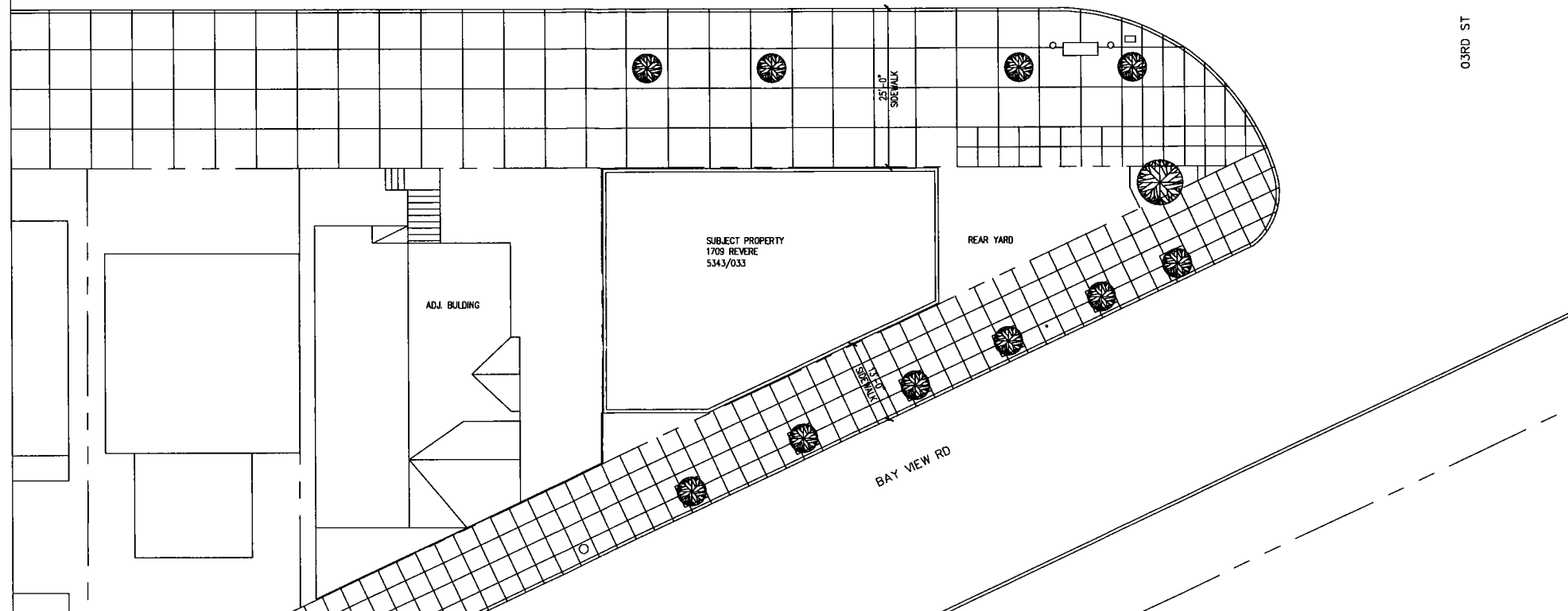


GENERAL NOTES

- CONTRACTOR SHALL ADHERE TO ALL CODES, RULES, AND REGULATIONS GOVERNING CONSTRUCTION, BUILDING ACCESS AND THE USE OF FACILITIES AS SET BY LOCAL BUILDING DEPARTMENT AGENCY AND THE BUILDING OWNERS. TITLE 24 C.A.C ESPECIALLY THOSE ABSTRACTS DEALING WITH ENERGY AND HANDICAPPED ACCESS REQUIREMENTS. ANYTHING SHOWN ON THESE DRAWINGS, NOT IN ACCORDANCE WITH THESE RULES AND REGULATIONS, SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE PROCEEDING WITH ANY WORK.
- DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONAL INFORMATION.
- THE CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE DESIGNER OF ANY CONFLICTS HEREIN, EITHER APPARENT OR OBVIOUS PRIOR TO START OF WORK ON THAT ITEM OR BEAR THE RESPONSIBILITY OF CORRECTING SUCH WORK AS DIRECTED BY THE ARCHITECT.
- ALL WORK SHALL BE DONE IN A FIRST CLASS WORKMANLIKE MANNER BY MECHANICS SKILLED IN THEIR RESPECTIVE TRADES.
- THE CONTRACTOR SHALL REVIEW PLANS AND THE AREA OF CONSTRUCTION CAREFULLY TO INSURE FULL UNDERSTANDING OF EXACT SCOPE OF WORK. THE ARCHITECT WILL BE AVAILABLE TO REVIEW ALL WORK ON SITE AND RESOLVE ANY UNCLEAR ITEMS
- THE CONTRACTOR SHALL CONTACT THE BUILDING MANAGEMENT TO BE ADVISED OF THE RULES OF THE BUILDING WITH RESPECT TO CONSTRUCTION, WHEN AND HOW DELIVERIES AND/OR REMOVALS CAN BE DONE ON REGULAR OR OVERTIME AND IN GENERAL, ANY BUILDING REQUIREMENTS WHICH WILL AFFECT THEIR WORK.
- THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT ALL FABRICATION SHOP DWGS. AND FUTURE CUTS FOR APPROVAL AFTER HAVING CHECKED AND APPROVED THEM FIRST, WHERE APPLICABLE.
- THE CONTRACTOR SHALL FURNISH A SYSTEM OF TEMPORARY LIGHTS AND WATER THROUGHOUT THE SPACE UNDER CONSTRUCTION, IF REQUIRED.
- THE CONTRACTOR SHALL REMOVE FROM THE BUILDING ALL RUBBISH AND WASTE MATERIALS, FOR HIS OWN SUBCONTRACTING, IF REQUIRED.
- NO WORK DEPENDING ON PARTITION LOCATIONS SHALL BE DONE UNTIL THE CONTRACTOR HAS MARKED PARTITION LOCATIONS ON THE FLOOR SLAB IN THE FIELD AND THE ARCHITECT HAS APPROVED THEM.
- THE CONTRACTOR SHALL LEAVE THE PREMISES IN A CLEAN AND ORDERLY MANNER.
- THE CONTRACTOR'S PRICE IS TO BE COMPLETE IN ALL WAYS INCLUDING TAXES, OVER-TIME, SHIPPING, ETC.
- ALL MATERIALS AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S LATEST PRINTED SPECIFICATIONS AND WITH CODE REQUIREMENTS.
- THE WORK INCLUDED UNDER THIS CONTRACT SHALL BE DONE IN ACCORDANCE WITH AIA GENERAL CONDITIONS DOCUMENT A-201, 1991 EDITION.
- CONTRACTORS, SUBCONTRACTORS AND SUPPLIERS SHALL GUARANTEE THAT THE WORK IS FREE FROM ANY DEFECTS IN WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF COMPLETION AND BE RESPONSIBLE FOR REPAIR OR REPLACEMENT AT NO ADDITIONAL CHARGE.
- CONTRACTORS TO CARRY EMPLOYER'S LIABILITY INSURANCE OF NOT LESS THAN \$1,000,000 PER OCCURRENCE, AND COMPREHENSIVE GENERAL LIABILITY OF AT LEAST \$2,000,000 COMBINED SINGLE LIMIT FOR BODILY INJURY, DEATH, OR PROPERTY DAMAGE. THE POLICIES TO ALSO COVER LANDLORD AND TENANT AS ADDITIONAL INSURED.

SITE PLAN - SCALE 1-3/32"



SHATARA ARCHITECTURE INC.

890 7TH ST.
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PROJECT
RESIDENTIAL REMODEL

ADDRESS
**1709 REVERE AVE
SAN FRANCISCO, CA**

**BLOCK: 5343
LOT: 033**

PROJECT DIRECTORY

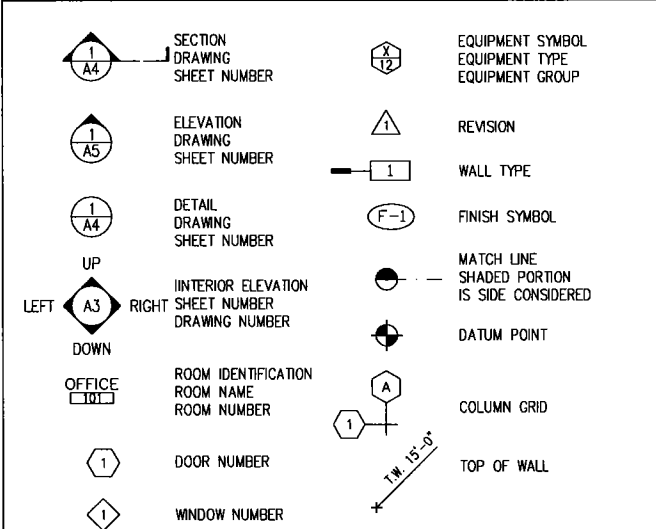
ARCHITECT
SHATARA ARCHITECTURE INC.
890 7TH STREET
SAN FRANCISCO, CA 94158
TEL: 415-512-7566

CONTACT: MR. SUHEIL SHATARA

OWNER
CONTACT ARCHITECT

DRAWING INDEX	SCOPE OF WORK	PLANNING INFORMATION	BUILDING INFORMATION
A0.0 COVER SHEET	ADD NEW 6' FENCE AT REAR YARD	ZONING: RH-2 HEIGHT LIMIT: 40'-X EXISTING NUMBER OF UNITS: 2 PROPOSED NUMBER OF UNITS: 2 - NO CHANGE LOT SIZE: 98'-8" X 46'-6" X 109'-2"	BUILDING DESCRIPTION: 1 BUILDINGS IN LOT. EXISTING: 2 STORIES TYPE V - B PROPOSED: (E) OCCUPANCY CLASS.: R-2 - NO CHANGE OCCUPANT LOAD: 1 PER 200 SQ.FT. (E) # OF DWELLING UNITS: 2 - NO CHANGE YEAR BUILT: 1965 BUILDING AREA: 3,034 SQ FT PARCEL AREA: 2,169 SQ FT
A1.0 EXISTING & PROPOSED SITE PLANS		CODE CYCLE - 2013 CALIFORNIA BUILDING CODE - 2013 CALIFORNIA ELECTRIC CODE - 2013 CALIFORNIA MECHANICAL CODE - 2013 CALIFORNIA PLUMBING CODE - 2013 GREEN BUILDING CODE - 2013 CALIFORNIA ENERGY CODE	
A1.1 EXISTING/PROPOSED FLOOR PLANS			
A1.2 EXISTING/PROPOSED FLOOR PLANS			
A1.3 EXISTING ELEVATIONS			
A2.0 PROPOSED ELEVATIONS			

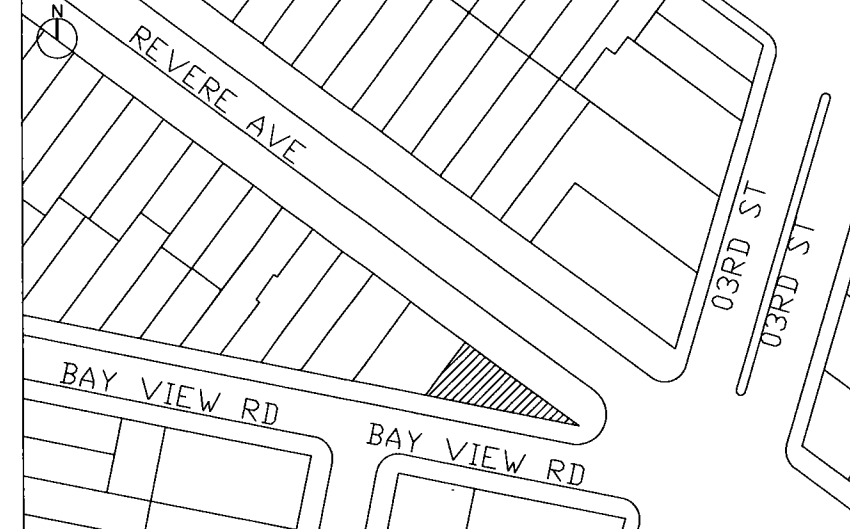
SYMBOLS



ABBREVIATIONS

&	AND	DBL.	DOUBLE	F.O.S.	FACE OF STUD	N.I.C.	NOT IN CONTRACT	SPEC.	SPECIFICATION
(E)	EXISTING	DEPT.	DEPARTMENT	FPRF.	FIREPROOF	NO. / #	NUMBER	SQ.	SQUARE
ADJ.	ADJUSTABLE	DIA.	DIAMETER	FT.	FOOT OR FEET	NOM.	NOMINAL	S.S.T.	STAINLESS STEEL
ALUM.	ALUMINUM	DN.	DOWN	FTG.	FOOTING	N.T.S.	NOT TO SCALE	STL.	STEEL
APPROX.	APPROXIMATE	DR.	DOOR	FURR.	FURRING	O.C.	ON CENTER	STOR.	STORAGE
ARCH.	ARCHITECTURAL	DS.	DOWNSPOUT	GA.	GAUGE	OPNG.	OPENING	STR.	STRUCTURAL
ASPH.	ASPHALT	D.S.P.	DRY STANDPIPE	GALV.	GALVANIZED	OPP.	OPPOSITE	SUSP.	SUSPENDED
BD.	BOARD	DWG.	DRAWING	G.B.	GRAB BAR	P.L.	PROPERTY LINE	SYM.	SYMMETRICAL
BITUM.	BITUMINOUS	E.	EAST	GYP.	GYP. PL.	PLYWD.	PLYWOOD	T.C.	TOP OF CURB
BLDG.	BUILDING	E.A.	EACH	H.B.	HOSE BIB	PT.	POINT	TEL.	TELEPHONE
BLK.	BLOCK	EL.	ELEVATION	HDWD.	HARDWOOD	PTD.	PAINTED	TER.	TERRAZZO
BLKG.	BLOCKING	ELEC.	ELECTRICAL	HORIZ.	HORIZONTAL	PTN.	PARTITION	T.&G.	TONGUE AND GROOVE
BM.	BEAM	ELEV.	ELEVATOR	HR.	HOUR	Q.T.	QUARRY TILE	THK.	THICK
BOT.	BOTTOM	ENCL.	ENCLOSURE	HT.	HEIGHT	R.	RISER	T.P.	TOP OF PAVEMENT
CAB.	CABINET	EQ.	EQUAL	INSUL.	INSULATION	INT.	INTERIOR	T.W.	TOP OF WALL
C.B.	CATCH BASIN	EQPT.	EQUIPMENT	JAN.	JANITOR	R.D.	ROOF DRAIN	TYP.	TYPICAL
CEM.	CEMENT	(E)	EXISTING	JT.	JOINT	REF.	REFERENCE	UNF.	UNFINISHED
CLG.	CEILING	EXPO.	EXPOSED	LAV.	LAVATORY	REFR.	REFRIGERATOR	U.O.N.	UNLESS OTHERWISE NOTED
CLKG.	CAULKING	EXP.	EXPANSION	LT.	LIGHT	RGR.	REGISTER	VERT.	VERTICAL
CLO.	CLOSET	EXT.	EXTERIOR	MAX.	MAXIMUM	REIN.	REINFORCED	VEST.	VESTIBULE
CLR.	CLEAR	F.A.	FIRE ALARM	MECH.	MECHANICAL	REQ'D.	REQUIRED	W.	WEST
COL.	COLUMN	F.D.	FLOOR DRAIN	MEMB.	MEMBRANE	RM.	ROOM	W/	WITH
CONC.	CONCRETE	FDN.	FOUNDATION	MTL.	METAL	R.O.	ROUGH OPENING	W.C.	WATER CLOSET
CONN.	CONNECTION	F.E.	FIRE EXTINGUISHER	MFR.	MANUFACTURER	R.W.L.	RAIN WATER LEADER	WD.	WOOD
CONSTR.	CONSTRUCTION	FIN.	FINISH	MIN.	MINIMUM	S.	SOUTH	W/O	WITHOUT
CONT.	CONTINUOUS	FL.	FLOOR	MISC.	MISCELLANEOUS	SCHED.	SCHEDULE	WP.	WATERPROOF
CORR.	CORRIDOR	FLASH.	FLASHING	MTD.	MOUNTED	S.D.	SMOKE DETECTOR	WT.	WEIGHT
CTSK.	COUNTERSUNK	FLUOR.	FLUORESCENT	MUL.	MULLION	SECT.	SECTION		
CNTR.	COUNTER	F.O.C.	FACE OF CONCRETE	(N)	NEW	SHT.	SHEET		
CTR.	CENTER	F.O.F.	FACE OF FINISH	N.	NORTH	SIM.	SIMILAR		

VICINITY MAP



SHEET DESCRIPTION
COVER SHEET

A0.0



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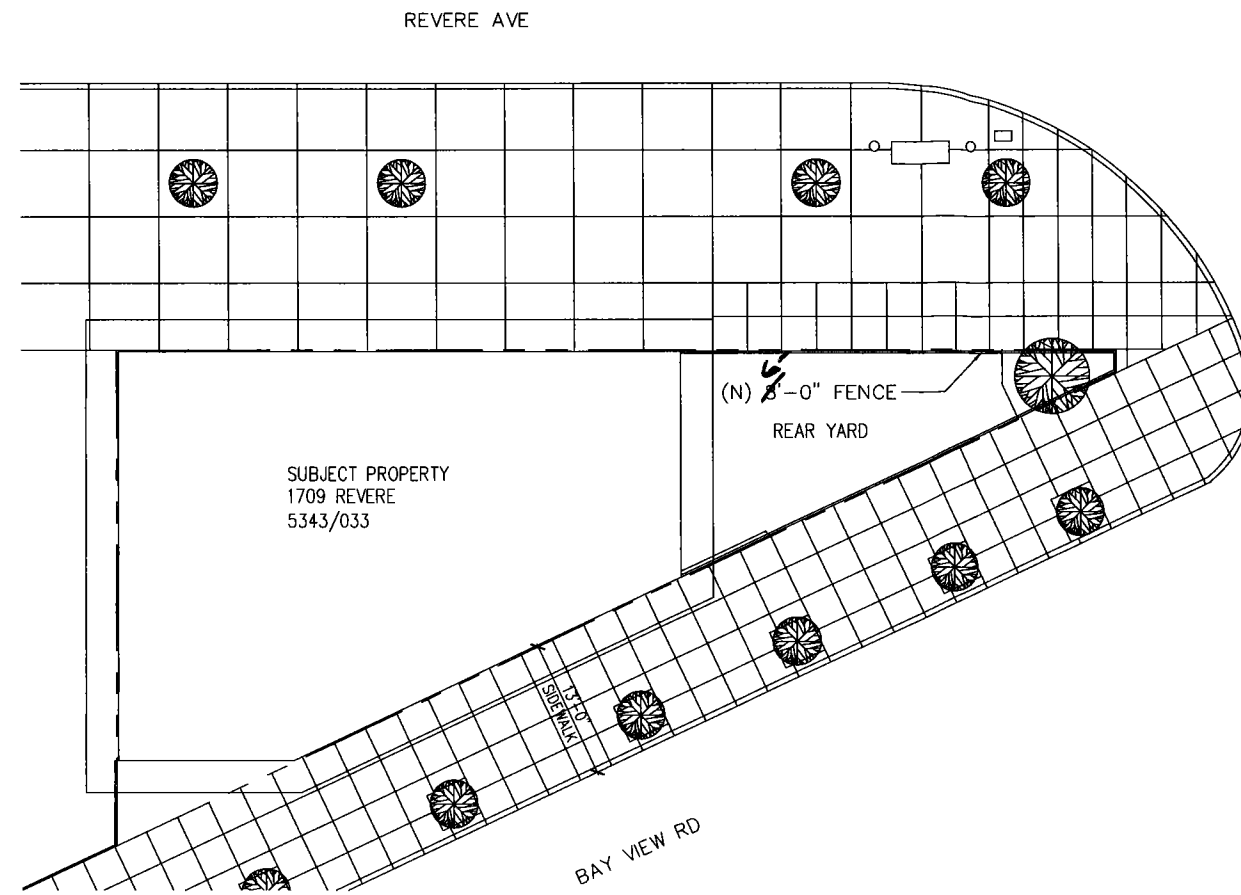
PROJECT DIRECTORY

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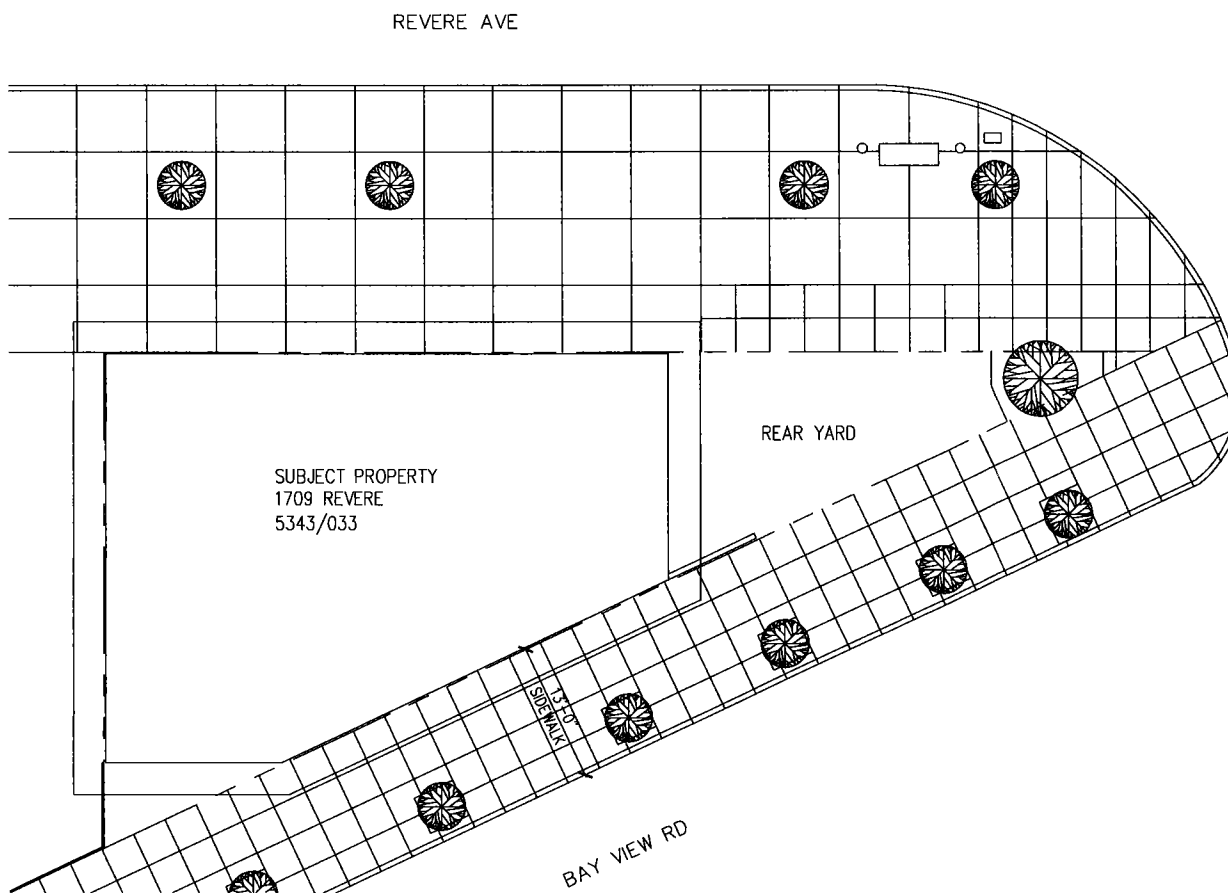
CONTACT: MR. SUHEIL SHATARA

**OWNER
CONTACT ARCHITECT**

ISSUED	DATE	NO.
BUILDING	09.06.2016	



1 PROPOSED SITE PLAN
SCALE: 1/8"=1'-0"



1 EXISTING SITE PLAN
SCALE: 1/8"=1'-0"

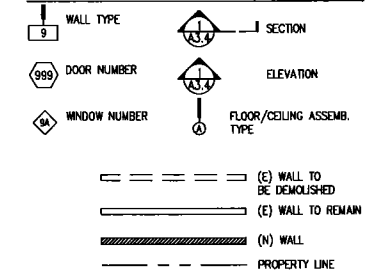
DETAILS SHEET NOTES

- ① WALL TYPES DWGS DO NOT CONVEY STRUCTURAL (SHEAR) REQUIREMENTS. SEE STRUCT. DWGS.
- ② FLOOR CEILING ASSEMBLIES DO NOT CONVEY STRUCTURAL REQUIREMENTS. SEE STRUCT. DWGS.

SHEET NOTES

- 1. ALL PLAN DIMENSIONS TO FACE OF ROUGH FRAMING, FACE OF CONCRETE, OR CENTER LINE OF STEEL, U.O.N.
- 2. ALL SECTION AND ELEVATION DIMENSIONS TO FINISH FLOOR.
- 3. ALL WOOD FRAMED EXTERIOR WALLS TO BE FRAMED WITH 2X6 U.O.N. INTERIOR WALLS TO BE FRAMED WITH 2X4 U.O.N. REFER TO WALL TYPES TAGS FOR EXCEPTIONS.

LEGEND



SHEET DESCRIPTION
**EXISTING /
PROPOSED SITE
PLANS**

A1.0

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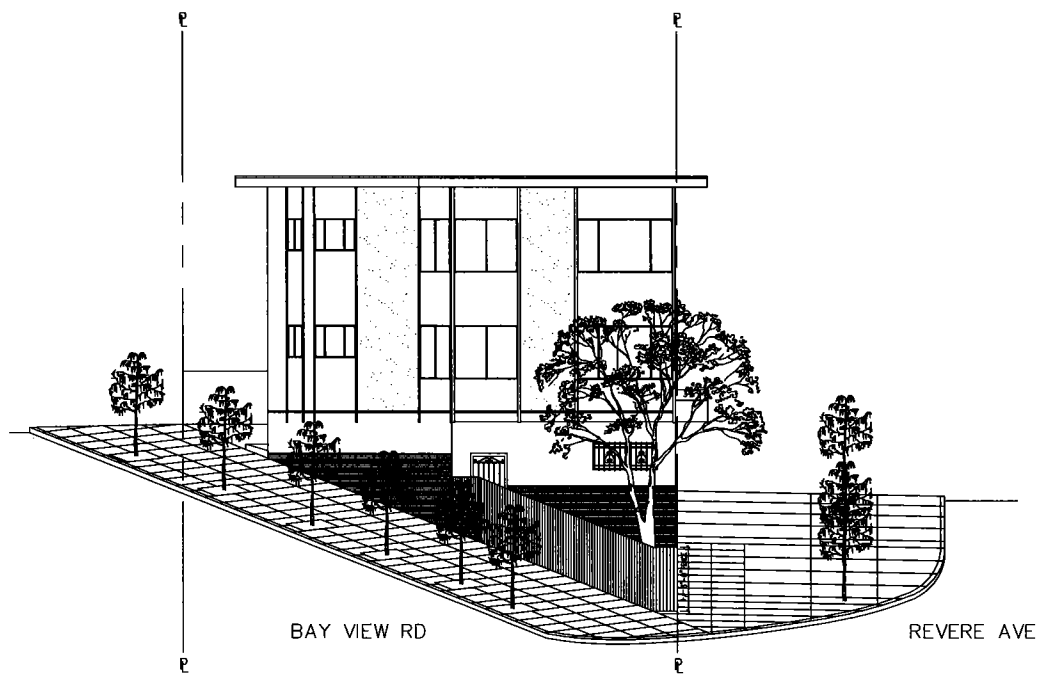
OWNER
CONTACT ARCHITECT

ISSUED	DATE	NO.
BUILDING	09.06.2016	

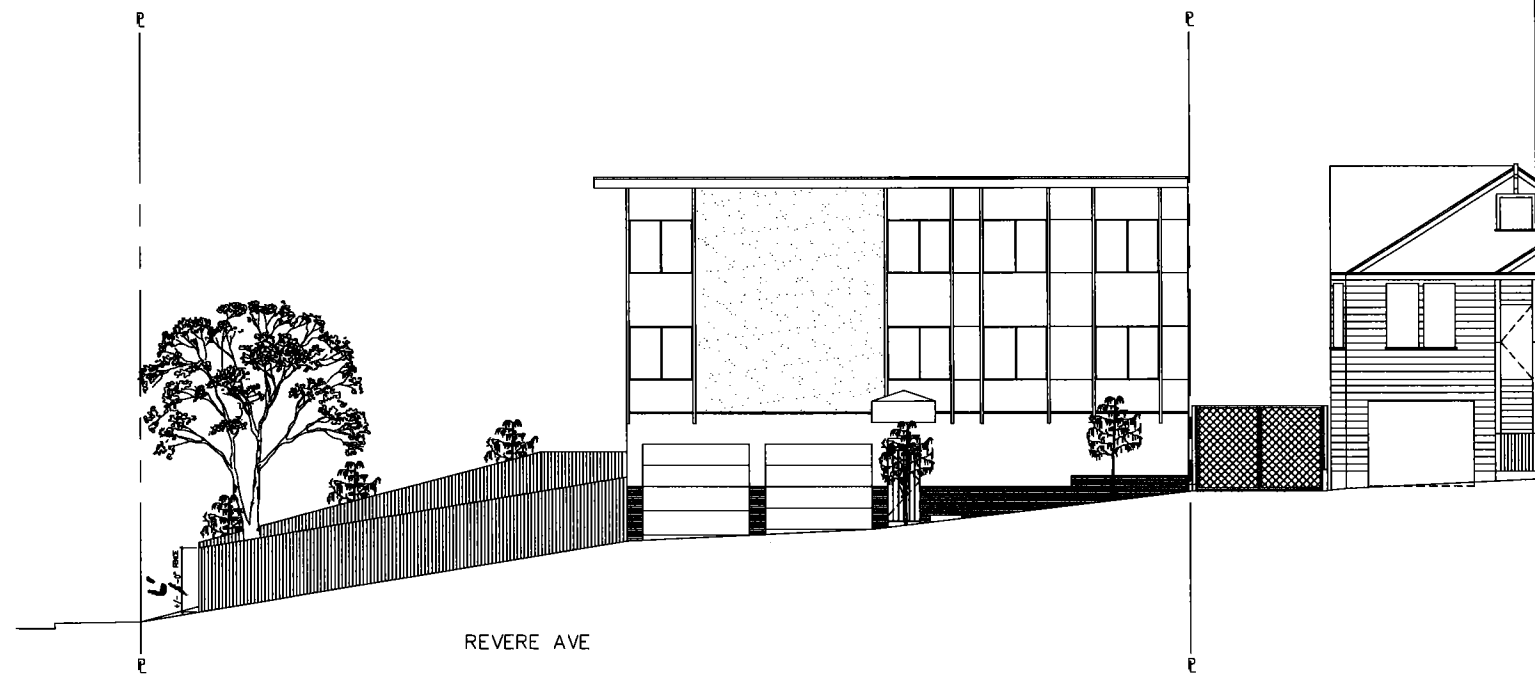


SHEET DESCRIPTION
**PROPOSED
ELEVATIONS**

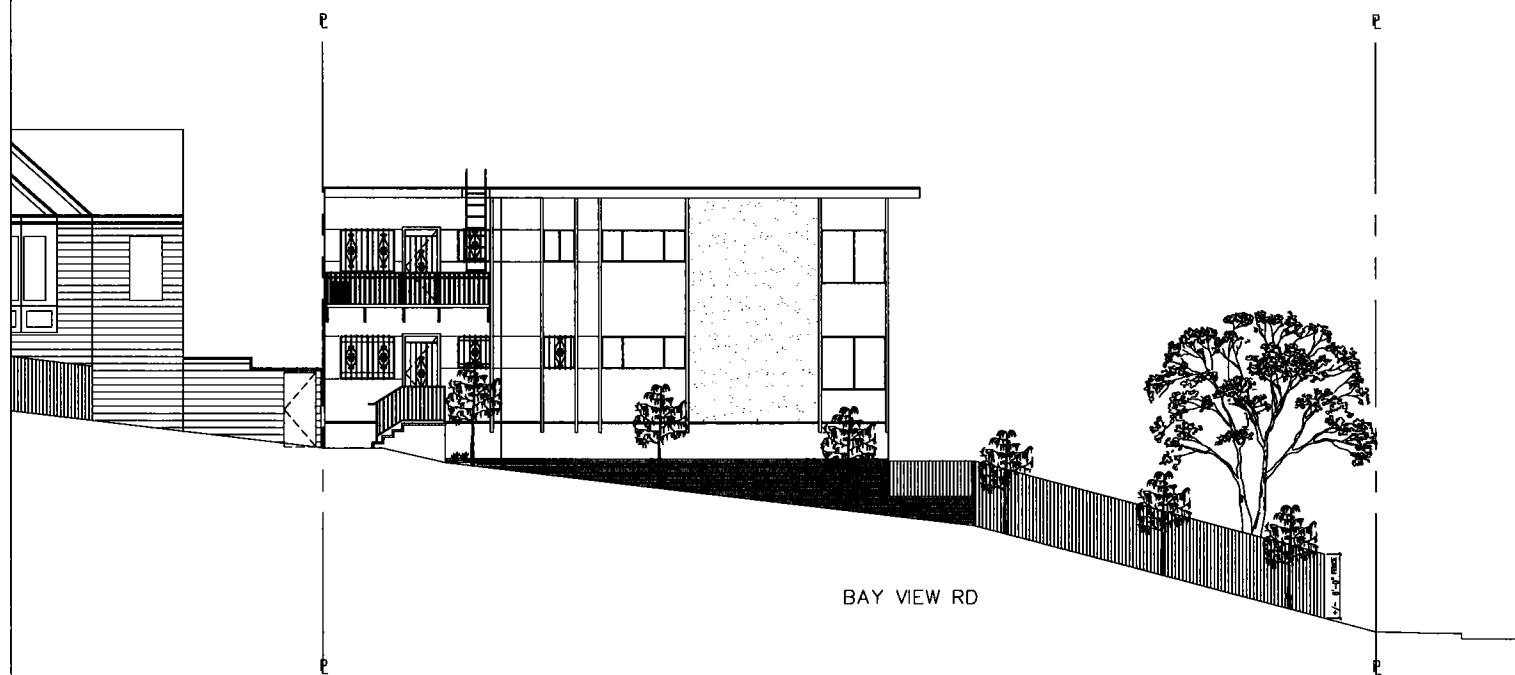
A2.0



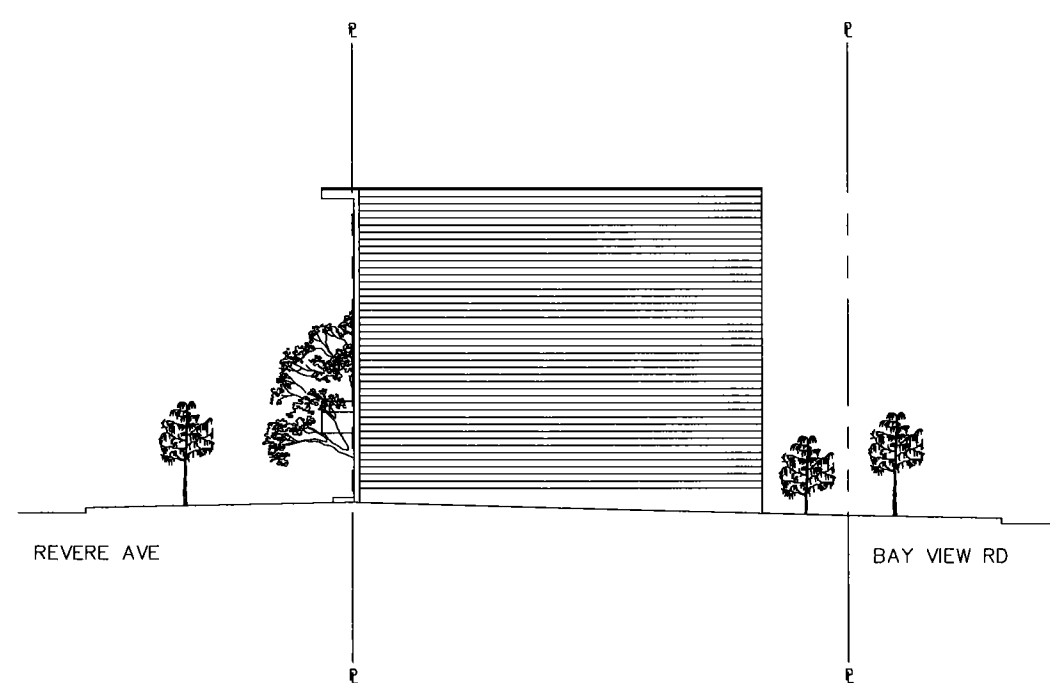
1 PROPOSED EAST ELEVATION
SCALE: 1/8"=1'-0"



2 PROPOSED NORTH ELEVATION
SCALE: 1/8"=1'-0"



3 PROPOSED SOUTH ELEVATION
SCALE: 1/8"=1'-0"



4 PROPOSED WEST ELEVATION - NO CHANGE
SCALE: 1/8"=1'-0"