



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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San Francisco,  
CA 94103-2479

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# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409  
558\*6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, February 22, 2017**  
Time: **Not before 9:30 AM**  
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**  
Case Type: **Variance**  
Hearing Body: **Zoning Administrator**

| PROPERTY INFORMATION   |                         | APPLICATION INFORMATION |  |
|--|-------------------------|-------------------------|--|
| Project Address:   | <b>2963 21st Street</b> | Case No.:               | <b>2016-010657VAR</b>  |
| Cross Street(s):   | <b>Treat Avenue</b>     | Building Permit:        | N/A  |
| Block /Lot No.:  | <b>3613/033A</b>        | Applicant:              | <b>Andrew K. Nash</b>  |
| Zoning District(s):  | <b>RH-3 / 40-X</b>      | Telephone:              | <b>(415) 335-3464</b>  |
| Area Plan:   | <b>Market-Octavia</b>   | E-Mail:                 | <a href="mailto:andrew.nash@gmail.com">andrew.nash@gmail.com</a> |
| PROJECT DESCRIPTION  |                         |                         |  |
| <p>The proposal is to construct a new rear yard deck and stairway to an existing 2-story (1-story over basement) single-family dwelling.</p> <p><b>Per Section 134 of the Planning Code</b>, the subject property is required to maintain a rear yard of approximately 42 feet, 9 inches. Currently, the existing building encroaches into the required rear yard. Because the proposed rear deck and stairway would encroach an additional 9 feet into the required rear yard (to within 23 feet of the rear property line), a variance is required from Planning Code Section 134.</p>   |                         |                         |  |
| ADDITIONAL INFORMATION   |                         |                         |  |
| <p><b>ARCHITECTURAL PLANS:</b> The site plan and elevations of the proposed project are available on the Planning Department's website at: <a href="http://sf-planning.org/ftp/files/notice/2016.01057V.pdf">http://sf-planning.org/ftp/files/notice/2016.01057V.pdf</a></p> <p>Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.</p> |                         |                         |  |
| <p><b>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:</b><br/>Planner: <b>Linda Ajello Hoagland</b> Telephone: <b>(415) 575-6823</b> E-Mail: <a href="mailto:linda.ajellohoagland@sfgov.org">linda.ajellohoagland@sfgov.org</a></p>  |                         |                         |  |

# GENERAL INFORMATION ABOUT PROCEDURES

## HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

## BUILDING PERMIT APPLICATION INFORMATION

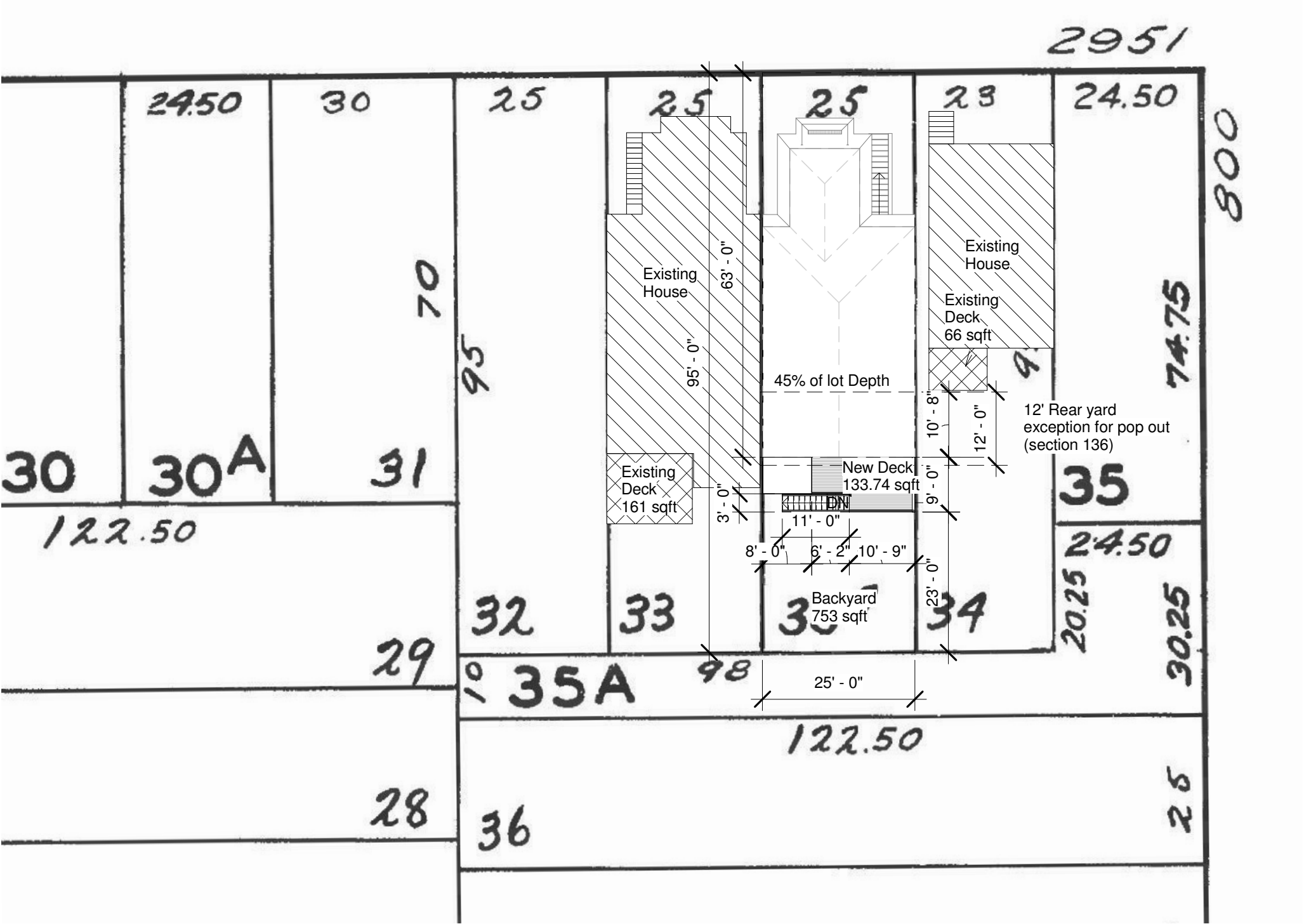
Pursuant to Planning Code Section 311, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. Following the submittal of the Building Permit Application, the Department will issue the required Section 311 notification for this project.

## APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

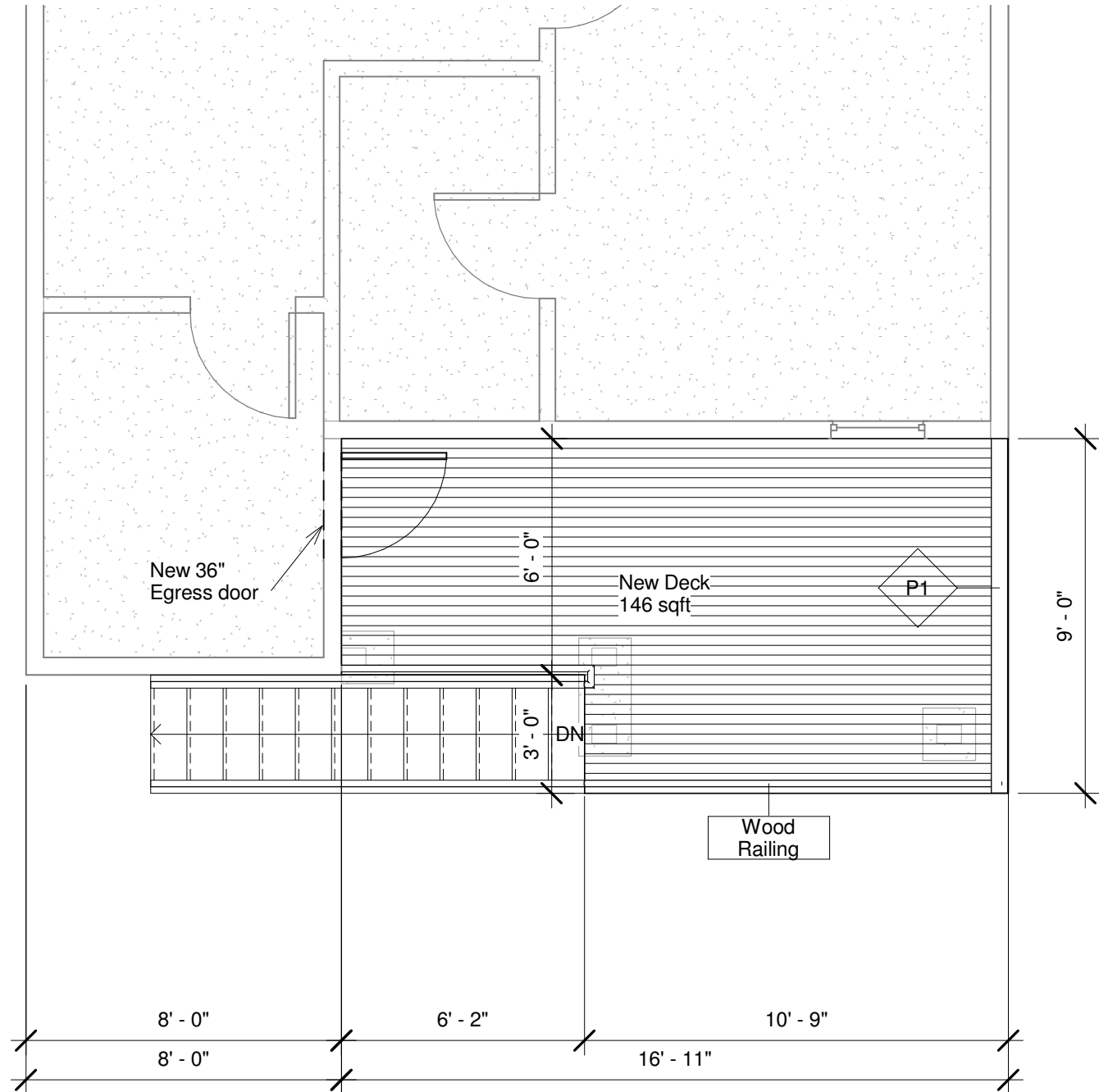


Building Area:1175 sqft  
Parcel Area: 2375sqft  
New Deck area: 166.74 sqft  
(including stairs)  
Backyard Area: 753 sqft  
proposed 22% of backyard deck  
coverage

1 Site  
1" = 20'-0"

Site Plan

|                                      |                |
|--------------------------------------|----------------|
| ZE design                            |                |
| DESIGNER: KG                         |                |
| DATE: Issue Date                     |                |
| REVISED BY: DATE: REVISION:          |                |
| PRINTED: 1/27/2017 1:35:13 PM        |                |
| DRAWING NAME: Site Plan              |                |
| SCALE: 1" = 20'-0"                   |                |
| MODEL: Deck Design                   |                |
| FLOOR AREA'S (sq.ft.)                |                |
| Main:                                | 147 Sqft.      |
| Upper:                               |                |
| Total:                               |                |
| ENTRY STATUS:                        |                |
| Garage:                              | Project Status |
| SIGNATURES:                          |                |
| X _____                              |                |
| X _____                              |                |
| CLIENT: Owner                        |                |
| ADDRESS: 2963 21st Sanfrancisco, CA. |                |
| LEGAL:                               |                |
| JOB #:                               |                |
| SHEET: A101                          |                |

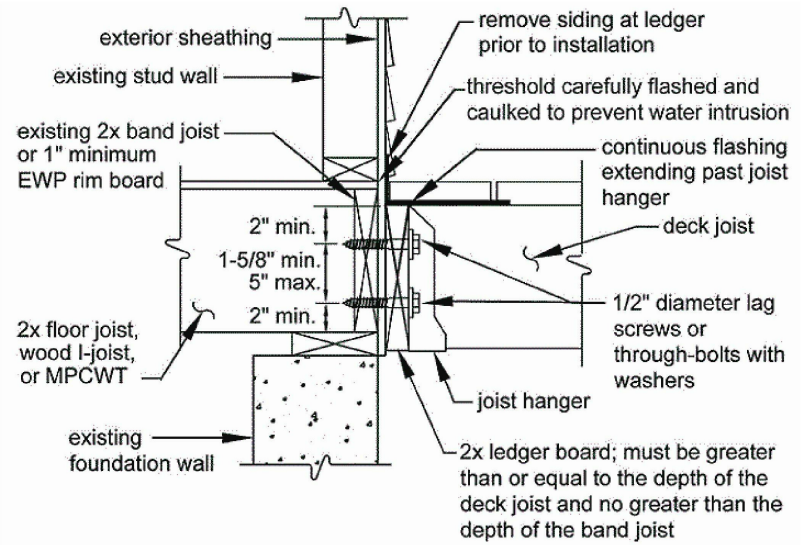
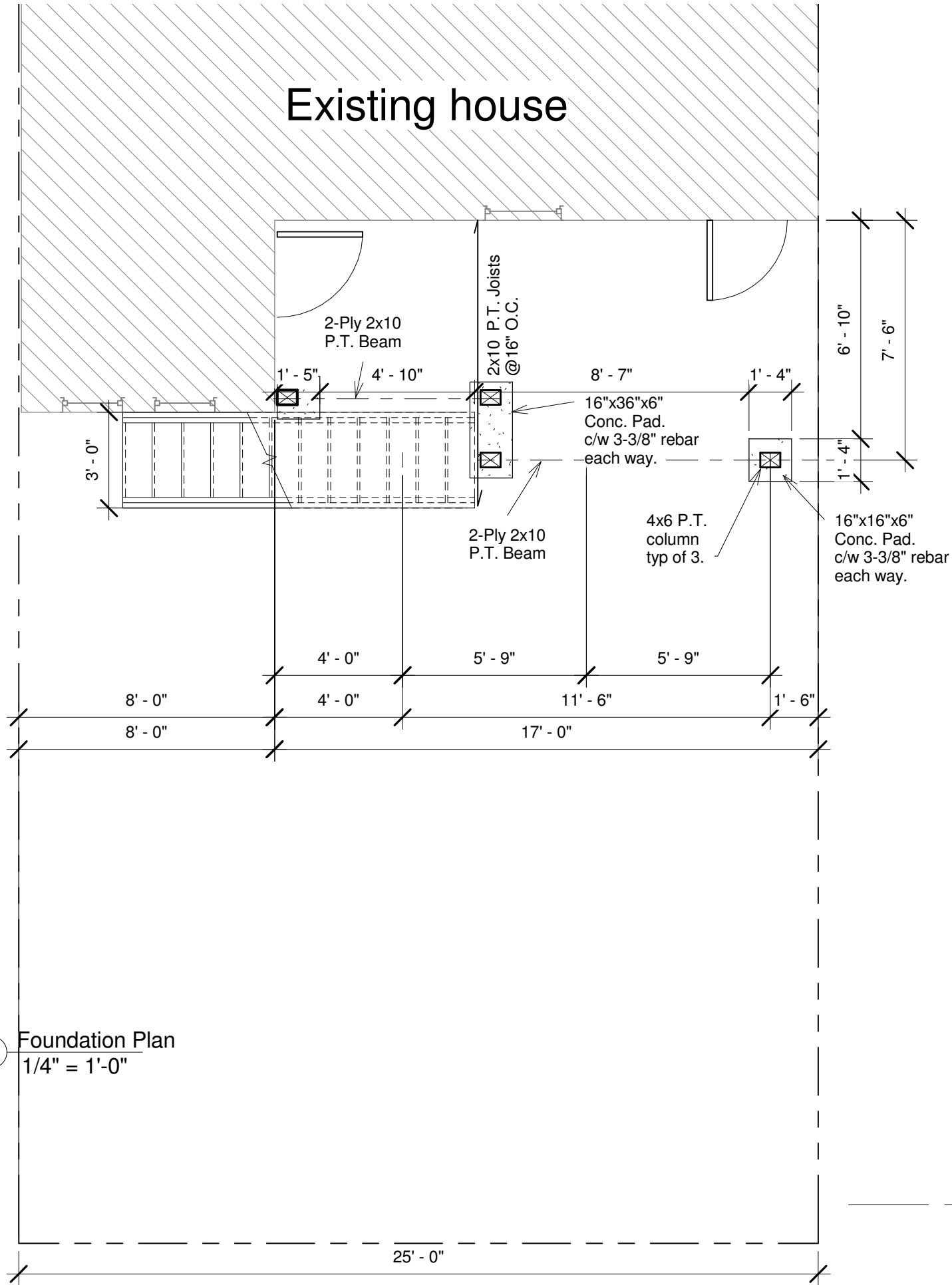


P1-Exterior partition, 1 Hour fire separation, Exterior cladding, 5/8" type x gypsum board, 2x4 pt framing @ 16" o/c, 42" tall, 5/8" type x gypsum wall board, exterior cladding. On property line. Aluminum cap flashing on top of wall.

1 Main Floor Plan  
1/4" = 1'-0"

Deck Plan

|   |                     |           |
|---|---------------------|-----------|
| ZE design                               |                     |           |
|   |                     |           |
| DESIGNER:<br>Author                     | DATE:<br>Issue Date |           |
| REVISED BY:                             | DATE:               | REVISION: |
|   |                     |           |
| PRINTED:<br>1/27/2017 1:35:13 PM        |                     |           |
| DRAWING NAME:<br>Deck Plan              |                     |           |
| SCALE:<br>1/4" = 1'-0"                  |                     |           |
| MODEL:<br>Deck Design                   |                     |           |
| FLOOR AREA'S (sq.ft.)                   |                     |           |
| Main:                                   | .                   |           |
| Upper:                                  |                     |           |
| Total:                                  |                     |           |
| Entry:                                  |                     |           |
| STATUS:                                 |                     |           |
| Garage:                                 | Project Status      |           |
| SIGNATURES:                             |                     |           |
| X _____                                 |                     |           |
| X _____                                 |                     |           |
| CLIENT:<br>Owner                        |                     |           |
| ADDRESS:<br>2963 21st Sanfrancisco, CA. |                     |           |
| LEGAL:                                  |                     |           |
| JOB #:                                  |                     |           |
| SHEET:<br>A102                          |                     |           |



[http://decks-ca.com/Deck\\_Connections/Ledger\\_Detail.gif](http://decks-ca.com/Deck_Connections/Ledger_Detail.gif)

1/7/2016

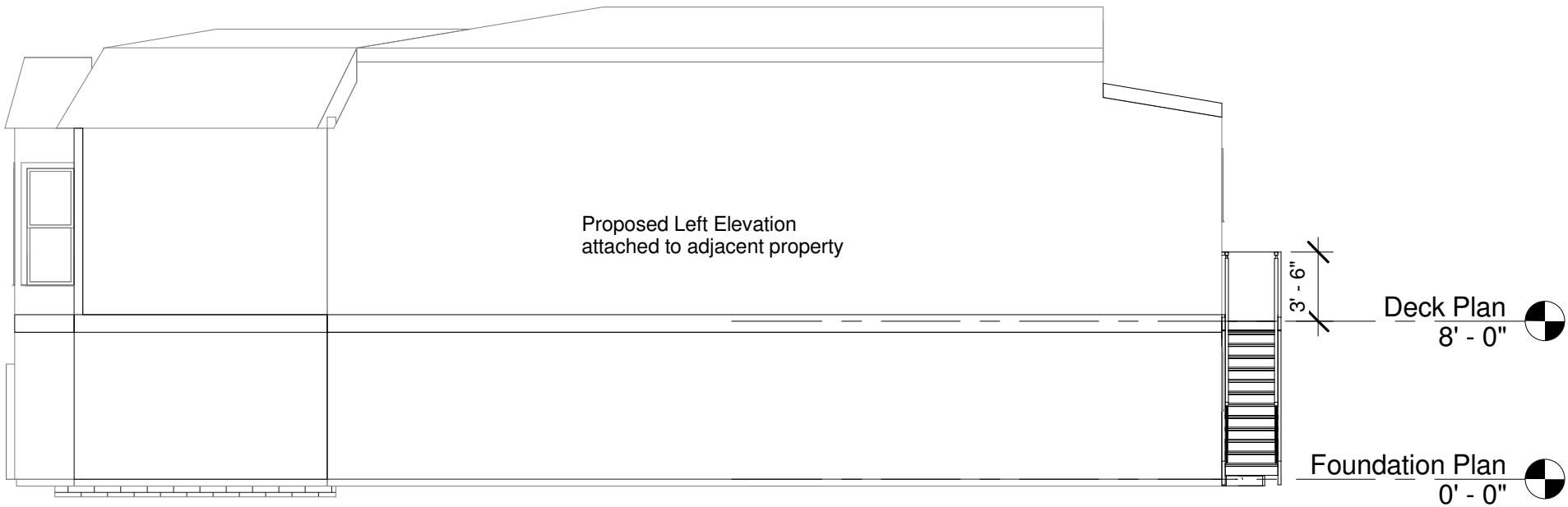


Deck Plan  
8' - 0"

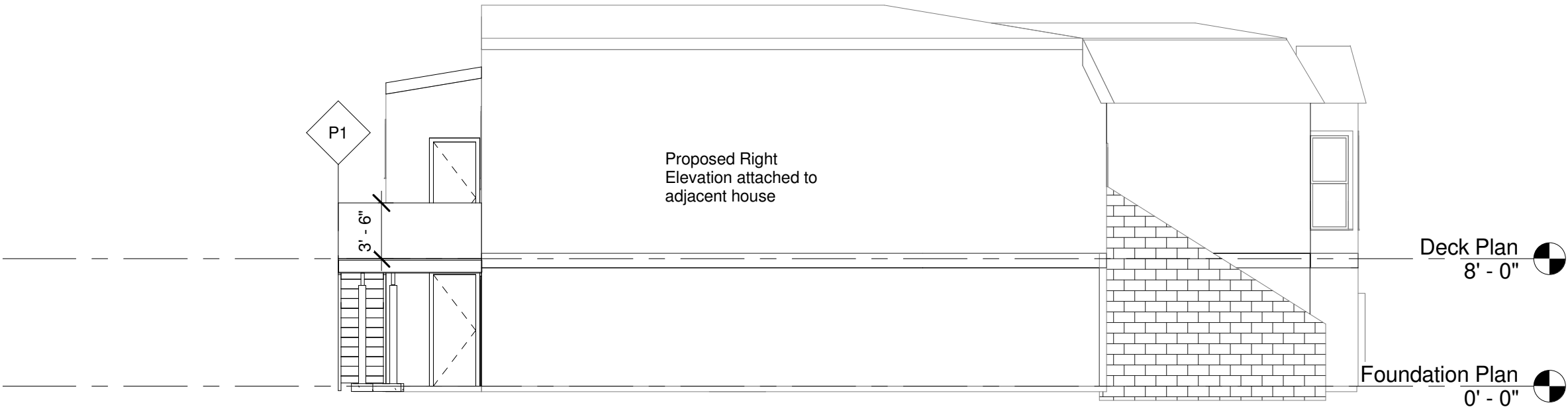
Foundation Plan  
0' - 0"

2 Deck Elevation  
1/8" = 1'-0"

**Deck Foundation Plan**



1 Left elevation  
1/8" = 1'-0"



2 Right Elevation  
1/8" = 1'-0"

|                                       |                |                     |
|---------------------------------------|----------------|---------------------|
| ZE design                             |                |                     |
|                                       |                |                     |
| DESIGNER:<br>Author                   |                | DATE:<br>Issue Date |
| REVISED BY:                           | DATE:          | REVISION:           |
|                                       |                |                     |
| PRINTED:<br>1/27/2017 1:35:14 PM      |                |                     |
|                                       |                |                     |
| DRAWING NAME:<br><br>Elevations       |                |                     |
| SCALE: 1/8" = 1'-0"                   |                |                     |
| MODEL:<br>Deck Design                 |                |                     |
| FLOOR AREA'S (sq.ft.)                 |                |                     |
| Main:                                 |                |                     |
| Upper:                                |                |                     |
| Total:                                |                |                     |
| Entry STATUS:                         |                |                     |
| Garage:                               | Project Status |                     |
| SIGNATURES:<br><br>X _____<br>X _____ |                |                     |
| CLIENT: Owner                         |                |                     |
| ADDRESS:                              |                |                     |
| LEGAL:                                |                |                     |
| JOB #:                                |                |                     |
| SHEET: A104                           |                |                     |