



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, June 28, 2017**
 Time: **Not before 9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 69-75 Hill Street	Case No.: 2016-010422VAR
Cross Street(s): Guerrero & Valencia	Building Permit: 2016.08.11.4827
Block /Lot No.: 3617 / 036	Applicant: Anna Kihagi
Zoning District(s): RH-3 / 85-X	Telephone: (415) 691-1264
Area Plan: Mission	E-Mail: 94147a@gmail.com

PROJECT DESCRIPTION

The proposal is to expand the existing sloping roof at rear resulting in a flat roof and the replacement of the existing roof deck atop the modified roof at the rear of the five-family residence. In May 2017, the project received Administrative Certificate of Appropriateness No. ACOA.2017.0277 (Case No. 2016-009209COA).

PER PLANNING CODE SECTION 134, the subject property is required to maintain a rear yard of 51 feet 4 inches. The existing building currently encroaches 37 feet 6 inches and the proposed work is located within the required rear yard; therefore, a variance is required.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department’s website at: <http://notice.sfplanning.org/2016-010422VAR.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department’s website or in other public documents.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:
 Planner: **Natalia Kwiatkowska** Telephone: **(415) 575-9185** E-Mail: **natalia.kwiatkowska@sfgov.org**

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **On 5/17/17, the Department issued the required Section 311 notification for this project, which expires on 6/16/17.**

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

73 HILL STREET, SAN FRANCISCO

SCOPE OF WORK	PROJECT DATA	PLOT PLAN
<p>1. (E) FLAT ROOF AT REAR REPLACED FOR STRUCTURAL INTEGRITY WITH 2x10 JOISTS IN LIEU OF 2x4.</p> <p>2. REPLACE EXISTING DECK ON REAR FLAT ROOF WITH NEW SUPPORTING 2x10 JOISTS AND NEW COMPLIANT GUARDRAILS.</p>	<p>TYPE OF CONSTRUCTION V-N</p> <p>OCCUPANCY GROUP R-2</p> <p>PARCEL AREA 4560 SF</p> <p>ACCESSORS BLOCK/LOT 3617/036</p> <p>ZONE DISTRICT RH-3</p> <p>STORIES 3</p> <p>UNIT 5</p> <p>HEIGHT & BALK DISTRICT 40-X</p>	
SYMBOL LEGEND		
<p>ROOM NAME STUDIO A—room name 17—room number</p> <p>WALL TYPE —□—</p> <p>DOOR TYPE —○—</p> <p>WINDOW TYPE —◇—</p> <p>SECTION —▲— view direction sheet number drawing number</p> <p>DETAIL —⊕— drawing number sheet number</p> <p>ELEVATION —▲— view direction sheet number drawing number</p> <p>INTERIOR ELEVATION —◇— elevation designation sheet number</p>		
GENERAL NOTES		
<p>1. VERIFY ALL EXISTING DIMENSIONS & CONDITIONS AT THE SITE & NOTIFY ARCHITECT OF ANY VARIATIONS OR CONFLICTING OR MISSING DIMENSIONS OR DATA PRIOR TO BIDDING OR COMMENCING WORK. USE WRITTEN DIMENSIONS ONLY; DO NOT SCALE DRAWINGS FOR THE PURPOSE OF DETERMINING A DIMENSION DURING CONSTRUCTION.</p> <p>2. CONDITIONS NOT SPECIFICALLY DETAILED SHALL BE BUILT TO CONFORM TO SIMILAR CONSTRUCTION, IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR MANUFACTURER'S SPECIFICATIONS FOR THE INSTALLATION OF THEIR MATERIALS OR ITEMS.</p> <p>3. ALL MATERIALS, WORKMANSHIP & METHODS SHALL CONFORM TO CURRENTLY ADOPTED UNIFORM BUILDING CODE (UBC), UNIFORM PLUMBING CODE (UPC), UNIFORM MECHANICAL CODE (UMC), AND THE NATIONAL ELECTRICAL CODE (NEC) AS ADOPTED AND AMENDED BY THE STATE OF CALIFORNIA TITLE 24, CALIFORNIA ELECTRICAL CODE, CALIFORNIA CODE OF REGULATIONS & OTHER APPLICABLE CODES & ORDINANCES OF THE LOCAL JURISDICTION.</p> <p>4. SAFETY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND ADHERE TO ALL FEDERAL, STATE LOCAL AND O.S.H.A. SAFETY REGULATIONS.</p> <p>5. CONSTRUCTION BRACING & SHORING: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.</p> <p>6. DO NOT STORE CONSTRUCTION MATERIALS OR OPERATE CONSTRUCTION EQUIPMENT IN SUCH A MANNER THAT DESIGN LIVE LOADS OF THE STRUCTURES ARE EXCEEDED. DO NOT STORE CONSTRUCTION MATERIALS ON OVERHANGING FRAMING.</p> <p>7. TREES LOCATED CLOSE TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM INADVERTANT DAMAGE FROM CONSTRUCTION EQUIPMENT BY WRAPPING TRUNKS WITH PROTECTIVE MATERIALS, AVOIDING FILL OF ANY TYPE AGAINST THE BASE OF THE TRUNKS AND AVOIDING AN INCREASE IN SOIL DEPTH AT THE FEEDING ZONE OR DRIP LINE OF THE RETAINED TREES.</p> <p>8. ALL TOILETS SHALL BE ULTRA-LOW FLUSH TOILETS WITH A MAXIMUM TANK SIZE OR FLUSH CAPACITY OF 1.6 GALLONS, ALL SHOWER HEADS SHALL HAVE A MAXIMUM FLOW CAPACITY OF 2.5 GALLONS PER MINUTE, AND ALL HOT WATER FAUCETS THAT HAVE MORE THAN TEN FEET OF PIPE BETWEEN THE FAUCET AND THE HOT WATER HEATER SERVING SUCH FAUCET SHALL BE EQUIPPED WITH A HOT WATER RECIRCULATING SYSTEM.</p> <p>9. SHOWERS AND TUB SHALL USE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. (CPC 420).</p> <p>10. GLAZING USED IN DOORS AND PANELS OF SHOWER AND TUB ENCLOSURES SHALL BE FULLY TEMPERED GLASS, LAMINATED SAFETY GLASS OR APPROVED PLASTIC OF A SHATTER-RESISTANT TYPE. (UBC 5406 (D) 5)</p> <p>11. SHOWER WALLS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE TO A HEIGHT OF 70" OR GREATER ABOVE DRAIN INLET.</p> <p>12. INSTALL CERTIFIED INSULATION MATERIALS PER THE TITLE 24 MANDATORY MEASURES CHECKLIST MF-1R. INSULATION INSTALLED SHALL MEET FLAME SPREAD & SMOKE DENSITY REQUIREMENTS OF STATE OF CALIFORNIA TITLE 24, CALIFORNIA ELECTRICAL CODE, CALIFORNIA CODE OF REGULATIONS.</p>		
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A2 2nd FLOOR AS BUILT & PROPOSED FLOOR PLANS		
A3 REAR ELEVATIONS		
A4 SIDE ELEVATIONS		

revisions

REV	REVISION	DATE
1	REVISIONS	1/31/17
2	REVISIONS	3/4/17

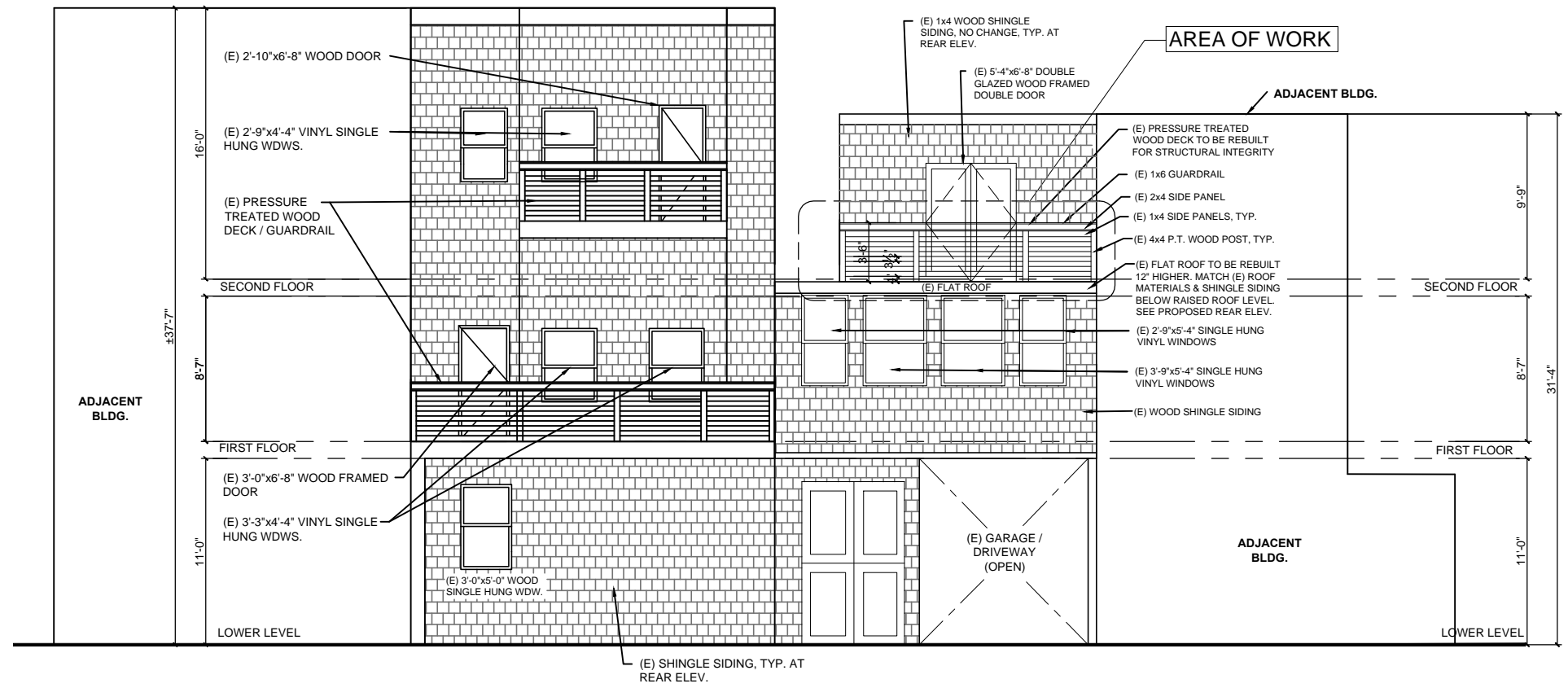
project
 DECK REPLACEMENT
 73 HILL ST.
 SAN FRANCISCO, CA 94144

client
 ZORIAL LLC
 584 CASTRO ST., #199
 SAN FRANCISCO, CA 94114

content
 NOTES, PLOT PLAN

date: 6/14/16

drawing no. **A1**



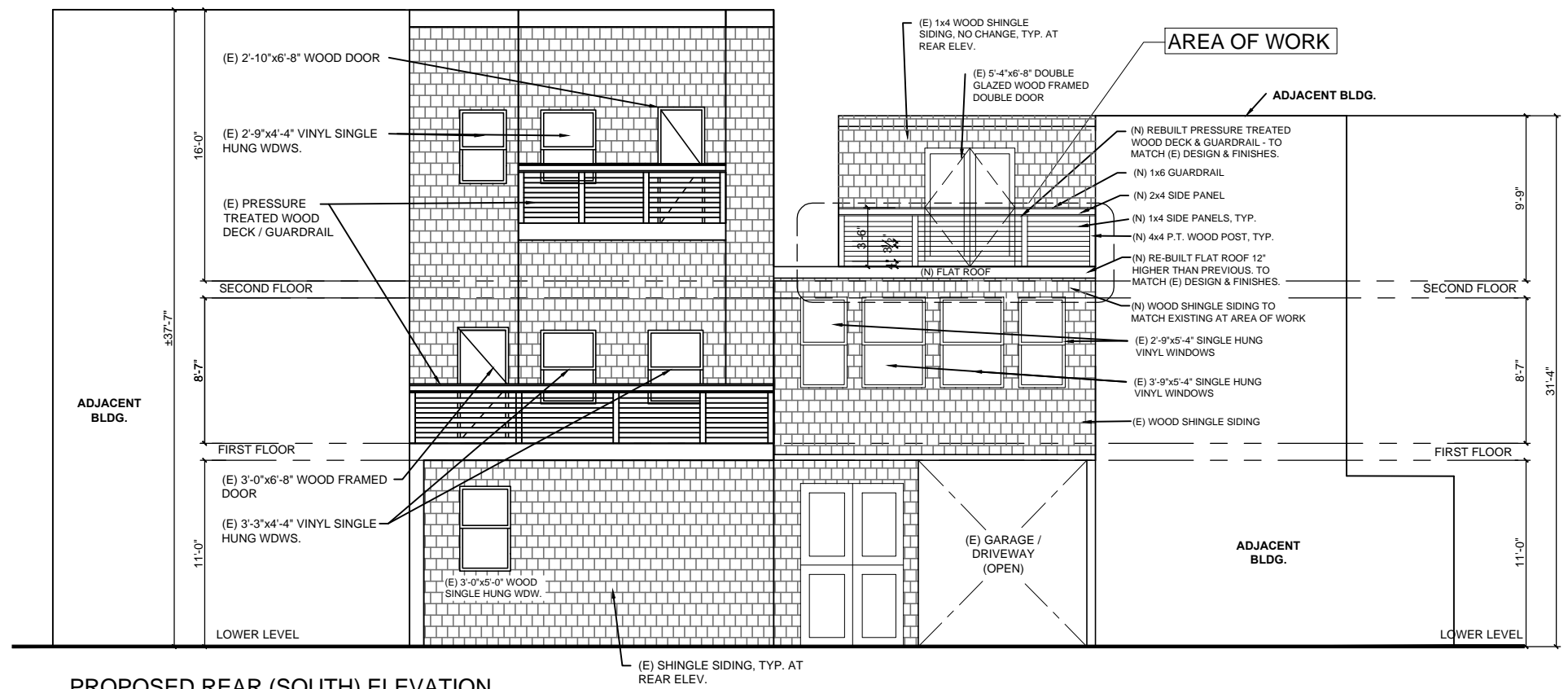
NOTE:
 ALL WINDOWS, DOORS (EXCEPT AS NOTED FOR NEW ENTRY DOOR), EXTERIOR FINISHES & FACADES ARE EXISTING. NO CHANGE TO EXTERIOR BUILDING.

revisions

REV	REVISION	DATE
1	REVISIONS	1/31/17
2	REVISIONS	3/4/17

EXISTING REAR (SOUTH) ELEVATION

1/4"=1'-0"



PROPOSED REAR (SOUTH) ELEVATION

1/4"=1'-0"

project
 DECK REPLACEMENT
 73 HILL ST.
 SAN FRANCISCO, CA 94144

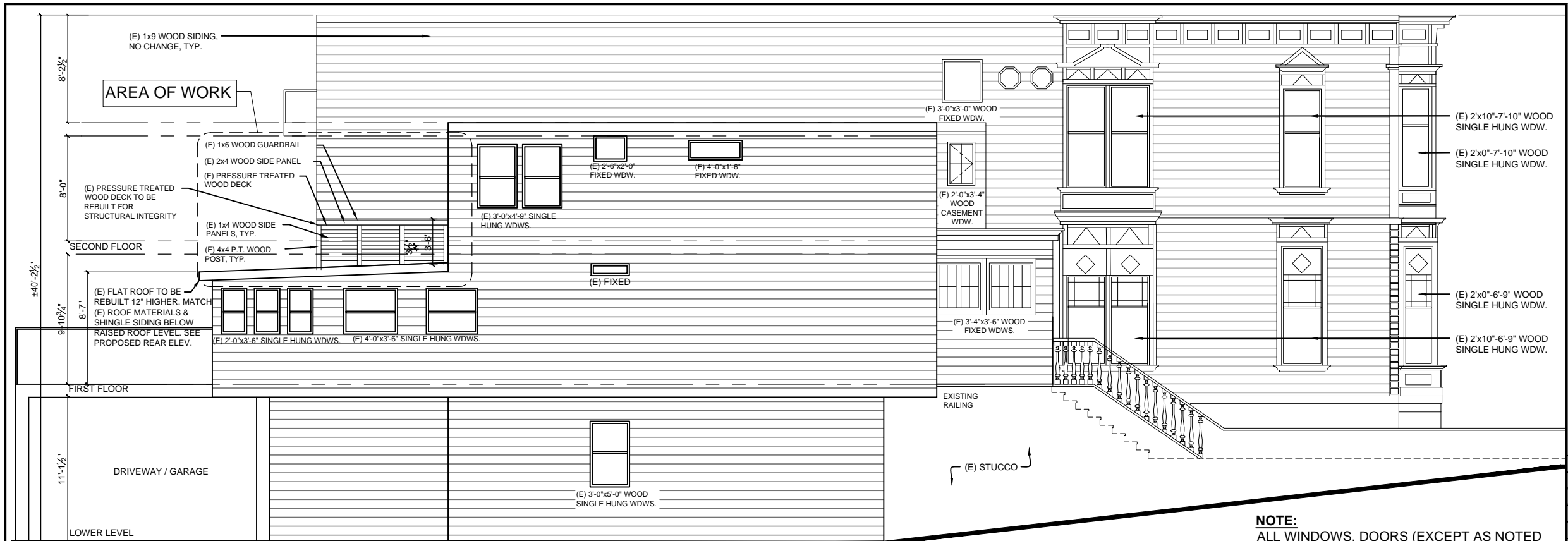
client
 ZORIAL LLC
 584 CASTRO ST., #199
 SAN FRANCISCO, CA 94114

content
 (E) REAR ELEVATION,
 PROPOSED REAR
 ELEVATION W/ REBUILT
 FLAT ROOF & DECK

date: 6/14/16

drawing no.

A3

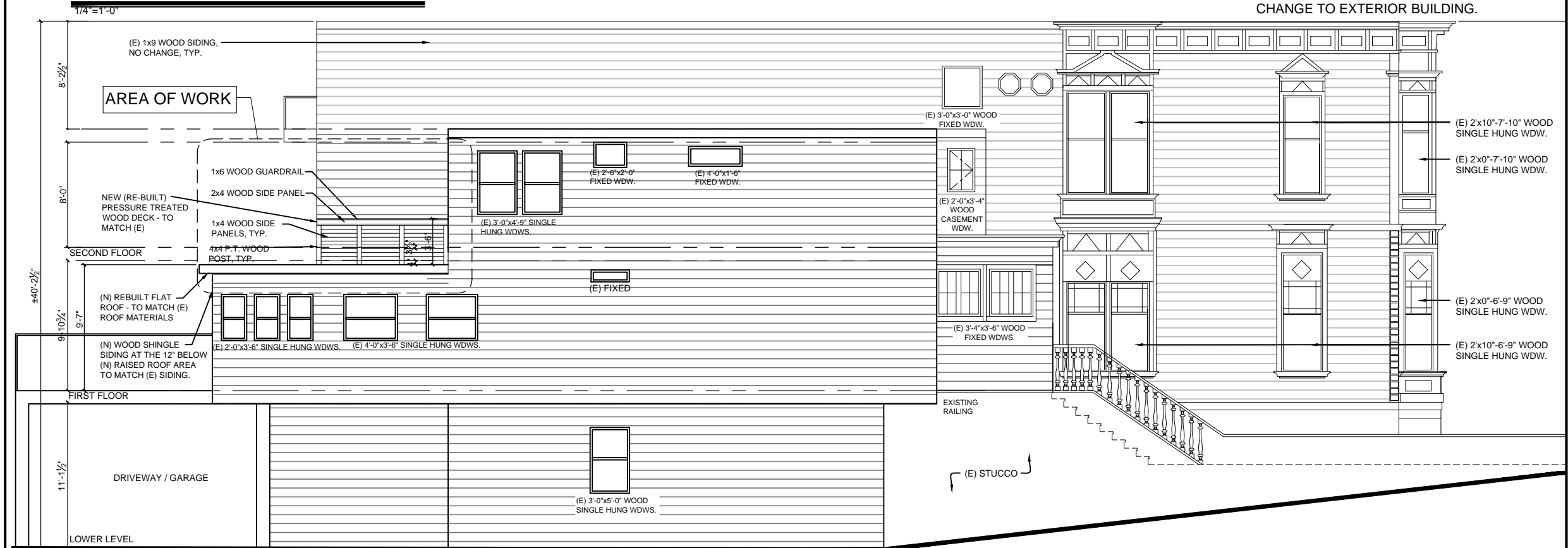


revisions

REV	REVISION	DATE
1	REVISIONS	1/31/17
2	REVISIONS	3/4/17

NOTE:
ALL WINDOWS, DOORS (EXCEPT AS NOTED FOR NEW ENTRY DOOR), EXTERIOR FINISHES & FACADES ARE EXISTING. NO CHANGE TO EXTERIOR BUILDING.

EXISTING EAST ELEVATION



PROPOSED EAST ELEVATION

project

DECK REPLACEMENT
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client

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SAN FRANCISCO, CA 94114

content

EXISTING & PROPOSED
EAST ELEVATION

date: 6/14/16

drawing no.

A4