



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

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**415.558.6378**

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**415.558.6377**



**SAN FRANCISCO  
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

# NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, January 25, 2017**  
 Time: **Not before 9:30 AM**  
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**  
 Case Type: **Variance**  
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: <b>3700 20th Street</b>	Case No.: <b>2016-012613VAR</b>
Cross Street(s): <b>Guerrero Street</b>	Building Permit:
Block /Lot No.: <b>3598/009</b>	Applicant: <b>Harvey Hacker</b>
Zoning District(s): <b>RM-2 / 40-X</b>	Telephone: <b>(415) 957-0579</b>
Area Plan:	E-Mail: <b>Harvey@harveyhacker.com</b>

## PROJECT DESCRIPTION

The proposed project is to add one Accessory Dwelling Unit at the basement level of an existing three-story, twenty-four-unit residential building undergoing seismic retrofitting.

**PER SECTION 140 OF THE PLANNING CODE** the subject property is required to have windows of each unit face directly on an open area no less than 25 feet in every horizontal dimension, with an increase of five feet in every horizontal dimension at each subsequent floor immediately above. The dimensions of the open area may be reduced to 15 feet in width and depth for Accessory Dwelling Units. The subject property has no rear yard and a side yard that is 9 feet-3 inches in width and 56 feet -6 inches in length; the proposed Accessory Dwelling Unit will face onto that side yard, which is less than the minimum 15 foot by 15 foot open area required for reduced dwelling unit exposure, thereby requiring an exposure variance.

## ADDITIONAL INFORMATION

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://notice.sfplanning.org/2016-012613VAR.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

### FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Ella Samonsky** Telephone: **(415) 575-9112** E-Mail: [ella.samonsky@sfgov.org](mailto:ella.samonsky@sfgov.org)

# GENERAL INFORMATION ABOUT PROCEDURES

## HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

## APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

# ADD ACCESSORY DWELLING UNIT

## 3700 20TH STREET

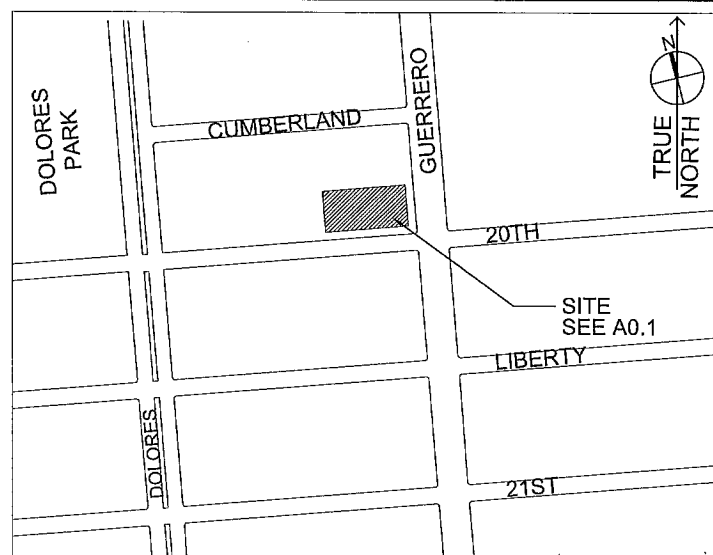
### San Francisco, California

REVISIONS	BY
VARIANCE 2016 DEC-04	

#### GENERAL NOTES

- THESE NOTES APPLY TO ALL DRAWINGS AND GOVERN UNLESS NOTED OR SPECIFIED FOR MORE SPECIFIC REQUIREMENTS APPLICABLE TO PARTICULAR DIVISIONS OF THE WORK. SEE NOTES CONTAINED IN SUBSECTIONS OF THESE DRAWINGS.
- THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, (AIA DOCUMENT A201), LATEST EDITION, AND SPECIFICATIONS SUPPLEMENT THESE DRAWINGS AND OR ARE A PART OF THE CONTRACT DOCUMENTS.
- ALL WORK SHALL CONFORM TO ALL APPLICABLE PERMITS, REGULATIONS, CODES, AND ORDINANCES OF PUBLIC AUTHORITIES, FEDERAL, STATE, AND LOCAL, HAVING JURISDICTION.
- CONTRACTOR SHALL VISIT SITE AND BE FULLY COGNIZANT OF ALL FIELD CONDITIONS. ANY CONFLICTS OR DISCREPANCIES BETWEEN THE DRAWINGS AND SITE CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- DISCREPANCIES WITHIN THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING.
- CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS IN FIELD. ON DRAWINGS, ONLY WRITTEN DIMENSIONS SHALL BE USED. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERIFY AND BE MADE COMPLETELY RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. ARCHITECT MUST BE NOTIFIED IN WRITING OF ANY PROPOSED OR REQUIRED VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN, AND A WRITTEN CHANGE ORDER ISSUED BEFORE MAKING ANY CHANGES AT THE JOB SITE.
- CONTRACTOR ACKNOWLEDGES THAT HE HAS THOROUGHLY FAMILIARIZED HIMSELF WITH THE BUILDING SITE CONDITIONS WITH THE DRAWINGS AND SPECIFICATIONS, WITH THE DELIVERY FACILITIES, AND ALL OTHER MATTERS AND CONDITIONS WHICH MAY AFFECT THE OPERATION OF THE WORK, AND ASSUMES ALL RISK THEREFROM.
- ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS OTHERWISE INDICATED; DIMENSIONS LOCATING DOORS AND WINDOWS ARE TO EDGE OF DOOR JAMB OR EDGE OF WINDOW, UNLESS OTHERWISE INDICATED.
- THESE DRAWINGS AND ALL IDEAS, ARRANGEMENTS AND PLANS, EITHER INDICATED OR REPRESENTED BY THESE DRAWINGS ARE OWNED BY, AND ARE THE PROPERTY OF HARVEY HACKER ARCHITECTS, AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH THE PROJECT SO DESIGNATED IN THE TITLE BLOCK. NONE OF THESE IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY, OR DISCLOSED TO, ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER, NOR SHALL ANY CHANGES WHATSOEVER BE MADE ON THIS DRAWING WITHOUT THE WRITTEN PERMISSION FROM HARVEY HACKER ARCHITECTS. THESE DRAWINGS ARE NOT VALID FOR ANY USE UNLESS THEY BEAR THE ORIGINAL SEAL AND SIGNATURE OF THE ARCHITECT. UPON COMPLETION OF THE PROJECT, ALL PLANS

#### LOCATION MAP



SCALE: N.T.S.

#### PROJECT DIRECTORY

OWNER:  
THEODORE R. ANSTEDT  
105 ROBLAR AVENUE  
HILLSBOROUGH, CA 94014  
TEL: (650) 579-2944  
EMAIL: TEDANSTEDT@AOL.COM  
CONTACT: TED ANSTEDT

ARCHITECT:  
HARVEY HACKER ARCHITECTS  
528 BRYANT STREET  
SAN FRANCISCO, CA 94107  
TEL: (415) 957 0579  
FAX: (415) 957 5851  
EMAIL: HARVEY@HARVEYHACKER.COM  
CONTACT: HARVEY HACKER

#### SHEET INDEX

- ARCHITECTURAL:
- A0.0 TITLE SHEET
  - A0.1 SITE PLAN
  - A1.0 EXISTING & PROPOSED GROUND FLOOR PLAN & SECTION
  - A1.1 FIRST FLOOR PLAN & WEST ELEVATION
  - A2.1 ENLARGED FLOOR PLAN

#### ABBREVIATIONS

A.B.	ANCHOR BOLT	D.S.	DOWNSPOUT	I.D.	INSIDE DIMENSION	REFR.	REFRIGERATOR
A.F.F.	ABOVE FINISH FLOOR	DIM.	DIMENSION	INSUL.	INSULATION	REQ.	REQUIRED
ABV.	ABOVE	DN.	DOWN	INT.	INTERIOR	RESIL.	RESILIENT
ACOUS.	ACOUSTICAL	DRWG.	DRAWING	JT.	JOINT	RM.	ROOM
A.C.T.	ACOUSTICAL CEILING TILE	(E)	EXISTING	MAX.	MAXIMUM	S	SOUTH
		E.	EAST	MECH.	MECHANICAL	S.C.	SOLID CORE
		EA.	EACH	MEMB.	MEMBRANE	S.S.D.	SEE STRUCTURAL DRAWINGS
ADJ.	ADJUSTABLE	EL.	ELEVATION	MFR.	MANUFACTURER	SHT.	SHEET
ALUM.	ALUMINUM	ELEC.	ELECTRICAL	MIN.	MINIMUM	SIM.	SIMILAR
ARCH.	ARCHITECTURAL	EQ.	EQUAL	MISC.	MISCELLANEOUS	SQ.	SQUARE
		EXP.	EXPANSION	MTL.	METAL	STD.	STANDARD
		EXT.	EXTERIOR	(N)	NEW	STL.	STEEL
B.O.	BOTTOM OF			N	NORTH	SYM.	SYMMETRICAL
B.O.W.	BOTTOM OF WALL			N.I.C.	NOT IN CONTRACT		
BASE.	BASEBOARD	F.E.	FIRE EXTINGUISHER	N.T.S.	NOT TO SCALE		
BD.	BOARD			NOM.	NOMINAL	T	TREAD
BLDG.	BUILDING	F.F.	FINISH FLOOR	O.C.	ON CENTER	T & G	TONGUE & GROOVE
BLKG.	BLOCKING	F.O.	FACE OF FINISH	O.D.	OUTSIDE DIAMETER	T.B.	TOWEL BAR
BTWN.	BETWEEN	FLASH.	FLASHING	OFCI	OWNER-FURNISHED, CONTRACTOR-INSTALLED	T.O.	TOP OF
		FL., FLR.	FLOOR	OFOI	OWNER-FURNISHED, OWNER-INSTALLED	T.O.S.	TOP OF SLAB
		FLUOR.	FLUORESCENT	OPNG.	OPENING	T.O.W.	TOP OF WALL
C. JT.	CONTROL JOINT	FT.	FOOT OR FEET	OPP.	OPPOSITE	T.P.D.	TOILET PAPER DISPENSER
CAB.	CABINET	FTG.	FOOTING			TEL.	TELEPHONE
CER.	CERAMIC					TYP.	TYPICAL
CFCI	CONTRACTOR FURNISHED CONTRACTOR INSTALLED	G.S.M.	GALVANIZED SHEET METAL	P.	PAVEMENT	U.O.N.	UNLESS OTHERWISE NOTED
CLG.	CEILING			P. LAM.	PLASTIC LAMINATE		
CLR.	CLEAR	GA.	GAUGE	PL.	PANELING		
CNTR.	COUNTER	CER.	CERAMIC	PLAS.	PLASTER	V.C.T.	VINYL COMPOSITE TILE
COL.	COLUMN	GALV.	GALVANIZED	PLYWD.	PLYWOOD	V.I.F.	VERIFY IN FIELD
COMP.	COMPOSITION	GL.	GLASS	PTD.	PAINTED	VAR.	VARIES
CONC.	CONCRETE	GWB.	GYPSPUM WALL BOARD	R.	RISER	VERT.	VERTICAL
CONT.	CONTINUOUS			R.O.	ROUGH OPENING		
CPT.	CARPET	H.C.	HOLLOW CORE	R.W.L.	RAIN WATER LEADER	W	WEST
CTR.	CENTER	H.M.	HOLLOW METAL	RAD.	RADIUS	W.O.	WINDOW OPENING
		HDWD.	HARDWOOD	RDWD.	REDWOOD	W/	WITH
		HORIZ.	HORIZONTAL			W/O	WITHOUT
						WD.	WOOD
						WT.	WEIGHT

#### SCOPE OF WORK

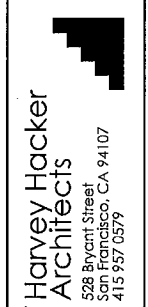
- ADD ACCESSORY DWELLING UNIT

#### PLANNING CODE

<u>PLANNING CODE:</u>	SAN FRANCISCO PLANNING CODE, THROUGH SEPTEMBER 2016
<u>STREET ADDRESS:</u>	3700 20TH STREET SAN FRANCISCO, CA 94110
<u>BLOCK / LOT:</u>	BLOCK 3598 / PARCEL 009
<u>LOT AREA:</u>	5919 SF
<u>USE DISTRICT:</u>	RM-2 - RESIDENTIAL- MIXED, MODERATE DENSITY
<u>HEIGHT LIMIT:</u>	40-X
<u>EXISTING &amp; PROPOSED USE:</u>	RESIDENTIAL
<u>BUILDING GROSS AREA:</u>	15,021 SF TOTAL

#### BUILDING CODE

<u>CODES:</u>	CALIFORNIA BUILDING CODE, 2013 EDITION CALIFORNIA ELECTRICAL CODE, 2013 EDITION CALIFORNIA FIRE CODE, 2013 EDITION CALIFORNIA MECHANICAL CODE, 2013 EDITION CALIFORNIA PLUMBING CODE, 2013 EDITION CALIFORNIA GREEN BUILDING CODE, 2013 EDITION SAN FRANCISCO CODE AMENDMENTS TO ALL OF THE ABOVE 2013 SAN FRANCISCO HOUSING CODE CALIFORNIA ENERGY CODE, 2013 EDITION	<u>EXISTING OCCUPANCY CLASSIFICATION:</u>
		<u>GROUND FLOOR:</u> S
		<u>FIRST FLOOR:</u> R-2
		<u>SECOND FLOOR:</u> R-2
		<u>THIRD FLOOR:</u> R-2
		<u>PROPOSED OCCUPANCY CLASSIFICATION:</u>
		<u>GROUND FLOOR:</u> S/ R-2
		<u>FIRST FLOOR:</u> R-2
		<u>SECOND FLOOR:</u> R-2
		<u>THIRD FLOOR:</u> R-2
<u>CONSTRUCTION TYPE:</u>	EXISTING & PROPOSED: V-B, UNSPRINKLERED	



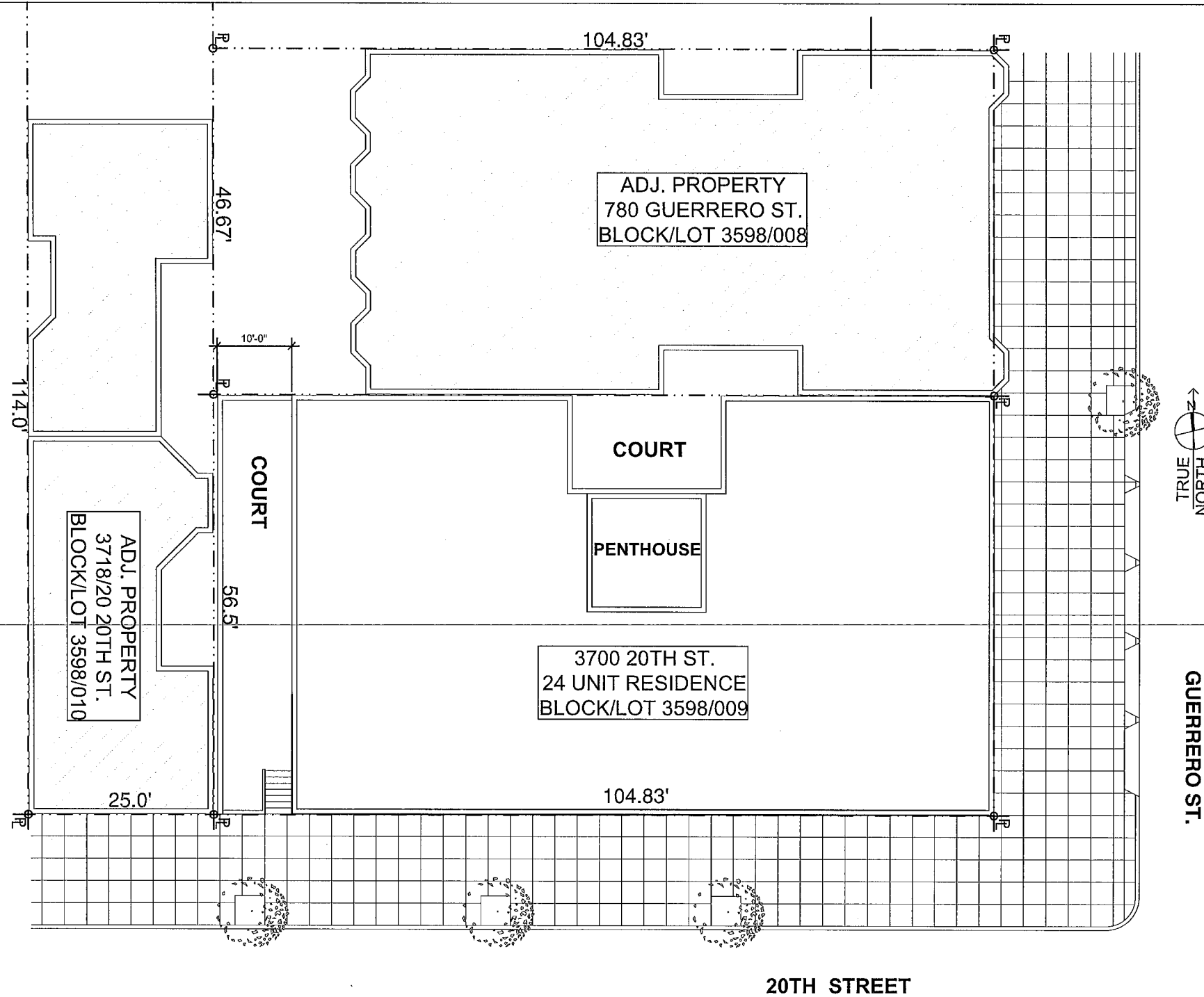
**ADDITIONAL DWELLING UNIT**  
 3700 20TH STREET  
 SAN FRANCISCO, CA

**TITLE SHEET**

DATE	25 MAY 2016
SCALE	AS NOTED
DRAWN	MH
JOB	1612
SHEET	A0.0

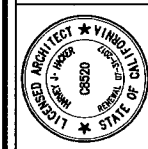
SITE PLAN

SCALE: 1/8"=1'-0"



REVISIONS	BY
VARIANCE 2016 DEC-04	

  
**Harvey Hacker Architects**  
 528 Bryant Street  
 San Francisco, CA 94107  
 415 957 0579



**ADDITIONAL DWELLING UNIT**  
 3700 20TH STREET  
 SAN FRANCISCO, CA

**SITE PLAN**

DATE	25 MAY 2016
SCALE	AS NOTED
DRAWN	MH
JOB	1612
SHEET	<b>A0.1</b>

REVISIONS	BY
VARIANCE 2016 DEC-04	

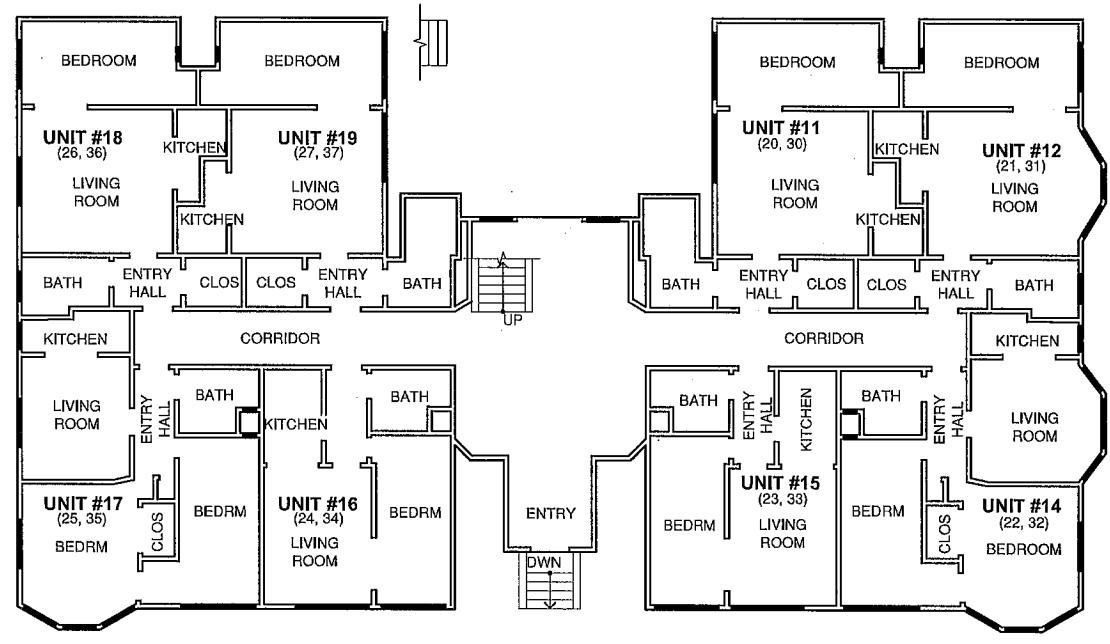
  
**Harvey Hacker Architects**  
 528 Baymont Street  
 San Francisco, CA 94107  
 415.957.0579




**ADDITIONAL DWELLING UNIT**  
 3700 20TH STREET  
 SAN FRANCISCO, CA

**FIRST FLOOR PLAN  
 & WEST ELEVATION**

DATE	25 MAY 2016
SCALE	AS NOTED
DRAWN	MH
JOB	1612
SHEET	<b>A1.1</b>



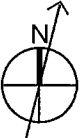



**1 EXISTING FIRST FLOOR PLAN (SIM 2ND, 3RD)**  
 SCALE: 1/8"=1'-0"





**2 EXISTING WEST ELEVATION**  
 SCALE: 1/8"=1'-0"



**PROPOSED ADU**  


**3 PROPOSED WEST ELEVATION**  
 SCALE: 1/8"=1'-0"