



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, February 22, 2017**
 Time: **Not before 9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance (Rear Yard)**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 1565 Eucalyptus Drive	Case No.: 2016-012551VAR
Cross Street(s): Everglade & Middlefield	Building Permit: 2015.12.02.4020
Block /Lot No.: 7270/034	Applicant: Jim Treman
Zoning District(s): RH-1(D) / 40-X	Telephone: (415) 806-7401
Area Plan: N/A	E-Mail: jim@jimtrem.com

PROJECT DESCRIPTION

The proposal is to add a second garage opening at the front façade of the existing single-family residence.

Per Planning Code Section 144, entrances to off-street parking are limited to one-third of the width of the ground story along the front building wall, which is 8 feet 5 inches in width for the subject property. The existing garage entry is 8 feet 5 inches wide. The project proposes to add a second garage entry 8 feet 5 inches in width, for a total of 17 feet devoted to entrances to off-street parking; therefore, a variance is required.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department’s website at: <http://notice.sfplanning.org/2016-012551VAR.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department’s website or in other public documents.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Natalia Kwiatkowska** Telephone: **(415) 575-9185** E-Mail: [**natalia.kwiatkowska@sfgov.org**](mailto:natalia.kwiatkowska@sfgov.org)

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

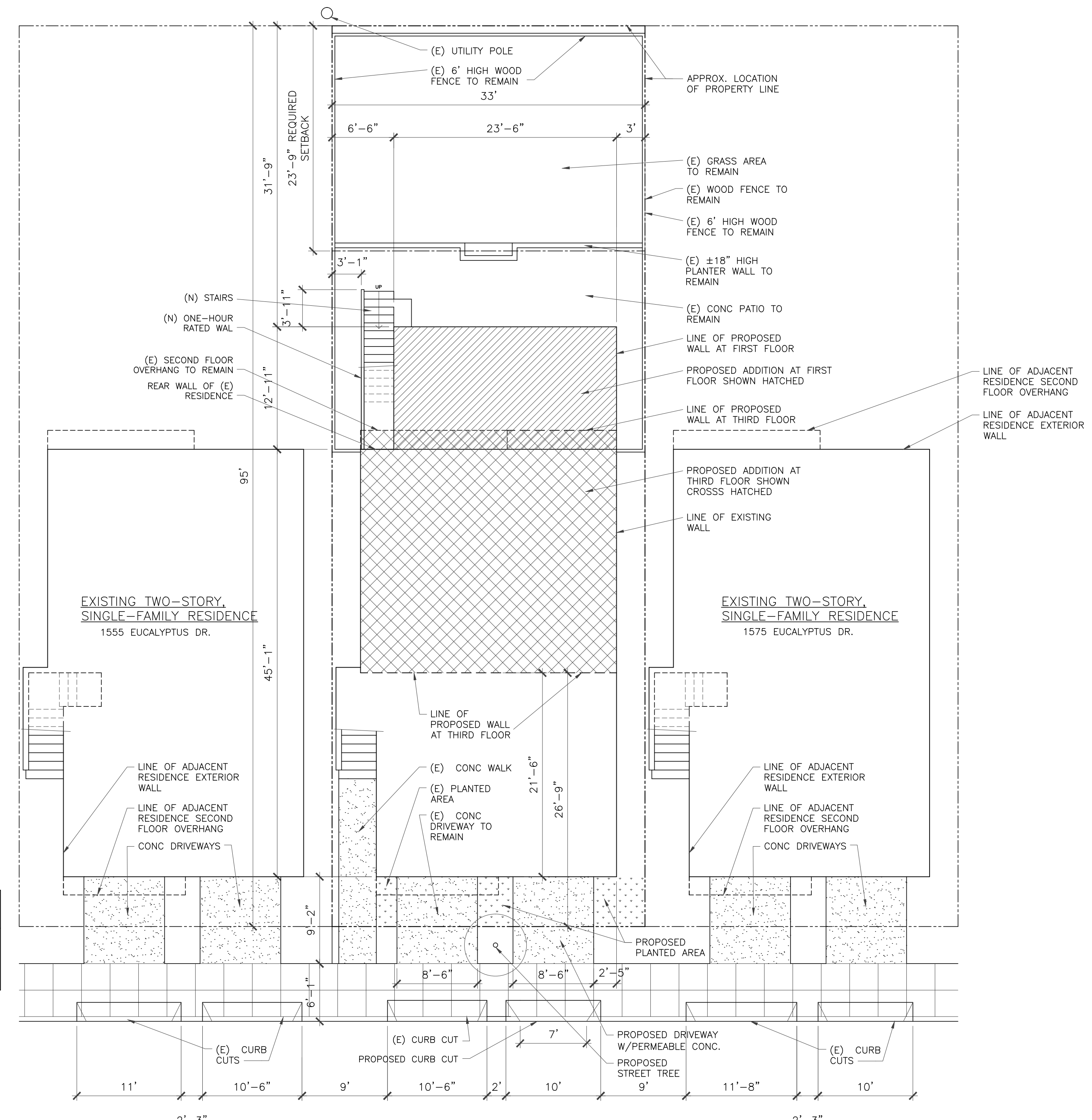
Pursuant to Planning Code Section 311 or 312, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property.

APPEAL INFORMATION

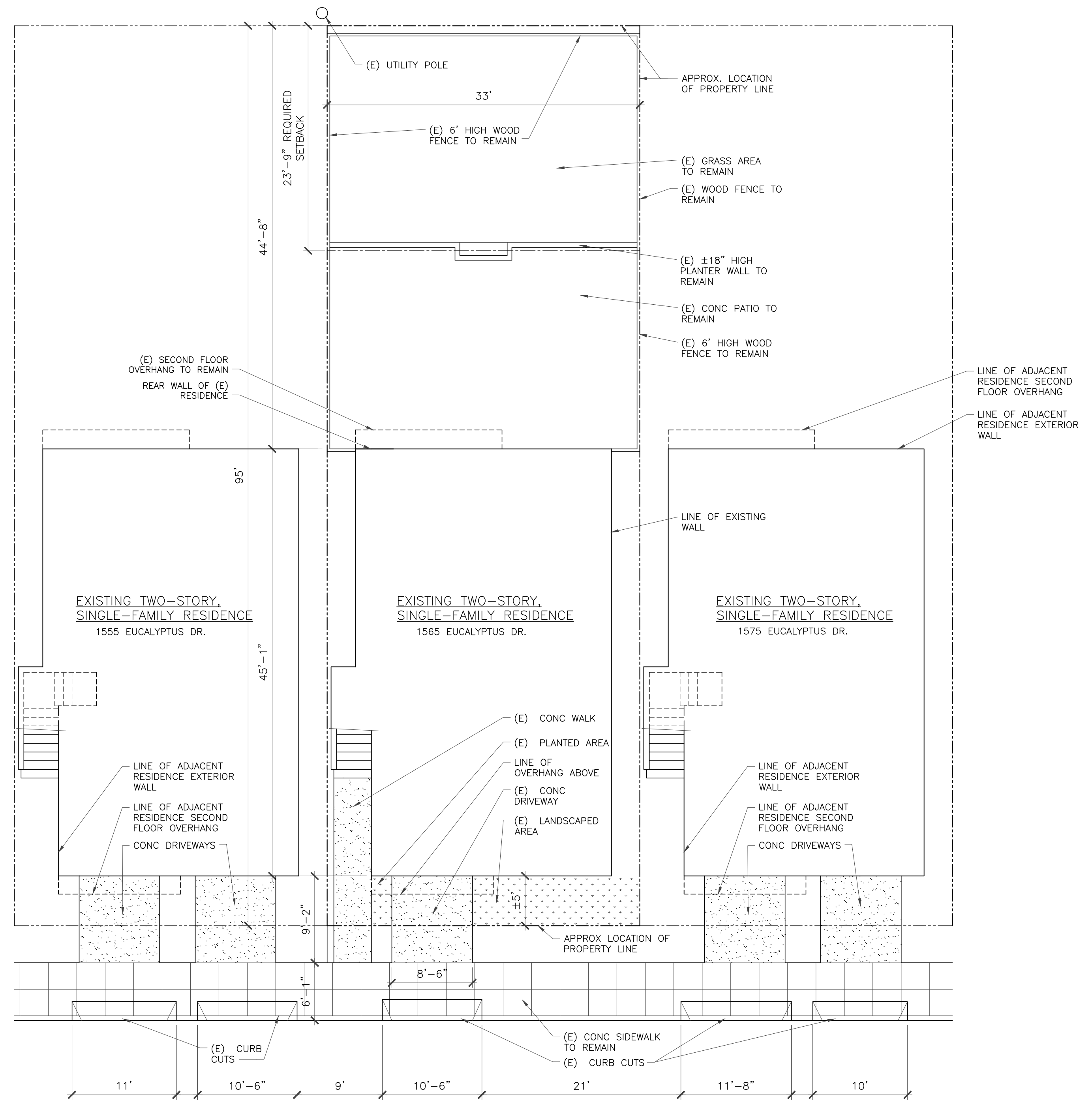
An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

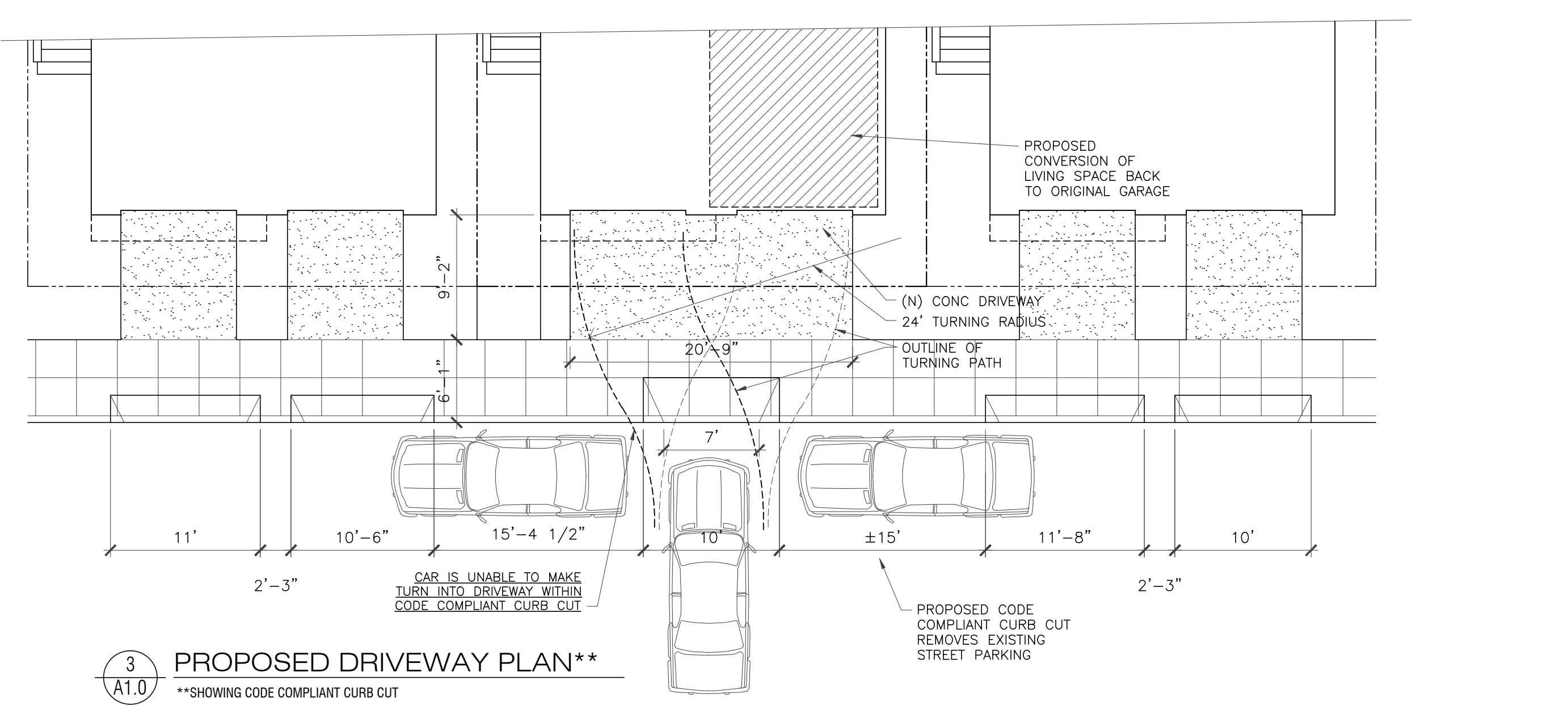


2
A1.0
PROPOSED SITE PLAN
1/8" = 1'-0"
0 8' 16'



1
A1.0
EXISTING SITE PLAN*
1/8" = 1'-0"
0 8' 16'

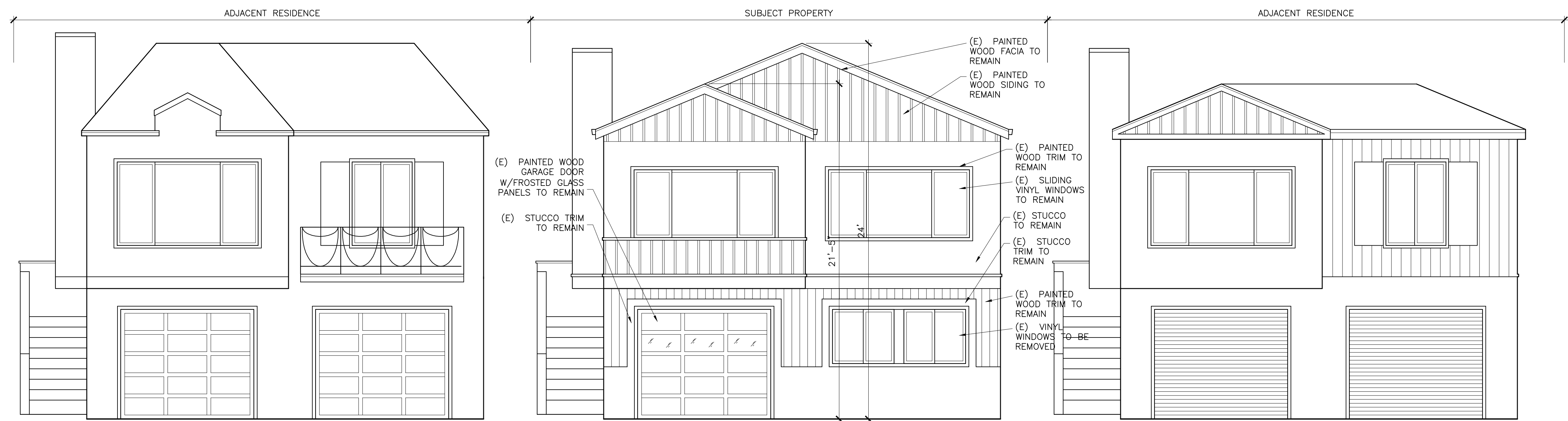
*THE LOT INFORMATION AND DIMENSIONS GIVEN ON THIS PLAN ARE APPROXIMATE AND ARE DERIVED FROM SITE MEASUREMENTS AND OBSERVATIONS. THIS IS NOT A LEGAL SURVEY OF THE PROPERTY.



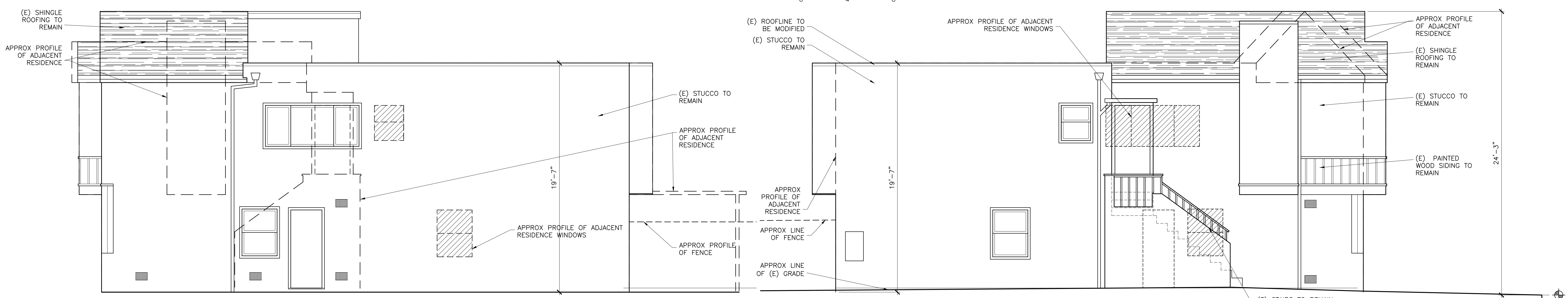
3
A1.0
PROPOSED DRIVEWAY PLAN**
**SHOWING CODE COMPLIANT CURB CUT

PROJECT DATA	
BUILDING TYPE	VB
OCCUPANCY GROUP	R3
NO. OF STORIES	3
FIRE SPRINKLER	N
APN: 7270034	
ZONING DISTRICT	RH-1D
EXISTING AREA CALCULATIONS:	
(E) UNCONDITIONED GARAGE AREA	401 SF
(E) FIRST FLOOR LIVING AREA	780 SF
(E) SECOND FLOOR LIVING AREA	1223 SF
TOTAL (E) CONDITIONED FLOOR AREA	2003 SF
GROSS BUILDING AREA	2404 SF
PROPOSED AREA CALCULATIONS:	
UNCONDITIONED GARAGE AREA	719 SF
FIRST FLOOR LIVING AREA	766 SF
SECOND FLOOR DECK AREA	290 SF
SECOND FLOOR LIVING AREA (UNCHANGED)	1223 SF
THIRD FLOOR LIVING AREA	566 SF
TOTAL LIVING AREA	2555 SF
GROSS BUILDING AREA	3274 SF
BUILDING OWNER: RON AND GRACE ABANTAO 1565 EUCALYPTUS DRIVE SAN FRANCISCO, CA 94132	

PROJECT DATA	
SCOPE OF WORK	
FIRST FLOOR: CONVERT UNPERMITTED LIVING SPACE BACK TO GARAGE SPACE. ADD DRIVEWAY AND CURB CUT. ADD 303 SF ADDITION AT REAR. RECONFIGURE INTERIOR ROOM LAYOUT WITH FAMILY ROOM, BATH AND LAUNDRY. UPGRADE (E) INTERIOR STAIRS.	
SECOND FLOOR: ADD ROOF DECK AND EXTERIOR STAIRS. UPGRADE (E) INTERIOR STAIRS.	
THIRD FLOOR: ADD 566 SF MASTER SUITE.	
SHEET INDEX	
ARCHITECTURAL:	
A1.0	SITE PLAN, GENERAL NOTES, PROJECT DATA
A2.0	EXISTING PLANS
A2.1	EXISTING SECTIONS AND ELEVATIONS
A3.0	PROPOSED FIRST AND SECOND FLOOR PLANS
A3.1	PROPOSED THIRD FLOOR AND ROOF PLANS
A3.2	PROPOSED SECTIONS AND ELEVATIONS
A3.3	PROPOSED SECTIONS AND ELEVATIONS

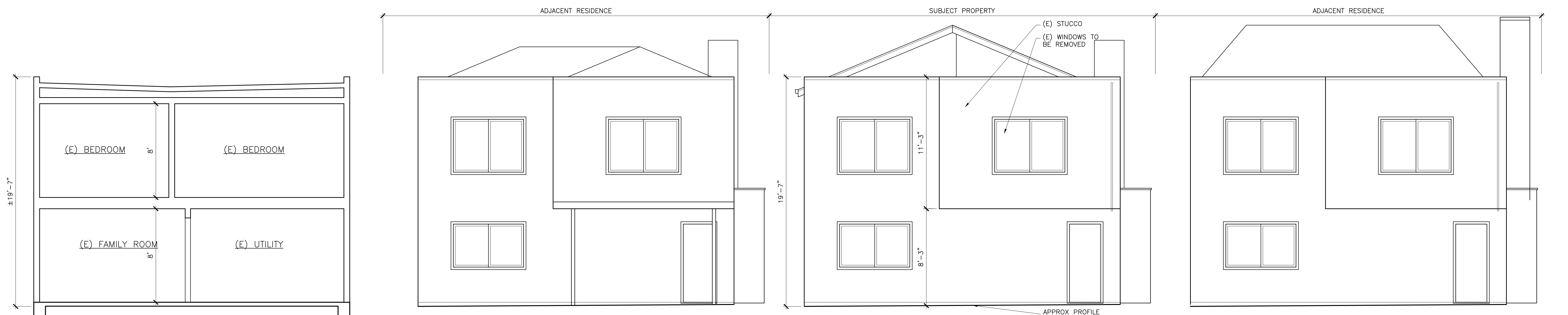


1 EXISTING NORTH ELEVATION



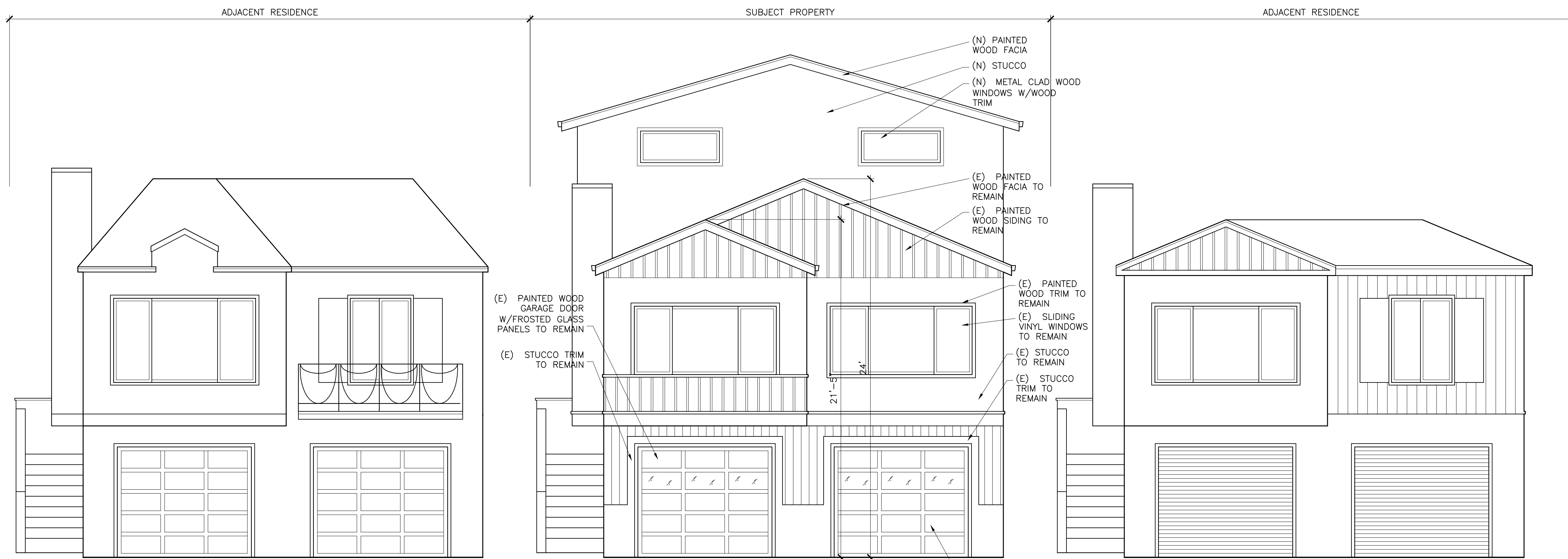
3 EXISTING WEST ELEVATION

2 EXISTING EAST ELEVATION

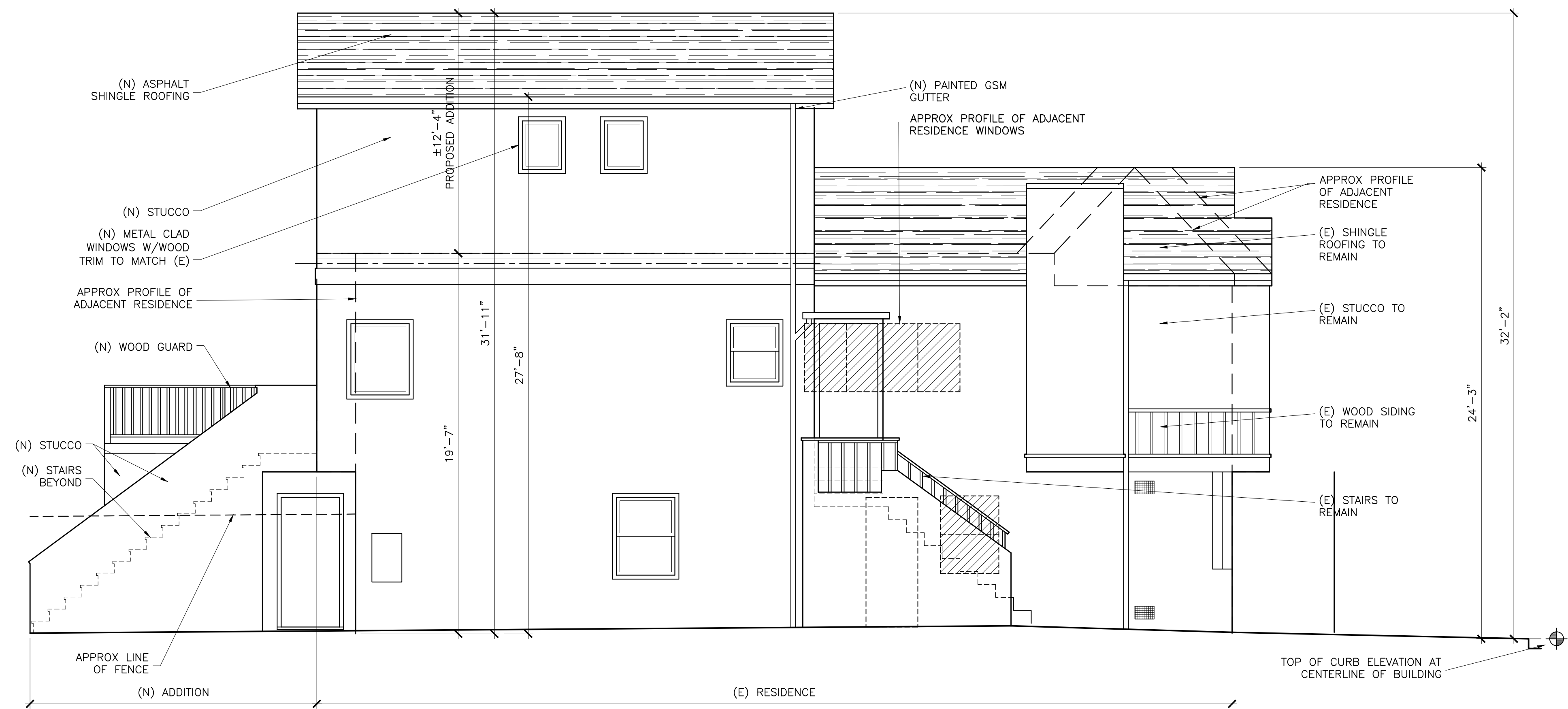


A EXISTING SECTION

4 EXISTING SOUTH ELEVATION



1 PROPOSED NORTH ELEVATION
 A3.2 0 4 8 1/4" = 1'-0"



2 PROPOSED EAST ELEVATION
 A3.2 0 4 8 1/4" = 1'-0"

DATE OF ISSUE
 11-15-16

DRAWING SUBMITTALS
 12-01-15 PLANNING
 02-29-16 PLANNING REVISION

DRAWING REVISIONS
 A

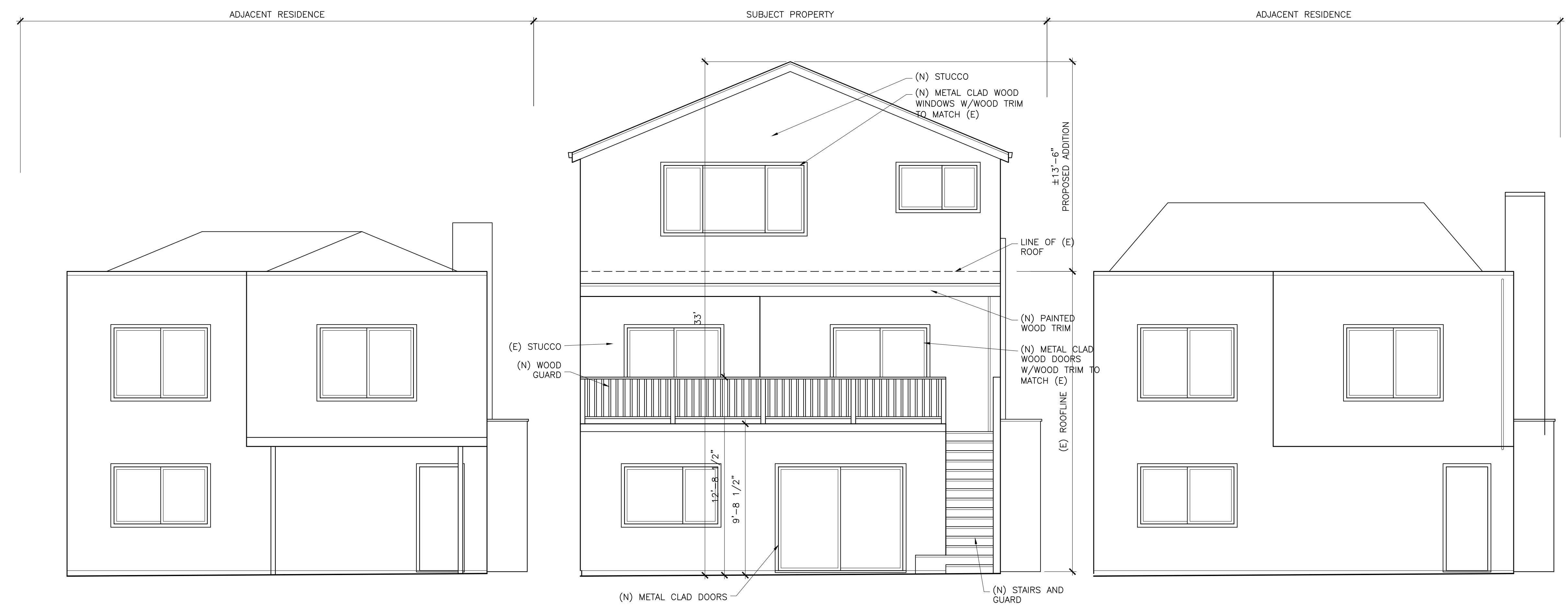
PROJECT TITLE
 RESIDENTIAL ADDITION
 1565 EUCALYPTUS DRIVE
 SAN FRANCISCO, CA 94132

DRAWING TITLE
 PROPOSED ELEVATIONS

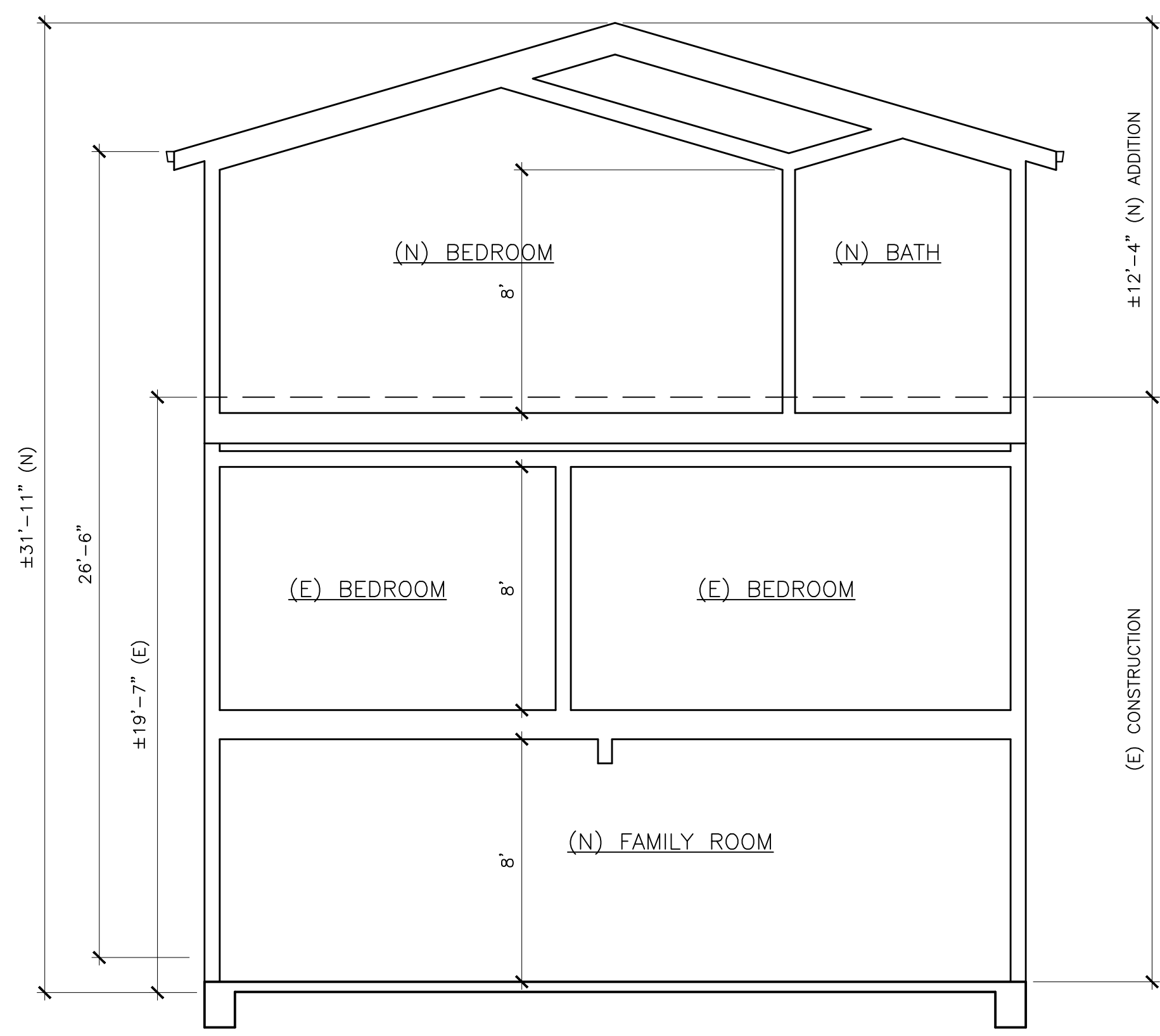
SHEET
 A3.2

JIM TREMAN - ARCHITECT
 63 COOK STREET
 SAN FRANCISCO, CA 94118
 415-806-7401
 www.jimtremans.com

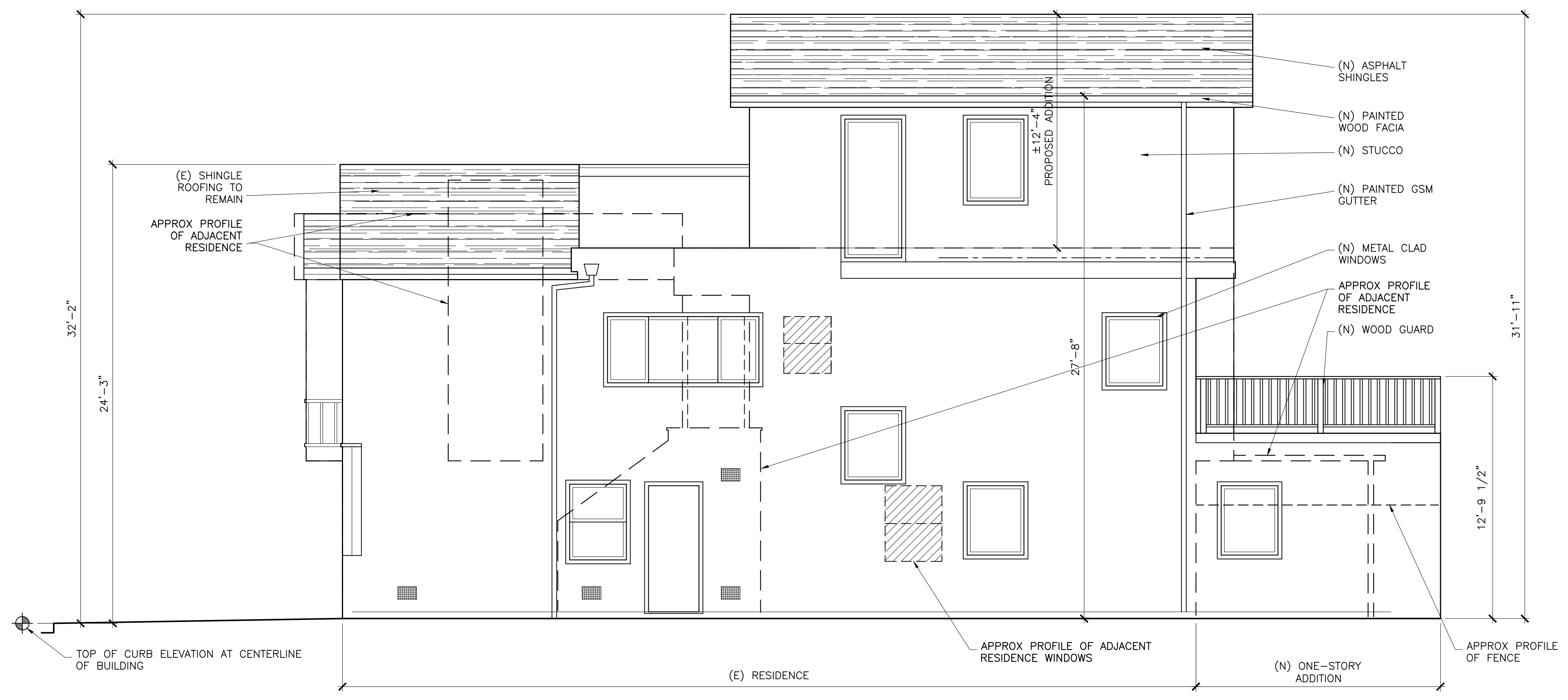
LICENSED ARCHITECT
 JIM TREMAN
 No. C 32958
 REN. 3/2017
 STATE OF CALIFORNIA



1
A3.3 PROPOSED SOUTH ELEVATION
0 4 8 1/4" = 1'-0"



B
A3.3 PROPOSED SECTION
0 4 8 1/4" = 1'-0"



2
A3.3 PROPOSED EAST ELEVATION
0 4 8 1/4" = 1'-0"