



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, July 26, 2017**

Time: **Not before 9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	<b>139 Pfeiffer Street</b>	Case No.:	<b>2016-011752VAR</b>
Cross Street(s):	<b>Grant Ave. &amp; Bellair Pl.</b>	Building Permit:	<b>2016.08.26.6151</b>
Block /Lot No.:	<b>0054 / 021</b>	Applicant:	<b>David Kotzebue</b>
Zoning District(s):	<b>RH-3 / 40-X</b>	Telephone:	<b>(415) 286-3233</b>
Area Plan:	<b>N/A</b>	E-Mail:	<a href="mailto:david@dkarchitecture.com">david@dkarchitecture.com</a>

### PROJECT DESCRIPTION

The project proposes construction of a 1-story vertical addition with 361 square feet of space to the existing two-story over garage two-family dwelling. At the front and rear of the proposed addition, the project proposes roof decks above the existing second story.

**PER PLANNING CODE SECTION 134**, the subject property is required to maintain a rear yard depth of 15 feet based upon the average depth of the adjacent buildings. Planning Code Section 134 states that the last 10 feet of building depth gained through the averaging method is limited to a height of 30 feet. The proposed vertical addition would occur in the portion of the rear yard that is limited to a height of 30 feet. The proposed addition would be up to 35 feet, 6 inches in height; therefore, the project requires a rear yard variance.

### ADDITIONAL INFORMATION

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://notice.sfplanning.org/2016-011752VAR.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

**FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:**

Planner: **Andrew Perry** Telephone: **(415) 575-9017** E-Mail: [andrew.perry@sfgov.org](mailto:andrew.perry@sfgov.org)

# GENERAL INFORMATION ABOUT PROCEDURES

## HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

## BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **On May 31, 2017, the Department issued the required Section 311 notification for this project, which expired on June 30, 2017.**

## APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

ABBREVIATIONS

ADJ	ADJACENT OR ADJUSTABLE	FD	FLOOR DRAIN	PSI	POUNDS PER SQUARE INCH
A/C	AIR CONDITIONING	FT	FOOT OR FEET	PT	PRESSURE TREATED
AC	ASPHALT CONCRETE	FTG	FOOTING	PTDF	PRESSURE TREATED DOUGLAS FIR
ALT	ALTERNATE	FAU	FORCED AIR UNIT	PL	PROPERTY LINE
AB	ANCHOR BOLT	FDN	FOUNDATION	RAD	RADIUS
AFF	ABOVE FINISH FLOOR	GA	GAUGE	REF	REFERENCE OR REFRIGERATOR
AGG	AGGREGATE	GI	GALVANIZED IRON	RESIL	RESILIENT
BSMT	BASEMENT	GAL	GALVANIZED	RA	RETURN AIR
BRG	BEARING	GFI	GROUND FAULT CIRCUIT	REV	REVISION
BM	BENCH MARK	INT	INTERRUPTER	RH	RIGHT HAND
BET	BETWEEN	GL	GLASS OR GLAZING	RD	ROOF DRAIN
BLK	BLOCK	GB	GRAB BAR	RFG	ROOFING
BLW	BELOW	HDW	HARDWARE	RM	ROOM
BLKG	BLOCKING	HDR	HEADER	RO	ROUGH OPENING
BD	BOARD	HTG	HEATING	SC	SOLID CORE
BW	BOTH WAYS	HVAC	HEATING/ VENTING/ AIR	SCH	SCHEDULE
BOT	BOTTOM	HT	HEIGHT	SCH	SCREEN
BRNZ	BRONZE	HC	HOLLOW CORE	SH	SHIELD
CL	CENTERLINE	HOR	HORIZONTAL	SH	SHELF OR SHELVING
COMB	COMBINATION OR COMBUSTION	HB	HOSE BIB	SM	SIMILAR
CO	CLEANOUT	ID	INSIDE DIAMETER	SPKR	SPEAKER
COMP	COMPOSITION	INT	INTERIOR	SPEC	SPECIFICATIONS
CONC	CONCRETE	JOINT	JOINT	SQ	SQUARE
CMU	CONCRETE MASONRY UNIT	KIT	KITCHEN	STD	STANDARD
CONST	CONSTRUCTION	KB	KNOCK-OUT	STSL	STAINLESS STEEL
CONT	CONTINUOUS	LAG	LAG BOLT	ST	STEEL
CNTR	COUNTER	LAM	LAMINATE	STRUC	STRUCTURAL
CS	COUNTERSINK	LAV	LAVATORY	SA	SUPPLY AIR
CU	CUBIC FOOT	LH	LEFT HAND	SUS	SUSPENDED
CU	CUBIC	LT	LENGTH	SYS	SYSTEM
DTL	DETAIL	LTW	LIGHTWEIGHT	TEL	TELEPHONE
DIAG	DIAGONAL	MB	MACHINE BOLT	TV	TELEVISION
DIA	DIAMETER	MFR	MANUFACTURER	THK	THICK OR THICKNESS
DM	DIMENSION	MAS	MASONRY	THR	THRESHOLD
DW	DISHWASHER	MAX	MAXIMUM	T and G	TONGUE AND GROOVE
DIV	DIVISION	MECH	MECHANICAL	TOC	TOP OF CONCRETE
DR	DOOR	MC	MEDICINE CABINET	TP	TOP OF PAVING
DS	DOWNSPOUT	MET	METAL	TW	TOP OF WALL
DWR	DRAIN	MIN	MINIMUM	TS	TOWEL BAR
DWG	DRAWING	MISC	MISCELLANEOUS	TB	TOILET PAPER HOLDER
ELEC	ELECTRICAL	MNT	MOUNT	TS	TUBE STEEL
EL	ELEVATION	NAT	NATURAL	TYP	TYPICAL
EMER	EMERGENCY	NIC	NOT IN CONTRACT	UON	UNLESS OTHERWISE NOTED
EXH	EXHAUST	NTS	NOT TO SCALE	VCT	VINYL COMPOSITION TILE
(C)	EXISTING	OBS	OBSOLETE	VERT	VERTICAL
EB	EXPANSION BOLT	OC	ON CENTER	VIF	VERIFY IN FIELD
EXP	EXPOSED	OPG	OPENING	WSC	WAINSCOT
EXT	EXTERIOR	OPP	OPPOSITE	WC	WATER CLOSET
FOC	FACE OF CONCRETE	OH	OVERHEAD	WP	WEATHER OR WATER PROOF
FOF	FACE OF FINISH	PK	PARKING	WH	WATER HEATER
FOS	FACE OF STUD	PTN	PARTITION	WTR	WATER
FW	FINISH	PVMT	PAVEMENT	WT	WEIGHT
FFL	FINISH FLOOR LINE	PLAS	PLASTIC OR PLASTER	W	WITH
FE	FIRE EXTINGUISHER	PLYWD	PLYWOOD	W/O	WITHOUT
FP	FIREPROOF	PVC	POLYVINYL CHLORIDE		
FLR	FLOOR	PSF	POUNDS PER SQUARE FOOT		

SYMBOLS

	SECTION IDENTIFICATION		NEW WALL CONSTRUCTION
	DETAIL IDENTIFICATION		EXISTING WALLS TO REMAIN
	ELEVATION IDENTIFICATION		EXISTING TO BE REMOVED
	DOOR MARK		BATT INSULATION
	WINDOW MARK		RIGID INSULATION
	MATCH LINE		CONCRETE
	REVISION		MASONRY
	WORK POINT		EARTH
	SPOT ELEVATION		GRAVEL FILL
			STEEL
			PLYWOOD
			WOOD CONTINUOUS
			WOOD BLOCKING
			WOOD FINISH

PROJECT DATA

	EXISTING	PROPOSED	REQUIREMENT
ZONING	RH-3		
LOT AREA	1,050 SQ FT		
FIRST FLOOR AREA	757 SQ FT		
SECOND FLOOR AREA	864 SQ FT		
THIRD FLOOR AREA	0	361 SQ FT	
TOTAL	1,621 SQ FT	1,982 SQ FT	
MAXIMUM HEIGHT	30'-9"	40'	40'

OCCUPANCY GROUP: R-2/U

CONSTRUCTION TYPE: V

VICINITY MAP



DRAWING INDEX

<b>T1</b>	TITLE SHEET
<b>A11</b>	SITE PLAN 300' RADIUS MAP
<b>A21</b>	SECOND and THIRD FLOOR PLANS
<b>A31</b>	FRONT ELEVATION
<b>A32</b>	SIDE ELEVATIONS
<b>A33</b>	REAR ELEVATION
<b>A41</b>	SECTION

<b>EX1</b>	EXISTING FLOOR PLANS
<b>EX2</b>	EXISTING ELEVATIONS/PHOTOS

RENDERINGS

PROJECT DIRECTORY

<b>ARCHITECT</b> DAVID KOTZEBUE ARCHITECTURE 29 HOLLY LANE EL SOBRANTE, CA 94803 415 286 3233 510 223 7914 FAX david@dkarchitecture.com	<b>STRUCTURAL ENGINEER</b> MOSSWOOD ENGINEERING 3360 ADELIN STREET BERKELEY, CA 94703 415 839 1022
<b>BUILDING OWNER</b> ERIC and TERRI GUICHET 139 PFEIFFER STREET SAN FRANCISCO, CA 94123	<b>CONTRACTOR</b> JEFF KING and COMPANY 251 BALBOA STREET SAN FRANCISCO, CA 94118 415 221 5012 415 221 5010 FAX

SCOPE OF WORK

- NEW 361 SQ FT THIRD FLOOR ADDITION
- NEW EXTERIOR SIDING, ROOF, WINDOWS, and EXTERIOR DOORS at ADDITION
- NEW WORK TO MATCH EXISTING DETAILS and COLORS

DAVID KOTZEBUE  
Architecture

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Revisions

<b>Job Number</b>	

Issue


Proposed Addition  
**139 PFEIFFER STREET**  
San Francisco, CA 94123

Block 54/Lot 21  
APN 0054021

<b>Title</b>	TITLE SHEET
<b>Scale</b>	
<b>Date</b>	29 MARCH 2017
<b>Sheet</b>	



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Revisions

16 MAY 2017	DECK SETBACK
Job Number	

Issue


Proposed Addition  
**139 PFEIFFER STREET**  
San Francisco, CA 94123

Block 54/Lot 21  
APN 0054021

Title SITE PLAN

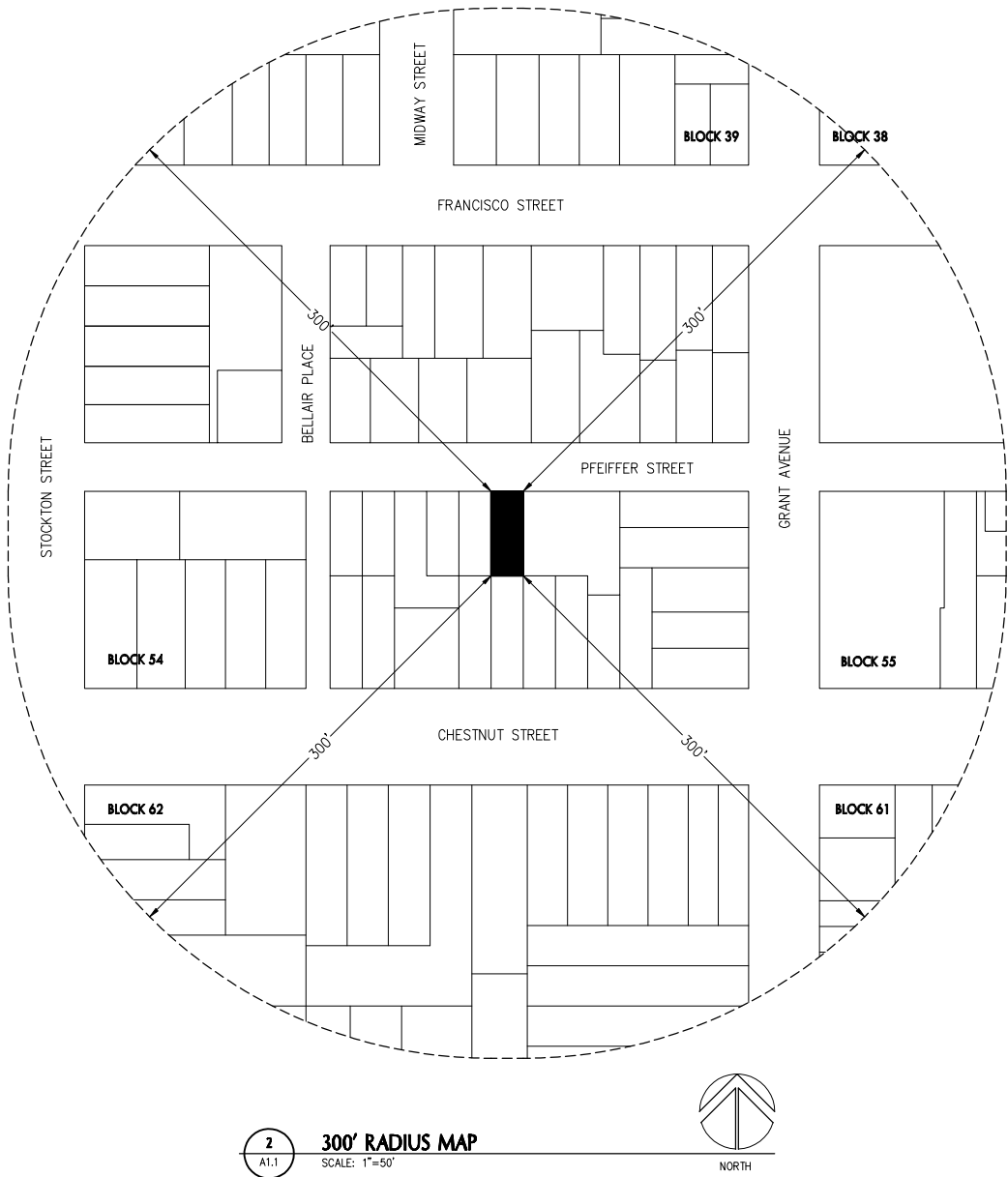
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Date 29 MARCH 2017

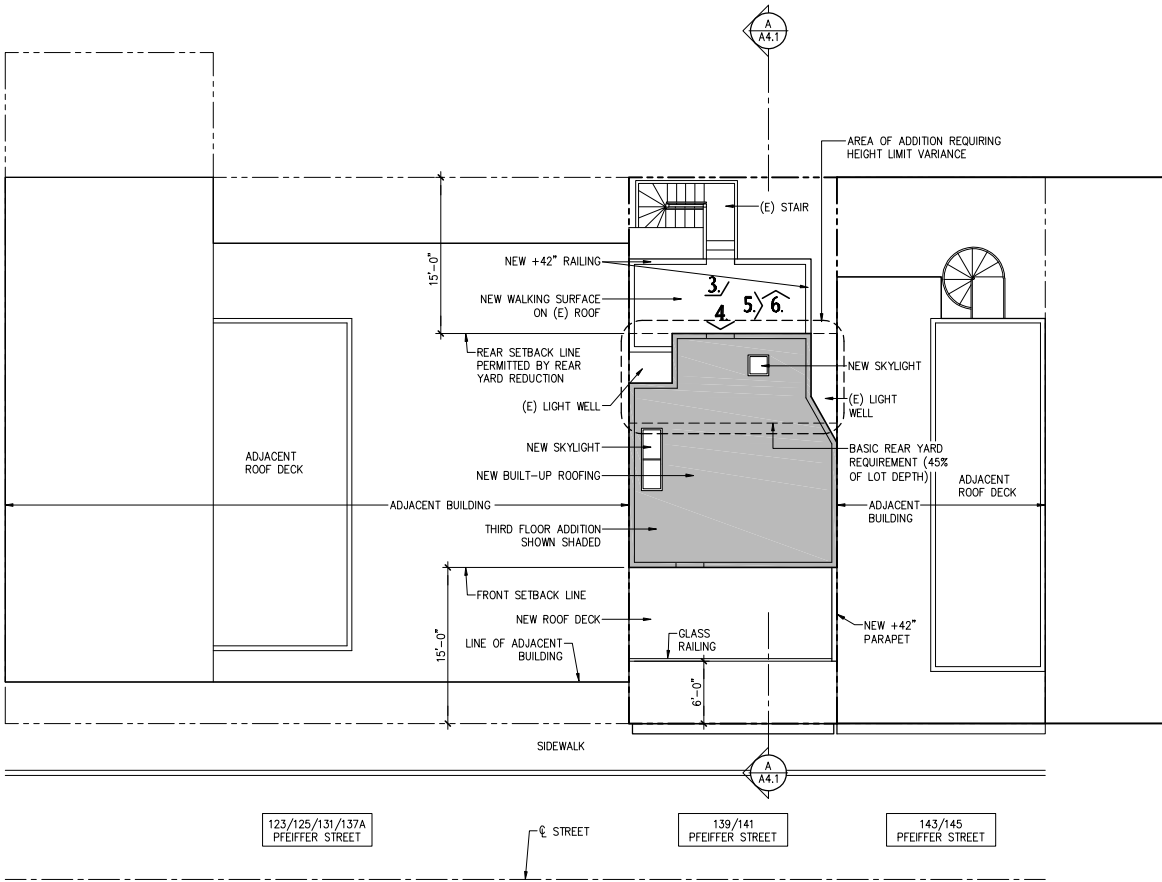
Sheet

A1.1

of



2 300' RADIUS MAP  
SCALE: 1"=50'



1 SITE PLAN  
SCALE: 1/8"=1'-0"





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Revisions

△	18 APRIL 2017 GLASS RAILING NOTES
△	
△	
△	
Job Number	

Issue

△	16 MAY 2017 BUILDING HEIGHT/CORNICE
△	
△	
△	

Proposed Addition  
**139 PFEIFFER STREET**  
San Francisco, CA 94123

Block 54/Lot 21  
APN 0054021

Title EXTERIOR ELEVATIONS

Scale 1/4" = 1'-0"

Date 29 MARCH 2017

Sheet

**A3.1**



GLASS RAILING NOTES  
GLASS RAILING IS COMPRISED OF NON-REFLECTIVE GLASS PANELS SEPARATED BY  
1" WIDE SUPPORTS COMPLYING WITH SAN FRANCISCO PLANNING CODE SECTION 139  
STANDARDS FOR BIRD-SAFE BUILDINGS. EACH PANEL IS 16.625 SQ. FT. GLASS  
TO BE 1/2" THICK PILKINGTON OPTIVUE.

**1 FRONT (NORTH) ELEVATION**





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Revisions

△	16 MAY 2017
△	DECK SETBACK/BLDG HEIGHT/CORNICE
△	
△	
△	
Job Number	

Issue

△	
△	
△	
△	

Proposed Addition  
**139 PFEIFFER STREET**  
San Francisco, CA 94123

Block 54/Lot 21  
APN 0054021

Title EXTERIOR ELEVATIONS

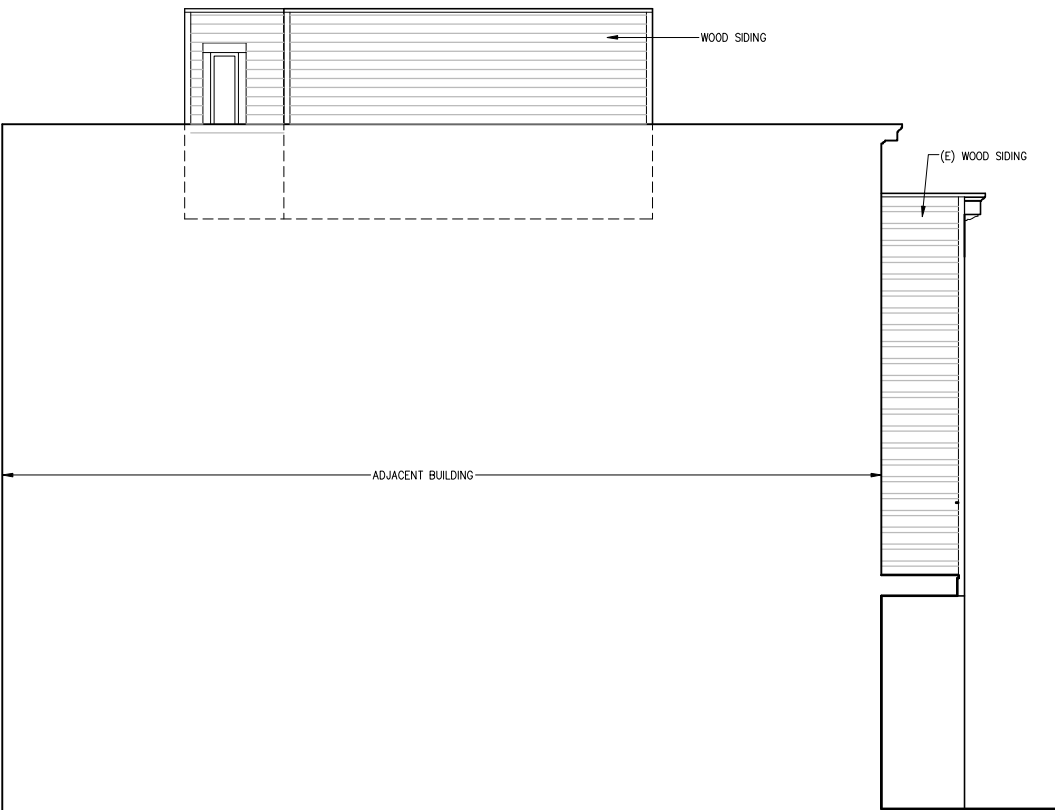
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Date 29 MARCH 2017

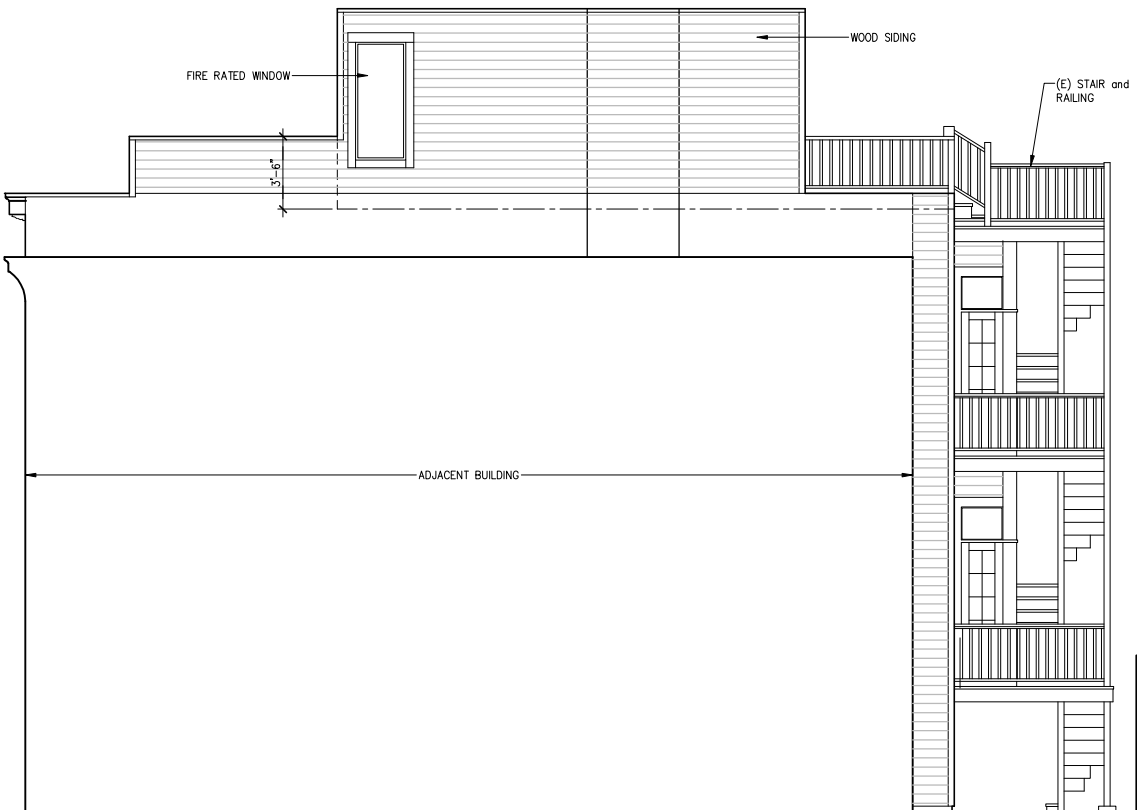
Sheet

**A3.2**

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**2 LEFT SIDE (EAST) ELEVATION**



**1 RIGHT SIDE (WEST) ELEVATION**





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Revisions	
△	16 MAY 2017 BUILDING HEIGHT
△	
△	
△	
Job Number	

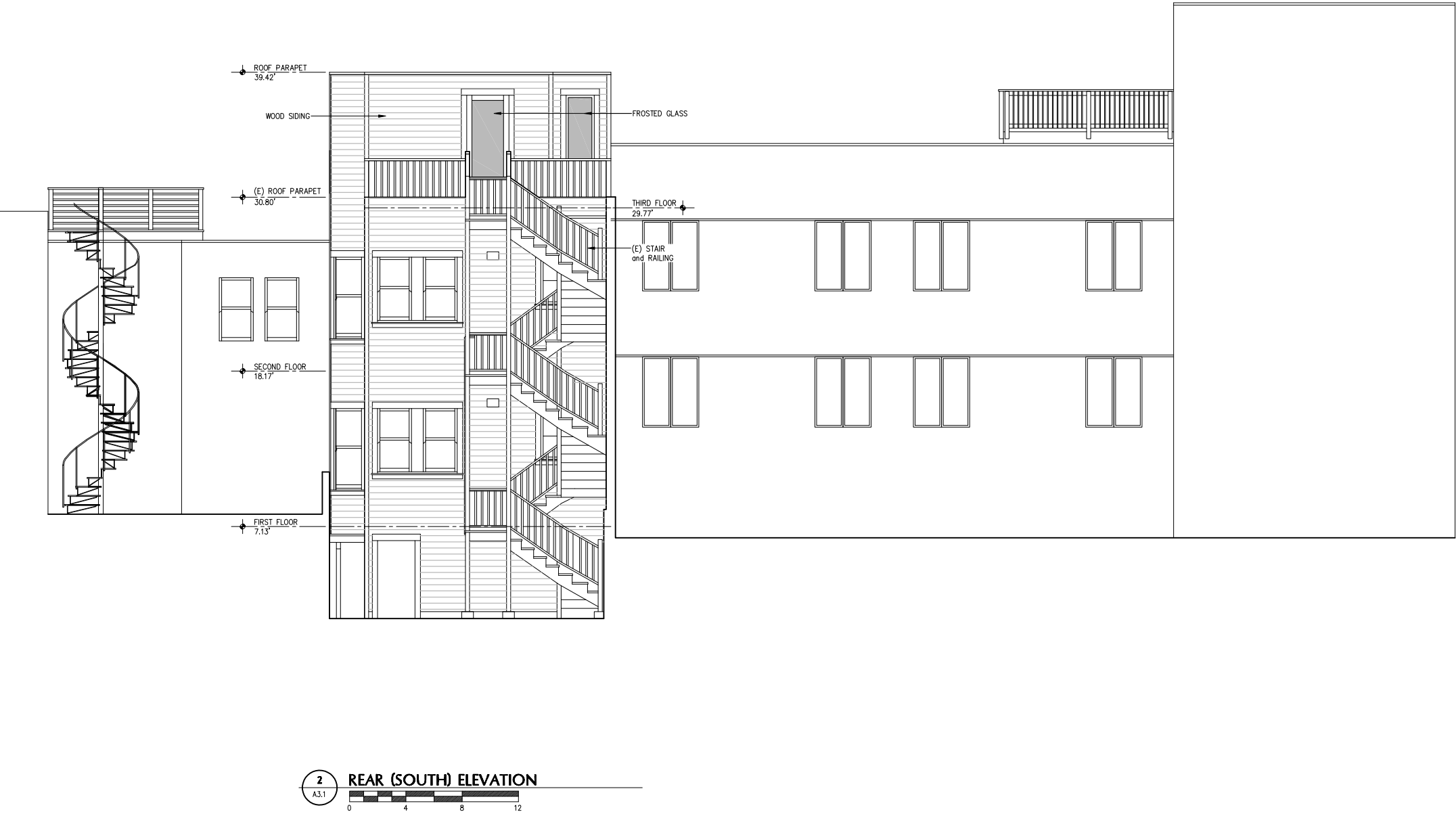
Issue	
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Proposed Addition  
**139 PFEIFFER STREET**  
San Francisco, CA 94123

Block 54/Lot 21  
APN 0054021

Title	
EXTERIOR ELEVATIONS	
Scale	
1/4" = 1'-0"	
Date	
29 MARCH 2017	
Sheet	

**A3.3**







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Revisions

5 APRIL 2017	AVERAGE GRADE LINE
16 MAY 2017	DECK SETBACK/BLDG HEIGHT/CORNICE

Job Number

Issue


Proposed Addition  
**139 PFEIFFER STREET**  
San Francisco, CA 94123

Block 54/Lot 21  
APN 0054021

Title BUILDING SECTION

Scale 1/4" = 1'-0"

Date 29 MARCH 2017

Sheet

A4.1

of

