1205.2 & 1203.4.1

	LIVING AREA	BEDROOM 1	BEDROOM 2
UNIT #1	454 SF	131.1 SF	--
LIGHT 8%	36.32 SF	10.48 SF	--
LIGHT PROV.	51.53 SF	41.53 SF	--
AIR 4%	18.16 SF	6.84 SF	--
AIR PROV.	46.53 SF	41.53 SF	--
UNIT #2	363 SF	123.2 SF	108.3 SF
LIGHT 8%	29.04 SF	9.85 SF	8.66 SF
LIGHT PROV.	92 SF	30.8 SF	19.4 SF
AIR 4%	14.52 SF	4.92 SF	4.33 SF
AIR PROV.	46 SF	15.4 SF	9.7 SF

BEDROOMS & SLEEPING SPACES SHALL BE PROVIDED WITH EMERGENCY ESCAPE & RESCUE WINDOWS
MIN. 20" CLEAR WIDTH
MIN. 24" CLEAR HEIGHT
MIN. 5.7 S.F. NET CLEAR OPENING BOTTOM OF CLEAR OPENING MAX. 44" A.F.F. PER CBC 1029.1 **W2**

- W3. WINDOWS IN LOCATIONS SUBJECT TO HUMAN IMPACT LOADS SHALL BE PROVIDED WITH SAFETY GLAZING INSTALLED IN ACCORDANCE WITH CBC 2406 & 2407.

K1-8 KITCHEN PROJECT NOTES

- K1. KITCHEN FAUCETS SHALL HAVE A MAX. FLOW RATE OF 1.5 G.P.M MEASURED AT 60 PSI.
- K2. GARBAGE DISPOSAL UNITS AT KITCHEN SINKS SHALL BE PROVIDED WITH REQUIRED AIR GAP.
- K3. GAS COOKING APPLIANCES SHALL BE UL LISTED & INSTALLED PER MANUF. INSTRUCTIONS. PROVIDE GAS SHUT-OFF VALVE IN APPROVED, ACCESSIBLE LOCATION.
- K4. RESIDENTIAL RANGEHOOD EXHAUST PER CMC 403.7. SHALL MEET REQUIREMENTS OF CMC 504.2. EXHAUST TERMINATION SHALL BE LOCATED AT LEAST 3'-0" AWAY FROM PROPERTY LINES AND BUILDING OPENINGS & BE PROVIDED WITH WEATHERPROOF BACKDRAFT DAMPER. WHERE REMOTE EXHAUST OR BOOSTER FANS ARE REQUIRED, FAN SHALL BE ON DEDICATED CIRCUIT.
- K5. UPPER CABINETS SHALL BE MIN. 30" ABOVE COOKING TOP PER CMC 916.1.2. PROVIDE THE COOKING APPLIANCE MIN. CLEARANCE TO COMBUSTIBLES PER CMC 916.1.
- K6. (N) DISHWASHERS SHALL BE PROVIDED WITH REQUIRED AIRGAP, HOT WATER STUB & DEDICATED CIRCUIT.
- K7. (N) APPLIANCES TO BE UL LISTED AND INSTALLED PER MANUF. INSTRUCTIONS. INSTALLING CONTRACTOR SHALL COORDINATE ALL ELECTRICAL AND PLUMBING REQUIREMENTS WITH MANUF. SPECIFICATIONS.
- K8. (N) CABINETRY AND NONPOROUS COUNTERTOPS THROUGHOUT, U.O.N.

B1-9 BATHROOM PROJECT NOTES

- B1. (N) NONPOROUS SLAB COUNTERTOP & SPLASH.
- B2. GLASS SHOWER ENCLOSURES SAFETY GLAZING SUBJECT TO HUMAN IMPACT LOADS INSTALLED IN ACCORDANCE W/ CBC 2406 & 2407. SHOWER DOORS SHALL PROVIDE MIN 22" CLEAR OPENING WIDTH. PER CPC 408.5.
- B3. SHOWER COMPARTMENTS & WALLS ABOVE TUBS w/ SHOWERHEADS SHALL BE FINISHED WITH A SMOOTH NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 70" ABOVE DRAIN INLET. CBC 1210.3
A. NONPAPER-FACED BACKER BOARD TO BE USED IN ALL TUB SHOWER & SPA AREAS. (WATER-RESISTANT TO A HEIGHT AS INDICATED ABOVE).
- B4. SHOWER PER CPC 408. MIN FLOOR AREA OF 1024 SQUARE INCHES & CAPABLE OF ENCOMPASSING A 30" CIRCLE. THE AREA & DIMENSION SHALL BE MAINTAINED TO A POINT NOT LESS THAN 70" ABOVE THE SHOWER DRAIN. DRAIN INLET MIN. 2" MAX. 9" BELOW THRESHOLD INTO SHOWER.
- B5. SHOWER HEADS SHALL HAVE A MAX. FLOW RATE OF 2.0 GPM MEASURED AT 80 PSI. SHOWER VALVES & HEADS SHALL BE PLACED INSIDE SHOWER COMPARTMENT SUCH THAT SHOWER HEAD DOES NOT DISCHARGE DIRECTLY TOWARD THE ENTRANCE OF THE COMPARTMENT AND THE BATHER CAN ADJUST VALVES PRIOR TO STEPPING INTO SHOWER SPRAY.
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- B9. PROVIDE EXHAUST FAN CAPABLE OF PROVIDING 5 AIR CHANGES PER HOUR. VENT TO OUTSIDE. PROVIDE BACKDRAFT DAMPER

L1-5 LAUNDRY & MECHANICAL ROOM PROJECT NOTES

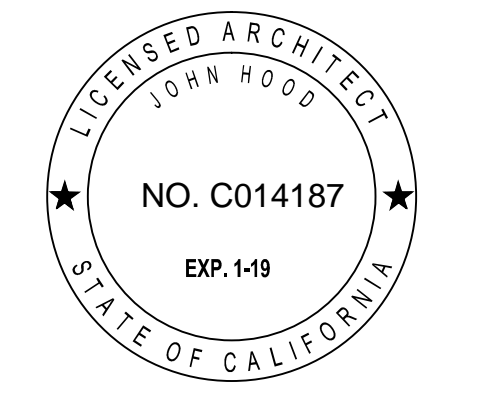
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PLAN LEGEND

- EXISTING WALL
- DEMOLISHED WALL
- 20 MIN. DOOR
- NEW 1 HOUR WALL
- NEW INTERIOR WALL
- EXIT PATH



440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105
P: 415 943-3005 F: 415 946-3336
WWW.HOODTHOMAS.COM



UNIT ADDITION

497 29th St.
San Francisco, CA
94131
Block: 6631 Lot: 049

ISSUE: _____ DATE: _____

DRAWN BY: **JC**
DATE: **06.29.17**
SHEET TITLE: _____

**EXISTING/
PROPOSED
EAST
ELEVATIONS**

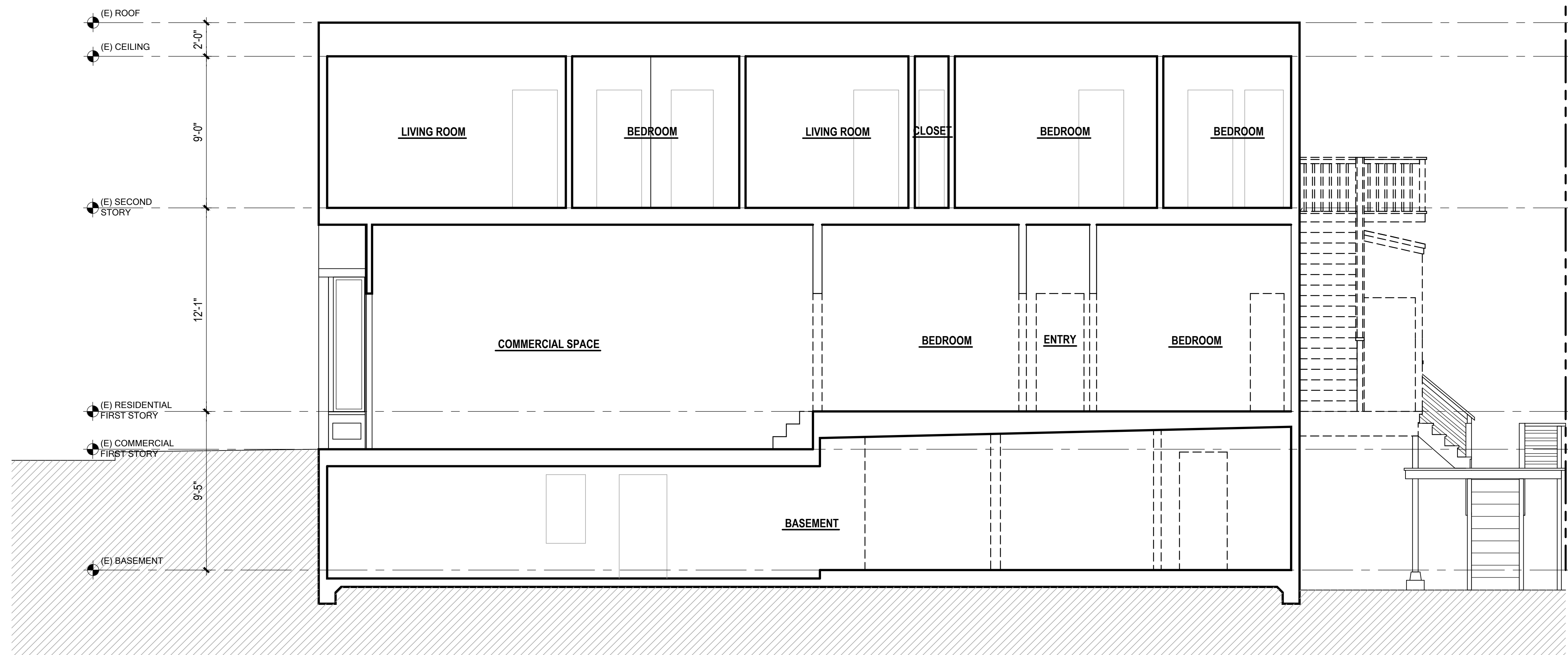
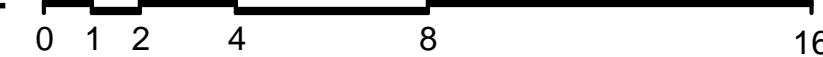
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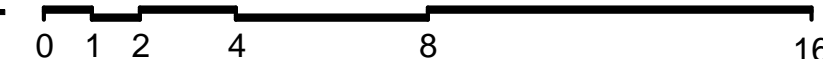
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2 PROPOSED EAST SECTION
SCALE: 1/4" = 1'-0"



1 EXISTING/DEMO EAST SECTION
SCALE: 1/4" = 1'-0"



FLOOR PLAN KEYNOTES

DRAWING SET GENERAL NOTES

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- W2.

LIGHT / AIR REQUIRED BY CBC SEC 1205.2 & 1203.4.1

	LIVING AREA	BEDROOM 1	BEDROOM 2
UNIT #1	454 SF	131.1 SF	--
LIGHT 8%	36.32 SF	10.48 SF	--
LIGHT PROV.	51.53 SF	41.53 SF	--
AIR 4%	18.16 SF	6.84 SF	--
AIR PROV.	46.53 SF	41.53 SF	--
UNIT #2	363 SF	123.2 SF	108.3 SF
LIGHT 8%	29.04 SF	9.85 SF	8.66 SF
LIGHT PROV.	92 SF	30.8 SF	19.4 SF
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- K4. RESIDENTIAL RANGEHOOD EXHAUST PER CMC 403.7. SHALL MEET REQUIREMENTS OF CMC 504.2. EXHAUST TERMINATION SHALL BE LOCATED AT LEAST 3'-0" AWAY FROM PROPERTY LINES AND BUILDING OPENINGS & BE PROVIDED WITH WEATHERPROOF BACKDRAFT DAMPER. WHERE REMOTE EXHAUST OR BOOSTER FANS ARE REQUIRED, FAN SHALL BE ON DEDICATED CIRCUIT.
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- K6. (N) DISHWASHERS SHALL BE PROVIDED WITH REQUIRED AIRGAP, HOT WATER STUB & DEDICATED CIRCUIT.
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- B2. GLASS SHOWER ENCLOSURES SAFETY GLAZING SUBJECT TO HUMAN IMPACT LOADS INSTALLED IN ACCORDANCE WITH CBC 2406 & 2407. SHOWER DOORS SHALL PROVIDE MIN 22" CLEAR OPENING WIDTH, PER CPC 408.5.
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LI-5 LAUNDRY & MECHANICAL ROOM PROJECT NOTES

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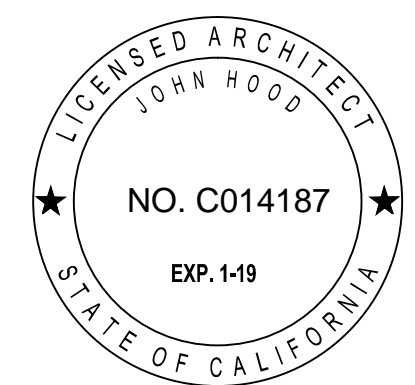
PLAN LEGEND

- EXISTING WALL
- DEMOLISHED WALL
- NEW 1 HOUR WALL
- NEW INTERIOR WALL
- 20 MIN. DOOR
- EXIT PATH

HTA!

HOOD THOMAS ARCHITECTS

440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105
P: (415) 443-0055 F: (415) 496-3336
WWW.HOODTHOMAS.COM



UNIT ADDITION

497 29th St.
San Francisco, CA
94131
Block: 6631 Lot: 049

ISSUE: DATE:

DRAWN BY: JC

DATE: 06.29.17

SHEET TITLE:

EXISTING & PROPOSED BUILDING SECTION

SHEET NUMBER:

A3.1

REV #: DATE: