



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

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415.558.6377



**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, May 24, 2017**
 Time: **Not before 9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 52 Yukon Street	Case No.: 2016-012625VAR
Cross Street(s): 19th & Eagle Streets	Building Permit: 2016.09.29.9187
Block /Lot No.: 2711/002	Applicant: Leo McFadden
Zoning District(s): RH-2 / 40-X	Telephone: (415) 225-5709
Area Plan: N/A	E-Mail: condoconsultants@yahoo.com

PROJECT DESCRIPTION

The proposal is to construct vertical and horizontal addition within the required rear yard.

SECTION 134 OF THE PLANNING CODE requires a rear yard of 15 feet. The project proposes to construct the addition on a noncomplying building that encroaches into the required rear yard (to within 7 feet, 11 inches of the rear property line); therefore, a variance is required.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://notice.sfplanning.org/2016-012625VAR.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Nancy Tran** Telephone: **(415) 575-9174** E-Mail: nancy.h.tran@sfgov.org

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

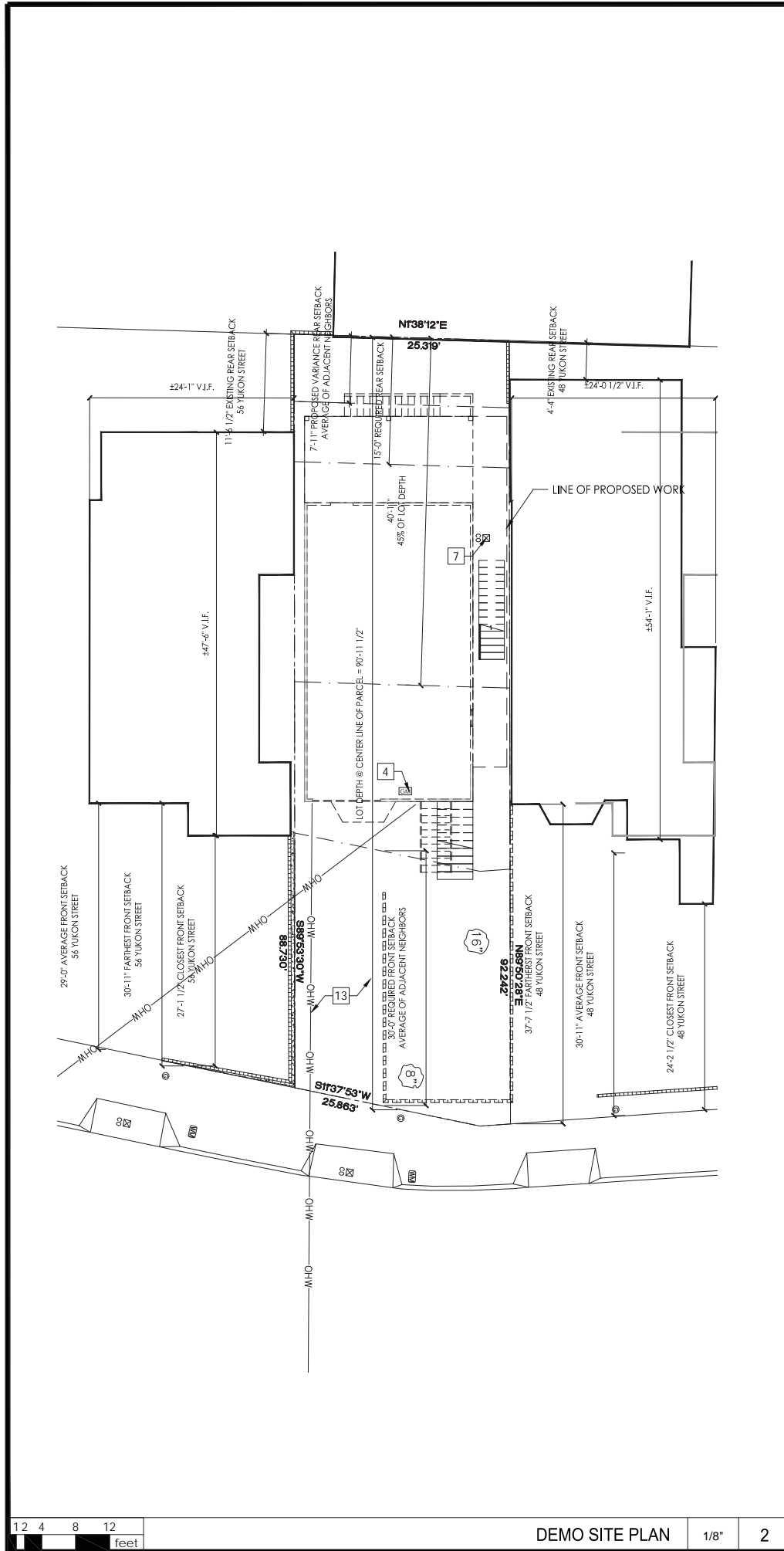
Pursuant to Planning Code Section 311, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **On 4/19/2017, the Department issued the required Section 311 notification for this project, which expires on 5/19/17.**

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

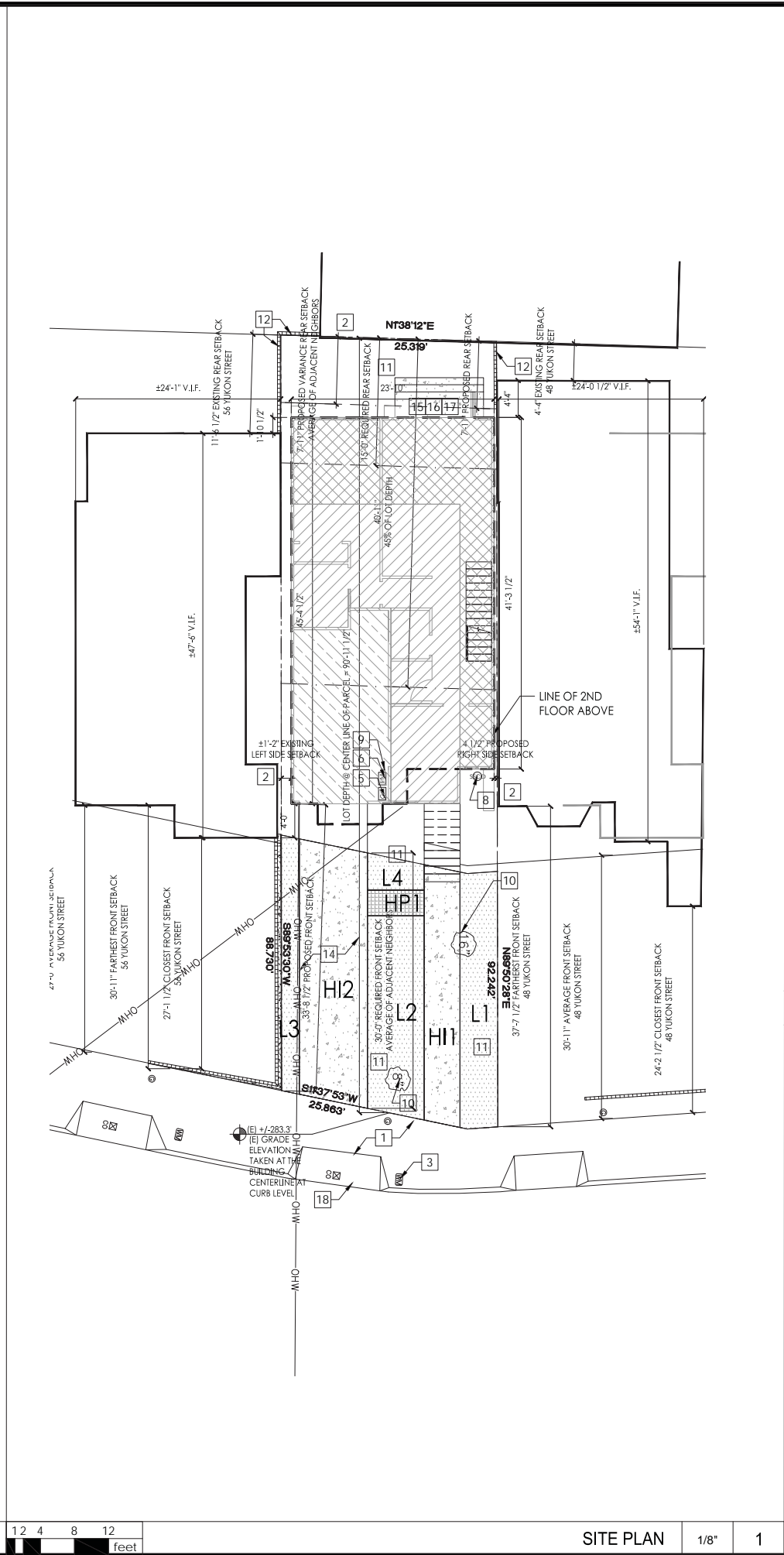
An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.



DEMO SITE PLAN

1/8" 2



SITE PLAN

1/8" 1

- # = NUMBER TO KEY NOTE BELOW
- EXISTING PUBLIC RIGHT OF WAY--ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED "PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET" PRIOR TO THE COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY
 - APPROXIMATE LOCATION OF NEIGHBORING STRUCTURE
 - (E) WATER METER--CONTRACTOR TO COORDINATE (N) METER WITH LOCAL WATER COMPANY IF REQUIRED BY INCREASED FIXTURE LOAD
 - (E) GAS METER TO BE RELOCATED--SEE A1.0 FOR NEW LOCATION
 - (N) GAS METER LOCATION
 - (N) ELECTRICAL METER LOCATION--CONTRACTOR TO COORDINATE WITH PG&E FOR UPGRADE (200AMPS) TO (E) ELECTRICAL SERVICE
 - (E) 4" SEWER LATERAL TO BE RELOCATED
 - (N) 4" SEWER LATERAL--CONTRACTOR TO VERIFY LOCATION IN FIELD
 - UFER GROUND CONNECTION PER CEC 250-52
 - (E) TREE(S) TO REMAIN- PROTECT AS REQUIRED DURING CONSTRUCTION - DO NOT LEAVE MATERIALS OR EQUIPMENT IN ROOT AREAS FOR EXTENDED PERIODS OF TIME. SEE ARBORIST REPORT (IF PROVIDED) FOR ADDITIONAL INFORMATION
 - (E) SOFTSCAPE TO REMAIN
 - (E) FENCE AND GATES TO REMAIN, TYP.
 - (E) DRIVEWAY TO BE REMOVED
 - (N) DRIVEWAY, PAVERS OVER 8" BASE ROCK AND 2" SAND -- VERIFY PAVER DESIGN WITH OWNER
 - (N) HARDSCAPE--SLOPE AWAY FROM HOUSE @ 2% MIN.
 - (N) 36" MIN. DEEP LEVEL LANDING PER CRC 311.3 W STEPS (MAX. 7.75" RISER)- PROVIDE EQUAL RISERS IF MORE THAN 1 STEP
 - (N) TRELLIS ABOVE
 - (E) CURB CUT PER LOCAL JURISDICTION'S STANDARD DETAIL

PERMEABILITY AND LANDSCAPING -- FRONT YARD	
LANDSCAPE AREAS (PERMEABLE AREAS)	AREAS IN S.F.
L1	132.3
L2	155.3
L3	62.9
L4	24.7
TOTAL LANDSCAPE AREAS	375.2
HARDSCAPE AREAS (PERMEABLE AREAS)	
HP1	20.0
TOTAL LANDSCAPE AREAS	20.0
HARDSCAPE AREAS (IMPERMEABLE AREAS)	
HI1	126.3
HI2	240.0
TOTAL LANDSCAPE AREAS	366.3
TOTAL PERMEABLE AREAS	395.2
TOTAL IMPERMEABLE AREAS	366.3
TOTAL FRONT YARD AREA	761.5
MIN. % OF LANDSCAPE AREAS	20%
PROPOSED % OF LANDSCAPE AREAS	49%
MIN. % OF PERMEABLE AREAS	50%
PROPOSED % OF LANDSCAPE AREAS	52%

SITE PLAN KEYNOTES

- PROPERTY LINE--SEE TOPO SURVEY FOR MORE INFO
- REQUIRED YARD SETBACK/EASEMENT
- EXISTING GARAGE AREA CONVERTED TO NEW LIVING AREA
- EXISTING GARAGE AREA
- NEW LIVING AREA
- NEW HARDSCAPE -- STAMPED CONCRETE, IMPERMEABLE AREA
- NEW HARDSCAPE -- GRASS PAVERS, PERMEABLE AREA
- NEW LANDSCAPE -- PERMEABLE AREA
- SURFACE RUNOFF FLOW ARROW. SLOPE GRADE AT INDICATED PERCENT FOR MIN. 10'-0" FROM BUILDING PER CBC 1804.3
- UNCONCENTRATED SHEET FLOW TOWARDS STREET (EXISTING DRAINAGE PATTERN TO REMAIN)
- SPOT ELEVATION, SEE CIVIL DRAWINGS FOR MORE INFO

- NOTES:
- (E) WATER SUPPLY TO BE REPLACED FROM METER IN.
 - (E) SEWER LATERAL TO BE REPLACED FROM PROPERTY LINE IN.

SITE PLAN LEGEND



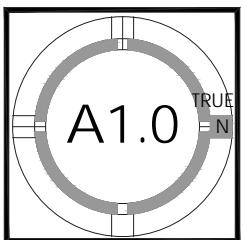
1000 S Winchester Blvd
San Jose, CA 95128
P : (408) 998 - 0983
F : (408) 404 - 0144

YUKON STREET RESIDENCE
REMODEL / ADDITION
52 YUKON STREET, SAN FRANCISCO, CA
348 OAKVIEW DRIVE, LLC



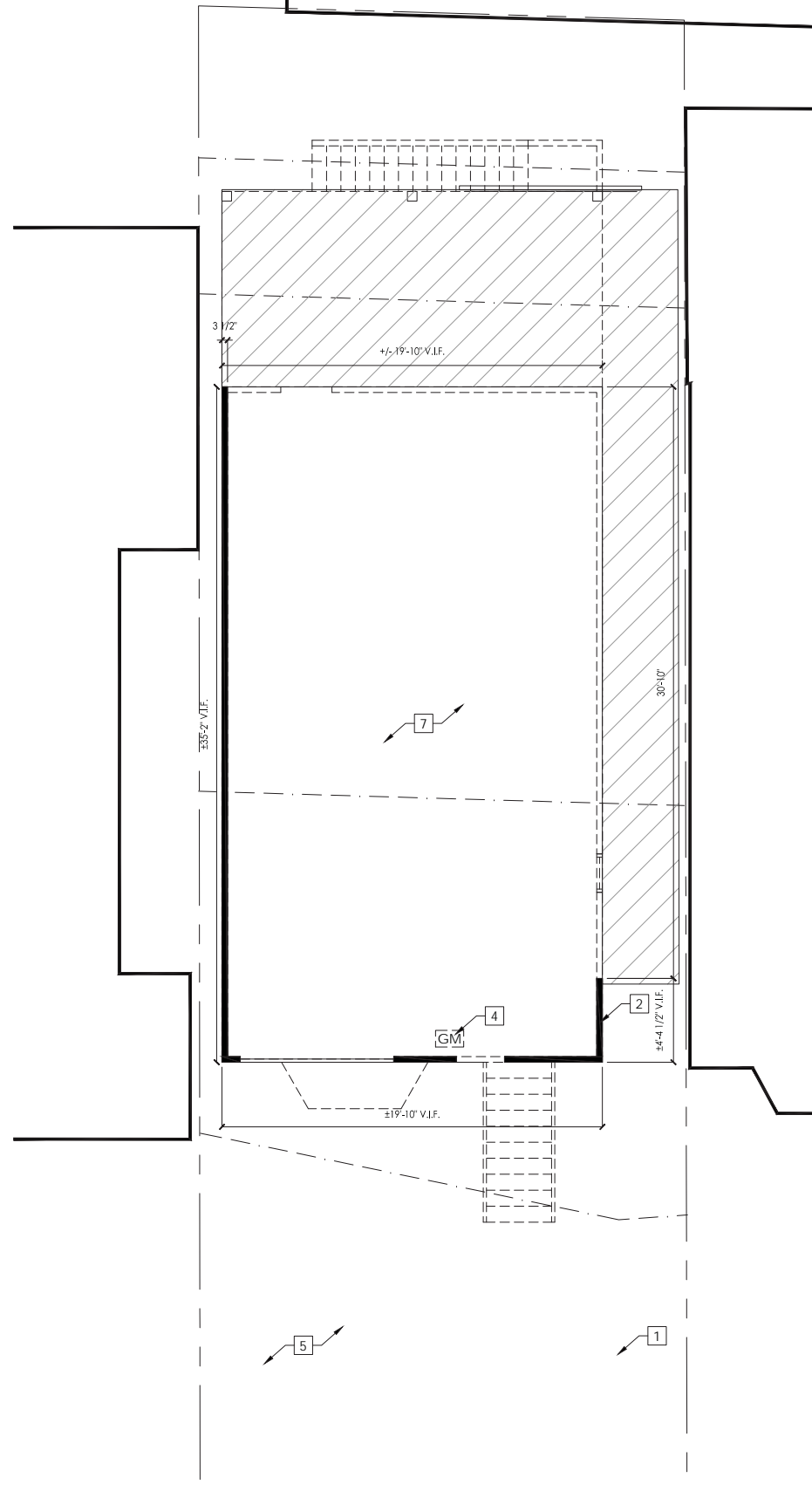
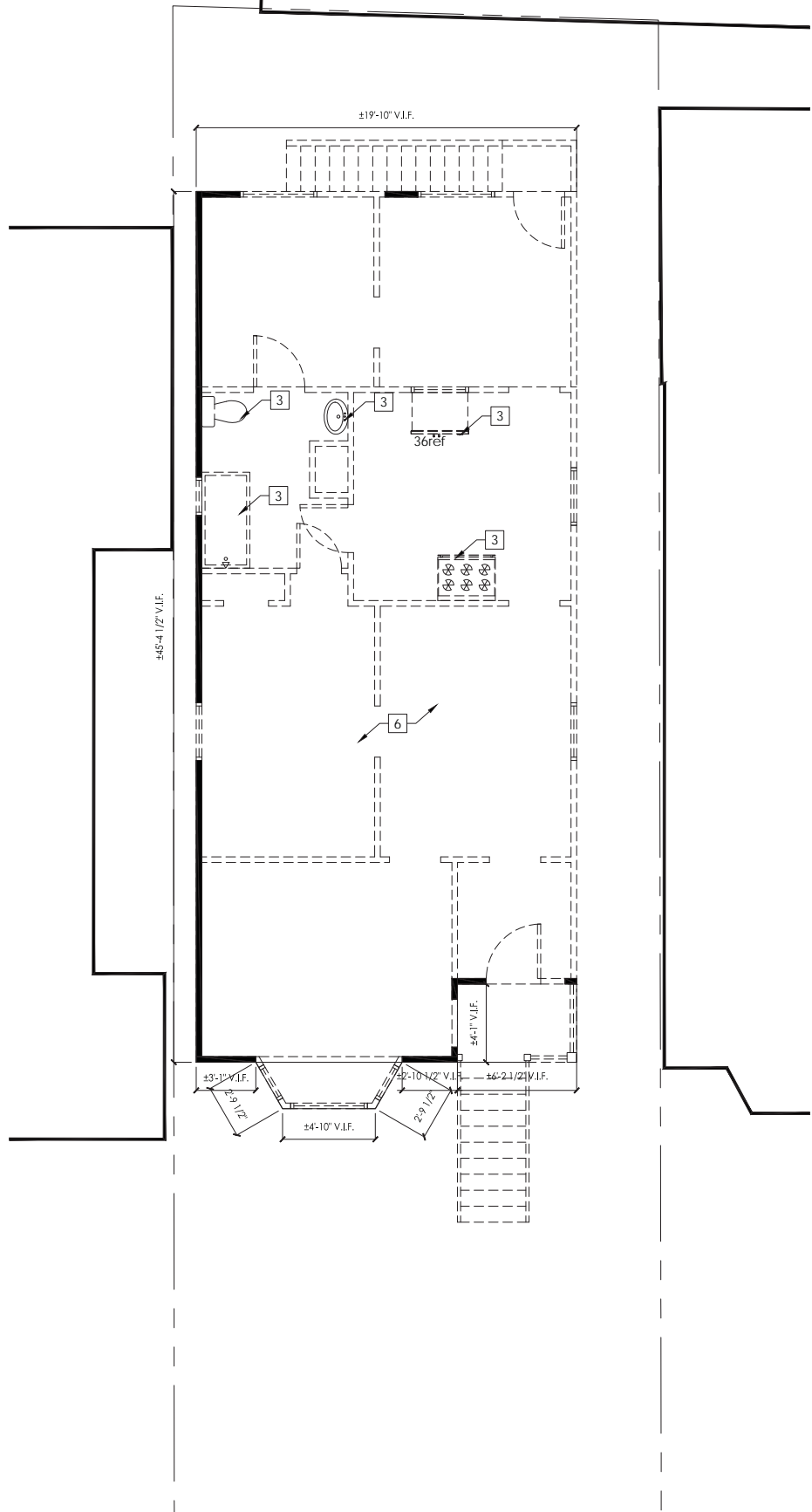
PROJECT NO.	REVISION	DATE	DESCRIPTION
16-020		09.06.2016	VARIANCE AND SITE PERMIT DJ
		03.08.2017	VARIANCE AND SITE PERMIT JA

SITE PLAN & DEMO SITE PLAN



EXISTING USABLE FLOOR AREA: 889.03 S.F.
EXISTING LIVING AREA: 889.03 S.F.

EXISTING USABLE FLOOR AREA: 697.52 S.F.
EXISTING GARAGE AREA: 697.52 S.F.



- # = NUMBER TO KEY NOTE BELOW
- (E) TREE TO REMAIN--SEE A1.0 FOR ADDITIONAL INFORMATION
 - REMOVE DRYWALL AT EXTERIOR WALLS TO REMAIN IN REMODELED AREA - PREP FOR NEW INSULATION
 - (E) APPLIANCE TO BE REMOVED
 - (E) GAS METER TO BE RELOCATED--SEE A1.0 FOR NEW LOCATION
 - (E) DRIVEWAY TO BE REMOVED
 - (E) FLOOR FRAMING TO REMAIN
 - (E) SLAB TO BE REMOVED

TOTAL EXISTING USABLE FLOOR AREA: 1,586.6 S.F.
TOTAL EXISTING GARAGE: 697.52 S.F.
EXISTING LIVING AREA: 889.03 S.F.

Section 317 Calculation

(2) "Demolition of Residential Buildings" shall mean any of the following:
(A) Any work on a Residential Building for which the Department of Building Inspection determines that an application for a demolition permit is required, or
(B) A major alteration of a Residential Building that proposes the Removal of more than 50% of the sum of the Front Facade and Rear Facade and also proposes the Removal of more than 45% of the sum of all exterior walls, measured in lineal feet of the town
(C) A major alteration of a Residential Building that proposes the Removal of more than 50% of the Vertical Envelope Elements and more than 50% of the Horizontal Elements of the existing building, as measured in square feet of actual surface area.
(D) The Planning Commission may reduce the above numerical elements of the criteria in Subsections (b)(2)(B) and (b)(2)(C), by up to 20% of their values should it deem that adjustment is necessary to implement the intent of this Section 317, to conserve e

Section	Description	Existing (S.F.)	Proposed	% Removed	% Remaining	OK?
B	50% front and rear facade being removed?					
	front	19.83	19.83	0.00%	100.00%	YES
	rear	19.83	0.3	98.49%	1.51%	YES
	total	39.66	20.13	49.24%	50.76%	YES, OK under section B
	45% of foundation level being removed?					
	wall of foundation level	110	59.4	46.00%	54.00%	NO
C	Removal of 50% of vertical exterior envelope?	Existing (S.F.)	Proposed	% Removed	% Remaining	OK?
	north wall	808.9	78	90.36%	9.64%	
	west wall	394.3	227.5	42.30%	57.70%	
	south wall	808.9	808.9	0.00%	100.00%	
	east wall	394.3	325.3	17.50%	82.50%	
	total	2406.4	1439.7	40.17%	59.83%	YES, OK under section C
	Removal of 50% of horizontal elements?					
	second floor	889	889	0%	100%	
	roof	931.1	0	100%	0%	
	total	1820.1	889	51%	49.84%	NO

Project complies under section 317.

- NOTES:
- SEE S/A0.1a FOR DEMOLITION GENERAL NOTES
 - REFER TO BID INSTRUCTIONS FOR ITEMS TO BE RETAINED FOR SALVAGE

DEMO PLAN KEYNOTES -

- EXISTING WALL TO REMAIN: REPAIR DAMAGE CAUSED BY REMOVING FINISHES AS NOTED ON A2.0. ALL WALLS TO RECEIVE NEW PAINT FINISH.
- EXISTING WALL OR ELEMENT TO BE DEMOLISHED--PROVIDE TEMPORARY SHORING FOR ROOF AND/OR CEILING
- AREA OF EXCAVATION FOR NEW FLOOR AREA--SEE NEW FLOOR PLAN FOR MORE INFO

DEMO PLAN LEGEND -



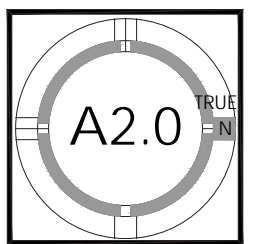
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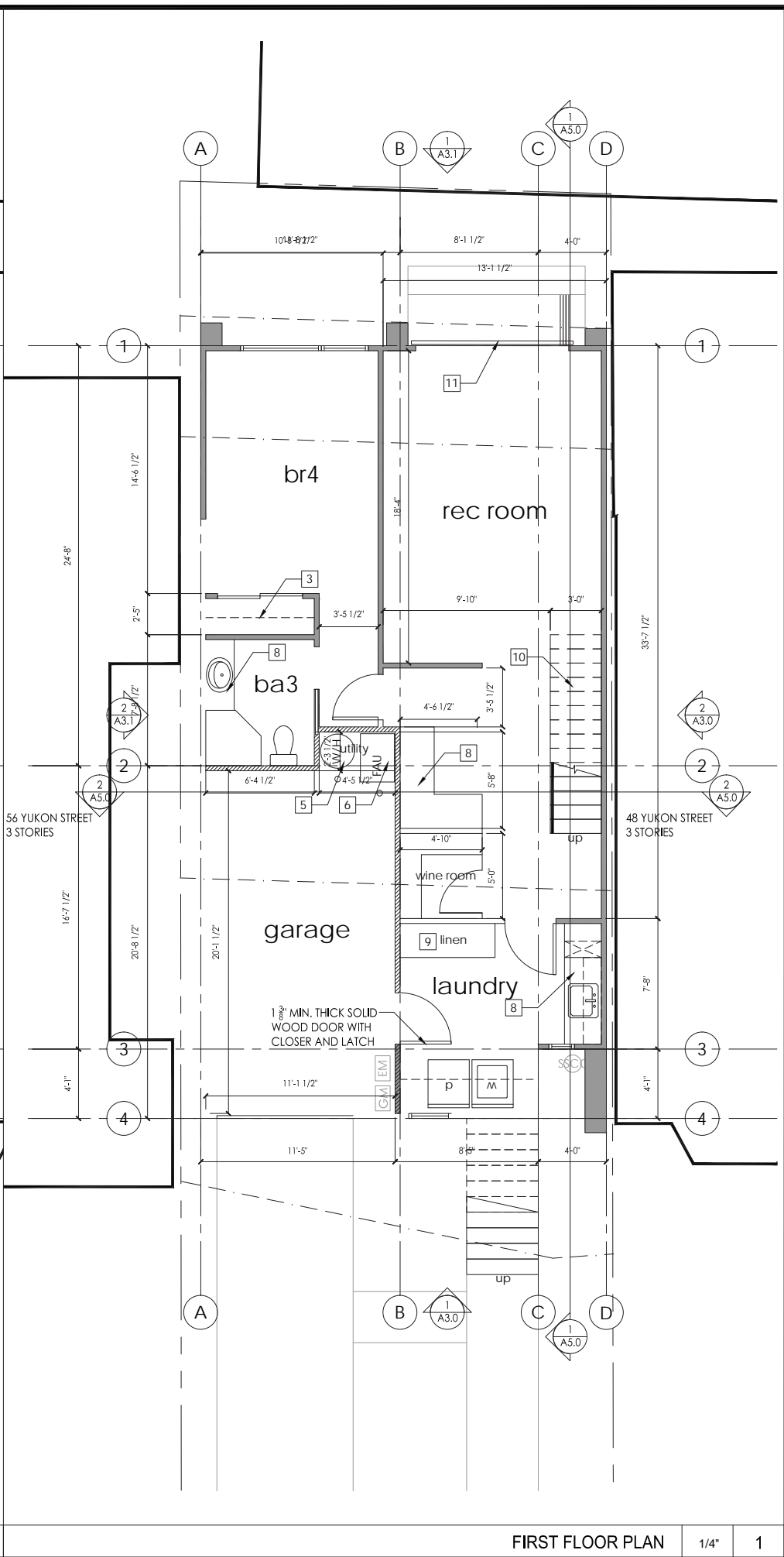
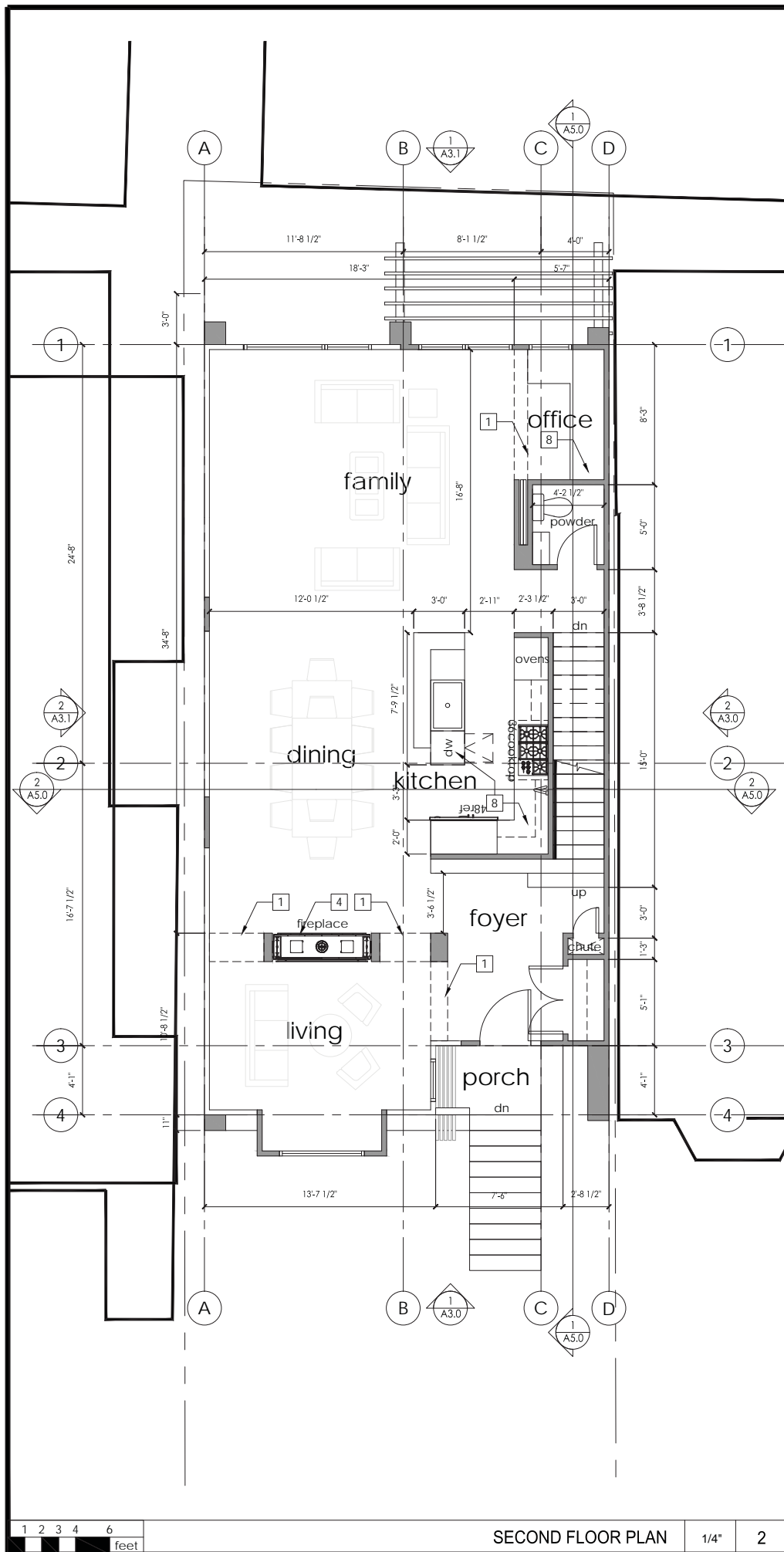
YUKON STREET RESIDENCE
REMODEL / ADDITION
52 YUKON STREET, SAN FRANCISCO, CA
348 OAKVIEW DRIVE, LLC



PROJECT NO.	16-020		
REVISION	DATE	DESCRIPTION	DRAWN BY
	09.06.2016	VARIANCE AND SITE PERMIT	DJ
	03.08.2017	VARIANCE AND SITE PERMIT	JA

DEMOLITION PLAN





- # = NUMBER TO KEY NOTE BELOW
1. LINE OF BEAM, SOFFIT AND/OR CROWN MOLDING ABOVE, TYP. SEE ALSO REFLECTED CEILING PLAN
 2. INDICATES PREFAB CLOSET SYSTEM (OWNER PROVIDE/CONTRACTOR INSTALL)
 3. INDICATES ROD AND SHELF AT ±6'-0" A.F.F.--VERIFY HEIGHT WITH OWNER
 4. (N) PREMANUFACTURED 6' 2-SIDED DIRECT-VENT SEALED-COMBUSTION GAS FIREPLACE, TO BE LISTED AND LABELED, TESTED BY AN APPROVED TESTING LABORATORY, AND INSTALLED IN ACCORDANCE WITH LISTING AND MANUF. INSTALLATION INSTRUCTIONS. FIREPLACE SHALL HAVE CLOSABLE METAL OR GLASS COVERING THE ENTIRE OPENING OF THE FIREBOX. FACTORY-BUILT FIREPLACES SHALL BE TESTED IN ACCORDANCE WITH UL-127. FIREPLACE TO COMPLY WITH EPA PHASE II EMISSION LIMITS--MANUF. HEAT & GLO; STYLE: PRIMO SEE-THROUGH GAS FIREPLACE; UL LISTING: ANSI Z21.50-2014/CSA 2.22-2014--VERIFY FINAL SELECTION WITH OWNER PRIOR TO PLACING ORDER
 5. (N) WATER HEATER IN GARAGE ON 18" HIGH PLATFORM WITH 4" CONCRETE FILLED STEEL BOLLARD IN FRONT. WATER HEATER TO BE STRAPPED PER PLUMBING GENERAL NOTES ON A0.1a. PROVIDE FOR MAKEUP AIR PER CMC 701.4 INDOOR COMBUSTION AIR
 6. (N) FURNACE IN GARAGE ON 18" HIGH PLATFORM WITH 4" CONCRETE FILLED STEEL BOLLARD IN FRONT--PROVIDE 30" WIDE, HIGH, AND DEEP CLEAR WORKING SPACE PER CMC 305.0. PROVIDE FOR MAKEUP AIR PER CMC 701.4 INDOOR COMBUSTION AIR
 7. SKYLIGHT--SEE RCP AND WINDOW SCHEDULE FOR MORE INFORMATION--CONTRACTOR TO USE SHAPED FRAMING MEMBERS TO ENSURE THAT SKYLIGHT SHAFT HAS NO JOGS OR ANGLES THAT ARE NOT SHOWN IN PLANS
 8. CUSTOM CABINETRY
 9. FULL HEIGHT LINEN CABINET WITH SHELVES, KRAFTMAID OR EQUAL
 10. INSTALL MIN. 1/2" GYP.BD. ON WALLS, UNDER-STAIR SURFACE, AND ANY SOFFITS AT ENCLOSED ACCESSIBLE SPACE UNDER STAIRS PER CRC 302.7
 11. ZURN Z880 OR EQ. 2-1/2" WIDE TRENCH DRAIN, DAYLIGHT AT EDGE OF PATIO (TO SIDEYARD)

NEW USABLE FLOOR AREA: 1,064.4 S.F.
 NEW LIVING AREA: 810.5 S.F.
 NEW GARAGE: 253.9 S.F.

- NOTE:
1. SEE 2/A0.1a FOR PLUMBING GENERAL NOTES
 2. SEE 3/A0.1a FOR MECHANICAL GENERAL NOTES
 3. SEE 4/A0.1a FOR ELECTRICAL GENERAL NOTES
 4. SEE 5/A0.1a FOR PLAN AND INTERIOR GENERAL NOTES

FLOOR PLAN KEYNOTES

- (N) WALL: EXTERIOR: 2x6 STUDS @16" O.C.; INTERIOR 2x4 STUDS @16" O.C.--SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR EXTERIOR WALL MATERIAL ASSEMBLIES. INSTALL 1 LAYER (MIN.) OF WEATHER RESISTIVE BARRIER (TYVEK HOUSE WRAP OR EQ.) OVER EXTERIOR WALLS SHEATHING PER CRC 703.2--INSTALL PER MANUF. INSTRUCTIONS. PROVIDE 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE @ INTERIOR PARTITIONS. PROVIDE CEMENT BOARD OR TILE BACKER BOARD AT SHOWER/TUB LOCATIONS. ALL WALLS TO RECEIVE (N) PAINT FINISH. ALL CEILINGS AT TUB/SHOWERS TO BE M.R. BOARD
- (E) WALL TO REMAIN: REPAIR DAMAGE CAUSED BY REMOVING FINISHES AS NOTED ON A2.0. ALL WALLS TO RECEIVE (N) PAINT FINISH.
- (N)/EXISTING WALL W/ 1 HOUR SEPARATION--5/8" TYPE 'X' GYP ON GARAGE SIDE FROM FOUNDATION TO ROOF SHEATHING



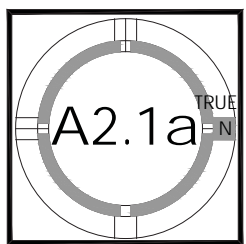
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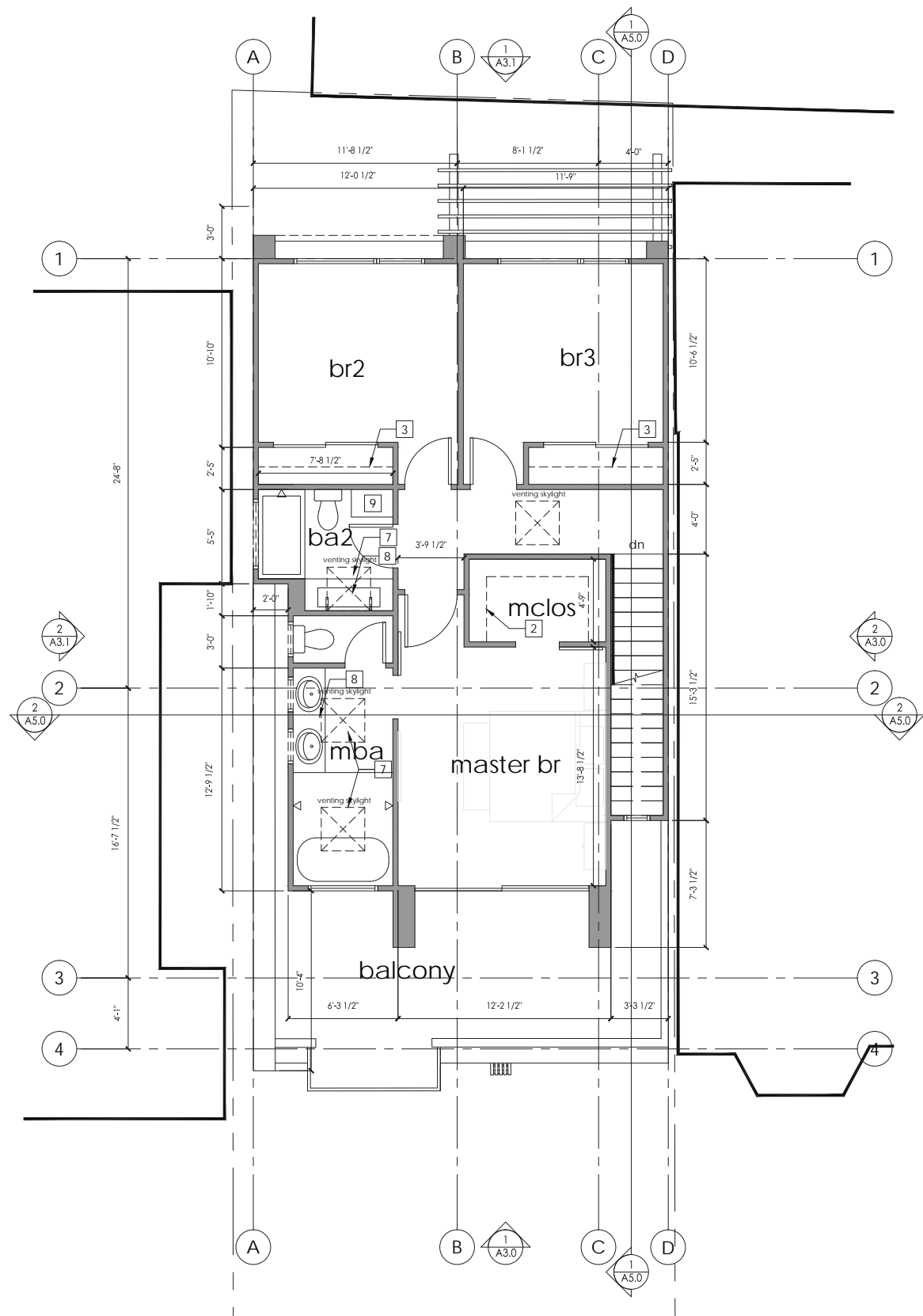
YUKON STREET RESIDENCE
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16-020		09.06.2016	VARIANCE AND SITE PERMIT	DJ
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FIRST & SECOND FLOOR PLAN





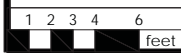
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NEW USABLE FLOOR AREA: 816.0 S.F.
 NEW LIVING AREA: 816.0 S.F.

- NOTE:
1. SEE 2/A0.1a FOR PLUMBING GENERAL NOTES
 2. SEE 3/A0.1a FOR MECHANICAL GENERAL NOTES
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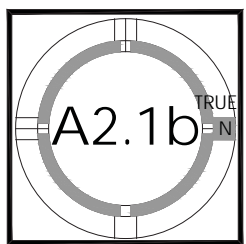
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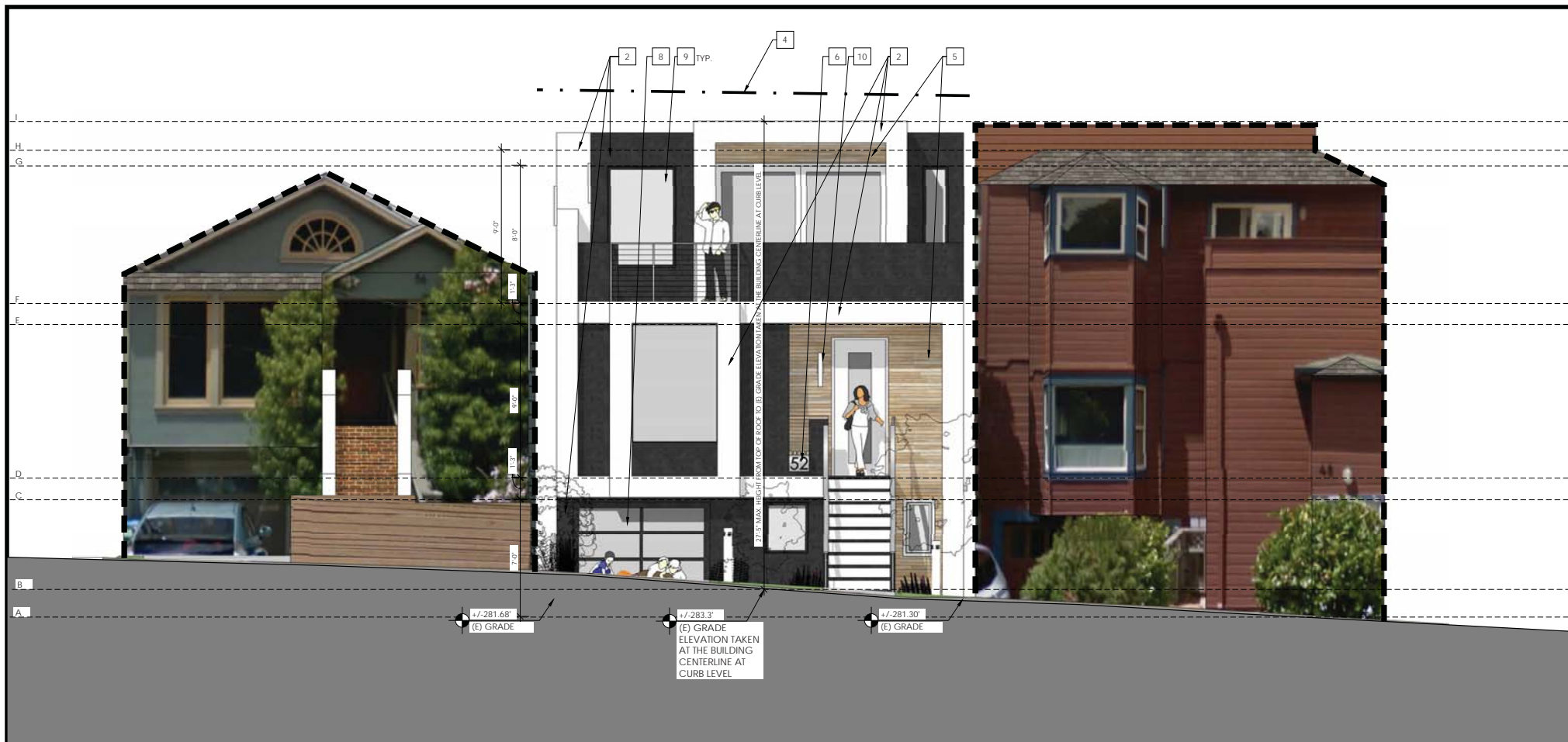
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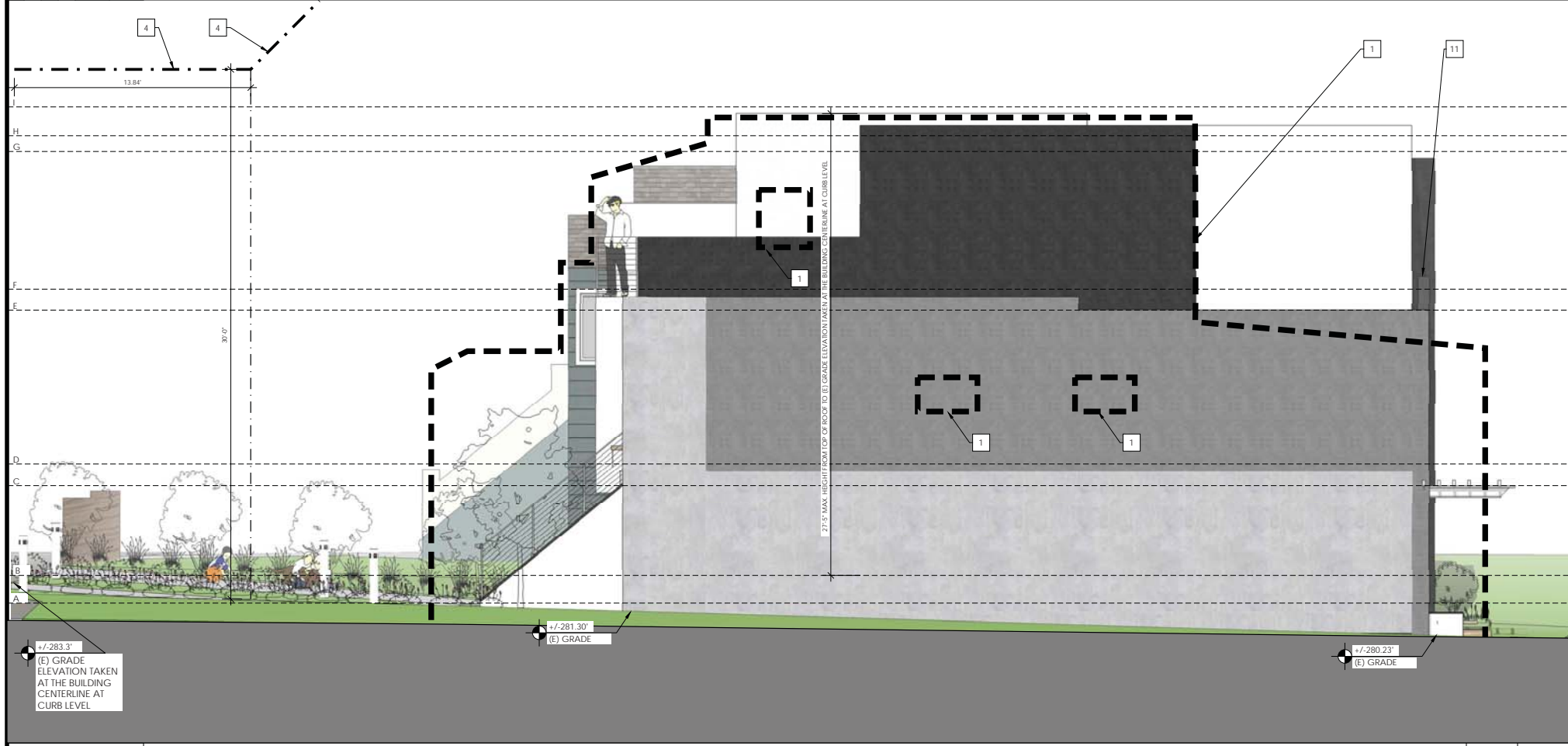
THIRD FLOOR PLAN





- # = NUMBER OF KEYNOTE BELOW
- 1 INDICATES ELEVATION PROFILE OF ADJACENT RESIDENCE AND FENESTRATIONS FACING SUBJECT PROPERTY
 - 2 PAINTED STEEL TROWELED IGNITION RESISTANT CEMENT PLASTER SYSTEM (SMOOTH FINISH) - 7/8" CEMENT PLASTER O/ METAL LATH O/ 2 LAYERS GRADE 'D' OR BETTER BUILDING PAPER, 3 COAT SYSTEM WITH 26 ga. WEEP SCREED AT WALL BASE AT LEAST 4" ABOVE GRADE OR 2" ABOVE HARDSCAPE PLASTER REVEAL
 - 3
 - 4 INDICATES A 45 DEGREE ANGLE STARTING AT THE NEXUS OF THE 30' HEIGHT MAXIMUM AND REQUIRED FRONT SETBACK. MAXIMUM REQUIRED FRONT SETBACK FOR THIS PROPERTY IS THE 15% OF THE AVERAGE LOT DEPTH. AVERAGE LOT DEPTH IS 92.25', 15% OF THE AVERAGE LOT DEPTH IS 13.84'
 - 5 STAIN GRADE CEDAR SIDING @ 1 LAYER TYVEK HOUSE WRAP--SIDING PROFILE: V-GROOVE T&G; CEDAR GRADE: CLEAR HEART PER WESTERN RED CEDAR LUMBER ASSOCIATION STANDARDS
 - 6 PIN MOUNTED LED ILLUMINATED ADDRESS SIGNAGE, CLEARLY VISIBLE FROM ADJACENT STREET--HEIGHT: 8" STYLE: LUXELLO LED, MODERN NEUTRA HOUSE NUMBERS LED BACKLIT; FINISH: ANODIZED--www.surrounding.com/products/luxello--PROVIDE PHOTOSENSOR CONNECTED LED BACKLIGHTING @ EACH NUMBER
 - 7 PAINT GRADE CEMENT FIBER TRELIS--SEE ROOF PLAN FOR MORE INFO
 - 8 DARK-BRONZE ANODIZED ALUMINUM GARAGE DOOR WITH TEMPERED GLAZING PICTURE WINDOWS--SEE DOOR SCHEDULE FOR MORE INFO
 - 9 WINDOW/DOOR OPENING--SEE WINDOW AND DOOR SCHEDULES FOR MORE INFO--DOORS AND WINDOWS TO HAVE 2" PAINTED FIBER CEMENT TRIM TYPICAL, U.N.O.
 - 10 EXTERIOR LIGHT, INSTALL PER MANUF. INSTRUCTIONS--MANUF.: HINKLEY LIGHTING; STYLE: ATLANTIS 1640TT-LED; COLOR: TITANIUM--www.hinkleylighting.com
 - 11 OPENING THROUGH WALL--WRAP ALL SIDES WITH FLEXIBLE SELF-ADHERED FLASHING AND LAP VERTICAL WALL SURFACES 8" MIN.

1 2 3 4 6 feet PROPOSED EAST ELEVATION (FRONT) 1/4" 1



- NOTES:
1. SEE 2/A0.1a FOR PLUMBING GENERAL NOTES
 2. SEE 3/A0.1a FOR MECHANICAL GENERAL NOTES
 3. SEE 3/A0.1a FOR ELECTRICAL GENERAL NOTES
 4. SEE 4/A0.1a FOR PLAN AND INTERIOR GENERAL NOTES
 5. EXTERIOR HARDSCAPE AND EXTERIOR STAIRS NOT SHOWN FOR CLARITY--SEE A0.3a FOR 3D MODEL VIEWS

KEYNOTES		-	-
A	1ST FLOOR FINISH FLOOR = +/- 281.60'		
B	(E) GRADE ELEVATION TAKEN AT THE BUILDING CENTERLINE AT CURB LEVEL = 283.3'		
C	1ST FLOOR CEILING HEIGHT (U.N.O.) = +/- 288.55'		
D	2ND FLOOR FINISH FLOOR (U.N.O.) = +/- 289.80'		
E	2ND FLOOR CEILING HEIGHT (U.N.O.) = +/- 298.80'		
F	3RD FLOOR FINISH FLOOR (U.N.O.) = +/- 300.05'		
G	3RD FLOOR CEILING HEIGHT (U.N.O.) = +/- 308.05'		
H	MASTER BR / MCLOS CEILING HEIGHT = +/- 309.05'		
I	PROPOSED BUILDING HEIGHT = +/- 310.72'		

1 2 3 4 6 feet PROPOSED NORTH ELEVATION (RIGHT) 1/4" 2

ELEVATION GRID LINE KEY		-	-
A	1ST FLOOR FINISH FLOOR = +/- 281.60'		
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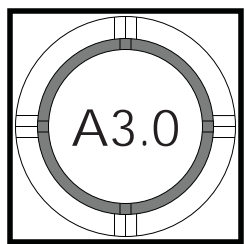
1000 S. Winchester Blvd
 San Jose, CA 95128
 P : (408) 998 - 0983
 F : (408) 404 - 0144

YUKON STREET RESIDENCE
 REMODEL / ADDITION
 52 YUKON STREET, SAN FRANCISCO, CA
 348 OAKVIEW DRIVE, LLC



REVISION	DATE	DESCRIPTION	DRAWN BY
	09.06.2016	VARIANCE AND SITE PERMIT	DJ
	03.08.2017	VARIANCE AND SITE PERMIT	JA

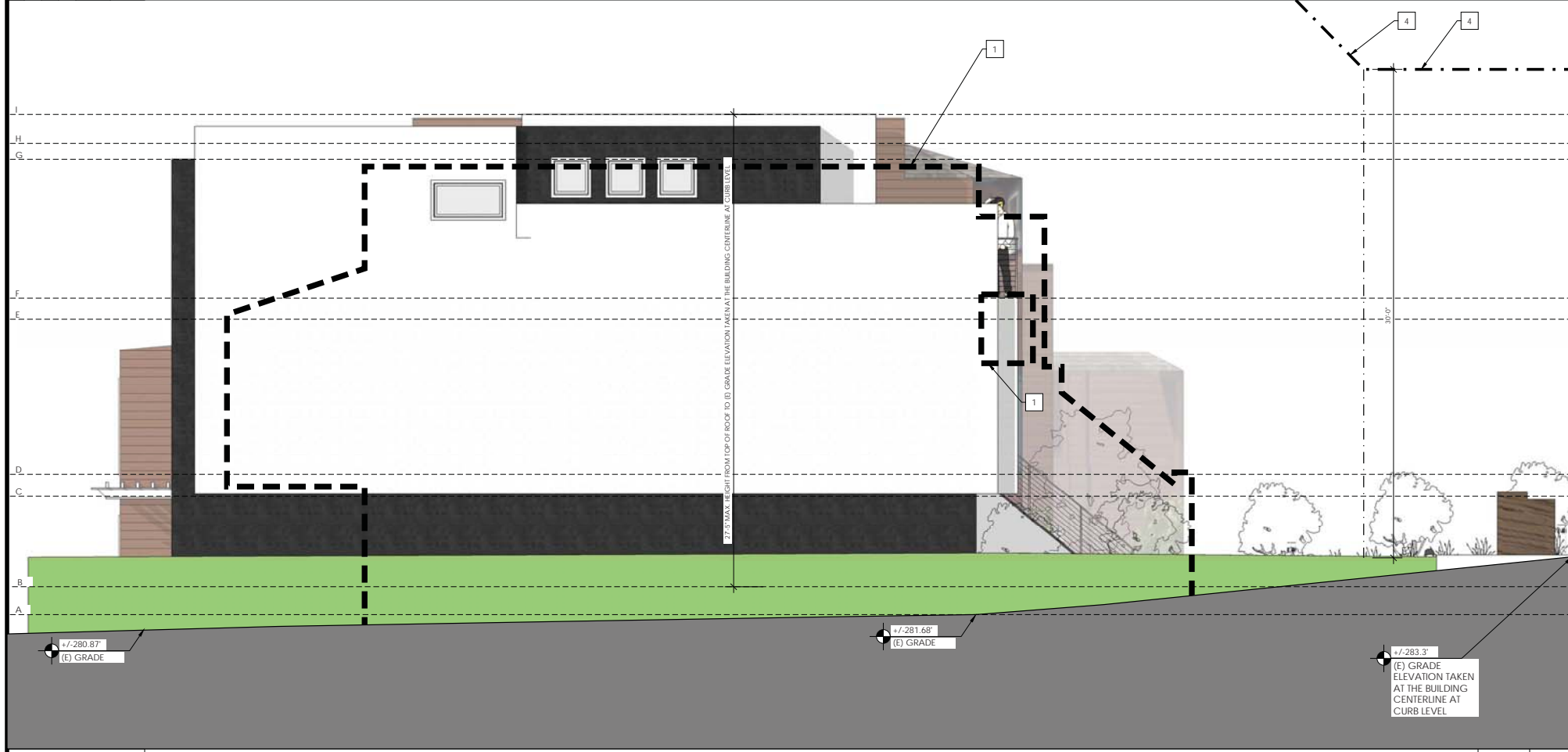
PROPOSED EXTERIOR ELEVATIONS





- # = NUMBER OF KEYNOTE BELOW
- 1 INDICATES ELEVATION PROFILE OF ADJACENT RESIDENCE AND FENESTRATIONS FACING SUBJECT PROPERTY
 - 2 PAINTED STEEL TROWELED IGNITION RESISTANT CEMENT PLASTER SYSTEM (SMOOTH FINISH) - 7/8" CEMENT PLASTER O/ METAL LATH O/ 2 LAYERS GRADE 'D' OR BETTER BUILDING PAPER, 3 COAT SYSTEM WITH 26 ga. WEEP SCREED AT WALL BASE AT LEAST 4" ABOVE GRADE OR 2" ABOVE HARDSCAPE PLASTER REVEAL
 - 3 INDICATES A 45 DEGREE ANGLE STARTING AT THE NEXUS OF THE 30' HEIGHT MAXIMUM AND REQUIRED FRONT SETBACK. MAXIMUM REQUIRED FRONT SETBACK FOR THIS PROPERTY IS THE 15% OF THE AVERAGE LOT DEPTH. AVERAGE LOT DEPTH IS 92.25', 15% OF THE AVERAGE LOT DEPTH IS 13.84'
 - 4 STAIN GRADE CEDAR SIDING o/ 1 LAYER TYVEK HOUSE WRAP--SIDING PROFILE: V-GROOVE T&G; CEDAR GRADE: CLEAR HEART PER WESTERN RED CEDAR LUMBER ASSOCIATION STANDARDS
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1 2 3 4 6 feet PROPOSED WEST ELEVATION (REAR) 1/4" 1



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G	3RD FLOOR CEILING HEIGHT (U.N.O.) = +/- 308.05'	
H	MASTER BR / MCLOS CEILING HEIGHT = +/- 309.05'	
I	PROPOSED BUILDING HEIGHT = +/- 310.72'	

1 2 3 4 6 feet PROPOSED SOUTH ELEVATION (LEFT) 1/4" 2

ELEVATION GRID LINE KEY - -



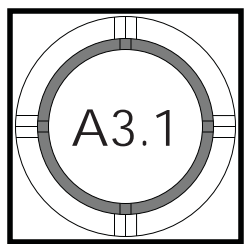
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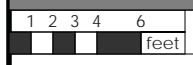
YUKON STREET RESIDENCE
REMODEL / ADDITION
52 YUKON STREET, SAN FRANCISCO, CA
348 OAKVIEW DRIVE, LLC



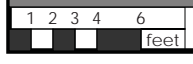
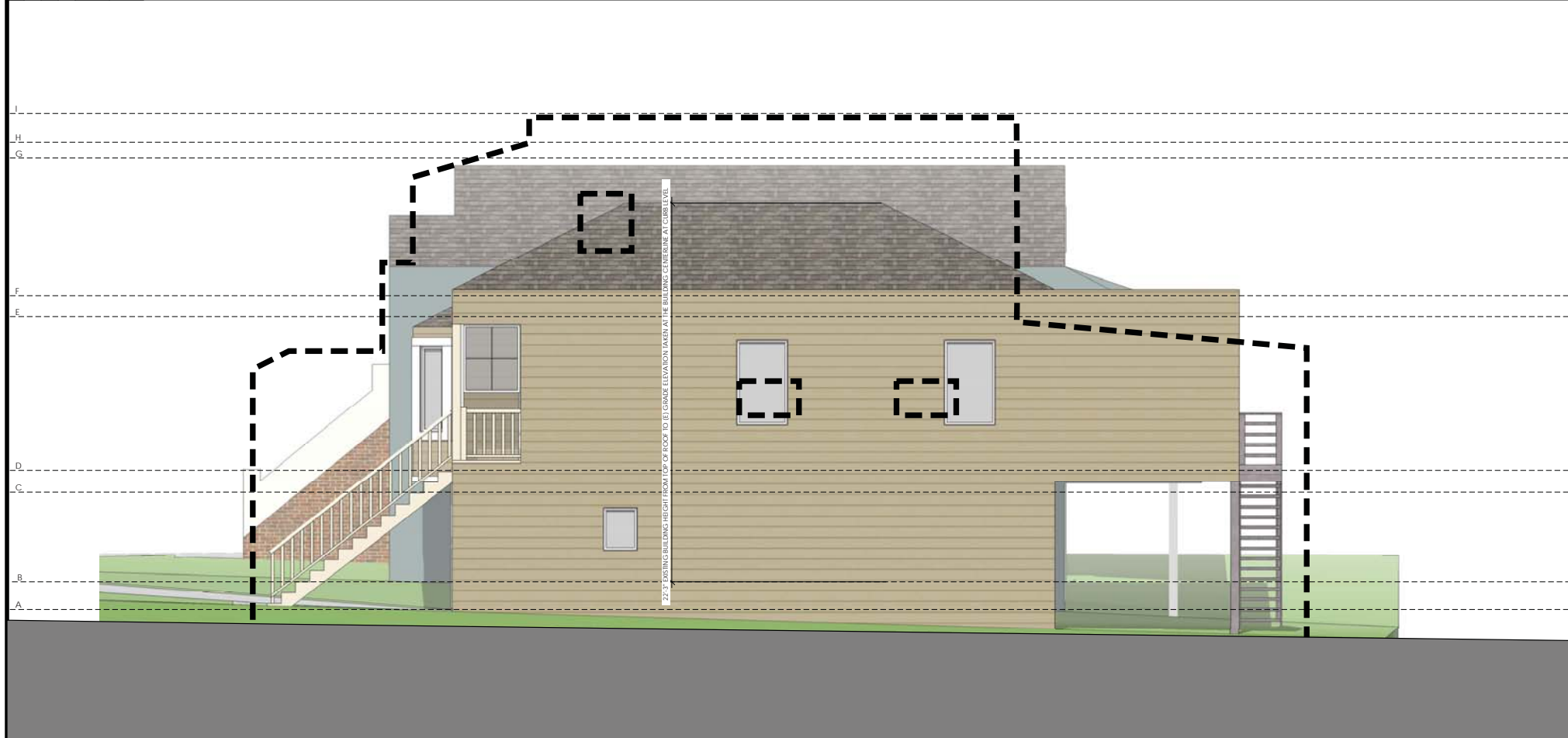
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PROPOSED EXTERIOR ELEVATIONS





EXISTING EAST ELEVATION (FRONT) 1/4" 1



EXISTING NORTH ELEVATION (RIGHT) 1/4" 2

- NOTES:
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ELEVATION GRID LINE KEY	-	-



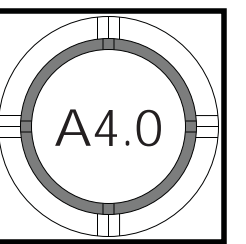
STUDIO 5 SQUARED
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EXISTING
EXTERIOR
ELEVATIONS





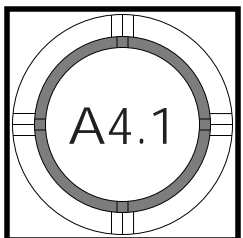
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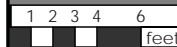
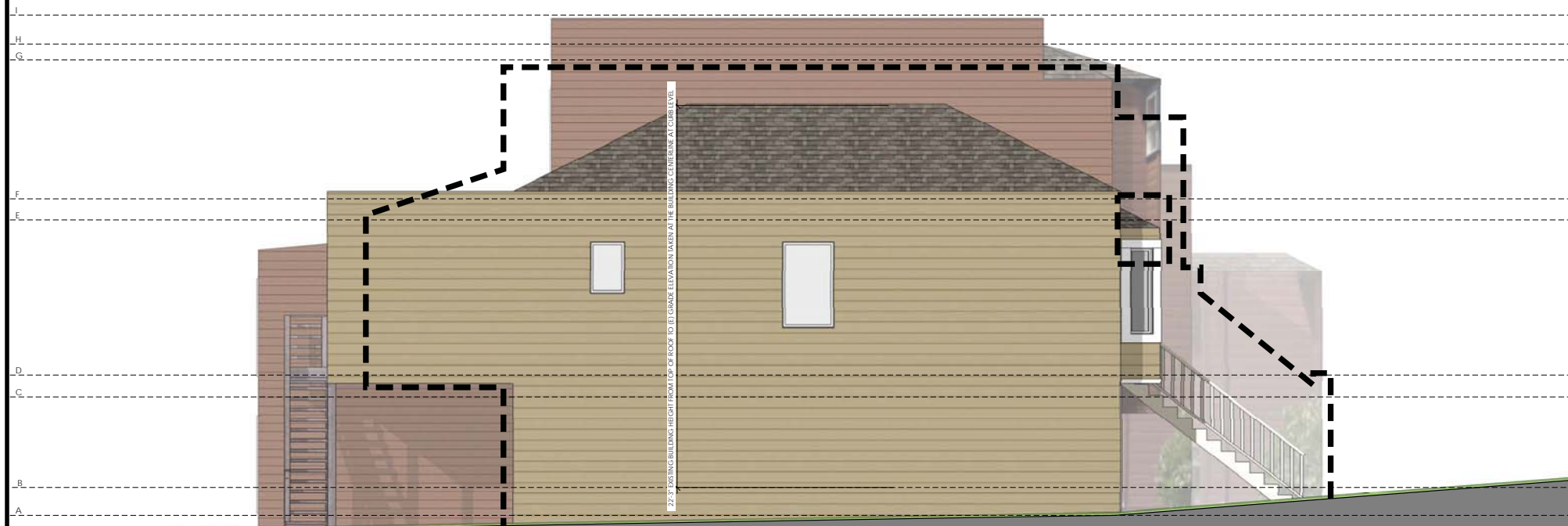


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EXISTING EXTERIOR ELEVATIONS



EXISTING WEST ELEVATION (REAR) 1/4" 1



EXISTING SOUTH ELEVATION (LEFT) 1/4" 2

- NOTES:
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ELEVATION GRID LINE KEY	-	-