



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

JERMAINE APARTMENTS

New Ground Floor Dwelling Unit Per Ordinance No 30-15

1631 Chestnut Street , Block 0495 / Lot 001C

PROJECT DESCRIPTION:

Remodel existing rear portion of ground floor to create new two bedroom and one bath dwelling unit. Project includes new mechanical, electrical and plumbing, as well as new exterior windows at rear facade. There is no change to the envelope or the footprint on the structure. This project is in conjunction with soft story work based on permit 201508033119.

CODE INFORMATION

OCCUPANCY	R-2
CONSTRUCTION TYPE	V-A
OCCUPANCY LOAD FACTOR	200 GROSS
TOTAL OCCUPANTS = 1,320 SF / 200 =	7
ALLOWABLE EXIT TRAVEL DISTANCE W/ SPRINKLER	250'
ALLOWABLE COMMON PATH OF TRAVEL DISTANCE	125'
EXISTING NUMBER OF DWELLING UNITS	15 units
PROPOSED NUMBER O DWELLING UNITS	16 units
SQUARE FOOTAGE OF PROPOSED UNIT	1,320 s.f.

SUPPLEMENTAL PERMITS

SPRINKLERS
see information sheet FS-05 April 13, 2015 - see section "C" page 2 of 2 - for new unit sprinklers required within subject unit and along path of exit travel

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PROJECT DIRECTORY

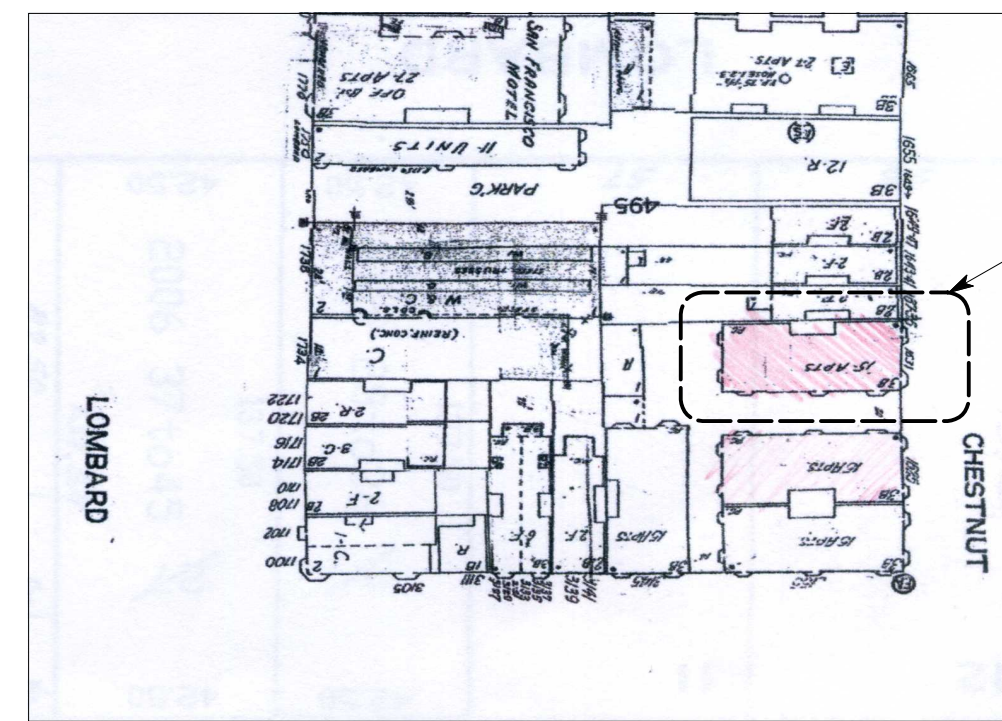
OWNER
Dennis Jermaine
Jermaine Apartments
P.O. Box 1542 Burlingame CA 94011
Phone (415) 385-6933
email: djermaine@oxfordim.com

ARCHITECT
JACE Architecture
520 Third Street, Suite 200
Oakland CA 94607
Phone: (415) 440-0920
email: xjace@jacearchitecture.com

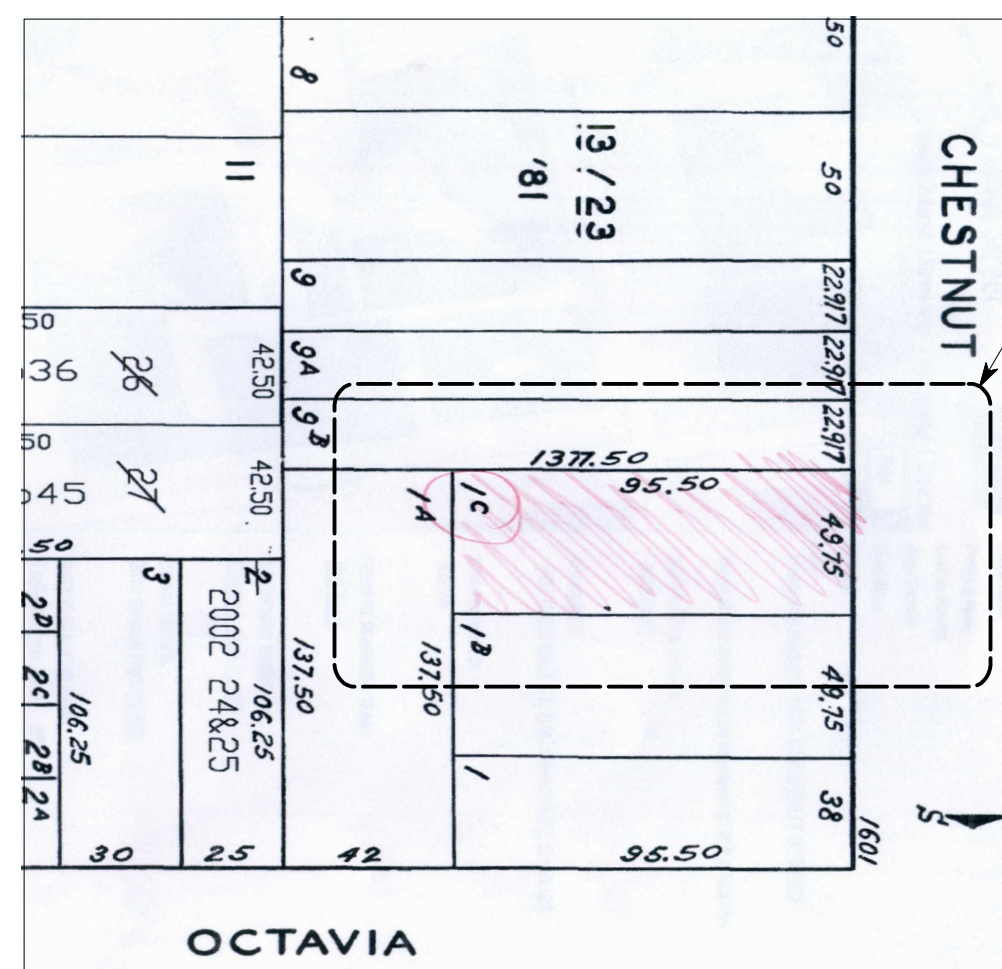
STRUCTURAL ENGINEER
Bernard Huang Structural Engineer
1121 Farragut Boulevard
Foster City, CA 94404
Phone: (650) 703-5322
email: bernardhse@hotmail.com

TITLE 24 - ENERGY ANALYSIS
Alliance 24 Title
325 Berry Street #624
San Francisco, CA 94158
Phone: (415) 422-9925
email: a241@att.net@hotmail.com

5 Vicinity Map



4 Sanborne Map



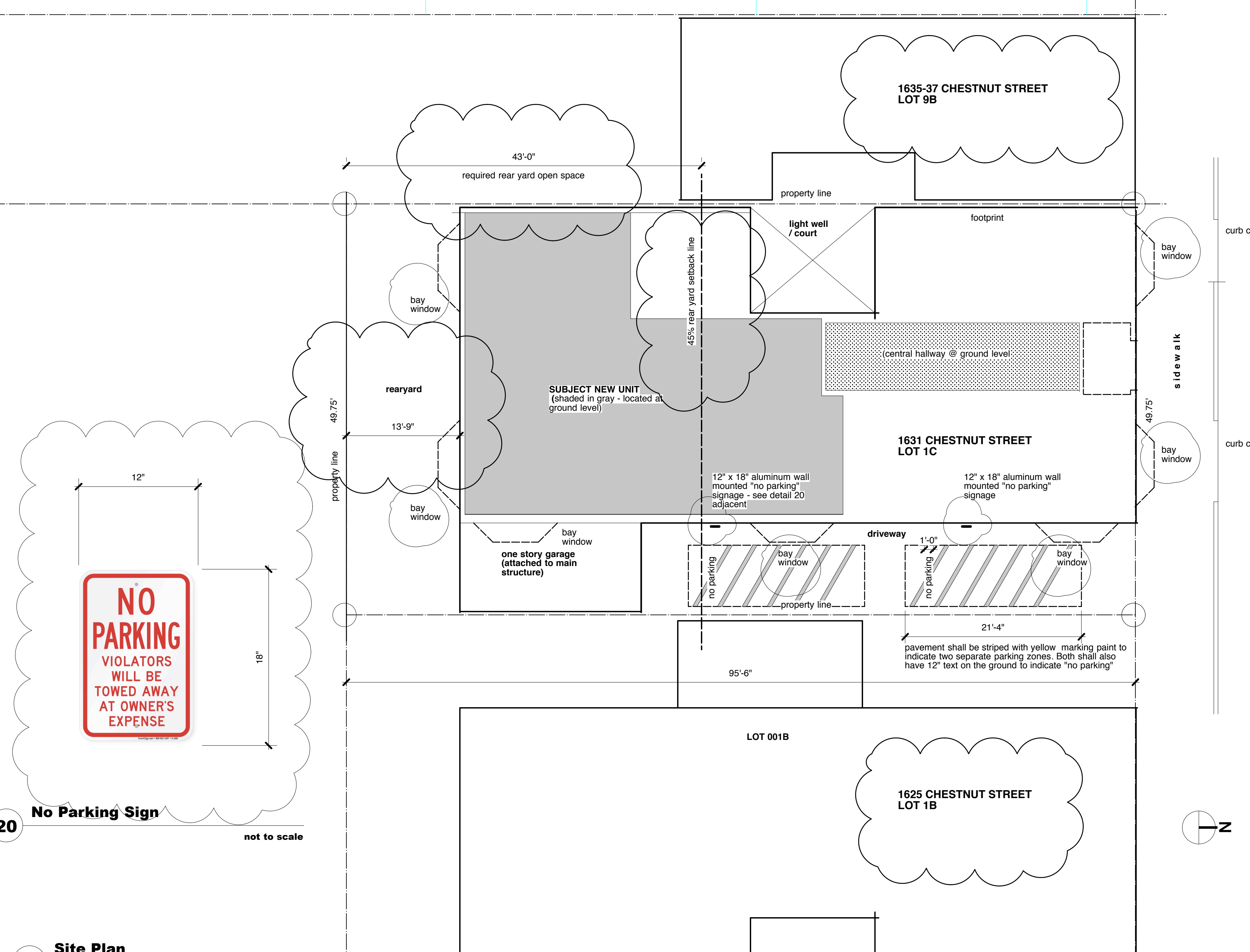
3 Block Map



20 No Parking Sign



1 Site Plan



1/8" = 1'-0"

August 5, 2016 for permit
August 31, variance intake
Nov 8, planning revisions

jace architecture
520 Third Street
Oakland, CA 94607
510.452.2800 fax: 510.452.2801
architecture interior landscape analysis permit expediting public presentation

cover sheet, site plan, block maps, code information

owner information:
Dennis Jermaine
P.O. Box 1542
Burlingame, California 94011

project title:
New Ground Floor Dwelling Unit
project address:
Jermaine Apartments block 0495 / lot 001C
1631 Chestnut Street,
San Francisco, California 94123

TITLE
Jermaine Apartments

DATE
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A-0

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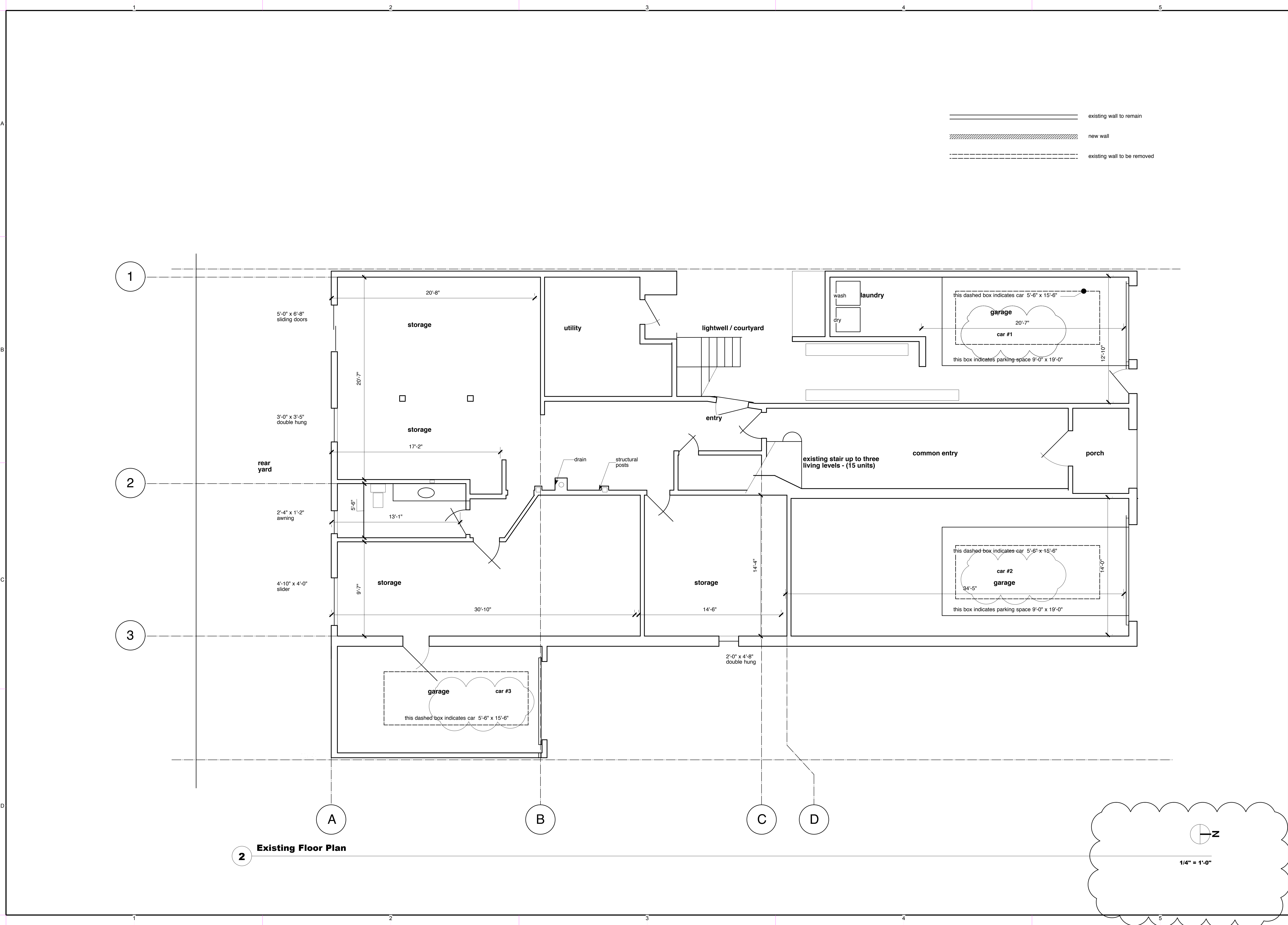
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existing first floor plan

owner information:
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 P.O. Box 1542
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2 Existing Floor Plan

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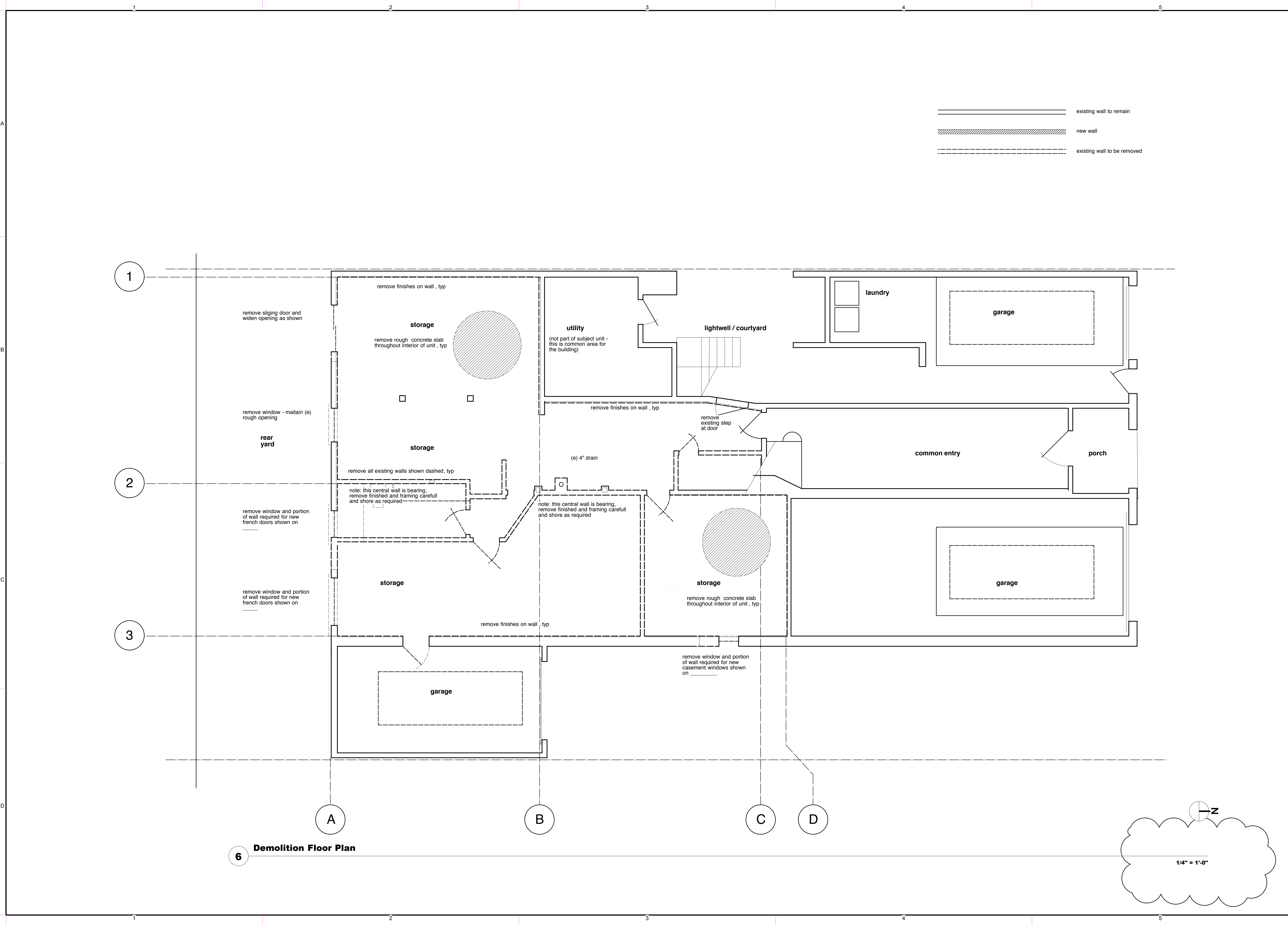
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demolition floor plan

owner information:
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 P.O. Box 1542
 Burlingame, California 94011

project title:
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6 Demolition Floor Plan

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proposed floor plan

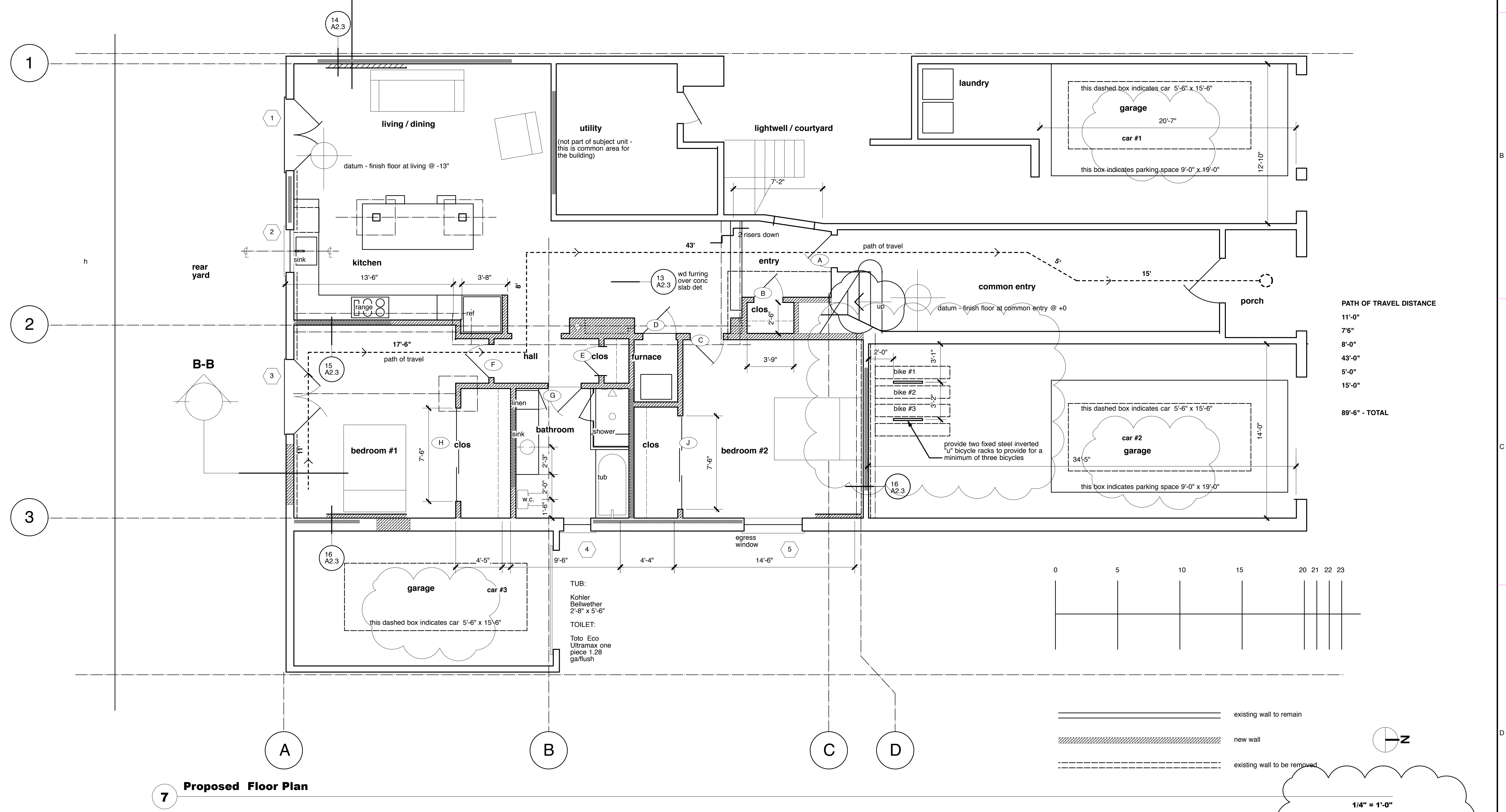
owner information:
 Dennis Jermaine
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 Burlingame, California 94011

project title:
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INTERIOR DOORS							
	ROOM	SIZE	NOTES		ROOM	SIZE	NOTES
(A)	entry	2'8" X 6'8" X 1 3/4" - VIF	weatherstrip at jambs, head, threshold/sill	(G)	bathroom		
(B)	closet	casement		(H)	bedroom #1 closet	(3) 2'8" x 6'8" x 1 3/8"	sliders, track @ head, pin at bottom - door leaf overlap. see r.o on plan for opening
(C)	bedroom #2	2'8" x 6'8" x 1 3/8"	single panel paint grade	(I)	(not used)		
(D)	furnace	awning	note: door raised up to return air grill below	(J)	bedroom #2 closet	(3) 2'8" x 6'8" x 1 3/8"	sliders, track @ head, pin at bottom - door leaf overlap. see r.o on plan for opening
(E)	xloset	double casement (egress)		(K)	(not used)		
(F)	bedroom #1	2'8" x 6'8" x 1 3/8"	single panel paint grade	(L)	(not used)		

EXTERIOR WINDOW AND DOOR SCHEDULE						
	ROOM	DESCRIPTION	MANUFACTURER / PRODUCT #	ROUGH OPENING	GLAZING	GENERAL NOTES / COMMENTS
(1)	living / dining	inswing french (inswing)		5'-0" x 6'-10 1/2"	dual glaze low e w/ argon - tempered	
(2)	kitchen	double hung	Marvin wood ultrex	existing r.o. +/- 3'-0" wide x 3'-4" high	dual glaze low e w/ argon	
(3)	bedroom #1	french doors (inswing)	Marvin wood ultrex / IIFD6068XX	6'-0" x 6'-10 1/2"	dual glaze low e w/ argon - tempered	
(4)	bathroom	awning	Marvin wood ultrex / IFAWN 2020	2'-0" x 2'-0"	dual glaze low e w/ argon - tempered - include security glazing	tempered gl req due to proximity to tub - sandblast glass req. see mullion pattern on elevations
(5)	bedroom #2	double casement (egress)	Marvin wood ultrex / ICA3552WE	5'-5" W x 4'-7 5/8" (H)	dual glaze low e w/ argon - tempered - include security glazing	egress window req for bedroom. see mullion pattern on elevations



7 Proposed Floor Plan

A-1.2

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electrical and reflected ceiling plan

owner information:
 Dennis Jermaine
 P.O. Box 1542
 Burlingame, California 94011

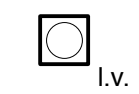

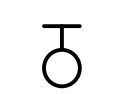


project title:
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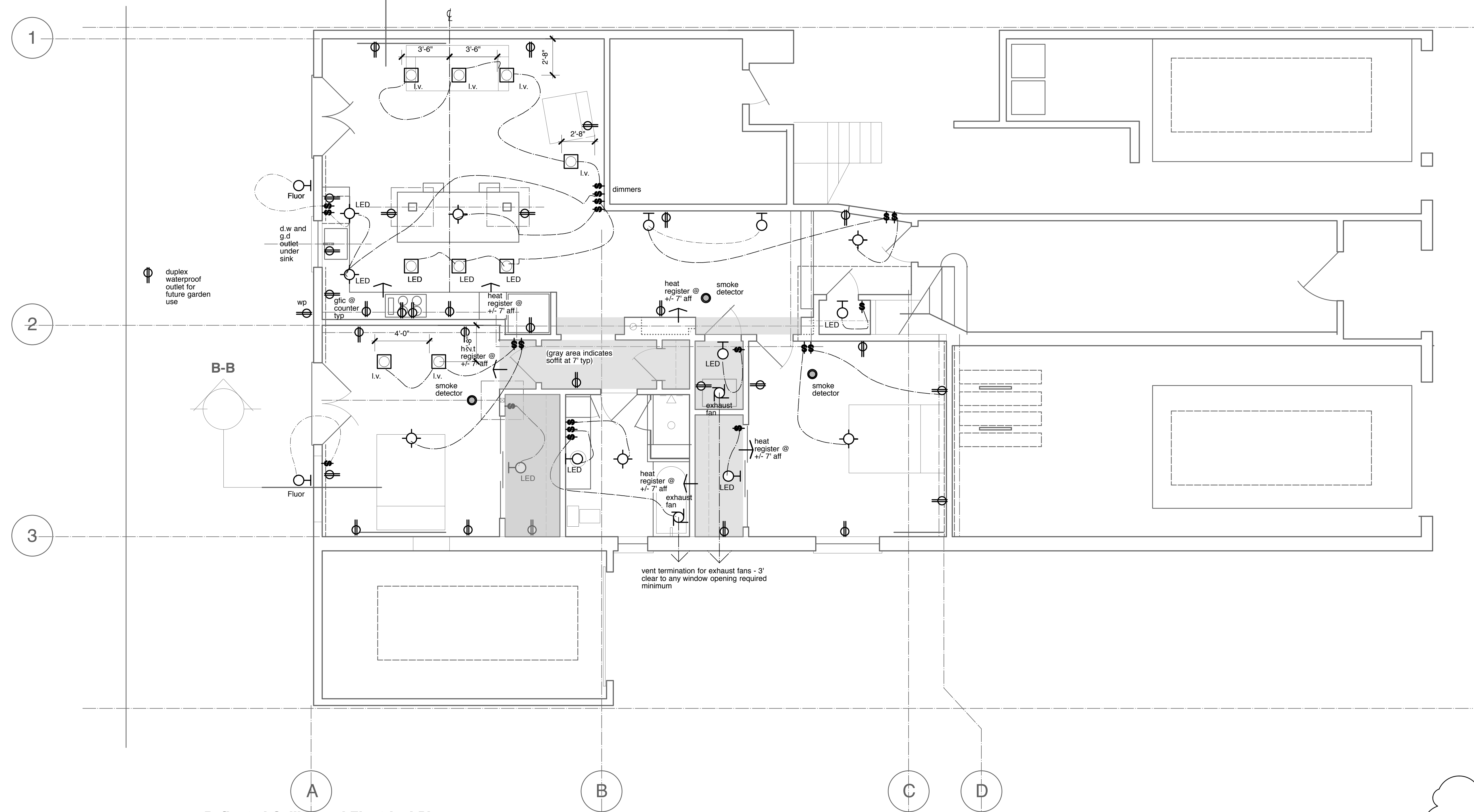
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A-1.3

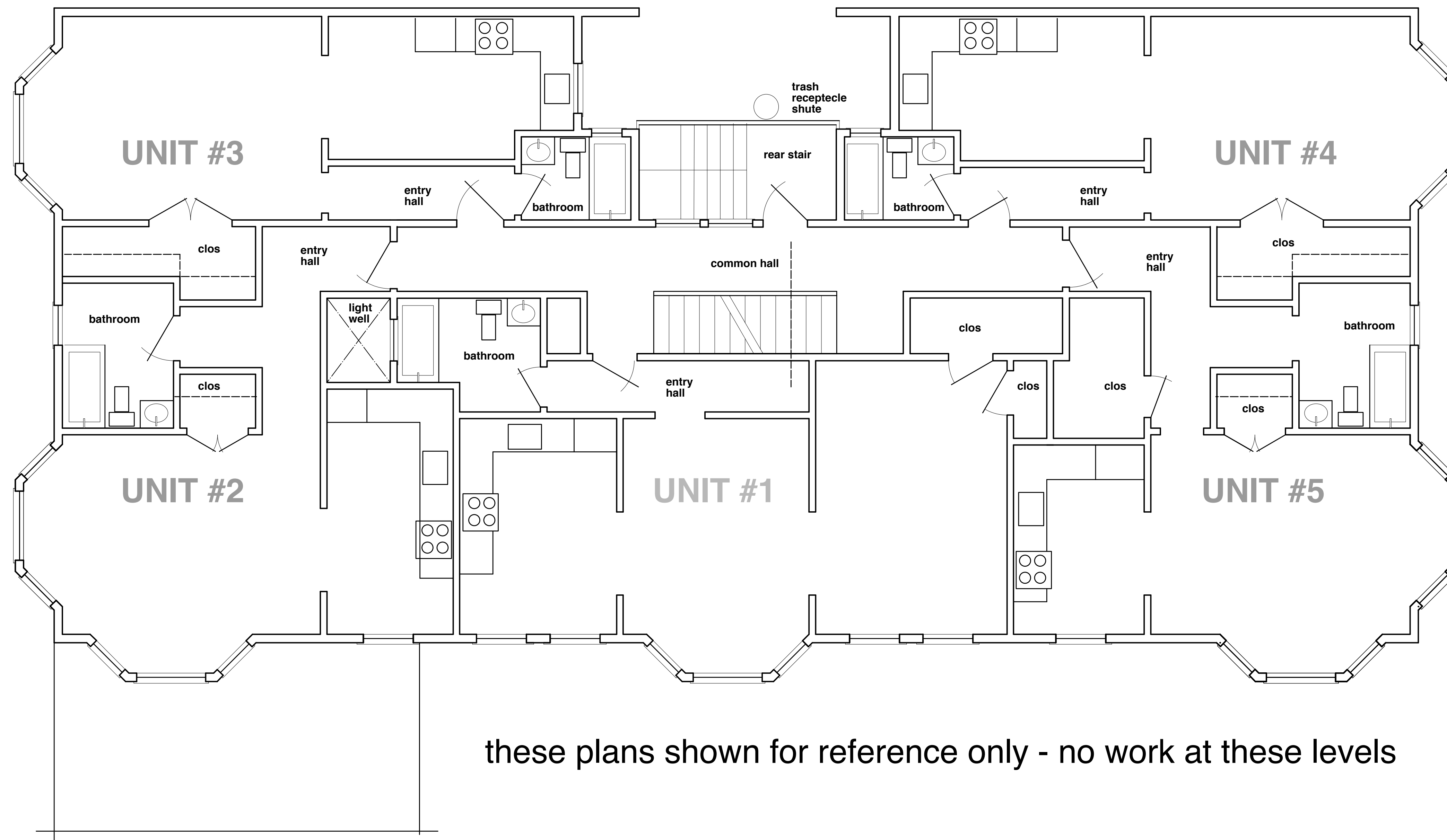
electrical legend

-  4" low voltage recessed insulated can - Elco 1499ICT or eq
-  4" LED recessed insulated can - Elco or eq
-  wall sconce - verify all heights with architect
-  wall sconce - fluorescent - verify all heights with architect
-  pendant or surface mounted. if light has a "drop", verify height w/ architect



8 Reflected Ceiling and Electrical Plan

1/4" = 1'-0"



these plans shown for reference only - no work at these levels

17

Second , Third , and Fourth Floor Plan

1/4" = 1'-0"

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520 Third Street
Oakland, CA 94607
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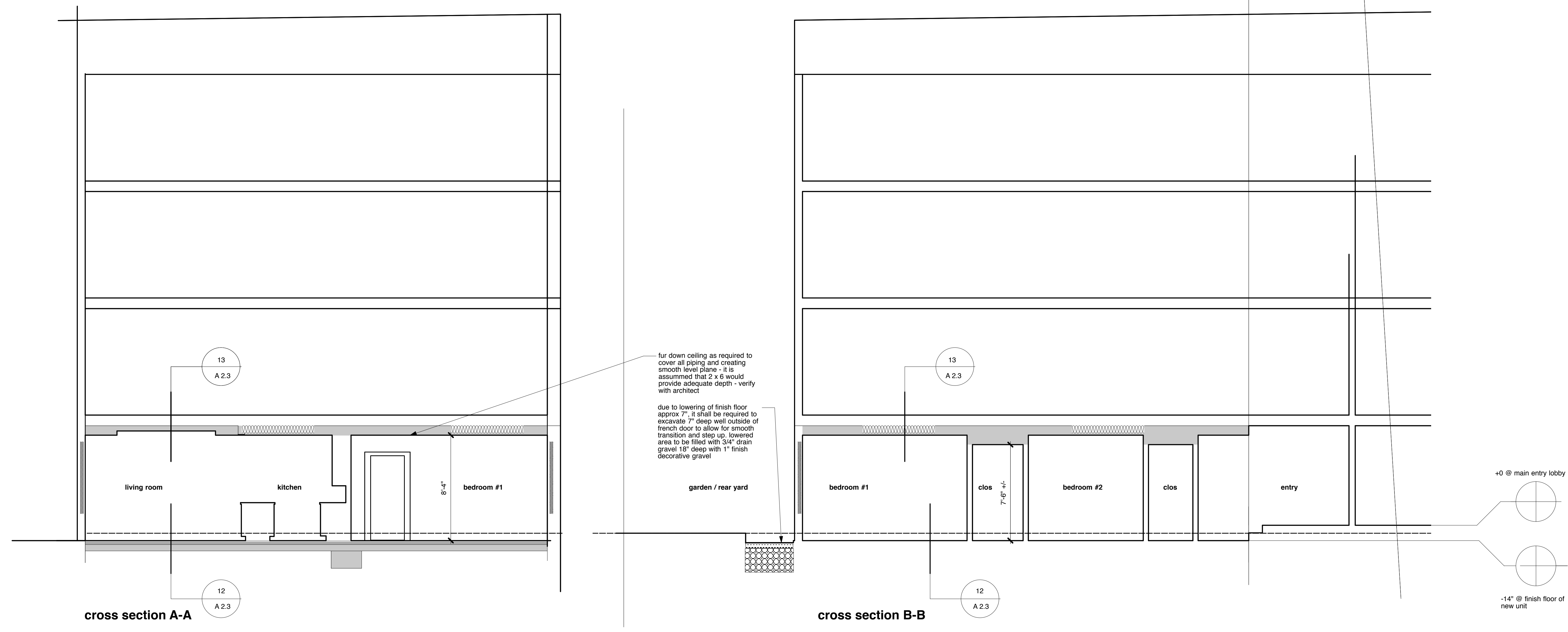
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cross sections

owner information:
 Dennis Jermaine
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project title:
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9 Proposed Building Cross Sections

1/4" = 1'-0"

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 www.jacearch.com
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 DATE
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18 Existing Exterior Elevationx

1/4" = 1'-0"

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exterior elevations

owner information:
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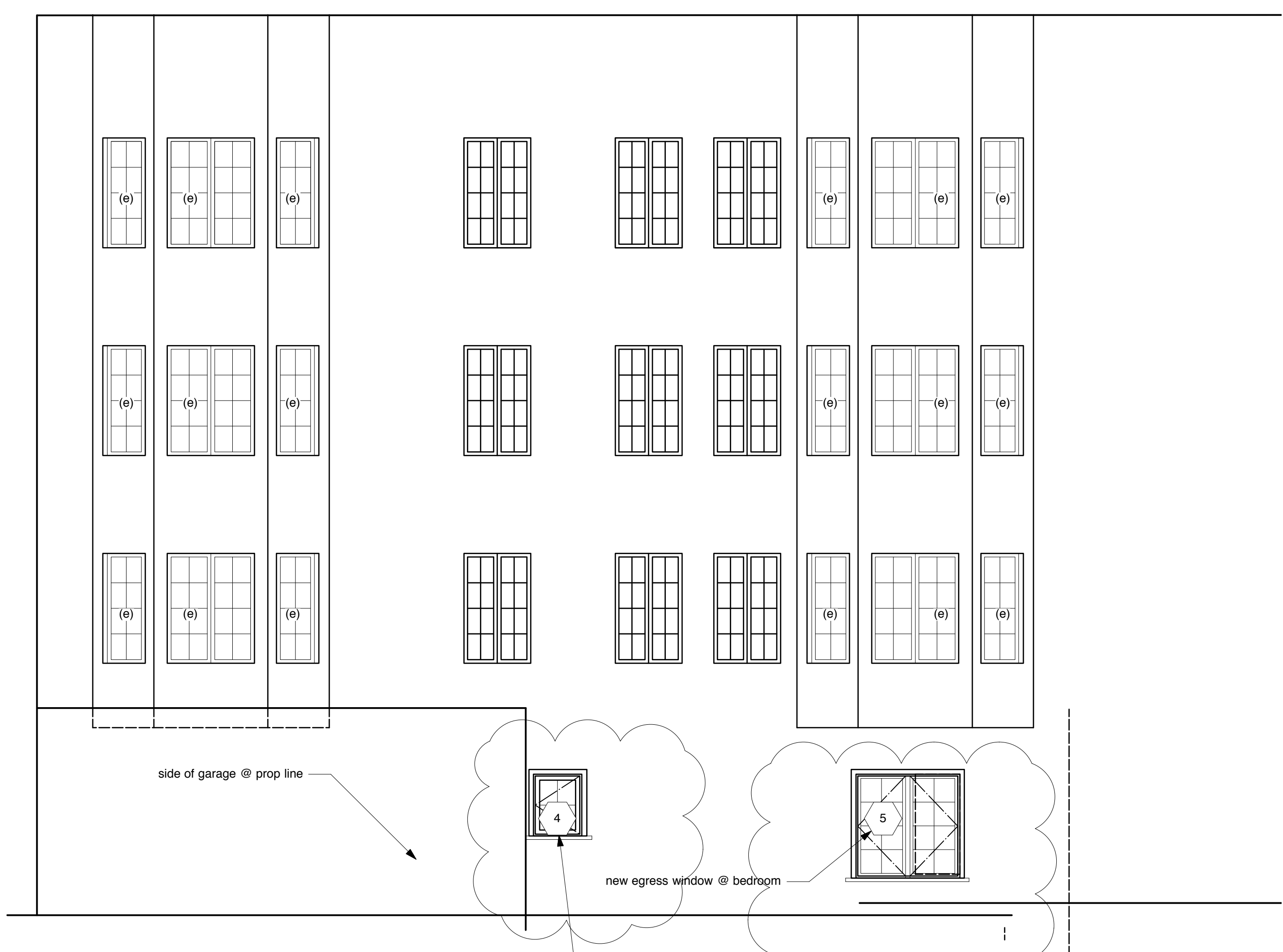
project title:
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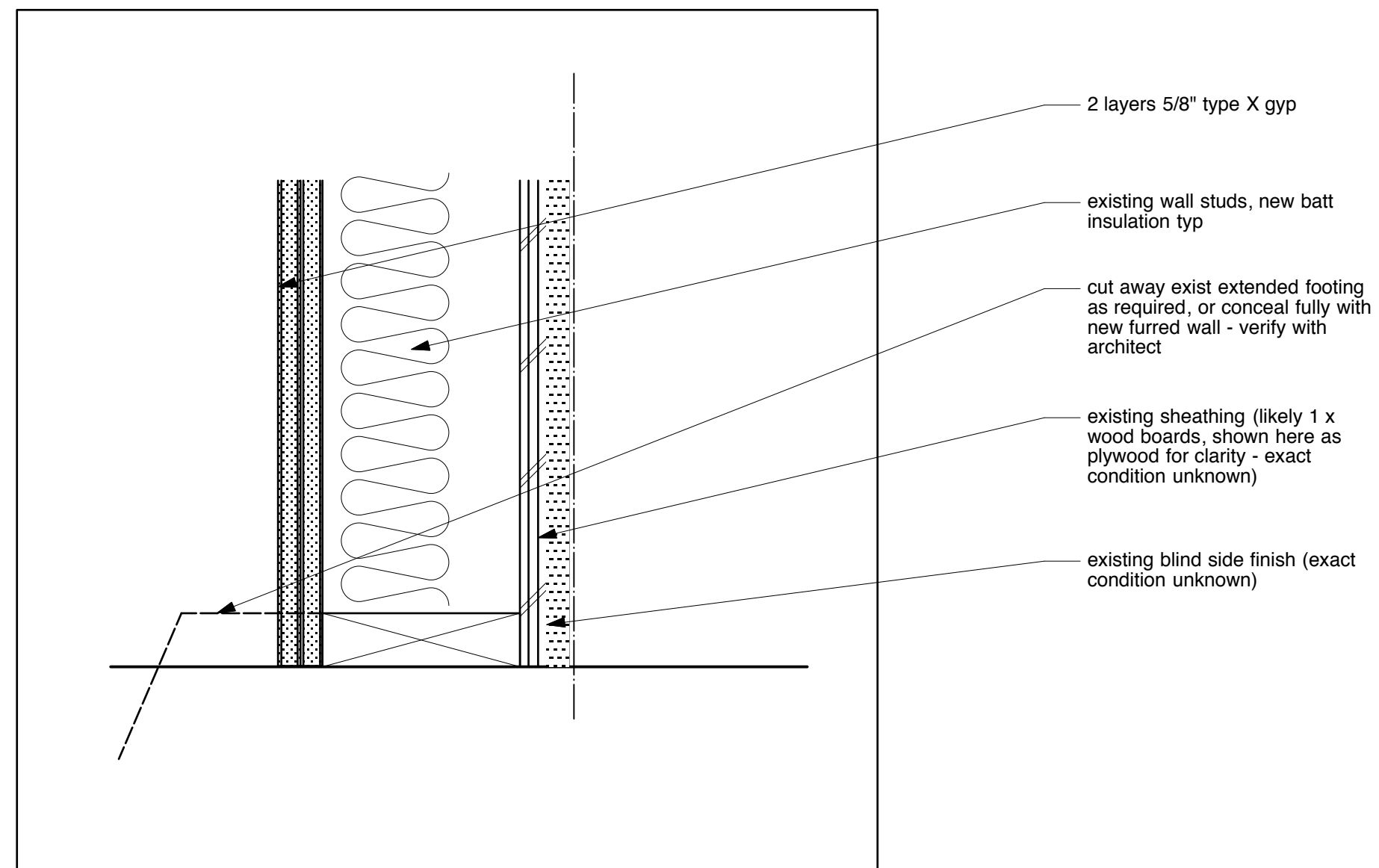
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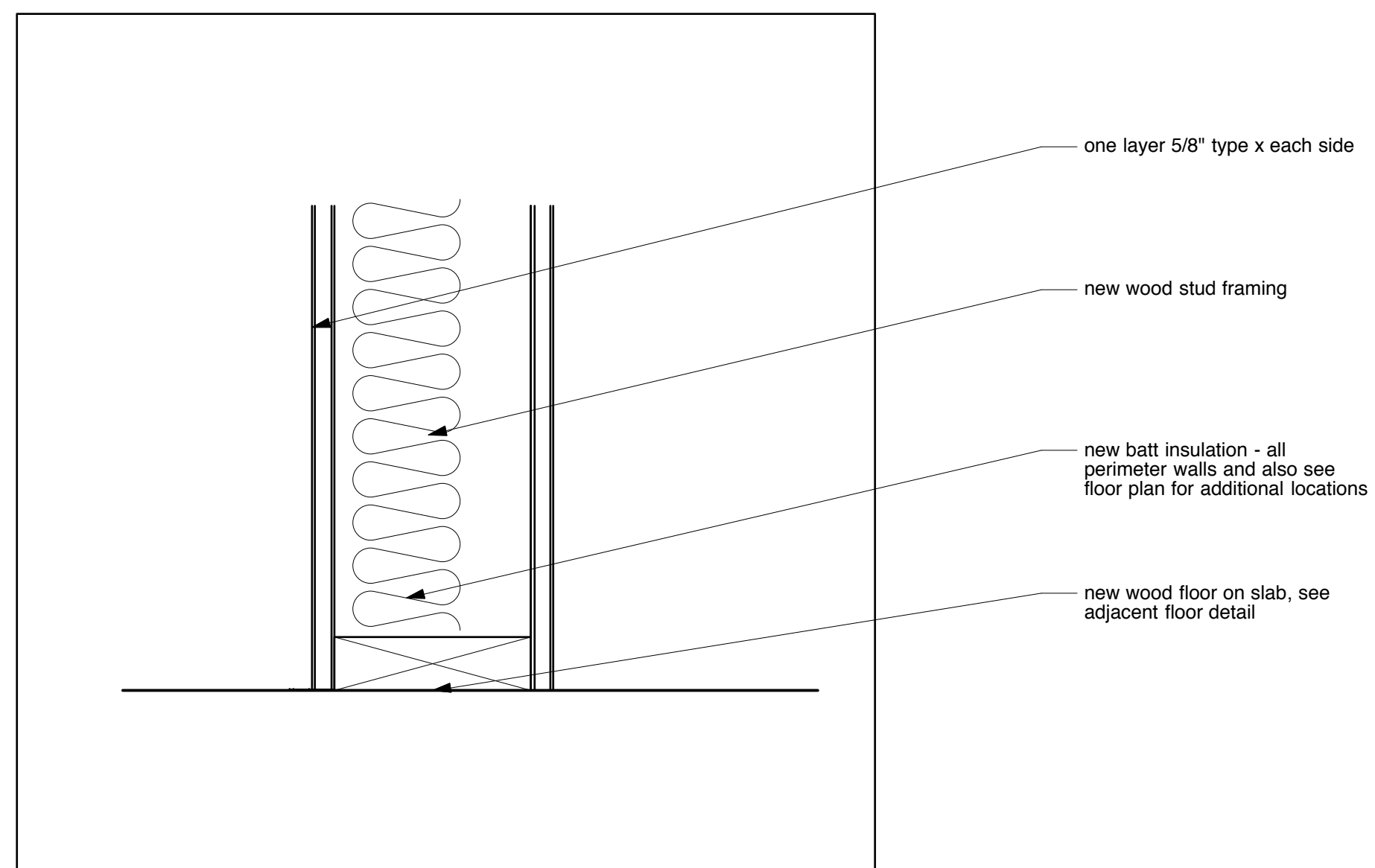
cross section A-A



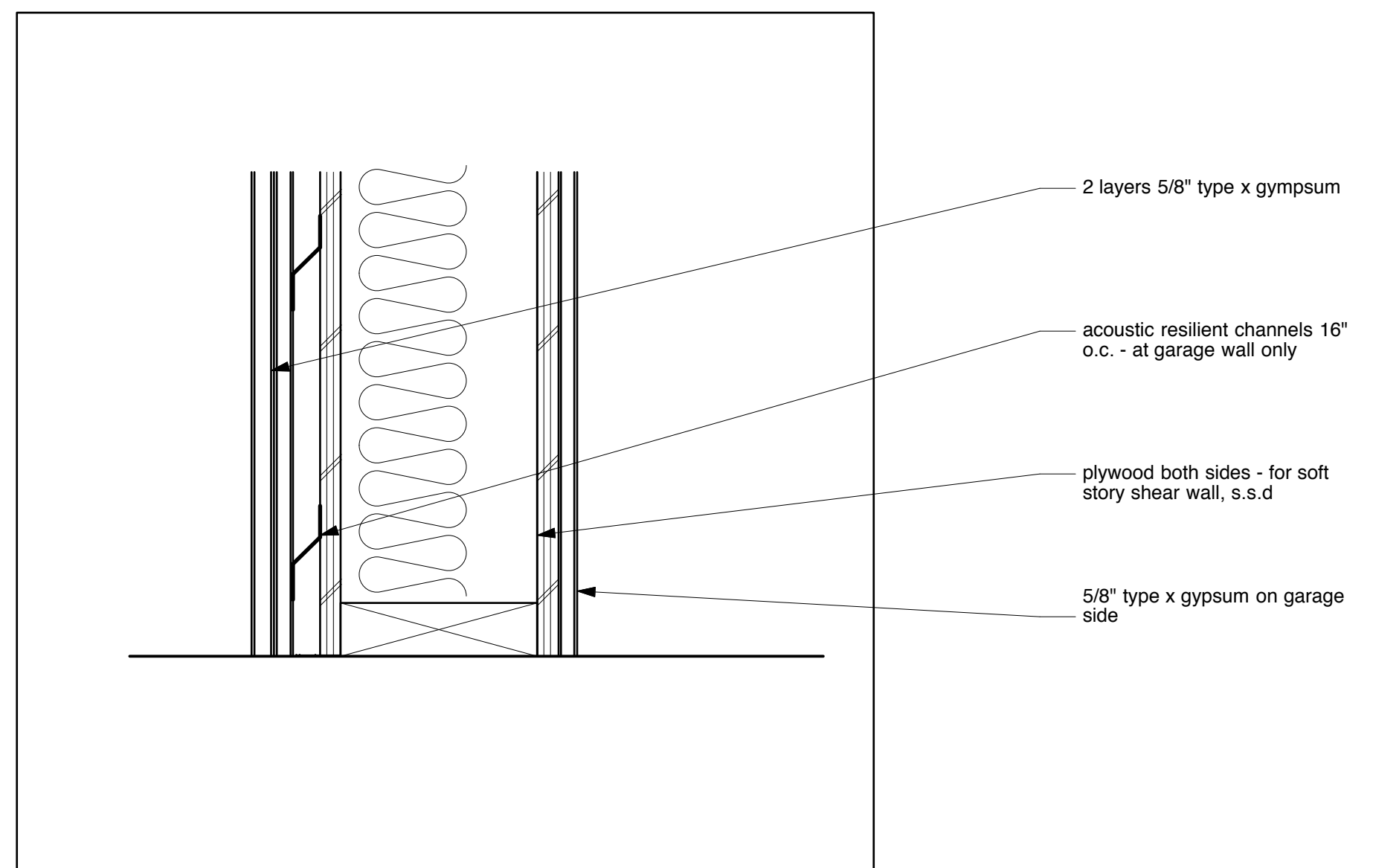
cross section B-B



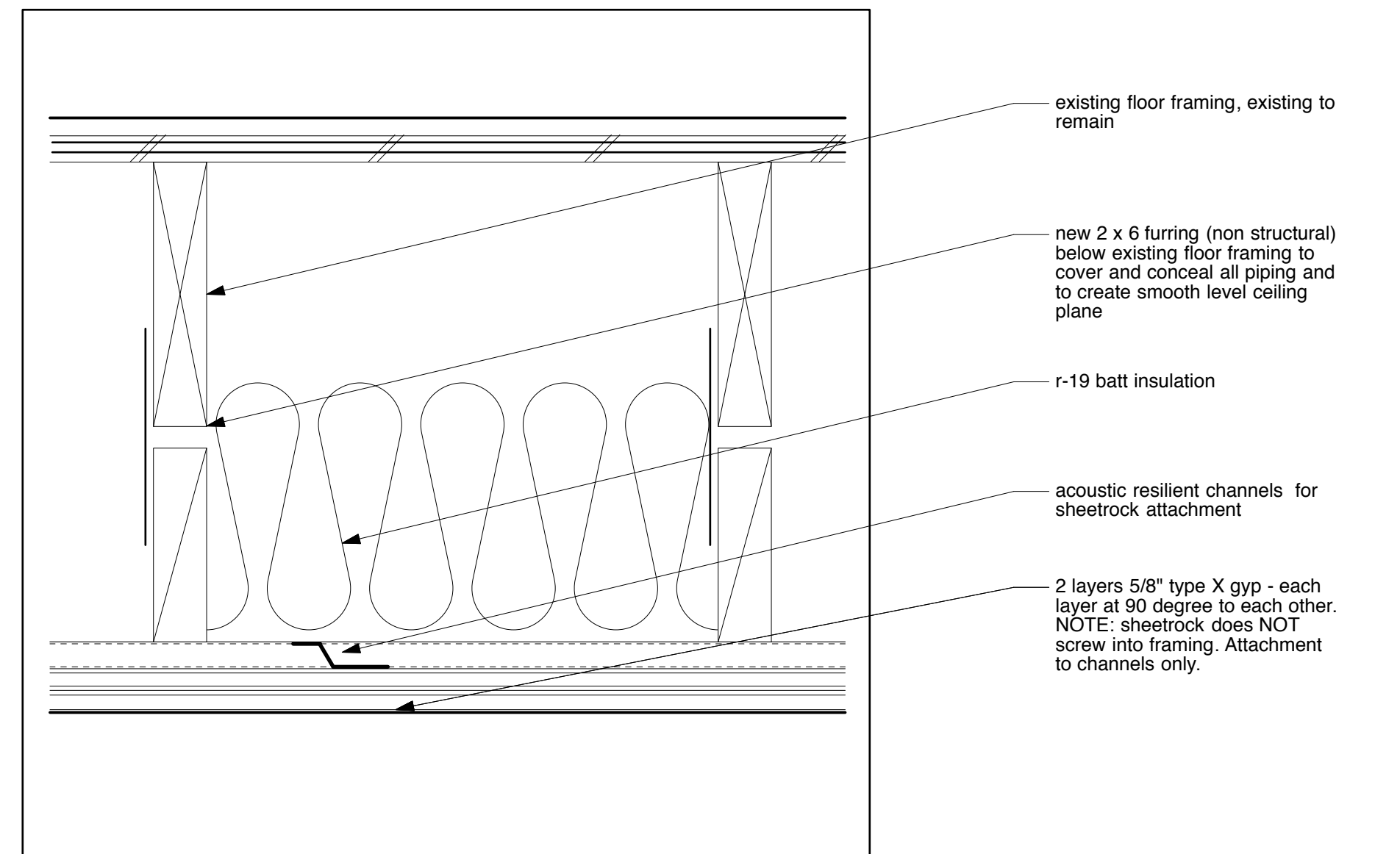
14 Properly line Wall - One Hour 3" = 1'-0"



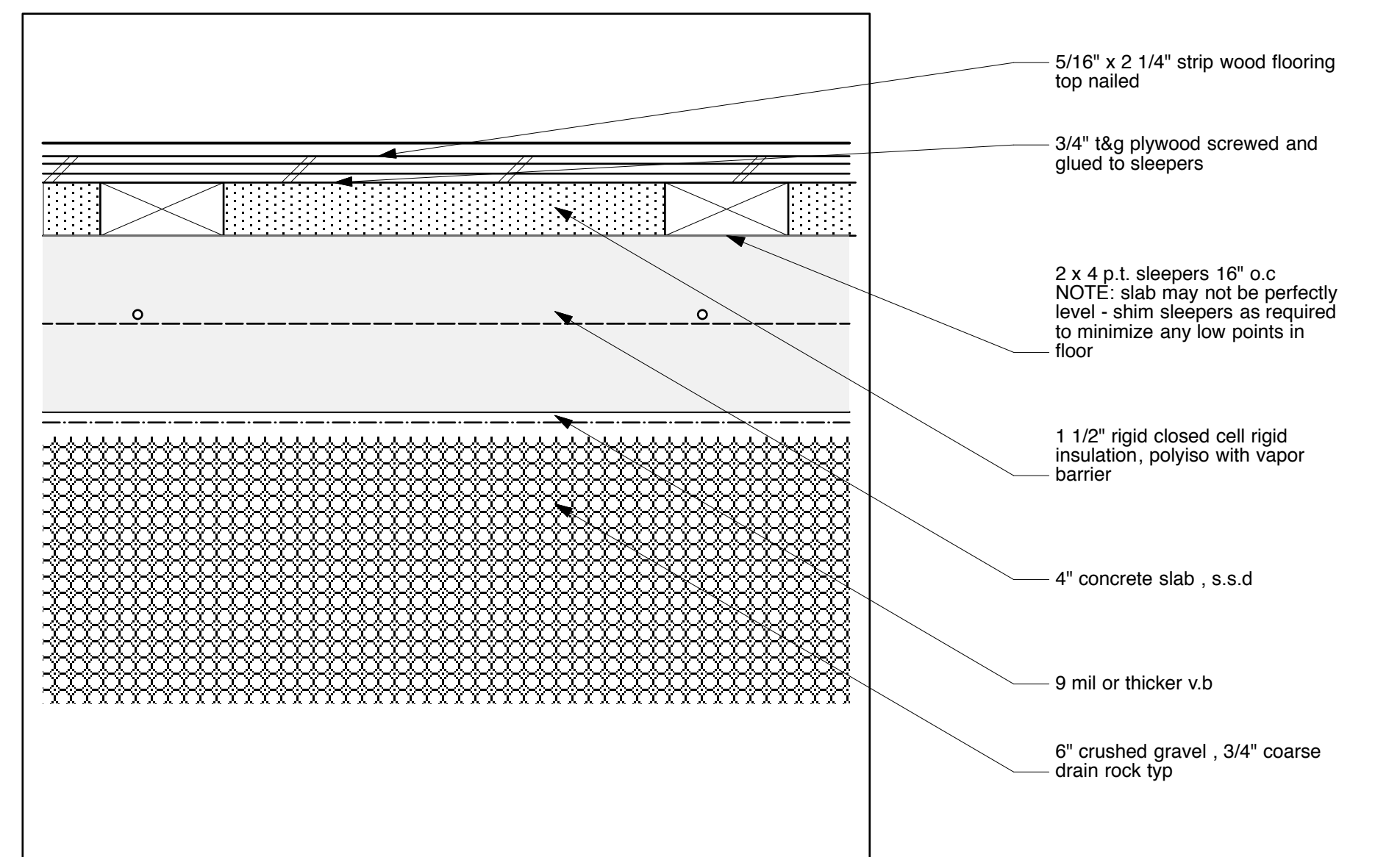
15 Typ Interior Wall - One Hour 3" = 1'-0"



16 Typ Wall at Garage - One Hour 3" = 1'-0"



13 Ceiling Detail - One Hour Separation 3" = 1'-0"



12 Floor Slab and Wood Sub-Floor 3" = 1'-0"

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wall details / floor details

owner information:
 Dennis Jermaine
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 San Francisco, California 94123

TITLE Jermaine Apartments
DATE August, 2016
SHEET A-3.0

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jace architecture

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Oakland, CA 94607
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SFDBI screening forms for addition of dwelling units, ordinance 30-15

owner information:
Dennis Jermaine
P.O. Box 1542
Burlingame, California 94011

project title:
New Ground Floor Dwelling Unit
project address:
Jermaine Apartments block 0495 / lot 001C
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San Francisco, California 94123

TITLE
Jermaine Apartments
DATE
August, 2016
SHEET

A-0.1

City and County of San Francisco
Department of Building Inspection

Edwin M. Lee, Mayor
Tom C. Hui, S.E., C.B.O., Director

**Add Unit per Ordinances
30-15, 161-15 & 162-15**

Attachment B

Addition of Dwelling Units per Ordinance No. 30-15
SCREENING FORM - No fee to file

The screening form shall be completed by owner or agent to determine the eligibility for adding dwelling units per Ordinance No. 30-15 based on permits for Mandatory Seismic Retrofitting under SFBC Chapter 34B, or voluntary seismic retrofitting per AB-094, or located in districts specified by Ordinance No. 30-15.

Submit the completed Screening Form (with the supporting documents) as a hardcopy in person or by U.S. mail to Department of Building Inspection, 1660 Mission Street, San Francisco, CA 94103

BLOCK / LOT NUMBER 0495 / 001C

ADDRESS 1631 CHESTNUT STREET, 94123

CONTACT (OWNER OR AGENT) JACE LEVINSON, ARCHITECT

SECTION 1 - ADMINISTRATIVE INFORMATION

JACE LEVINSON 415 440 0920 JACE@JACEARCHITECTURE.COM
Contact Name Contact Telephone Contact Email

520 THIRD ST, SUITE 200, OAKLAND CA 94607
Contact Mailing Address

RECEIVED
JUN 09 2016
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR REPRODUCTION
ACCEPTED

Technical Services Division
1660 Mission Street - San Francisco CA 94103
Office (415) 558-6205 - FAX (415) 558-6401 - www.sfdbi.org

INFORMATION SHEET G-23

SECTION 2 - DETERMINATION OF ELIGIBILITY TO ADD DWELLING UNITS PER ORDINANCE NO. 30-15

1. Has mandatory seismic retrofitting been filed under SFBC Chapter 34B, Mandatory Earthquake Retrofit of Wood Frame Buildings? Yes No
If yes, Permit Application Number: 201508033119

2. Has voluntary seismic strengthening been filed under Administrative Bulletin AB-094, Definition and Design Criteria for Voluntary Seismic Upgrade of Soft Story, Type-V (wood frame) Buildings? Yes No
If yes, Permit Application Number: _____

3. Is existing residential building located in districts specified by Ordinance 30-15? Yes No
(Subject to Planning review)

Owner / Agent:
[Signature] 3.26.16 Owner Agent
Signature Date

FOR DBI USE ONLY

DBI has received the materials submitted and filed under "Addition of dwelling units per Ordinance No. 30-15".

Further discussions on code issues and equivalencies on compliance will be via pre-application meetings or Administrative Bulletin AB-005.

Date received by DBI [Signature]

RECEIVED
JUN 09 2016
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
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Page 2 of 2