



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
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San Francisco,
CA 94103-2479

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**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, February 22, 2017**

Time: **Not before 9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 175 Twin Peaks Blvd.	Case No.: 2016-010229VAR
Cross Street(s): Crown Terrace	Building Permit: 2017.0117.7312
Block /Lot No.: 2705 / 032	Applicant: Arnie Lerner
Zoning District(s): RH-1 / 40-X	Telephone: (415) 863-5475
Area Plan: N/A	E-Mail: arnie@lernerarch.com

PROJECT DESCRIPTION

The proposal is to construct a second floor deck at the rear of the existing 3-story single-family dwelling. The deck will extend approximately 7 feet towards the rear property line along a portion of the southwestern facade.

PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a rear yard of approximately 15 feet. The proposed rear deck would encroach approximately 7 feet into the required rear yard at the second floor, resulting in a rear yard of 8 feet; therefore, the project requires a variance from the rear yard requirement (Section 134) of the Planning Code.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://notice.sfplanning.org/ftp/files/notice/2016-010229VAR.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Seema Adina** Telephone: **(415) 575-8722** E-Mail: [**seema.adina@sfgov.org**](mailto:seema.adina@sfgov.org)

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

WEITZ-HOFFMAN RESIDENCE ALTERATIONS

175 TWIN PEAKS BLVD., SAN FRANCISCO, CA 94114

LERNER + ASSOCIATES ARCHITECTS

1108C BRYANT STREET
SAN FRANCISCO, CA 94103
PHONE: 415 - 863 - 5475
FAX: 415 - 252 - 7649
EMAIL: INFO@LERNERARCH.COM

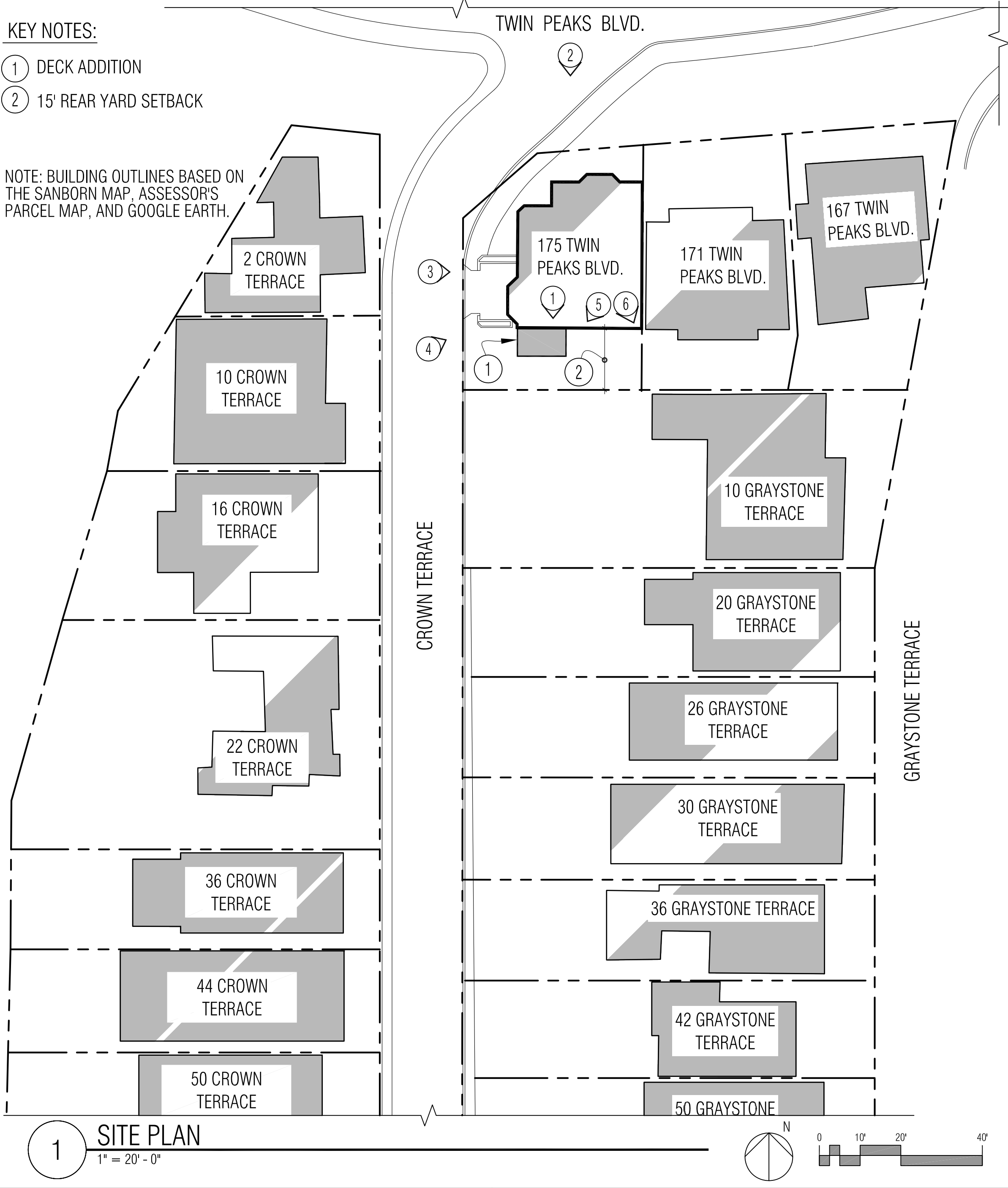
GENERAL NOTES

- CONTRACTOR ACKNOWLEDGES THAT THEY HAVE THOROUGHLY FAMILIARIZED THEMSELVES WITH THE BUILDING SITE CONDITIONS, GRADES, ETC., WITH THE DRAWINGS AND SPECIFICATIONS, WITH THE DELIVERY FACILITIES AND ALL OTHER MATTERS AND CONDITIONS WHICH MAY AFFECT THE OPERATION AND COMPLETION OF THE WORK AND ASSUMES ALL RISKS. CONTRACTOR TO VERIFY SURVEY DIMENSIONS BEFORE COMMENCING WORK. THEREFROM CONTRACTOR SHALL AT ONCE REPORT TO THE ARCHITECT ANY ERROR, INCONSISTENCY, OR OMISSION THAT MAY BE DISCOVERED AND CORRECT AS DIRECTED IN WRITING BY THE ARCHITECT.
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CONTRACT DOCUMENTS, WHICH CONSIST OF DRAWINGS AND SPECIFICATION SECTIONS, AND SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL BUILDING CODES AND SAFETY ORDINANCES IN EFFECT FOR THE CITY AND COUNTY OF SAN FRANCISCO.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES AND SHALL CHECK ALL DIMENSIONS. ALL DISCREPANCIES SHALL BE RESOLVED BEFORE PROCEEDING WITH THE WORK.
- FOR OPENINGS NOT SHOWN AND/OR DETAILED ON THE DRAWINGS WHICH PENETRATE STRUCTURAL ELEMENTS, OBTAIN APPROVAL FROM THE STRUCTURAL ENGINEER BEFORE PROCEEDING WITH THE WORK.
- BY ACCEPTING AND USING THESE DRAWINGS, CONTRACTOR AGREES THAT THEY SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE SAFETY CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND THE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ARCHITECT.
- ALL ITEMS NOT NOTED AS (E) OR 'EXISTING' ARE NEW.
- ARCHITECT AND OWNER WILL NOT BE RESPONSIBLE FOR ANY CHANGES IN PLANS, DETAILS OR SPECIFICATIONS UNLESS APPROVED IN WRITING IN ADVANCE OF CONSTRUCTION BY ARCHITECT AND OWNER.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE MADE COMPLETELY RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS SHOWN AND A WRITTEN CHANGE ORDER SHALL BE ISSUED BEFORE MAKING ANY CHANGES AT THE JOB SITE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES. ALL DAMAGE SHALL BE REPAIRED AT CONTRACTOR EXPENSE.
- ENGAGE A PROFESSIONAL ENGINEER TO SURVEY CONDITION OF BUILDING TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF STRUCTURE OR ADJACENT STRUCTURES DURING SELECTIVE DEMOLITION OPERATIONS. CONTRACTOR TO PROVIDE BRACING AND SUPPORT AS REQUIRED TO MAINTAIN THE INTEGRITY AND SAFETY OF THE EXISTING STRUCTURE.
- ALL DIMENSIONS ARE TO FACE OF FINISH SURFACE, UNLESS OTHERWISE NOTED.
- ALL EXISTING WALLS, FLOORS, AND CEILINGS AT REMOVED, NEW OR MODIFIED CONSTRUCTION SHALL BE PATCHED AS REQUIRED TO MAKE SURFACES WHOLE, SOUND, AND TO MATCH EXISTING ADJACENT CONSTRUCTION, EXCEPT AS OTHERWISE NOTED.
- ALL DRAWINGS, SPECIFICATIONS AND COPIES THEREOF FURNISHED BY THE ARCHITECT ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THEY ARE TO BE USED ONLY WITH RESPECT TO THIS PROJECT AND ARE NOT TO BE USED ON ANY OTHER PROJECT. WITH THE EXCEPTION OF ONE CONTRACT SET FOR EACH PARTY TO THE CONTRACT, SUCH DOCUMENTS ARE TO BE RETURNED OR SUITABLY ACCOUNTED FOR TO THE ARCHITECT ON REQUEST AT THE COMPLETION OF THE WORK. SUBMISSION OR DISTRIBUTION TO MEET OFFICIAL REGULATORY REQUIREMENTS OR FOR OTHER PURPOSES IN CONNECTION WITH THE PROJECT IS NOT TO BE CONSTRUED AS PUBLICATION IN DEROGATION OF THE ARCHITECT'S COMMON LAW COPYRIGHT OR OTHER RESERVED RIGHTS.
- THE CONTRACTOR SHALL TAKE APPROPRIATE STEPS THROUGHOUT THE PROJECT TO PREVENT AIRBORNE DUST DUE TO THE WORK, MAINTAIN WORK AREAS CLEAN AND FREE FROM UNDUE ENCUMBRANCES, AND REMOVE SURPLUS MATERIALS AND WASTE AS THE WORK PROGRESSES.
- MATERIALS INDICATED TO BE REINSTALLED SHALL BE STORED AND PROTECTED ONSITE, UNLESS OTHERWISE NOTED.

KEY NOTES:

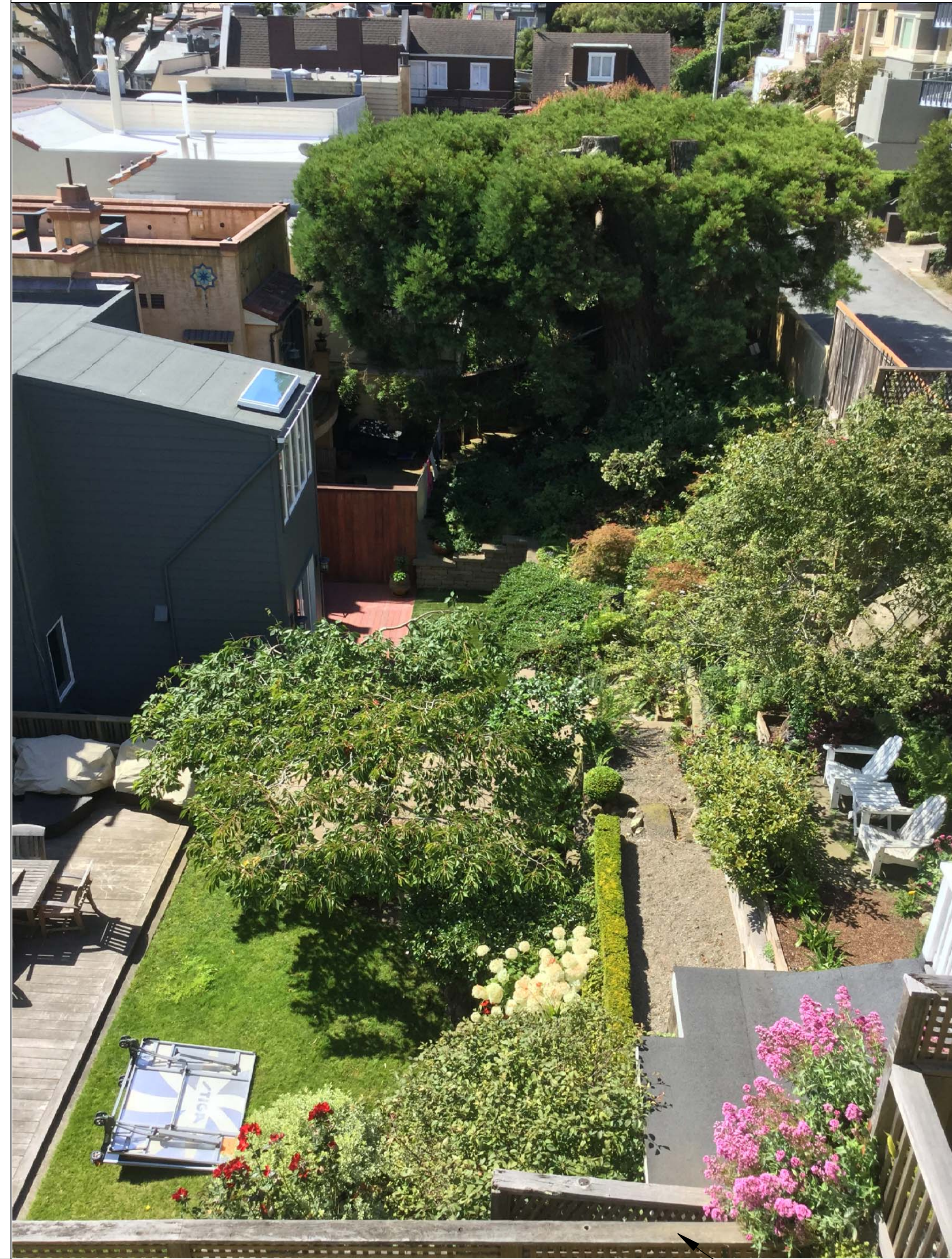
- 1 DECK ADDITION
- 2 15' REAR YARD SETBACK

NOTE: BUILDING OUTLINES BASED ON THE SANBORN MAP, ASSESSOR'S PARCEL MAP, AND GOOGLE EARTH.



1. VIEW LOOKING SOUTH FROM WINDOW AT PROPOSED DECK

SEE SHEET A0.1 FOR ADDITIONAL PHOTOS



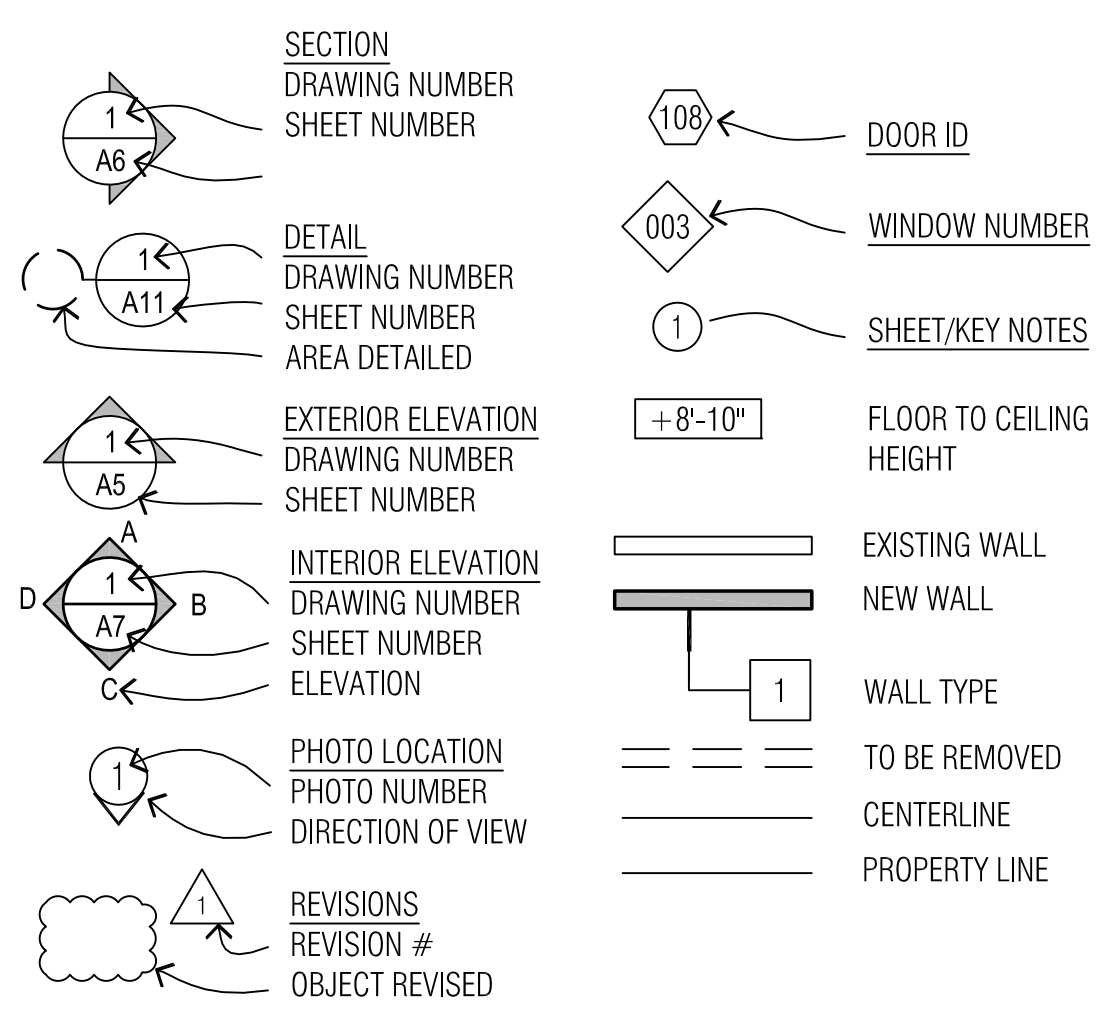
175 TWIN PEAKS BLVD. PROPERTY LINE FENCE

SITE PERMIT

WEITZ-HOFFMAN RESIDENCE ALTERATIONS

175 TWIN PEAKS BLVD.
SAN FRANCISCO, CA 94114

SYMBOLS



PLANNING & BUILDING CODE INFORMATION

ZONING: RH-1 TYPE OF CONSTRUCTION: VB
BLOCK/LOT: 2705/032 STORIES: 3
LOT AREA: 2,400 SF OCCUPANCY: R-3
HEIGHT & BULK DISTRICT: 40-X NUMBER OF UNITS: 1
BUILDING CONSTRUCTED UNDER PERMIT #9515937S COMPLETED 9/26/96

APPLICABLE CODES:
2016 CALIFORNIA BUILDING CODE WITH 2016 SAN FRANCISCO BUILDING CODE AMENDMENTS
2016 CALIFORNIA ELECTRICAL CODE WITH 2016 SAN FRANCISCO ELECTRICAL CODE AMENDMENTS
RESIDENTIAL ENERGY STANDARDS (TITLE 24, PART 6, CALIF. ADMIN. CODE)
CITY & COUNTY OF SAN FRANCISCO MUNICIPAL CODE

SCOPE OF WORK

PROPOSED WORK INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING:
- ADD DECK ON SOUTH SIDE HOUSE AT 2ND FLOOR

PROJECT DIRECTORY

OWNERS: STEVEN WEITZ AND DAVID HOFFMAN
175 TWIN PEAKS BLVD.
SAN FRANCISCO, CA 94114

ARCHITECT: LERNER + ASSOC., ARCHITECTS
1108C BRYANT STREET
SAN FRANCISCO, CA 94103
(415) 863-5475
ARNIE LERNER, FAIA, CASp

DRAWING INDEX

ARCHITECTURAL	COVER SHEET / SITE PLAN
A0.0	COVER SHEET / SITE PLAN
A0.1	PHOTOS
A2.0	GARAGE LEVEL PLAN - EXISTING CONDITIONS, NO WORK
A2.1	FIRST FLOOR PLAN - EXISTING CONDITIONS, NO WORK
A2.2	2ND FLOOR PLAN - EXISTING CONDITIONS AND PROPOSED DECK
A2.3	3RD FLOOR PLAN - EXISTING CONDITIONS, NO WORK
A3.1	NORTH (FRONT) ELEVATION - NO WORK
A3.2	WEST (SIDE) ELEVATION - PROPOSED DECK
A3.3	SOUTH (REAR) ELEVATION - PROPOSED DECK

NOTE: BASE PLANS AND ELEVATIONS ON ALL SHEETS ARE COPIES OF ORIGINAL BUILDING PLANS FILED FOR PERMIT 9/27/95, APP #9515937S

VICINITY MAP



NO.	DATE	REVISION	BY

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COVER SHEET SITE PLAN

SCALE:	AS NOTED	SHEET NO.
DATE:	JANUARY 9, 2017	A0.0
DRAWN BY:	DK	
CHECKED BY:	AL	
JOB NO.:	21231	
- OF - SHEETS		

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SAN FRANCISCO, CA 94103
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FAX: 415 - 252 - 7649
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SITE PERMIT

**WEITZ-HOFFMAN
RESIDENCE
ALTERATIONS**

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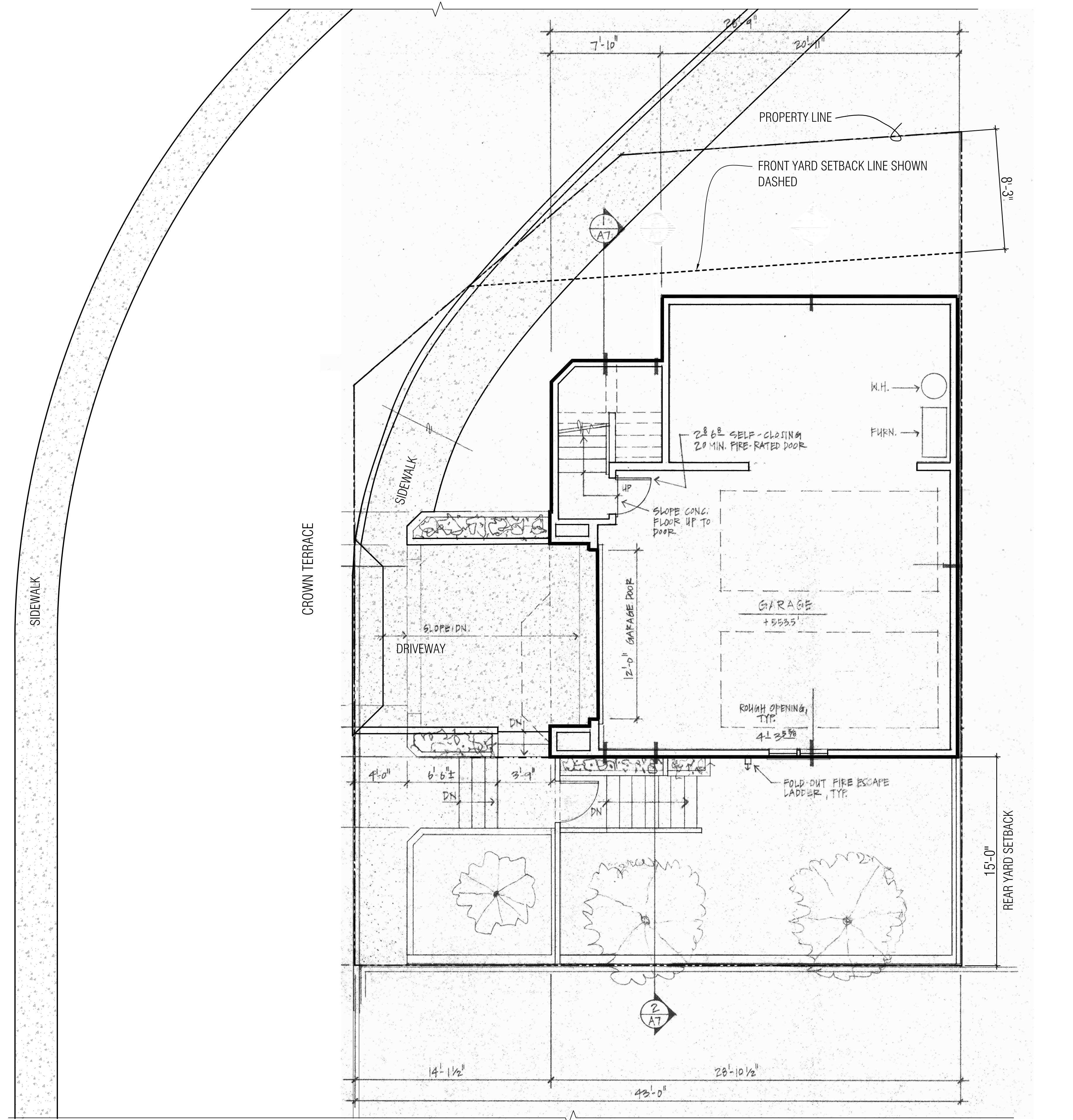
REVISIONS

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**GARAGE LEVEL PLAN
EXISTING CONDITIONS
NO WORK**

SCALE:	AS NOTED	SHEET NO.
DATE:	JANUARY 9, 2017	A2.0
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1 GARAGE LEVEL PLAN - EXISTING CONDITIONS, NO WORK
1/4" = 1'-0"



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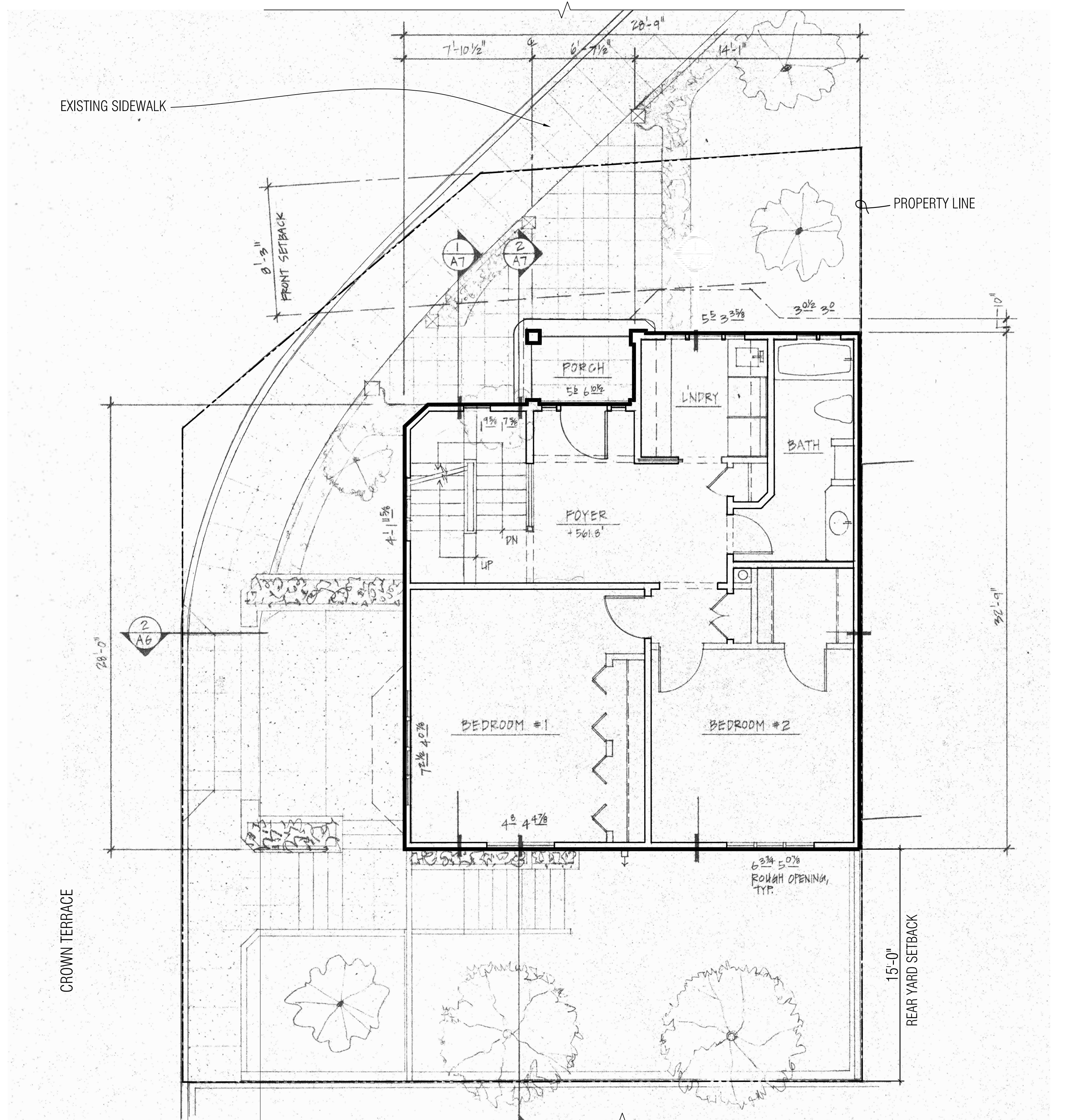
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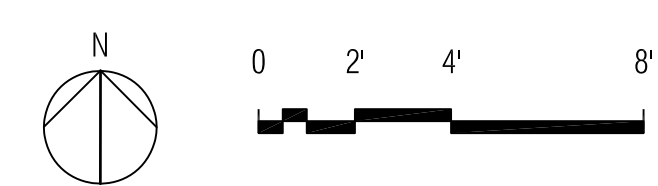
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**1ST FLOOR PLAN
EXISTING CONDITIONS
NO WORK**

SCALE:	AS NOTED	SHEET NO.
DATE:	JANUARY 9, 2017	A2.1
DRAWN BY:	DK	
CHECKED BY:	AL	
JOB NO.:	21231	
		OF - SHEETS



1 1ST FLOOR PLAN - EXISTING CONDITIONS, NO WORK
1/4" = 1'-0"



SITE PERMIT

**WEITZ-HOFFMAN
RESIDENCE
ALTERATIONS**

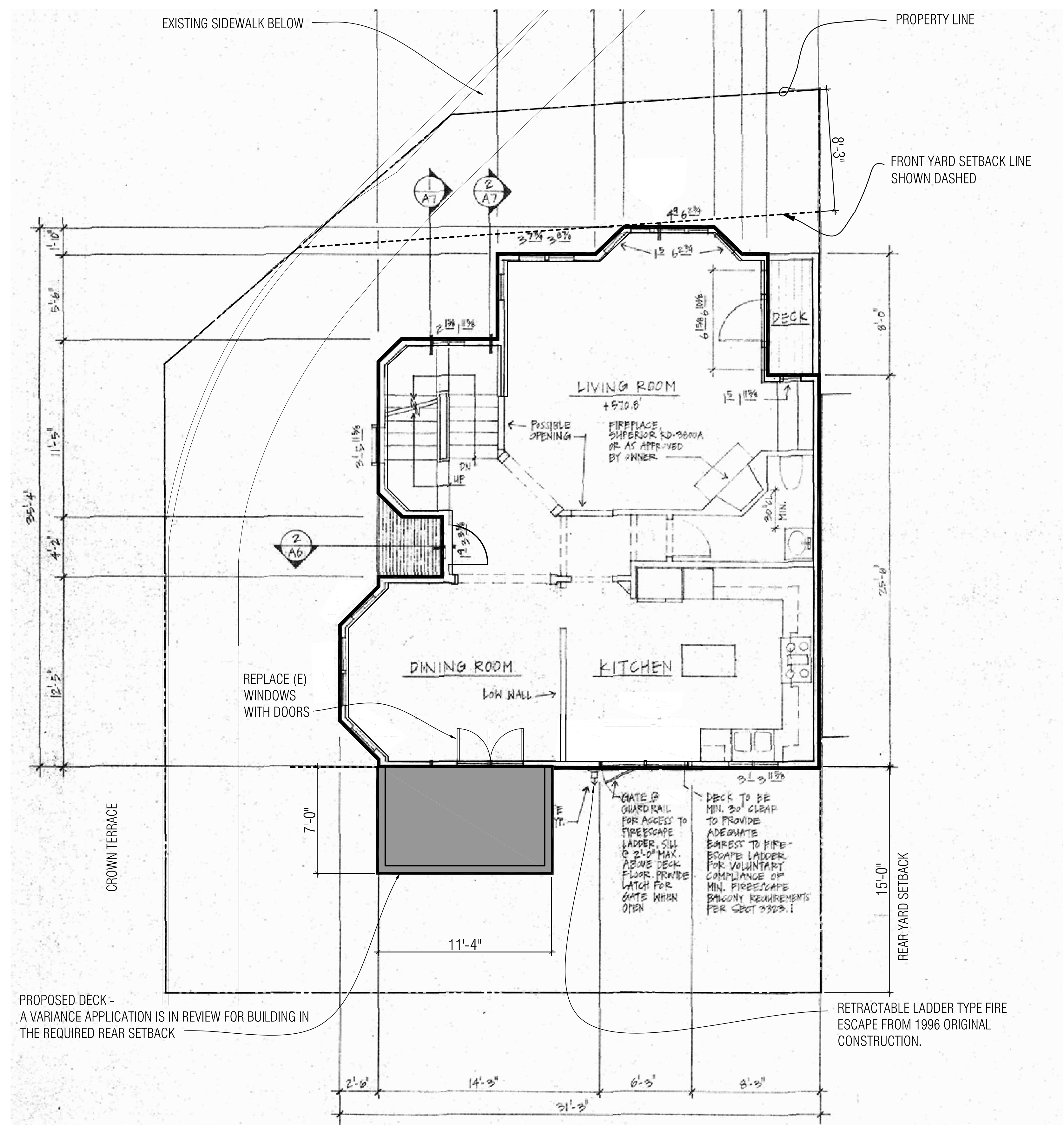
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**2ND FLOOR PLAN
PROPOSED DECK**

SCALE:	AS NOTED	SHEET NO.
DATE:	JANUARY 9, 2017	A2.2
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CHECKED BY:	AL	
JOB NO.:	21231	
		OF - SHEETS



1 2ND FLOOR PLAN - PROPOSED DECK
1/4" = 1'-0"

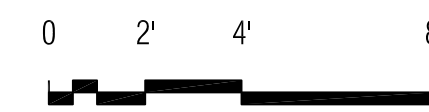


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EMAIL: INFO@LERNERARCH.COM



1 NORTH (FRONT) ELEVATION - EXISTING CONDITIONS, NO WORK
1/4" = 1'-0"



SITE PERMIT

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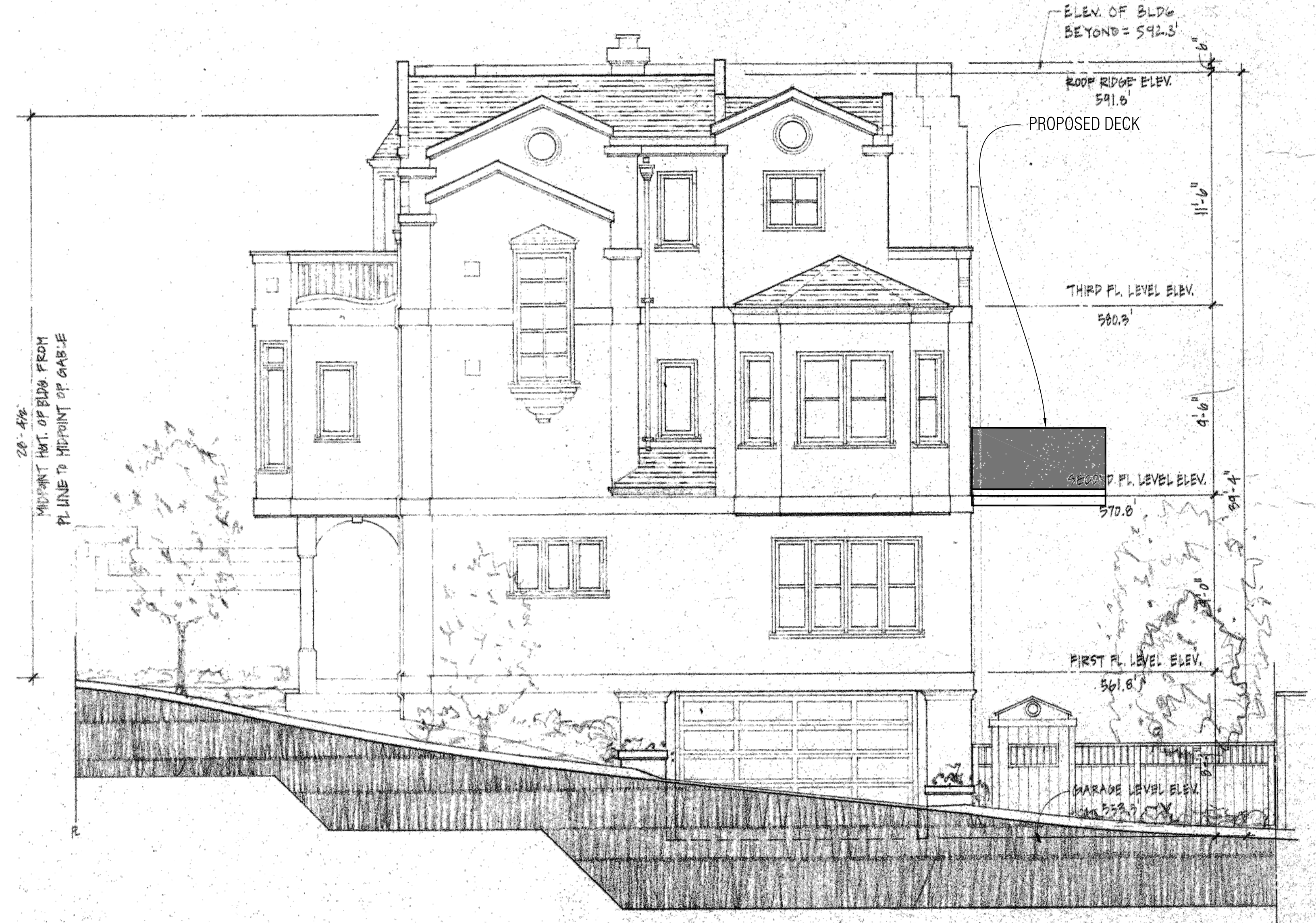
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SHEET TITLE
**NORTH (FRONT) ELEVATION
EXISTING CONDITIONS
NO WORK**

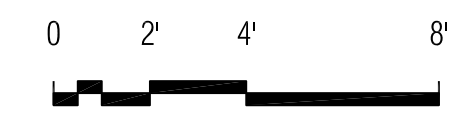
SCALE:	AS NOTED	SHEET NO.
DATE:	JANUARY 9, 2017	A3.1
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1 WEST (SIDE) ELEVATION - PROPOSED DECK
1/4" = 1'-0"



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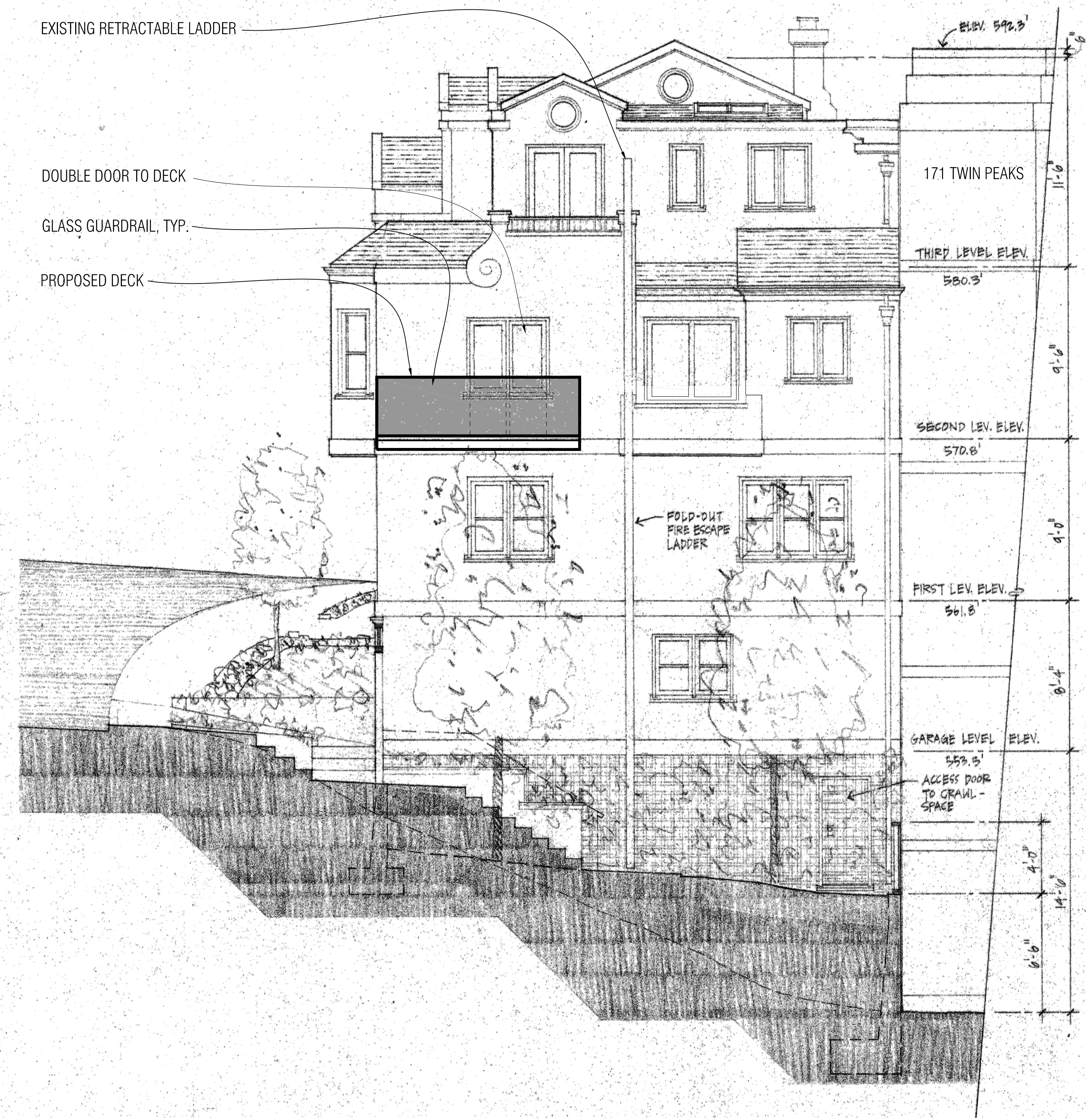
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SHEET TITLE
**WEST (SIDE) ELEVATION
PROPOSED DECK**

SCALE:	AS NOTED	SHEET NO.
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		8 OF - SHEETS

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1 SOUTH (REAR) ELEVATION - PROPOSED DECK
1/4" = 1'-0"

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**SOUTH (REAR) ELEVATION
PROPOSED DECK**

SCALE:	AS NOTED	SHEET NO.
DATE:	JANUARY 9, 2017	A3.3
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CHECKED BY:	AL	
JOB NO.:	21231	
		OF - SHEETS