



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, January 25, 2017**
Time: **Not before 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	534 Broadway	Case No.:	2016-013224VAR
Cross Street(s):	Romolo Place	Building Permit:	2016.04.28.5949
Block /Lot No.:	0145 / 010	Applicant:	Daniel Perez
Zoning District(s):	Broadway NCD / 65-A-1	Telephone:	(415) 503-0329
Area Plan:	N/A	E-Mail:	dperez@studioperez.com
PROJECT DESCRIPTION			
<p>The project proposes to replace and expand an existing rear deck and stairs within the required rear yard.</p> <p>PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a rear yard of 34'-4.5" at the second level and above. The existing stair structure to grade will be demolished and a new second floor deck spanning the width of the property, with stairs to grade, will be constructed within the required rear yard setback; therefore a variance is required.</p>			
ADDITIONAL INFORMATION			
<p>ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://notice.sfplanning.org/2016-013224VAR.pdf</p> <p>Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.</p>			
<p>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF: Planner: Andrew Perry Telephone: (415) 575-9017 E-Mail: andrew.perry@sfgov.org</p>			

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311 or 312, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **On December 23, 2016, the Department issued the required Section 312 notification for this project (expires January 22, 2017).**

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

GENERAL NOTES

1. The Contractor will visit the site and be fully cognizant of all existing conditions prior to submitting any propositions or bids.

2. The Contractor shall thoroughly examine the premises and shall base his bid on the existing conditions. The Contractor shall notify the Owner's Agent immediately of any discrepancies between the drawings and the actual field conditions.

3. If any asbestos or known materials containing asbestos are discovered, the the Contractor will be responsible to coordinate with the Building Owner, as required for the removal of these conditions, prior to the beginning of this project. If the Contractor participates in any portion of the removal process in his coordination with the Building Owner, then the Contractor will provide the Building Owner with a written statement releasing the Building Owner of any future liability from the Contractor, his employees and any subcontractors hired by the Contractor related to this work.

These drawings and specifications do not represent an assessment of the presence or absence of any toxic or hazardous materials on this project site. The Building Owners are solely responsible for such an assessment and should be consulted for any questions therein. If the Contractor discovers any toxic or hazardous materials, as defined by the appropriate governing authorities, in the course of his work, he must notify the Building Owners in writing, as per the guidelines of all governing ordinances. The Contractor will resolve all applicable regulations and procedures with the Building Owner at the time of discovery.

4. The Contractor shall provide a schedule for construction as required to meet the owner's completion date.

5. The Contractor shall confirm in writing, approximate on-site delivery dates for all construction items as required by the construction documents, and shall notify the Owner in writing and in a timely manner of any delays affecting occupancy.

6. Substitutions, revisions and/or changes must have prior written approval by the Architect and Owner.

7. The intent of these drawings and specifications is that the work of the alteration, rehabilitation or reconstruction is to be in accordance with Title 24, California Code of Regulations. All work will be performed in accordance with all applicable codes, laws and ordinances and regulations, which relate to this project, including but not limited to The 2013 California Building Code. It is the Contractor's responsibility to notify the Owner's Agent should any existing conditions such as deterioration or noncompliant construction be discovered which is not covered by the contract documents wherein the finished work shall not comply with Title 24, California Code of Regulations. A change order, or a separate set of plans and specifications, detailing and specifying the required work, shall be submitted to and approved by the Office before proceeding with the work.

8. Complete all work to meet the State of California Energy Conservation requirements, including but not limited to, all mandatory features identified in the Title 24 report submitted for this project, as well as any local ordinances (CECO and RECO) and any new requirements identified by the local building inspector.

9. The General Contractor is responsible for the payment and obtaining of all building permits for a complete project.

10. A.I.A. Document A201 – General Conditions for the Performance of a Contract, are hereby incorporated into these drawings and shall be considered as part of the requirements for the completion of work.

11. The Contractor will coordinate and be responsible for all work by his subcontractors and their compliance with all Contract Documents. The Contractor will identify any conflicts between the work of the subcontractors, as directed by these drawings, during the layout of affected trades. The Contractor will review these conditions with the Owner's Agent for design conformance before beginning any installation.

12. The Contractor will field verify all existing and proposed dimensions and conditions. It is the responsibility of the Contractor to notify the Owner's Agent at once upon the discovery of any conflicts or discrepancies between the aforementioned and the drawings and specifications of this project. The Contractor should follow dimensions and should not scale these drawings. If dimensions are required but not shown, then the Contractor shall notify the Owner's Agent immediately.

13. Contractor shall provide shop drawings for all millwork items.

14. Any changes, alternatives or modifications to these drawings and specifications must be approved in writing prior to installation by the Owner's Agent and Owner, and only when such written approval clearly states the agreed cost or credit of the change, alternative or modification to this project.

15. The intent of these drawings and specifications is to include all items necessary for a complete job. The Contractor will provide all materials, labor and expertise necessary to complete job as shown in these drawings and specifications or not shown, but intended. The Contractor is fully responsible for construction means, methods, techniques, sequences and procedures for the work shown on these drawings and specifications. It is the Contractor's responsibility to enact the aforementioned in compliance with generally accepted standards of practice for the construction industry for the type of work shown on these drawings and specifications.

16. The Owner's Agent reserves the right of review for all materials and products for which no specific brand name or manufacturer is identified in these drawings and specifications. The Contractor shall verify with the Owner's Agent the need for shop drawings or samples of materials and products which were not identified in these drawings and specifications, as well as any material, product, or equipment substitutions proposed in place of those items identified in these drawings and specifications.

17. The Contractor shall identify in his proposal which utility (water, electricity, telephone, etc.) connections, use and related costs will be included in his overhead and which costs he expects the Building Owner to provide. Any utility cost which is not identified as an Owner provided item will be assumed to be included in the Contractor's overhead cost.

17. Cont., It is the contractor's responsibility to verify and coordinate all utility connections, utility company's requirements and include any related costs associated with this responsibility in their proposal or bid. the contractor is also responsible for writing letter of confirmations regarding operative agreements for this project between the contractor and the local fire department, the local water agency, the natural or propane gas providers, the local electricity provider, the local telephone service providers, the local cable television provider, the owner's security provider and any unnamed utility service provider. the contractor will provide copies of any such agreements to the owner's agent and owner, If required or requested.

18. The Contractor is fully responsible to enact the appropriate safety precautions required to maintain a safe working environment. The Contractor will indemnify and hold harmless the Owner, the Owner's Agent, their Consultants, and their Employees from and against any injury claims by the Contractor, his Employees, his Subcontractors or anyone he allows onto the construction site, which result from the Contractor's performance of the work shown on these drawings and specifications. The Contractor will carry the appropriate Workman's Compensation and Liability Insurance as required by the local government agency having jurisdiction for this issue, as well as comply with the generally accepted industry standards of practice for a project of this scope. It will be the responsibility of the Contractor to verify with the Building Owner if he will be required to carry Fire Insurance or other types of insurance for the duration of the project. The Contractor should assist the Building Owner in identifying the amount of coverage required.

19. The Contractor will maintain a clean and orderly job site on a daily basis. The Contractor will not unreasonably encumber the site with materials or equipment. The Contractor will not endanger the existing structures and any newly constructed structure by overloading the aforementioned with materials or equipment. The Contractor will be responsible to provide temporary enclosures to protect the existing structure and any newly constructed structure from the ill effect of weather for the duration of the entire construction process.

20. The Contractor is fully responsible for any damage by him or his Subcontractors to any existing structure or work, any structure or work in progress, unused material intended for use in the project or any existing site condition within the scope of the work intended by these drawings and specifications. This responsibility will include any materials and labor required to correct such damage to the Owner's satisfaction, at no cost to the Owner unless agreed to by the Owner in writing.

21. The Contractor shall identify and provide the required sidewalk and public passage enclosure protection at the affected Right-of-Way areas, if required. The Contractor will review all intended signage with the Building Owner and the Owner's Agent.

22. Work under this contract shall be warranted by the Contractor, his employees and his Subcontractors against all defects or errors for one (1) year from the date of substantial completion of the work or designated portions thereof or for one (1) year after acceptance by owner of designated equipment. In case of items remaining uncompleted after date of substantial completion, the one-year warranty period shall be from date of written acceptance of such items. Any and all defects and errors which do become apparent will be repaired by the Contractor to the Owner's satisfaction at no cost to the Owner.

23. It is the responsibility of the Contractor to verify the appropriateness of the application for all the product selections shown or intended in these drawings and specifications. The intended meaning of "appropriateness" is the proper system, model and specific selection required for intended use as a shown in these drawings and specifications. The Contractor is to verify that any installers which he selects for the various products will follow all the product manufacturers' required and recommended methods and procedures to achieve the desired results claimed by such manufacturers for their products.

24. The electrical, mechanical, plumbing and fire protection work shall be design-build and the responsibility of the General Contractor and his Subcontractors. The Design Build Contractors shall be responsible for providing all the necessary information to the local building department to obtain permit(s). All engineering drawings to be submitted to the architect for review and approval.

26. The Contractor shall provide complete product data and related information appropriate for the owner's maintenance and operation of products furnished under the contract.

27. The Contractor will identify which permits he expects to obtain and which permits and application fees he expects the Owner to provide for him in his proposal or bid.

28. The Contractor is responsible to identify any conflicts between his contract with the Owner and these drawings. These conflicts will be reviewed by the Owner's Agent, the Contractor and the Owner in order to amend one of these documents before the start of construction. If a conflict is discovered without his prior resolution, then these drawings will take precedence over any other documents in resolving a conflict.

29. The Contractor shall be responsible to maintain the security of the job site during the construction process until final acceptance by the owner or until an alternate date, as mutually agreed between the Owner and the Contractor.

30. Site meetings will be held once a week with the Owner's Agent and the Contractor unless they are mutually changed or canceled. The Contractor will keep written notes of all relevant information discussed at these meetings and provide copies of them to the Owner's Agent. The Owner's Agent will provide any requested sketches or any information which is requested during these meetings. The Contractor and the Owner will provide any requested information which is required during these meetings.

31. The Owner's Agent will write and issue field orders for changes to the drawings as requested by the Owner or the Contractor. If additional (or deletion) cost to the project is required, then these field orders will become the basis of a change order.

32. The Contractor will write and issue all change orders, which will include a cost breakdown for all the work described in such change order. Any change order will not be binding to the Owner until both the Contractor and the Owner have signed it.

33. Upon Substantial Completion the Contractor will notify the Owner's Agent, who will coordinate a walk-through of the project with the Owner and the Contractor and then provide a punch list of items to complete. Arrangements for final payment will be made at that time.

34. If the Contractor finds fault, disagrees, objects or would like to change the scope of these conditions and his stated responsibilities as outlined in these General Notes, then the Contractor must resolve such changes with the Owner in writing before signing a contract. Failure to do so will constitute an understanding of these General Notes and their acceptance by the Contractor.

SYMBOLS LIST

	Elevation		Key Notes
	Elevation Series		Room Name
			Room Number Ceiling Elevation
	Building Section		Wall Type
	Wall Section		Existing Wall
	Detail Key		New Wall
	Window		Wall to be Demolished
	Door		Shear Wall
	Revision		Elevation
			Grid Line

ABBREVIATIONS

ADJ	Adjustable	MAX	Maximum
AFF	Above Finish Floor	MECH	Mechanical
ALUM	Aluminum	MFR	Manufacturer
ALT	Alternate	MIN	Minimum
ARCH	Architectural	MTL	Metal
ARCT	Architect	MAT'L	Material
@	At	MTD	Mounted
BLDG	Building	MUL	Mullion
BLKG	Blocking	(N)	New
CJ	Control Joint	N/A	Not Applicable
CL	Center Line	NIC	Not In Contract
CLG	Ceiling	NTS	Not To Scale
CLR	Clear	OC	On Center
CONC	Concrete	OH	Opposite Hand
CONT	Continuous	OPP	Opposite
CPT	Carpet	PLAM	Plastic Laminate
CTR	Center	PLYWD	Plywood
DBL	Double	PNT	Paint
DIA	Diameter	PNTD	Painted
DIM	Dimension	PRHT	Partial Height
DN	Down	PTDF	Pressure Treated
DS	Downspout		Douglas Fir
DWG	Drawing	RCP	Reflected Ceiling Plan
DTL	Detail	REQD	Required
(E)	Existing	RD	Roof Drain
EA	Each	RM	Room
ELEC	Electrical	RO	Rough Opening
EL, ELEV	Elevation	SC	Solid Core
EQ	Equal	SHT	Sheet
EQUIV	Equivalent	SIM	Similar
EXT	Exterior	SJ	Seismic Joint
FBO	Furnished By Owner	SPEC	Specification
FD	Floor Drain	SQ	Square
FF	Finish Floor	SSD	See Structural Drawings
FIN	Finish	SST	Stainless Steel
FLR	Floor	STRUCT	Structural
FOF	Face Of Finish	SVF	Sheet Vinyl Flooring
FOS	Face Of Structure	SYM	Symmetrical
FT	Feet	T&G	Tongue and Groove
GA	Gauge	TBD	To Be Determined
GALV	Galvanized	THK	Thick
GL	Glass	T.O.	Top of
GYP BD	Gypsum Board	TOS	Top of Sill
HDWD	Hardwood	TOW	Top of Wall
HDWR	Hardware	TYP	Typical
HM	Hollow Metal	UON	Unless Otherwise Noted
HT	Height	VIF	Verify In Field
JT	Joint	W/	With
		WD	Wood
		WP	Water Proof

534 BROADWAY

REAR STAIR & PARTIAL WINDOW REPLACEMENT



VICINITY MAP PROJECT SITE

PROJECT DESCRIPTION & SCOPE OF WORK

THE PROJECT CONSISTS OF REPLACEMENT OF THE REAR EXTERIOR STAIRS AND LANDING WITH NEW PRE-FABRICATED METAL STAIRS AND LANDING TO COMPLY WITH NOV 201543321. SIX WOOD WINDOWS WILL BE REPLACED IN KIND AND TWO WILL BE ENLARGED AT ROMOLO PLACE. ALL EIGHT WOOD WINDOWS WILL HAVE OGEE LUGS FOUR SECURITY WINDOW GUARDS WILL BE REPLACED AT ROMOLO PLACE AND FOUR WILL BE REPLACED AT THE REAR OF THE BUILDING. A METAL GATE AT ROMOLO PLACE WILL BE REPLACED. A NEW ROLL UP DOOR, GANTRY CRANE & JIB, AND METAL PLATFORM WILL BE ADDED AT (E) MECHANICAL ROOM TO IMPROVE WASTE REMOVAL SYSTEM.

PROJECT DATA

ADDRESS:	534 BROADWAY STREET SAN FRANCISCO, CA 94133
ASSESSOR'S BLOCK NO.:	0145
ASSESSOR'S LOT NO.:	010
ZONING:	NCD BROADWAY NEIGHBORHOOD COMMERCIAL
HEIGHT & BULK DISTRICT:	65-A-1
OCCUPANCY:	
GROUND LEVEL	M RETAIL, A-3 MUSEUM
2ND & 3RD FLOOR	R-2 APARTMENTS
BUILDING TYPE:	V-B (PROTECTED)
BUILDING HEIGHT:	43'-6" (3 STORIES) AT BROADWAY
BUILDING AREA:	18,878 SQ. FT.
LOT WIDTH/AREA	57.5 FT./7906.25 SQ. FT.

APPLICABLE CODES AND REGULATIONS

2013 CALIFORNIA BUILDING CODE. CALIFORNIA CODE OF REGULATIONS TITLE 24, PART2, VOLUME 1 AND 2.

2013 SAN FRANCISCO BUILDING CODE AMENDMENTS

2013 CALIFORNIA ELECTRICAL CODE, 2013 SAN FRANCISCO ELECTRICAL CODE AMENDMENTS

2013 CALIFORNIA MECHANICAL CODE, 2013 SAN FRANCISCO MECHANICAL CODE AMENDMENTS

2013 CALIFORNIA PLUMBING CODE, 2013 SAN FRANCISCO PLUMBING CODE AMENDMENTS

2013 CALIFORNIA GREEN BUILDING CODE, 2013 SAN FRANCISCO GREEN BUILDING CODE AMENDMENTS

2010 CALIFORNIA ENERGY CODE

2013 SAN FRANCISCO FIRE CODE

TITLE 19, CCR, PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS

AMERICAN WITH DISABILITIES ACT - 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

INDEX OF DRAWINGS

T0.00	COVER SHEET, INDEX, AND PROJECT INFO, GENERAL NOTES
A0.01	SITE PLAN
A1.01	DEMOLITION FLOOR PLANS
A2.01	PROPOSED FLOOR PLANS
A3.00	EXTERIOR ELEVATIONS AND WINDOW SCHEDULE
A5.00	DETAILS

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534 BROADWAY REAR STAIR REPLACEMENT

534 BROADWAY STREET
SAN FRANCISCO, CA 94133

Sheet Title
COVER SHEET, INDEX,
PROJECT INFO, GENERAL
NOTES

DESCRIPTION	DATE
10000	03/03/16
PERMIT SET	4/26/16
PLANNING COMMENTS	12/12/16

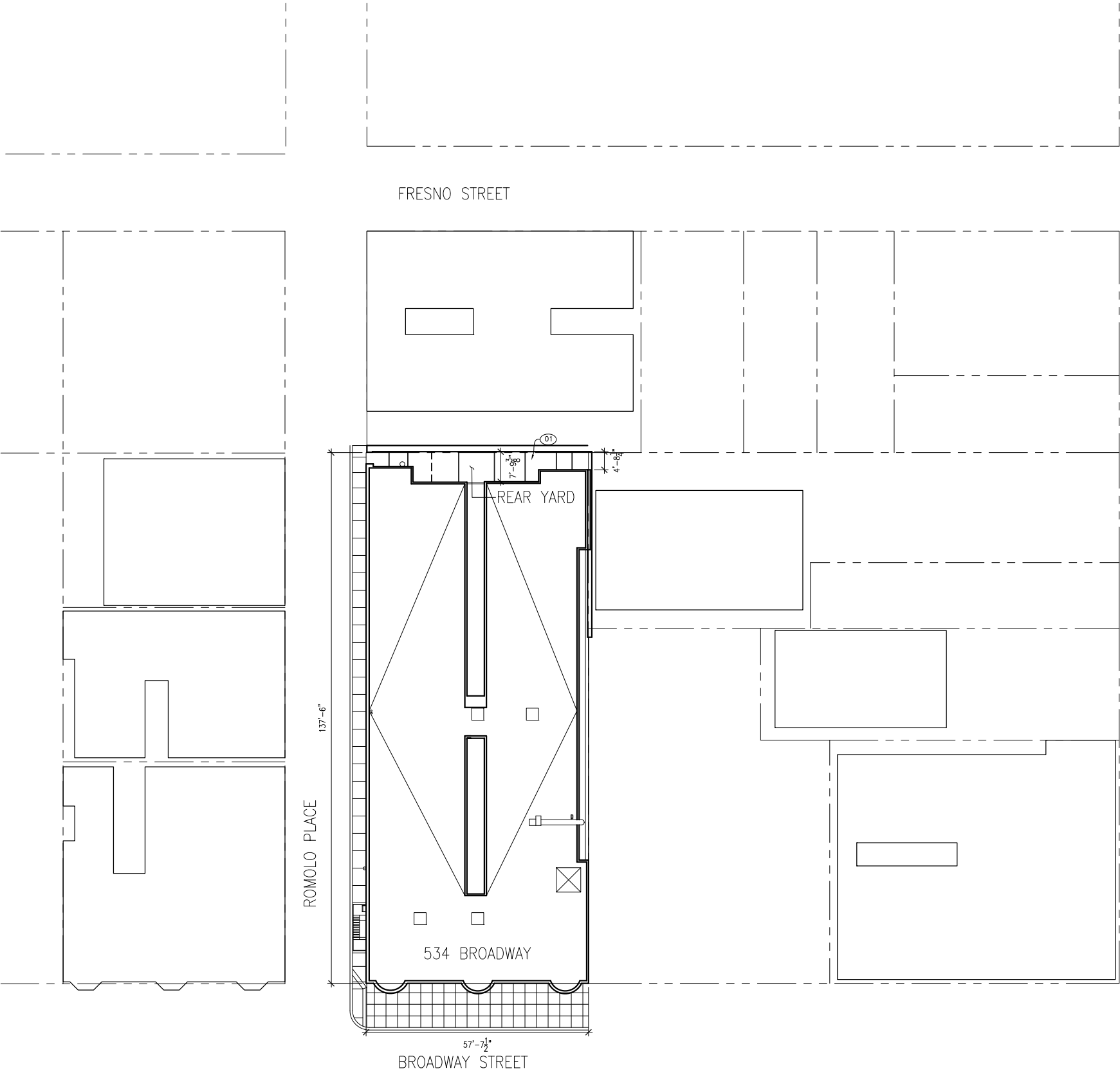
Date February 22, 2016

Drawn DP

Job Project # 1512

Sheet No.

T0.00



SHEET KEY NOTES

- 01 IN RESPONSE TO NOV 201543321 (E) WOOD REAR EXIT STAIR IS TO BE REMOVED AND REPLACED WITH A PRE-FABRICATED METAL STAIR. SEE A1.01 FOR DEMOLITION FLOOR PLANS AND A2.01 FOR PROPOSED FLOOR PLANS.

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534 BROADWAY
REAR STAIR
REPLACEMENT

534 BROADWAY STREET
SAN FRANCISCO, CA 94133

Sheet Title
SITE PLAN

DESCRIPTION	DATE
10000	03/03/16
PERMIT SET	4/26/16

Date March 31, 2016
Drawn DP
Job Project # 1512

Sheet No.
A0.01



534 BROADWAY REAR STAIR REPLACEMENT

534 BROADWAY STREET
SAN FRANCISCO, CA 94133

Sheet Title
DEMOLITION
FLOOR PLANS

DESCRIPTION	DATE
SCHEMATIC	12/09/15
TOOCD	3/3/16
PERMIT SET	4/26/16

Date DECEMBER 12, 2015

Drawn DP

Job Project # 1512

Sheet No.

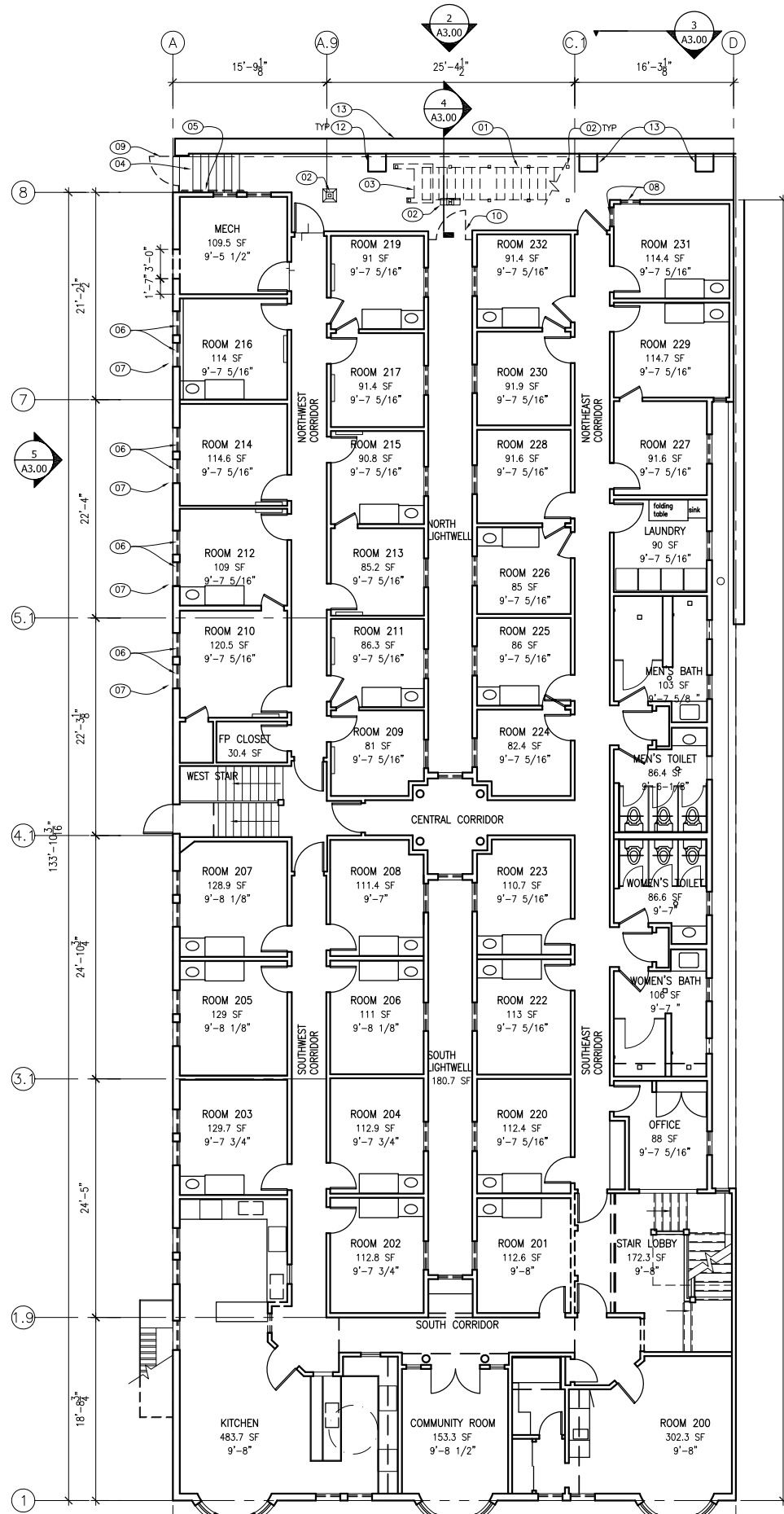
A1.01

3 of 6 Sheets

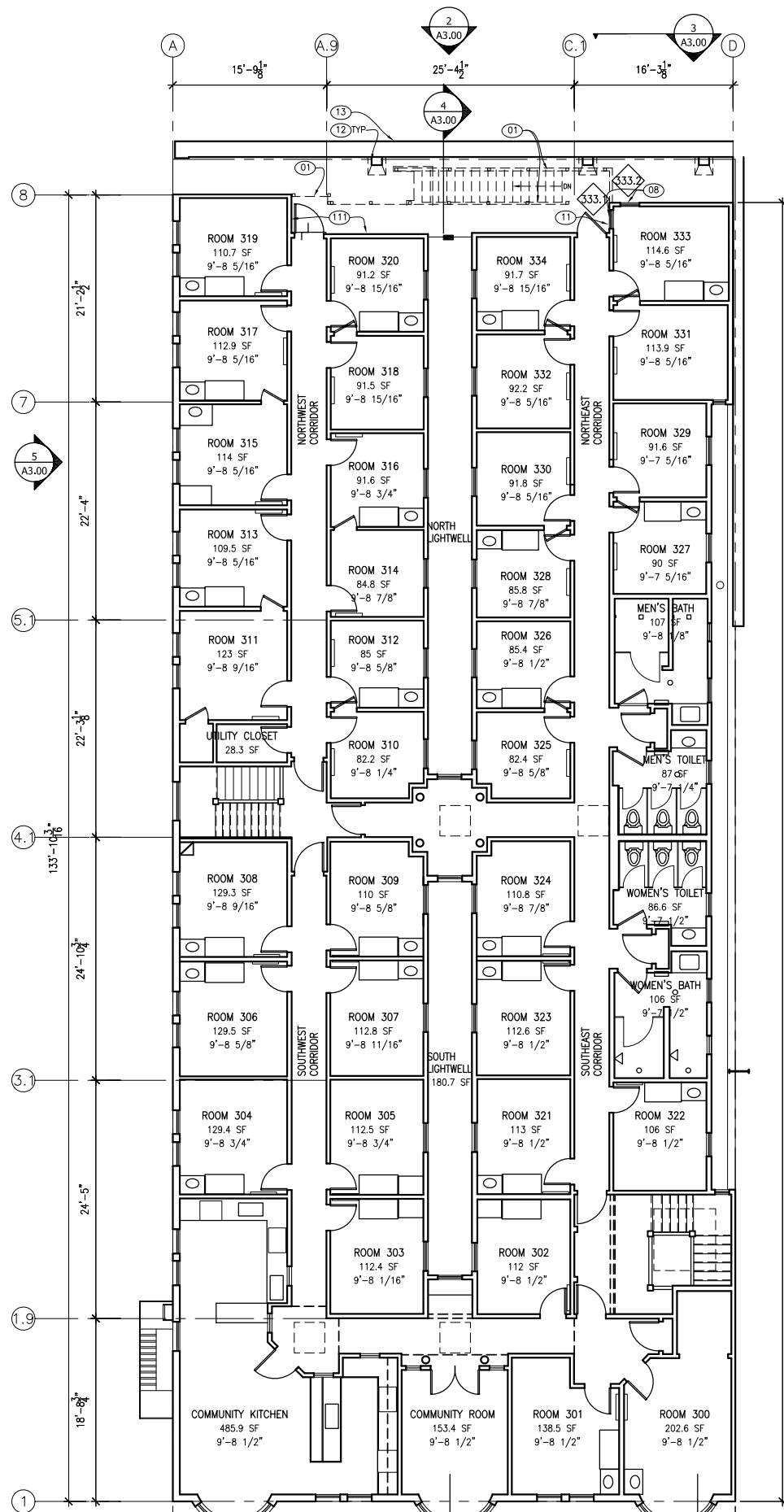
1. ITEMS TO BE DEMOLISHED OR REMOVED ARE TYPICALLY INDICATED BY A DASHED LINE UON.
IF MECHANICAL/ELECTRICAL ELEMENTS ARE NOT SHOWN TO BE DEMOLISHED, NOTIFY THE ARCHITECT FOR WRITTEN ACCEPTANCE OF DEMOLITION. DEMOLITION AND REMOVAL WORK INCLUDES CAPPING AND DISCONNECTION OF ABANDONED SERVICES.
2. ALL AREAS SHALL BE CLEANED AND PREPPED PRIOR TO PAINTING.

SHEET KEY NOTES

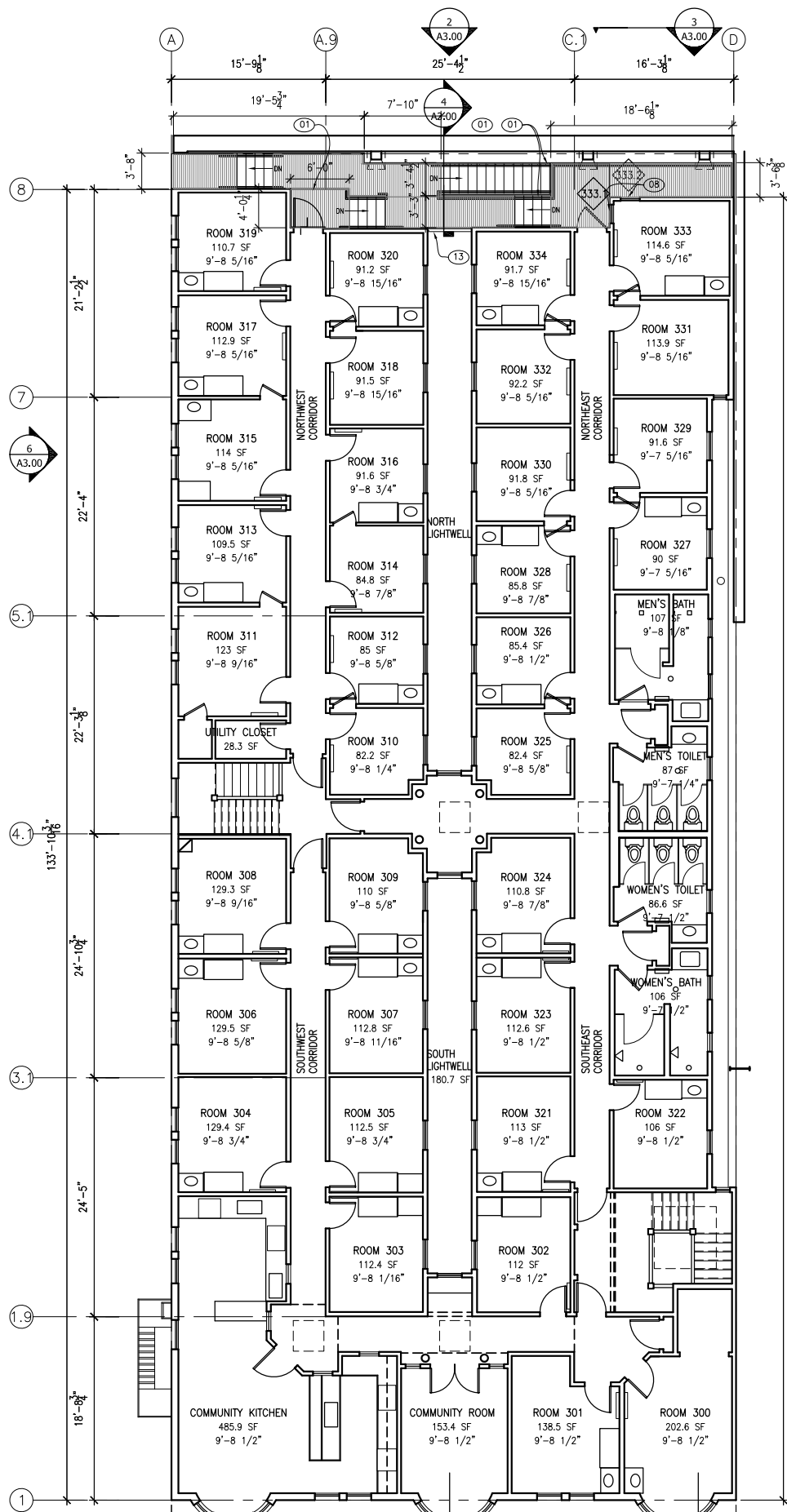
- (01) REMOVE (E) WOOD STAIR, LANDING, HAND RAILS, AND GUARDRAIL.
- (02) REMOVE (E) CONCRETE FOOTINGS AT (E) WOOD POSTS, PATCH REMOVED AREA WITH NEW CONCRETE FLUSH TO ADJACENT SURFACE.
- (03) REMOVE (E) CONCRETE TREAD AT BASE OF (E) STAIR, PATCH AREA REMOVED WITH NEW CONCRETE FLUSH W/ (E) ADJACENT SURFACE.
- (04) (E) CONCRETE STEPS AT ROMOLO TO REMAIN IN PLACE. MODIFY AS REQUIRED FOR NEW STEEL LANDING AND STAIRS.
- (05) REMOVE (E) HANDRAIL AT (E) CONCRETE STAIR.
- (06) REMOVE EIGHT (E) WINDOWS AT ROMOLO PLACE WHERE INDICATED.
- (07) REMOVE FOUR (E) WINDOW GRILLES AT ROMOLO PLACE WHERE INDICATED.
- (08) REMOVE FOUR (E) WINDOW GRILLES AT REAR WINDOWS WHERE INDICATED.
- (09) REMOVE (E) METAL GATE AT ROMOLO PLACE.
- (10) REMOVE (E) METAL GATE AT NORTH LIGHT WELL AS SALVAGE FOR REUSE.
- (11) REMOVE (E) WOOD LEDGER AT (E) LANDING PERIMETER
- (12) (E) BRICK BUTRUSSES TO REMAIN IN PLACE
- (13) (E) RETAINING WALL



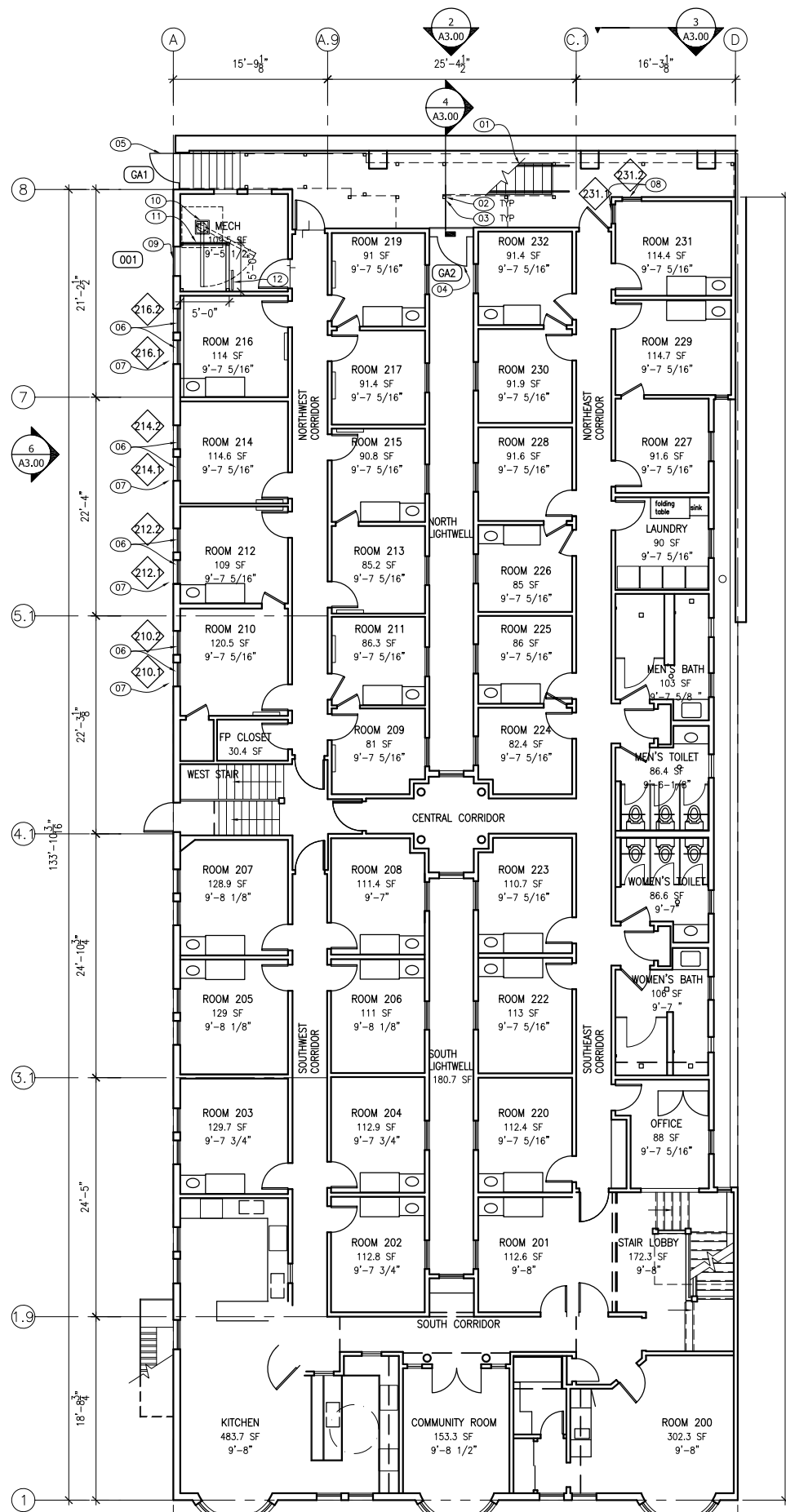
1 SECOND LEVEL DEMOLITION FLOOR PLAN
SCALE: 1/8"=1'-0"



2 THIRD LEVEL DEMOLITION FLOOR PLAN
SCALE: 1/8"=1'-0"



2 THIRD LEVEL FLOOR PLAN
SCALE: 1/8"=1'-0"



1 SECOND LEVEL FLOOR PLAN
SCALE: 1/8"=1'-0"

1. ALL AREAS SHALL BE CLEANED AND PREPPED PRIOR TO PAINTING.
2. SHOP DRAWINGS AND ENGINEERING TO BE PROVIDED BY FABRICATOR FOR PRE-FABRICATED METAL STAIR AND LANDING ASSEMBLY. ALL DIMENSIONS TO BE VERIFIED IN FIELD.

SHEET KEY NOTES

- 01 PROVIDE NEW PRE-FABRICATED METAL STAIRS, TREADS TO BE ROUND HOLE OPEN-GRIP ANTI-SLIP, RISERS TO BE CLOSED CHECKER PLATE
- 02 PROVIDE NEW METAL POSTS TO SUPPORT METAL PRE-FABRICATED STAIR AND LANDINGS.
- 03 PROVIDE NEW CONCRETE FOOTINGS AT NEW POST LOCATIONS
- 04 REVERSE SWING OF EXISTING METAL GATE TO SWING INTO THE NORTH LIGHTWELL
- 05 PROVIDE (N) METAL GATE AT ROMOLO PLACE, SEE 6/A3.00.
- 06 PROVIDE EIGHT NEW WOOD WINDOWS AT WEST ELEVATION, SEE WINDOW SCHEDULE 6/A3.00
- 07 PROVIDE FOUR (N) WINDOW GRILLES AT ROMOLO PLACE WHERE INDICATED, SEE 6/A3.00 AND WINDOW SCHEDULE.
- 08 PROVIDE FOUR (N) WINDOW GRILLES AT REAR WINDOWS WHERE INDICATED, SEE 3 & 4 A3.00 AND WINDOW SCHEDULE.
- 09 PROVIDE (N) ROLL-UP SERVICE DOOR TO MECHANICAL ROOM FROM ROMOLO, SEE DOOR SCHEDULE.
- 10 PROVIDE AND INSTALL (N) VESTIL FLOOR MOUNTED JIB CRANE JIB-FM-10-80 AT MECHANICAL ROOM, PROVIDE NEW 4'-2" SQ. X 2'-6" DEEP CONCRETE PAD, FLUSH WITH EXISTING SLAB, FOR THE CRANE, SEE 8/A5.00
- 11 PROVIDE 5'-0"W X 5'-0"D X3'-8" H PRE-FABRICATED CHECKER PLATE METAL PLATFORM ON STEEL POSTS. PROVIDE 3'-6"H GUARD RAIL ON NORTH SIDE OF PLATFORM.
- 12 PROVIDE METAL LADDER TO ACCESS METAL PLATFORM.
- 13 PROVIDE METAL ROD AND RAIL GUARD RAILS AT LANDINGS AND STAIRS.

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Chinatown Community
Development Center
華協中心

534 BROADWAY REAR STAIR REPLACEMENT

534 BROADWAY STREET
SAN FRANCISCO, CA 94133

Sheet Title
PROPOSED
FLOOR PLANS

DESCRIPTION	DATE
SCHEMATIC	01/22/16
TOOCD	3/3/16
PERMIT SET	4/26/16

Date DECEMBER 12, 2015
Drawn DP
Job Project # 1512

Sheet No.

A2.01

4 of 6 Sheets

Chinatown Community
Development Center
華協中心

SHEET NOTES

1. VERIFY PLAN LAYOUT AND DIMENSIONS. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AT ALL AREAS AFFECTED BY NEW WORK PRIOR TO CONSTRUCTION.
2. PAINT STUCCO AND SIDING AT NEW AREAS OF WORK TO MATCH EXISTING.

DEMOLITION KEY NOTES

- 001 REMOVE (E) WOOD STAIR, LANDING, POSTS AND FOOTINGS.
- 002 REMOVE (E) WOOD LEDGER AT LANDING PERIMETER.
- 003 REMOVE (E) SECURITY WINDOW GRILLES AND OPERATING HARDWARE AT THE INTERIOR WHERE OCCURS.
- 004 REMOVE (E) EIGHT WOOD WINDOWS AT WEST ELEVATION.
- 005 MODIFY (E) WINDOW OPENING TO FIT NEW 2'-6" X 4'-0" WINDOWS AT WINDOWS 216.1 AND 216.2.
- 006 REMOVE STUCCO AT WINDOW PERIMETER TO INSTALL (N) WINDOW FLASHING, PATCH AND REPAIR WITH NEW STUCCO TO MATCH (E).
- 007 MAKE OPENING IN WALL TO FIT NEW 3'-0" X 5'-8" ROLL-UP DOOR AT MECHANICAL ROOM.
- 008 REMOVE (E) METAL GATE ENCLOSURE

SHEET KEY NOTES

- 01 PROVIDE (N) METAL STAIR AND LANDINGS WITH ROUND HOLE GRATING. SEE DETAILS 1 & 2/A5.0 . SEE 3 & 4/A5.0 FOR ADD ALTERNATE FOR ADDING COMPOSITE DECKING OVER METAL LANDING AND STAIRS. PROVIDE SHOP DRAWINGS FOR ARCHITECT REVIEW.
- 02 PROVIDE (N) ROD AND RAIL GUARDRAILS AT STAIRS AND LANDINGS
- 03 PROVIDE NEW STEEL POST WITH CONCRETE FOOTINGS.
- 04 PROVIDE NEW LEDGER AT BUILDING WALL FOR STAIR AND LANDING SUPPORT. REPLACE WOOD SIDING AS REQUIRED TO INSTALL NEW WOOD LEDGERS. SEE 1/A5.0
- 05 PROVIDE NEW SECURITY WINDOW GRILLES AT REAR YARD.
- 06 PROVIDE (N) WOOD WINDOWS WITH OGEE LUGS TO MATCH EXISTING. SEE WINDOW SCHEDULE.
- 07 PROVIDE NEW SECURITY WINDOW GRILLES. PROVIDE SHOP DRAWINGS FOR ARCHITECT REVIEW.
- 08 PROVIDE 75% TRANSPARENCY WIRE MESH AT OPERABLE DOORS AT SECURITY GRILLES AT ROMOLO (NO MESH AT REAR OF BUILDING WINDOWS). PROVIDE CODE APPROVED RELEASE MECHANISM AT WINDOW INTERIOR. RELEASING MECHANISM MUST BE HAND OPERATED AND APPROVED BY THE SAN FRANCISCO FIRE DEPARTMENT. THE RELEASING DEVICE SHOULD BE NO HIGHER THAN 48". SEE CBC 1029.4. SECURITY BARS. INSTALLED ON EMERGENCY EGRESS AND RESCUE WINDOWS. SUCH DEVICES SHALL COMPLY WITH THE STANDARDS OF THE 2013 CALIFORNIA BUILDING STANDARDS CODE, PART 12, CHAPTER 12-3 AND OTHER APPLICABLE
- 09 PROVIDE (N) ROLL UP DOOR BY ROLL UP DOOR DIRECT OR APPROVED EQUAL.
- 10 PROVIDE (N) METAL GATE ENCLOSURE AT ROMOLO ALLEY WITH 75% TRANSPARENCY MESH.

534 BROADWAY
REAR STAIR
REPLACEMENT534 BROADWAY STREET
SAN FRANCISCO, CA 94133Sheet Title
EXTERIOR ELEVATIONS
& WINDOW SCHEDULE

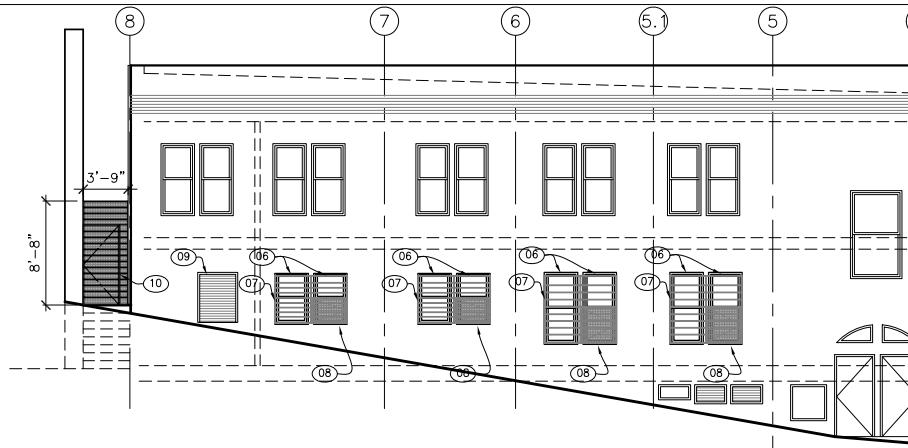
DESCRIPTION	DATE
10000	03/03/16
PERMIT SET	4/26/16
PLANNING COMMENT	12/12/16

Date January 15, 2016
Drawn DP
Job Project # 1512

Sheet No.

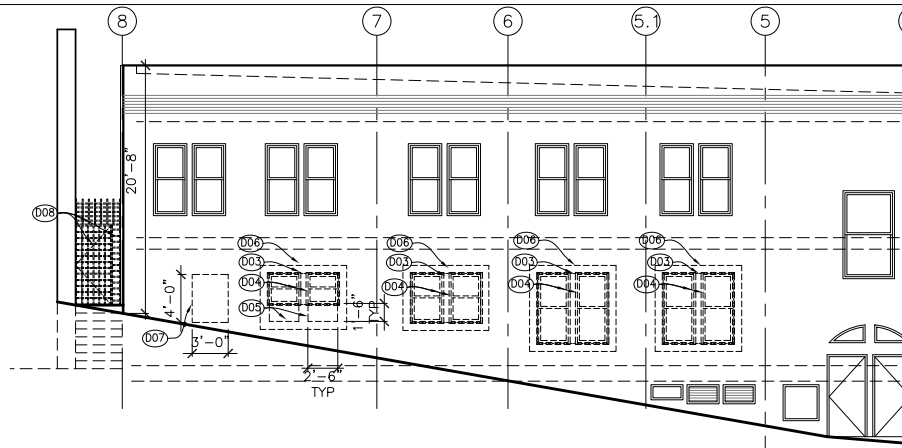
A3.00

5 of 6 Sheets



6 WEST ELEVATION (ROMOLO PLACE)

A3.00 SCALE: 1/8"=1'-0"



5 DEMOLITION WEST ELEVATION (ROMOLO PLACE)

A3.00 SCALE: 1/8"=1'-0"

WINDOW SCHEDULE

MARK	SIZE			TYPE	MATERIAL	GLAZING	DETAILS			WINDOW GUARD		GATE SIZE		NOTES
	WIDTH	HEIGHT	SILL HEIGHT				HEAD	JAMB	SILL	WIDTH	HEIGHT	WIDTH	HEIGHT	
210.1	2'-6"	5'-8"	1'-11 1/4"	DH	WOOD	IG	5/A5.0	5/A5.0	7/A5.0	6'-1"	5'-8"	2'-11"	2'-11"	PROVIDE (N) METAL WINDOW SECURITY BARS AT WINDOWS ON THIS SCHEDULE DH=DOUBLE HUNG
210.2	2'-6"	5'-8"	1'-11 1/4"	DH	WOOD	IG	5/A5.0	5/A5.0	7/A5.0					IG = INSULATED GLASS
212.1	2'-6"	5'-8"	1'-11 1/4"	DH	WOOD	IG	5/A.0	5/A5.0	7/A5.0					SEE 13/A5.00 FOR WINDOW FLASHING DETAILS
212.2	2'-6"	5'-8"	1'-11 1/4"	DH	WOOD	IG	5/A5.0	5/A5.0	7/A5.0	6'-1"	4'-0"	2'-11"	2'-0"	
214.1	2'-6"	4'-0"	3'-5 1/2"	DH	WOOD	IG	5/A5.0	5/A5.0	7/A5.0					
214.2	2'-6"	4'-0"	3'-5 1/2"	DH	WOOD	IG	5/A5.0	5/A5.0	7/A5.0					
216.1	2'-6"	4'-0"	3'-5 1/2"	DH	WOOD	IG	5/A5.0	5/A5.0	7/A5.0	6'-1"	4'-0"	2'-11"	2'-0"	ENLARGE HEIGHT OF OPENING
216.2	2'-6"	4'-0"	3'-5 1/2"	DH	WOOD	IG	5/A5.0	5/A5.0	7/A5.0					
231.1	2'-0"	6'-0"	2'-2"	(E) DH	(E)	(E)								(E)WINDOW TO REMAIN
231.2	2'-0"	6'-0"	2'-2"	(E) DH	(E)	(E)				2'-3"	6'-0"	2'-1"	3'-1"	(E)WINDOW TO REMAIN
333.1	2'-0"	6'-0"	2'-2"	(E) DH	(E)	(E)				2'-3"	6'-0"	2'-1"	3'-1"	(E)WINDOW TO REMAIN
333.2	2'-0"	6'-0"	2'-2"	(E) DH	(E)	(E)				2'-3"	6'-0"	2'-1"	3'-1"	(E)WINDOW TO REMAIN

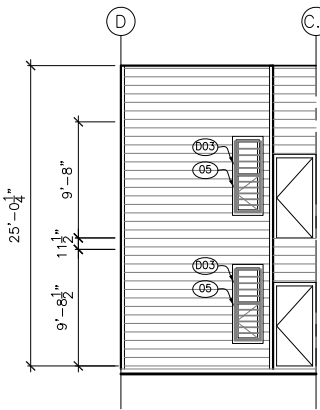
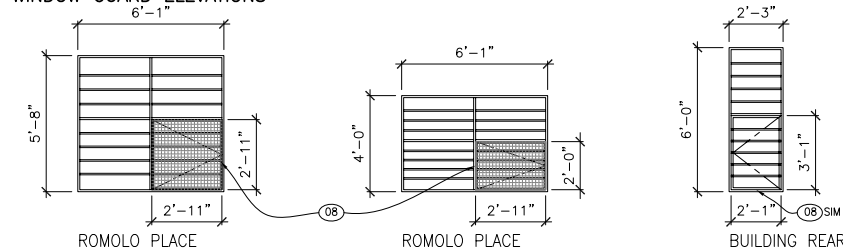
DOOR SCHEDULE

DOOR TAG	SIZE		HAND	DOOR		FRAME				NOTES
		THICKNESS		MATERIAL	FINISH	MATERIAL	FINISH	LOCATION	FUNCTION	
001	3'-0 X 4'-0"	5/8"	NA	METAL	PAINT	STEEL	PAINT	MECH. RM	INTERIOR DOOR LATCH	MODEL 650 INSULATED W/ ELECTRIC MOTOR AND HOOD.
GA1	3'-0 X 6'-8"	2"	LHR	METAL	PAINT	METAL	PAINT	REAR YARD	ENTRY	PROVIDE CONDUIT AND WIRING FOR ELECTRIFIED STRIKE FUTURE USE. PROVIDE LEVER HARDWARE.
(E) GA2	3'-0"X6'-8"	2"	LH	METAL	PAINT	METAL	PAINT	NORTH LIGHT WELL	STOREROOM	REVERSE GATE TO SWING INTO LIGHT WELL.

DOOR SCHEDULE NOTES

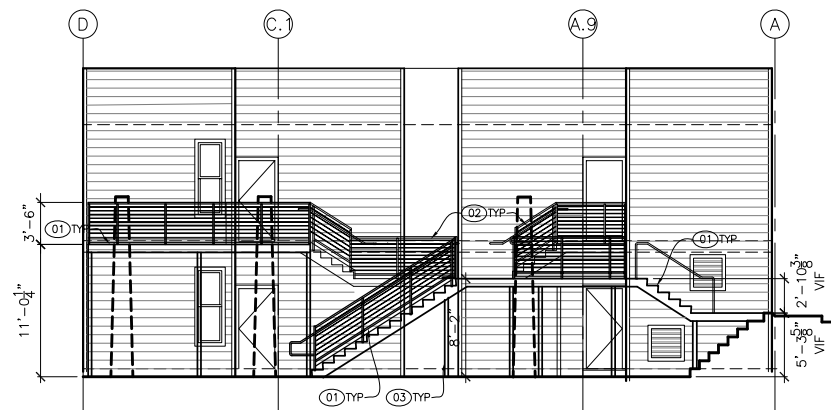
1. ALL RATED DOORS SHALL BE POSITIVE LATCHING AND SELF CLOSING. THE MAXIMUM EFFORT TO OPERATE SUCH DOORS SHALL BE AS FOLLOWS:
A) EXTERIOR DOORS = 5 LBS
2. ALL DOOR HANDLE SETS SHALL BE ADA COMPLIANT LEVER SETS.
3. ALL DOORS TO CONFORM TO CLEARANCE AND CONSTRUCTION DIMENSIONS.

WINDOW GUARD ELEVATIONS



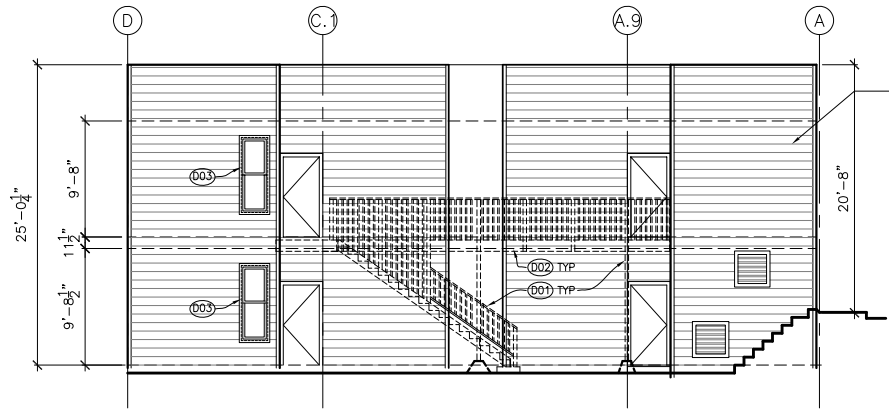
3 PARTIAL NORTH ELEVATION

A3.00 SCALE: 1/8"=1'-0"



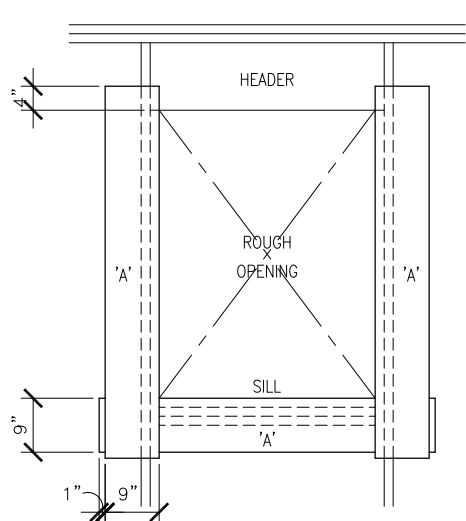
2 NORTH ELEVATION

A3.00 SCALE: 1/8"=1'-0"

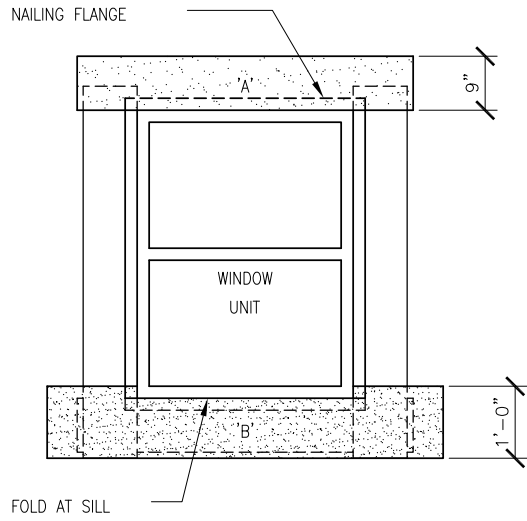


1 DEMOLITION NORTH ELEVATION

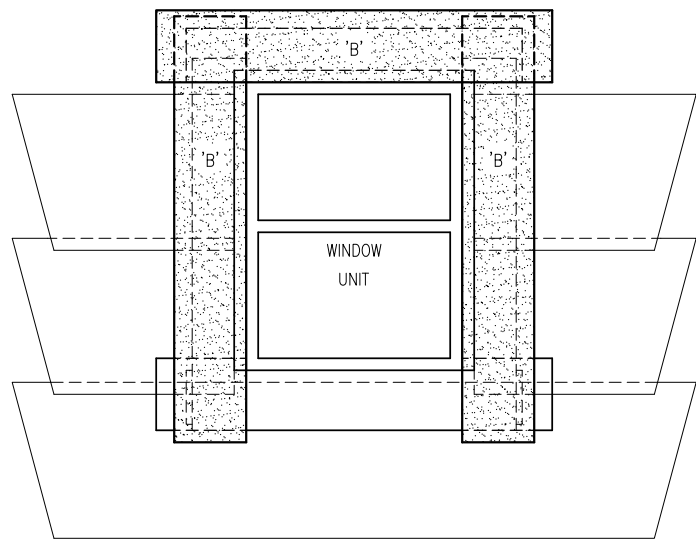
A3.00 SCALE: 1/8"=1'-0"



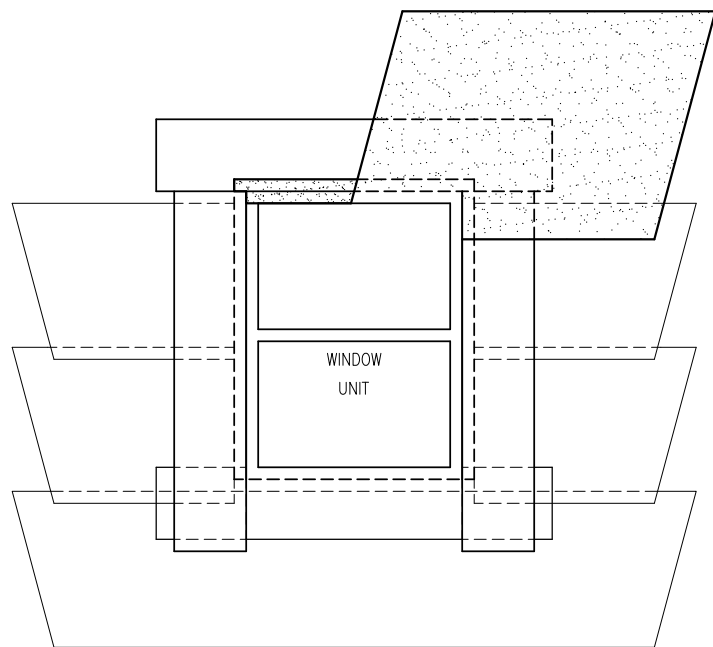
STEPS 1 & 2



STEPS 3, 4, 5



STEPS 6, 7, 8, & 9



STEPS 10 & 11

13 WINDOW FLASHING

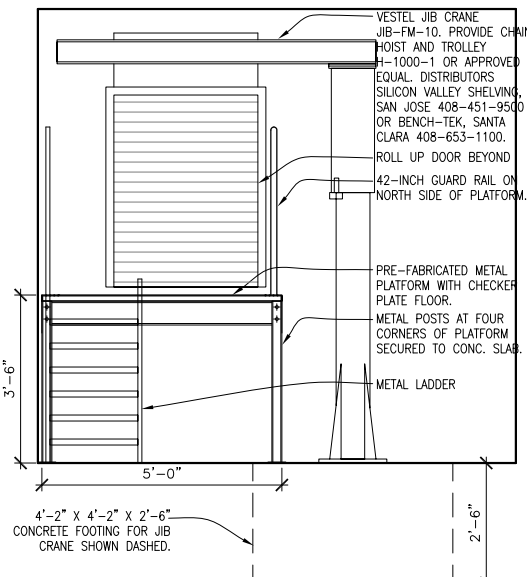
A5.0 SCALE: NTS

INSTALLATION STEPS

1. INSTALL WINDOW FLASHING 'A' @ SILL.
2. INSTALL WINDOW FLASHING 'A' @ JAMBS.
3. INSTALL SELF-ADHESIVE FLASHING 'B' @ SILL. CUT AND LAP ON SILL. LEAVE BACKING ON SO BLDG. PAPER CAN BE TUCKED UNDERNEATH.
4. INSTALL WINDOW IN SEALANT BED.
5. INSTALL WINDOW FLASHING @ HEAD, BED IN SEALANT.
6. INSTALL BLDG. PAPER @ SILL, TUCK UNDER SELF-ADHESIVE FLASHING.
7. CONTINUE BLDG. PAPER, 2" LAP O/ LOWER COURSE. HOLD BLDG. PAPER OFF VERTICAL NAILING FIN.
8. INSTALL VERT. SELF-ADHESIVE FLASHING O/ VERT. NAILING FIN AND O/ BLDG. PAPER @ JAMBS.
9. INSTALL HORIZONTAL SELF-ADHESIVE FLASHING @ HEAD. LAP O/ WINDOW FRAME, NAILING FIN, VERT. SELF-ADHESIVE FLASHING, AND WALL SURFACE.
10. INSTALL 24 GA. GSM FLASHING CAP @ HEAD.
11. INSTALL BLDG. PAPER. LAP GSM FLASHING.

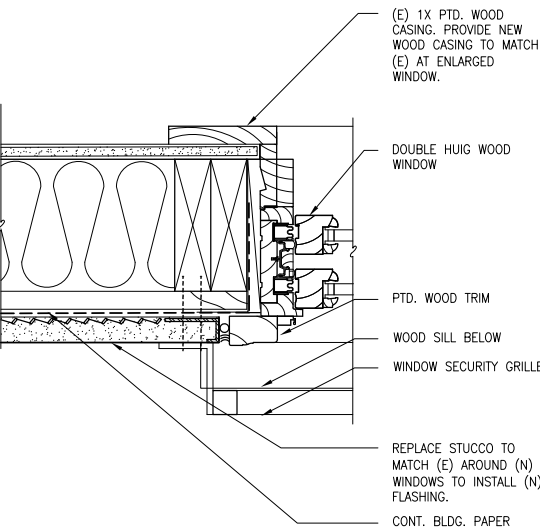
NOTE:

1. SHEATHING NOT SHOWN FOR CLARITY.



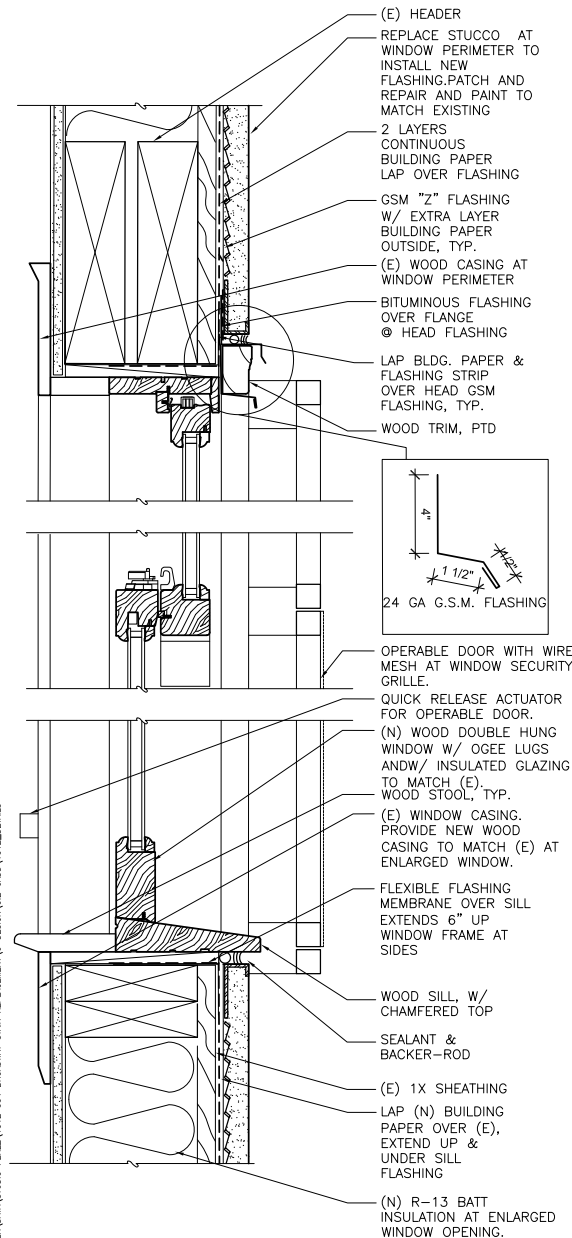
8 METAL PLATFORM FOR WASTE REMOVAL

A5.00 SCALE: 1/2"=1'-0"



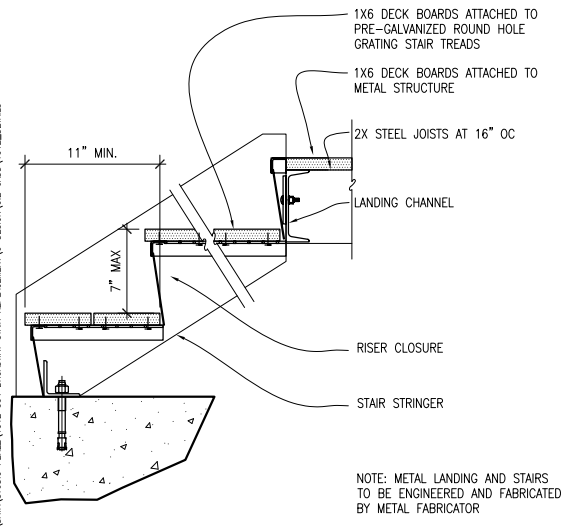
7 DOUBLE HUNG WINDOW JAMB

A5.0 SCALE: 3/8"=1'-0"



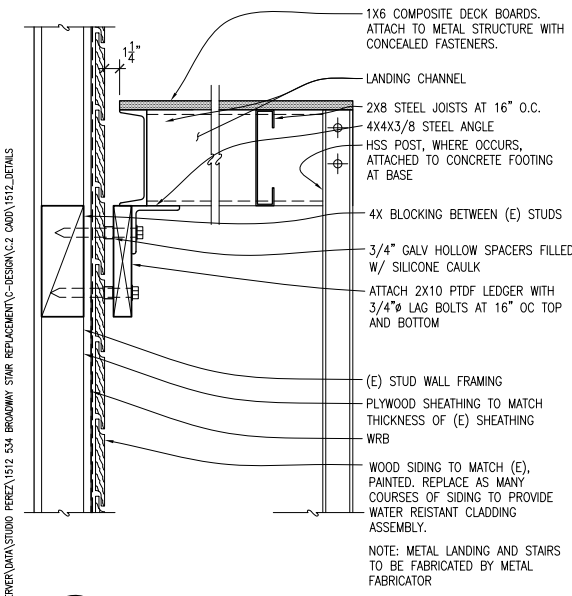
5 DOUBLE HUNG WINDOW SILL AND HEAD

A5.0 SCALE: 3/8"=1'-0"



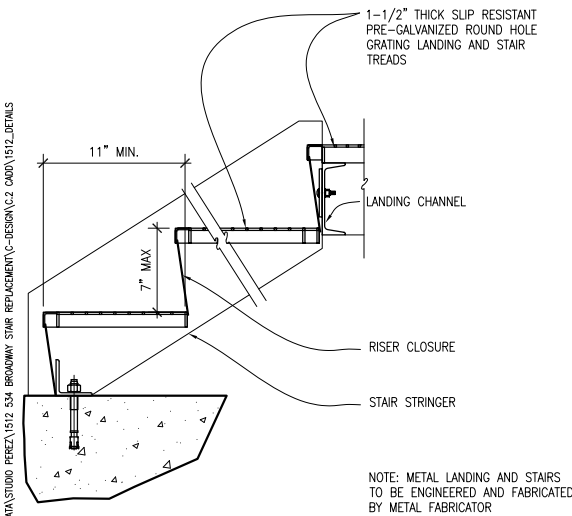
4 ADD ALT. STAIR W/ COMPOSITE DECKING

A5.0 SCALE: 1 1/2"=1'-0"



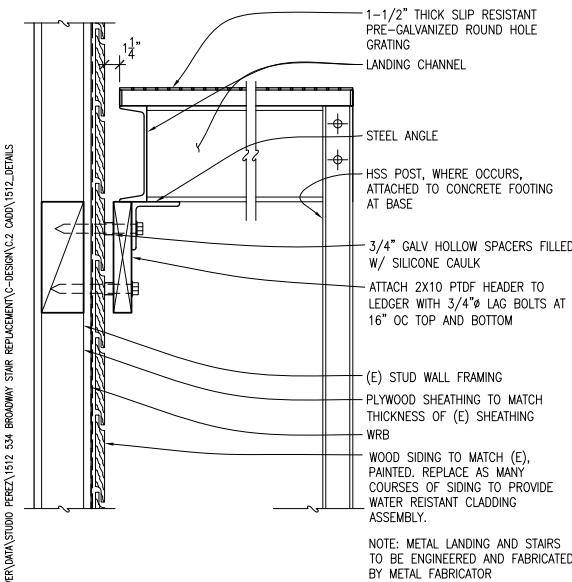
3 ADD ALT. LANDING W/ COMPOSITE DECK

A5.0 SCALE: 1 1/2"=1'-0"



2 STAIR WITH METAL GRATING

A5.0 SCALE: 1 1/2"=1'-0"



1 METAL GRATING LANDING

A5.0 SCALE: 1 1/2"=1'-0"

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534 BROADWAY REAR STAIR REPLACEMENT

534 BROADWAY STREET
SAN FRANCISCO, CA 94133

Sheet Title DETAILS

DESCRIPTION	DATE
10000	03/03/16
PERMIT SET	4/26/16

Date January 15, 2016
Drawn DP
Job Project # 1512

Sheet No.

A5.00
6 of 6 Sheets