



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

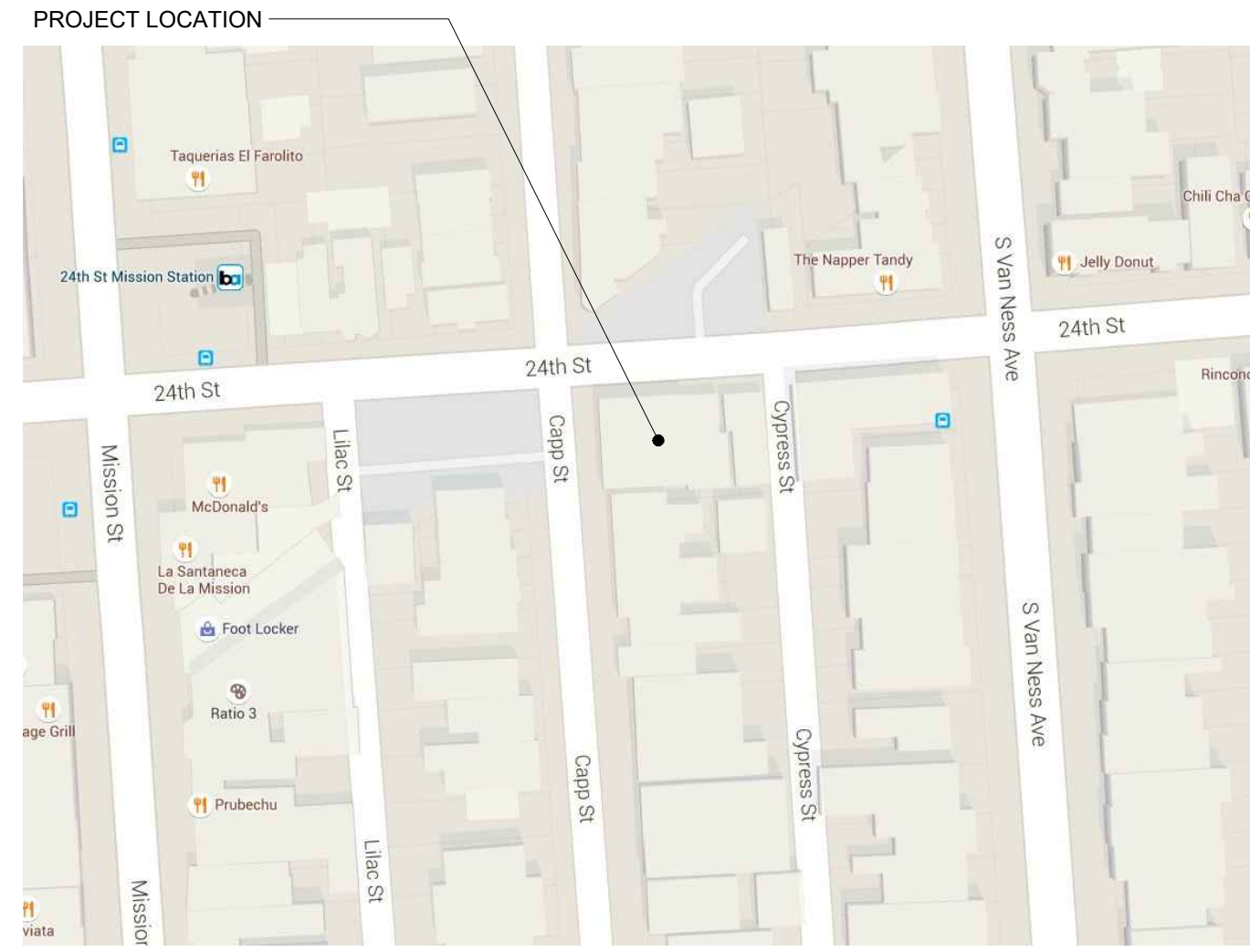
ABBREVIATIONS

Table of abbreviations and their full names, including terms like AND, CENTERLINE, ALUMINUM, etc.

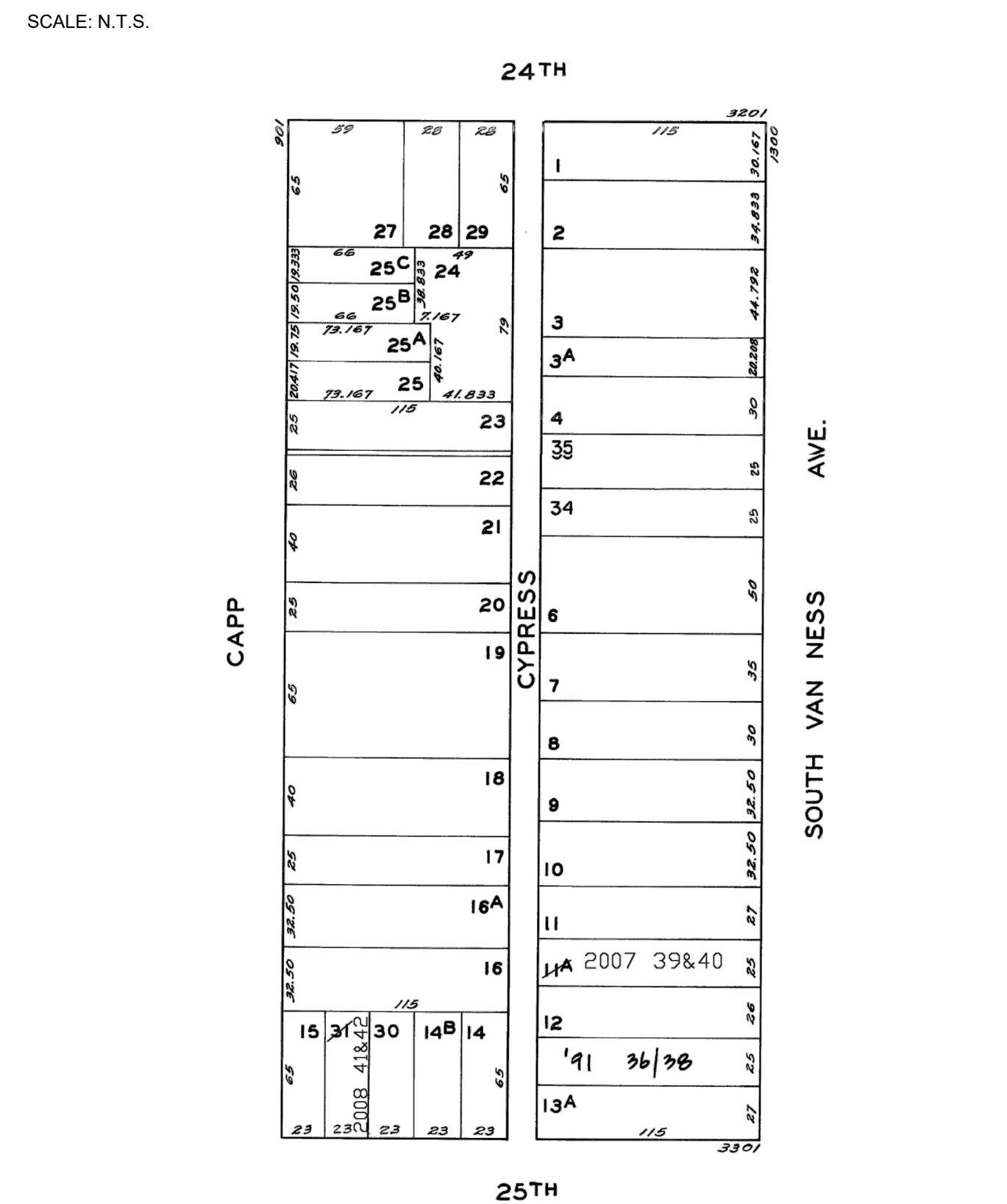
SYMBOLS

Table of symbols and their meanings, including CENTERLINE, DETAIL TAG, DOOR TAG, etc.

VICINITY MAP



PARCEL MAP



GENERAL CONDITIONS

- List of 11 general conditions for construction, starting with 'AIA DOCUMENT A201, GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, 2007 EDITION, ARE HEREBY INCORPORATED...'

PROJECT TEAM

OWNER: JOSEPH & DOMINIC GALU
ARCHITECT: GRANT TAKAHASHI LEE ARCHITECTS
CONTACTOR: GRANT LEE

PROJECT DATA

ADDRESS: 905 CAPP STREET
BLOCK/LOT: 6518/027
YEAR BUILT: 1926
STORIES: 3

DRAWING INDEX

Table with columns for drawing type (ARCHITECTURAL), drawing number (A001), drawing title (COVER SHEET), and status (INCLUDED).

APPLICABLE CODES

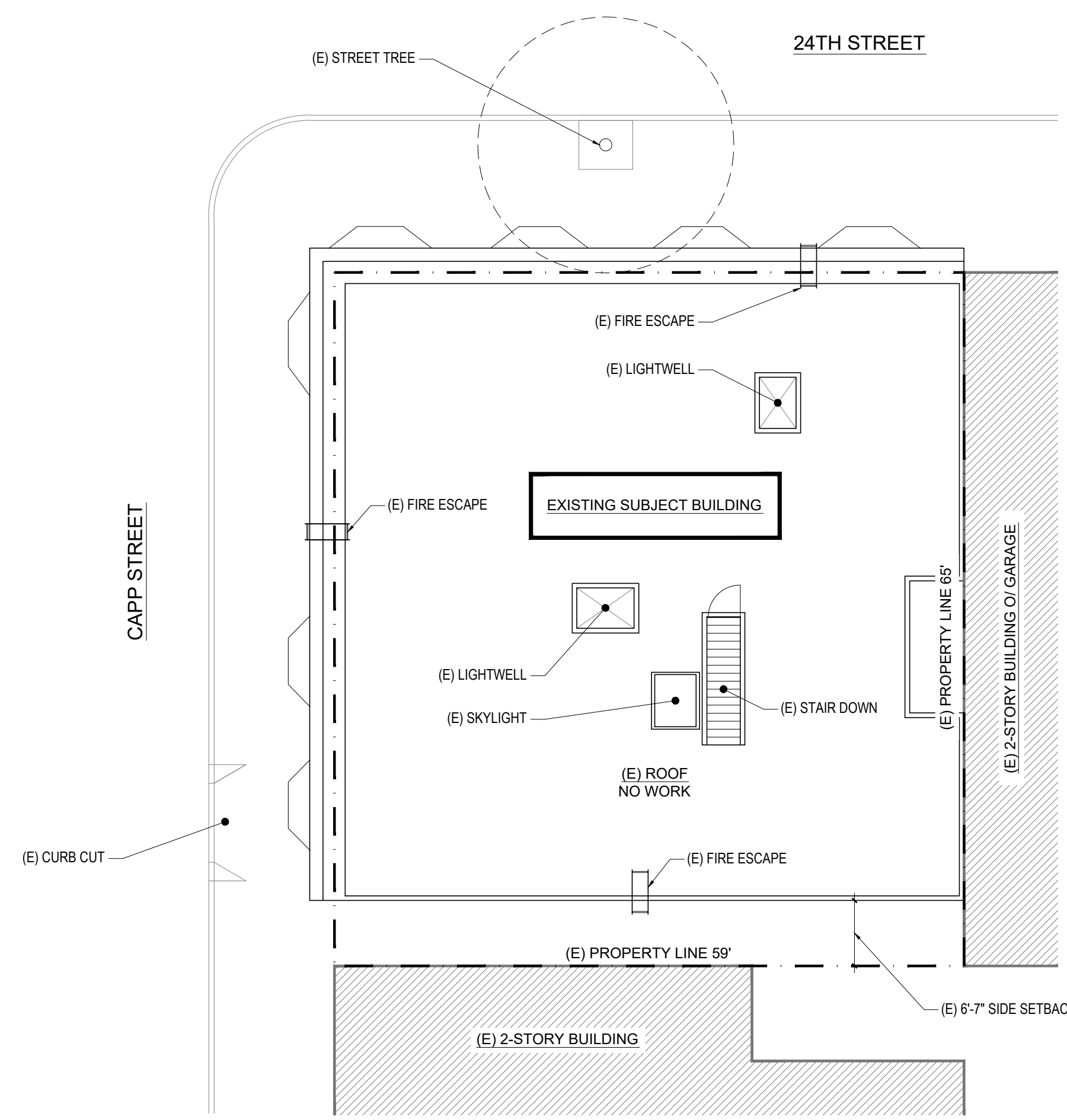
ALL WORK SHALL FULLY COMPLY BUT NOT BE LIMITED TO:
2013 CALIFORNIA BUILDING CODE
2013 CALIFORNIA ELECTRICAL CODE

RELATED PERMITS

APPROVED PA# 201603283235 & 201603283238
(SEISMIC RETROFITTING)

PLOT PLAN

SCALE: 3/32"=1'-0"



ARCHITECT



GRANT TAKAHASHI LEE ARCHITECTS

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PROFESSIONAL SEAL



CAPP STREET ACCESSORY DWELLING UNIT
905 CAPP STREET
SAN FRANCISCO, CA 94110

DRAWING ISSUANCE

PERMIT SET

Table with columns for DESCRIPTION and DATE, showing PERMIT SET on 2016.06.10.

TITLE

COVER SHEET

SCALE N.T.S.

PROJECT NO. 1606

A001

SHEET

# City and County of San Francisco Green Building Submittal: Residential Additions and Alterations

## REQUIREMENTS

The following items are required for all additions and alterations to residential occupancy which increase conditioned area, volume, or size of a residential building. Requirements apply only to areas and systems within the scope of addition and alteration, with the exception of "Existing Noncompliant Plumbing Fixtures" (below). An abbreviated summary of each requirement is included for reference. To determine if this form is appropriate for a project, see Administrative Bulletin 93, Attachment A, Table 1. Projects required to meet a LEED standard must use C-3 "Submittal for LEED Projects", and projects required to meet GreenPoint Rated must use the C-4 "Submittal for GreenPoint Rated Projects." Projects seeking certification may use the C-3 "Submittal for LEED Projects" or C-4 "Submittal for GreenPoint Rated" as alternatives to this form.

<b>Construction and Demolition Debris:</b> 100% of mixed debris must be transported by a registered hauler to a registered facility and be processed for recycling, in compliance with the San Francisco Construction & Demolition Debris Ordinance (San Francisco Building Code Chapter 13B and Environment Code Chapter 14)
<b>Recycling by Occupants:</b> Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials. - See Administrative Bulletin 088.
<b>Water Efficient Irrigation:</b> Projects that include ≥ 1,000 square feet of new or modified landscape must comply with the San Francisco Water Efficient Irrigation Ordinance. (See www.sfwater.org/landscape)
<b>Stormwater Control Plan:</b> Projects disturbing ≥ 5,000 square feet must implement a Stormwater Control Plan meeting SFPUC Stormwater Design Guidelines. (See www.sfwater.org/sdg)
<b>Grading and paving:</b> Construction plans shall indicate how the site grading or drainage system will manage surface water flows to keep water from entering the building, such as swales, drains, or water retention gardens. (CalGreen 4.106.3)
<b>Smart Irrigation Controller:</b> Automatically adjust irrigation based on weather and soil moisture. Controllers must have either an integral or separate rain sensors that connects or communicates with the controller. (CalGreen 4.304.1)
<b>Indoor Water Efficiency:</b> Install water-efficient fixtures and fittings as summarized in CalGreen 4.303 (See "Indoor Water Efficiency" at left.) Replace all noncompliant fixtures in project area (CalGreen 3.301.1.1, San Francisco Housing Code 12A)
<b>Energy Efficiency:</b> Comply with California Energy Code (Title 24, Part 6 2013)
<b>Rodent Proofing:</b> Annular spaces around pipes, electric cables, conduits, or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing with cement mortar, concrete masonry, or a similar method acceptable to the San Francisco Department of Building Inspection. (CalGreen 4.406.1)
<b>Moisture content:</b> Verify wall and floor framing shall be verified to not exceed 19% moisture content prior to enclosure as detailed below. Materials with visible signs of moisture damage shall not be installed. (CalGreen 4.505.3) 1) Moisture content shall be determined with either a probe-type or a contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements in Section 101.8. 2) Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade-stamped end of each piece to be verified. 3) At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing. Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Manufacturers' drying recommendations shall be followed for wet-applied insulation products prior to enclosure
<b>Capillary break for concrete slab on grade:</b> Concrete slab on grade foundations required to have a vapor retarder must also have a capillary break, including at least one of the following: (CalGreen 4.505.2) 1) A 4-inch (101.6 mm) thick base of 1/2-inch (12.7 mm) or larger clean aggregate shall be provided with a vapor retarder in direct contact with concrete and a concrete mix design which will address bleeding, shrinkage and curling shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06. 2) A slab design specified by a licensed design professional.
<b>Fireplaces and woodstoves:</b> Install only direct-vent or sealed-combustion appliances; comply with US EPA Phase II limits. (CalGreen 4.503.1)
<b>Design and Install HVAC System to ACCA Manual J, D, and S</b> (CalGreen 4.507.2)
<b>HVAC Installer Qualifications:</b> HVAC system installers must be trained and certified in the proper installation of HVAC systems, such as via a state certified apprenticeship program, public utility training program (with certification as installer qualification), or other program acceptable to the Department of Building Inspection. (CalGreen 702.1)
<b>Covering duct openings and protecting mechanical equipment during construction:</b> Duct openings and other air distribution component openings shall covered during all phases of construction with tape, plastic, sheetmetal, or other acceptable methods to reduce the amount of water, dust, and debris entering the system. (CalGreen 4.504.1)
<b>ENERGY STAR Compliant Bathroom exhaust fans:</b> Must be ENERGY STAR compliant, ducted to terminate outside the building, and controlled by humidistat capable of adjustment between relative humidity of less than 50% to maximum of 80%. Humidity control may be a separate component from the exhaust fan. (CalGreen 4.506.1)
<b>Carpet:</b> All carpet must meet one of the following: (CalGreen 4.504.3) 1. Carpet and Rug Institute Green Label Plus Program, 2. California Department of Public Health Standard Practice for the testing of VOCs (Specification 01350), 3. NSF/ANSI 140 at the Gold level, 4. Scientific Certifications Systems Sustainable Choice, OR 5. California Collaborative for High Performance Schools EQ 2.2 and listed in the CHPS High Performance Product Database AND carpet cushion must meet Carpet and Rug Institute Green Label, AND indoor carpet adhesive & carpet pad adhesive must not exceed 50 g/L VOC content.
<b>Resilient flooring systems:</b> For 80% of floor area receiving resilient flooring, install resilient flooring complying with (CalGreen 4.504.4): 1. Certified under the Resilient Floor Covering Institute (RFCI) FloorScore program, 2. Compliant with the VOC-emission limits and testing requirements of California Department of Public Health 2010 Standard Method for the Testing and Evaluation Chambers v.1.1, 3. Compliant with the Collaborative for High Performance Schools (CHPS) EQ2.2 and listed in the CHPS High Performance Product Database, OR 4. Certified under the Greenguard Children & Schools Program to comply with California Department of Public Health criteria.
<b>Composite wood products:</b> Hardwood plywood, particleboard, and medium density fiberboard composite wood products used on interior or exterior shall meet CARB Air Toxics Control Measure for Composite Wood. See CalGreen Table 4.504.5.
<b>Interior paints and coatings:</b> Comply with VOC limits in the Air Resources Board Architectural Coatings Suggested Control Measure and California Code of Regulations Title 17 for aerosol paints. See CalGreen Table 4.504.3.
<b>Low-VOC aerosol paints and coatings:</b> Meet BAAQMD VOC limits (Regulation 8, Rule 49) and Product-Weighted MIR Limits for ROC. (CalGreen 4.504.2.3.)
<b>Low VOC Caulks, Construction adhesives, and Sealants:</b> Meet SCAQMD Rule 1168. See CalGreen Tables 4.504.1 and 4.504.2. (CalGreen 4.504.2.1)

### INDOOR WATER USE

All fixtures must not exceed the following flow rates (CalGreen Section 4.303.1):

Fixture Type	Maximum Prescriptive Flow Rate	Referenced Standard from California Plumbing Code Table 1401.1
Showerheads <sup>2</sup>	2.0 gpm @ 80 psi per valve and per showerhead <sup>2</sup>	n/a
Lavatory faucets - residential	1.5 gpm @ 60 psi	n/a
Lavatory faucets - common and public use areas	0.5 gpm @ 60 psi	n/a
Metering faucets	.25 gallons/cycle	ASME A112.18.1/CSA B125.1
Kitchen faucets	1.8 gpm @ 60 psi default, allowed to temporarily increase to 2.2 gpm	n/a
Tank-type water closets	1.28 gallons/flush <sup>1</sup> and EPA WaterSense Certified	U.S. EPA WaterSense Tank-Type High-Efficiency Toilet Specification
Flushometer valve water closets	1.28 gallons/flush <sup>1</sup>	ASME A112.19.2/CSA B45.1 - 1.28 gal
Urinals	0.5 gallons/flush	ASME A112.19.2/CSA B45.1 - 0.5 gal

1) For dual flush toilets, effective flush volume is defined as the average volume of two reduced flushes and one full flush. The referenced standard is ASME A112.19.14 and USEPA WaterSense Tank-Type High Efficiency Toilet Specification – 1.28 gal (4.8 L).  
2) The combined flow rate of all showerheads in one shower stall not exceed the maximum flow rate for one showerhead, or the shower shall be designed to allow only one showerhead to be in operation at a time. (CalGreen 4.303.1.3)

### EXISTING NONCOMPLIANT PLUMBING FIXTURES

All fixtures that are not compliant with the San Francisco Residential Water Conservation Ordinance that serve or are located within the project area must be replaced with fixtures or fittings meeting the maximum flow rates and standards at left. For more information, see the DBI brochure, "San Francisco's Residential Energy and Water Conservation Requirements", available at SFDDBI.org, and also see the "Residential Water Conservation" section of the SFPUC website - SFWATER.org.

Noncompliant plumbing fixtures include:

- Any toilet manufactured for use more than 1.6 gallons of water per flush.
- Any urinal manufactured for use more than 1 gallon of water per flush.
- Any showerhead manufactured to have a flow capacity of more than 2.5 gallons of water per minute.
- Any interior faucet that emits more than 2.2 gallons of water per minute.

Exceptions to this requirement are limited to situations where replacement of fixture(s) would detract from the historic integrity of the building, as determined by the Department of Building Inspection pursuant to San Francisco Building Code Chapter 13A.

## VERIFICATION

Indicate below who is responsible for ensuring green building requirements are met. **Projects that increase total conditioned floor area by ≥1,000 square feet are required to have a Green Building Compliance Professional of Record as described in Administrative Bulletin 93.** For projects that increase total conditioned floor area by <1,000 square feet, the applicant or design professional may sign below, and no license or special qualifications are required.

**FINAL COMPLIANCE VERIFICATION form will be required prior to Certificate of Completion.**

CAPP STREET - ACCESSORY DWELLING UNIT

Project Name

6518 / 027

Block/Lot

905 CAPP STREET, SAN FRANCISCO CA 94110

Address

RESIDENTIAL & MERCANTILE

Primary Occupancy

10,325 SF

Gross Building Area

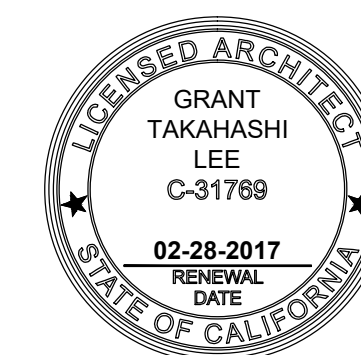
400 SF

Increase In Conditioned Floor Area

I will assure that approved construction documents and construction fulfill the requirements of San Francisco Green Building Code. It is my professional opinion that the requirements of the San Francisco Green Building Code will be met. I will notify the Department of Building Inspection if the project will, for any reason, not substantially comply with these requirements, if I am no longer the Green Building Compliance Professional of Record for the project, or if I am otherwise no longer responsible for assuring the compliance of the project with the San Francisco Green Building Code.

Licensed Professional: Sign & Date  
(May be signed by the applicant when less than 1,000 square feet is added.)

Affix professional stamp:



**Projects that increase total conditioned floor area by ≥1,000 square feet:**

The Green Building Compliance Professional of Record for this project is:

Green Building Compliance Professional - Name and Contact Phone Number

Green Building Compliance Professional - Firm

- I am a LEED Accredited Professional  
 I am a GreenPoint Rater  
 I am an ICC Certified CalGreen Inspector

Green Building Compliance Professional - Sign & Date

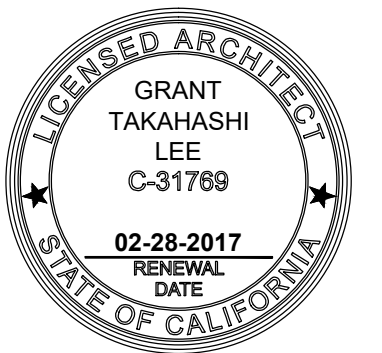
Signature by a professional holding at least one of the above certifications is required. If the Licensed Professional does not hold a certification for green design and/or inspection, this section may be completed by another party who will verify applicable green requirements are met.

ARCHITECT



GRANT TAKAHASHI LEE  
ARCHITECTS

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PROFESSIONAL SEAL



CAPP STREET  
ACCESSORY DWELLING UNIT  
905 CAPP STREET  
SAN FRANCISCO, CA 94110

DRAWING ISSUANCE

PERMIT SET

DESCRIPTION	DATE
PERMIT SET	2016.06.10

TITLE

ATTACHMENT C-7  
RESIDENTIAL ADD.  
& ALTERATIONS

SCALE N.T.S.

PROJECT NO. 1606

A002

SHEET



### NOTICE

#### TITLE-24 ENERGY INSPECTION REQUIREMENTS LOW-RISE RESIDENTIAL (BUILDING)

Please note that Certificates of Installation and/or Verification are required for this project, as indicated on this form issued with this permit. Ensuring the accurate completion of this documentation is the direct responsibility of the engineer/architect of record. This documentation is required *in addition to* the called inspections performed by the Department of Building Inspection.

For questions regarding the details or extent of required documentation or testing, and if there are any field problems regarding documentation or testing, please call your District Building Inspector or 415-558-6570.

Before final building inspection is scheduled, documentation of energy compliance "Certificate of Installation, Acceptance, and Verification" must be completed and signed by the responsible person in charge. **The permit will not be finalized without compliance with the energy inspection requirements.**

#### Energy Inspection Services Contact Information

- Telephone: (415) 558-6132
- Fax: (415) 558-6474
- Email: [dbi.energyinspections@sfgov.org](mailto:dbi.energyinspections@sfgov.org)
- In person: 3<sup>rd</sup> floor at 1660 Mission St.

Note: We are moving towards a "paperless" mode of operation. All special inspection submittals, including final letters, may be emailed (preferred) or faxed. We will also be shifting to a paperless fax receipt mode.

Installation and Verification certificates can be found on the California Energy Commission website at <http://energy.ca.gov/title24/2013standards/>.

Information Sheet M-06 provides submittal instructions for the Title-24 installation, verification, and acceptance energy certificates. M-06 may be found on the SFDBI website at <http://sfdbi.org/information-sheets>

Energy Inspection Services  
1660 Mission Street - San Francisco CA 94103  
Office (415) 558-6132 - FAX (415) 558-6474 - [www.sfgov.org/dbi](http://www.sfgov.org/dbi) (website)

#### TITLE-24 LOW-RISE RESIDENTIAL ENERGY INSPECTION (BUILDING) A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED DRAWING SET

JOB ADDRESS 905 CAPP STREET APPLICATION NO. ADDENDUM NO.

ENGINEER/ARCHITECT/DESIGNER NAME GRANT TAKAHASHI LEE PHONE NO. 415 361-7641

Ensuring the completion of installation documentation as well as the required acceptance/verification testing is the direct responsibility of the undersigned. Installation documentation must be completed by the contractor performing the installation. Verification testing must be completed by a certified HERS rater.

In accordance with the requirements of the 2013 California Energy Code, the following documentation is required for the building elements in this project:

#### 1. Installation

- CF2R-ENV-01-E Non HERS - Fenestration & Site built Fenestration (B1)
- CF2R-ENV-02-E Non HERS - Envelope Air Sealing Requirements (B2)
- CF2R-ENV-03-E Non HERS - Insulation Installation (B3)
- CF2R-ENV-04-E Non HERS - Roofing, Radon Barrier (B4)
- CF2R-ENV-20a-H HERS - Building Envelope Air Leakage Single Point Test with Manual Meter (B6)
- CF2R-ENV-20b-H HERS - Building Envelope Air Leakage Multi-Point Test (B7)
- CF2R-ENV-20c-H HERS - Building Envelope Air Leakage Repeated Single Point with Manual Meter (B8)
- CF2R-ENV-20e-H HERS - Building Envelope Air Leakage Repeated Single Point with Automatic Meter (B9)
- CF2R-ENV-21-H HERS - High Quality Insulation Installation (C1)
- CF2R-ENV-22-H HERS - High Quality Insulation Installation (C1)
- CF2R-ENV-23-H HERS - High Quality Insulation Installation (C1)
- CF2R-ENV-24-H HERS - High Quality Insulation Installation (C1)

- CF2R-MCH-01a-E Space conditioning systems ducts and fans Performance (B12)
- CF2R-MCH-01-E Space conditioning systems ducts and fans Prescriptive (B40)
- CF2R-MCH-01-E Space conditioning systems ducts and fans Prescriptive Newly Constructed Buildings (B41)
- CF2R-MCH-02-E Non HERS - Whole House Fan (B13)
- CF2R-MCH-20a-H HERS - Duct Leakage - New Systems (B42)
- CF2R-MCH-20b-H HERS - Duct Leakage - Low Leakage Ducts in Conditioned Space (compliance credit) (B43)
- CF2R-MCH-20c-H HERS - Duct Leakage - Low Leakage Air-Handling Units (B16)
- CF2R-MCH-20d-H HERS - Duct Leakage - Altered System (B17)
- CF2R-MCH-20e-H HERS - Duct Leakage - Sealing All Accessible Leaks (B42)
- CF2R-MCH-21-H HERS - Duct Location Verification (compliance credit) (B18)
- CF2R-MCH-22a-H HERS - Forced Air System Fan Efficacy All Zones Calling (B19)
- CF2R-MCH-22b-H HERS - Forced Air System Fan Efficacy Every Zonal Control Mode (B43)

- CF2R-MCH-23a-H HERS - Forced Air System Airflow Rate: All Zones Calling (B20)
- CF2R-MCH-23b-H HERS - Forced Air System Airflow Rate: Every Zonal Control (B44)
- CF2R-MCH-23c-H HERS - Forced Air System Airflow Rate: Alternative Compliance (B45)
- CF2R-MCH-23d-H HERS - Forced Air System Airflow Rate: Measurement Only (B46)
- CF2R-MCH-24-H HERS - Building Envelope Air Leakage Single-Point Test with Manual Meter (B47)
- CF2R-MCH-24b-H HERS - Building Envelope Air Leakage Single-Point Test with Automatic Meter (B48)
- CF2R-MCH-24c-H HERS - Building Envelope Air Leakage Multi-Point Test (B49)
- CF2R-MCH-24d-H HERS - Building Envelope Air Leakage Repeated Single Point with Manual Meter (B50)
- CF2R-MCH-24e-H HERS - Building Envelope Air Leakage Repeated Single Point with Automatic Meter (B51)
- CF2R-MCH-25a-H HERS - Refrigerant Charge Verification - Supplement Method (B21)
- CF2R-MCH-25b-H HERS - Refrigerant Charge Verification - Weighin Procedure (B23)
- CF2R-MCH-25c-H HERS - Refrigerant Charge Verification - Charge Indicator Display (CID) (B24)
- CF2R-MCH-25d-H HERS - Refrigerant Charge Verification - Winter Setup for Standard Charge Verification (B25)
- CF2R-MCH-25e-H HERS - Refrigerant Charge Verification - New package unit with factory charge (B26)
- CF2R-MCH-25f-H HERS - Verified EER or SEER (B27)
- CF2R-MCH-27a-H HERS - Mechanical Ventilation - Continuous Whole-Building Mechanical Ventilation Airflow - Fan Vent Rate Method (B28)
- CF2R-MCH-27b-H HERS - Mechanical Ventilation - Continuous Whole-Building Mechanical Ventilation Airflow - Total Vent Rate Method (B29)
- CF2R-MCH-27c-H HERS - Mechanical Ventilation - Intermittent Whole-Building Mechanical Ventilation Airflow - Fan Vent Rate Method (B30)
- CF2R-MCH-27d-H HERS - Mechanical Ventilation - Intermittent Whole-Building Mechanical Ventilation Airflow - Total Vent Rate Method (B31)
- CF2R-MCH-28a-H HERS - Return Duct and Filter Grate Design (B32)
- CF2R-MCH-28b-H HERS - Buried Ducts and Deeply Buried Ducts (B33)



### NOTICE

#### TITLE-24 ENERGY INSPECTION REQUIREMENTS LOW-RISE RESIDENTIAL (ELECTRICAL)

Please note that Certificates of Installation and/or Verification are required for this project, as indicated on this form issued with this permit. Ensuring the accurate completion of this documentation is the direct responsibility of the engineer/architect of record. This documentation is required *in addition to* the called inspections performed by the Department of Building Inspection.

For questions regarding the details or extent of required documentation or testing, and if there are any field problems regarding documentation or testing, please call your District Electrical Inspector or 415-558-6570.

Before final electrical inspection is scheduled, documentation of energy compliance "Certificate of Installation, Acceptance, and Verification" must be completed and signed by the responsible person in charge. **The permit will not be finalized without compliance with the energy inspection requirements.**

#### Energy Inspection Services Contact Information

- Telephone: (415) 558-6132
- Fax: (415) 558-6474
- Email: [dbi.energyinspections@sfgov.org](mailto:dbi.energyinspections@sfgov.org)
- In person: 3<sup>rd</sup> floor at 1660 Mission St.

Note: We are moving towards a "paperless" mode of operation. All special inspection submittals, including final letters, may be emailed (preferred) or faxed. We will also be shifting to a paperless fax receipt mode.

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Information Sheet M-06 provides submittal instructions for the Title-24 installation, verification, and acceptance energy certificates. M-06 may be found on the SFDBI website at <http://sfdbi.org/information-sheets>

Energy Inspection Services  
1660 Mission Street - San Francisco CA 94103  
Office (415) 558-6132 - FAX (415) 558-6474 - [www.sfgov.org/dbi](http://www.sfgov.org/dbi) (website)



#### TITLE-24 LOW RISE RESIDENTIAL ENERGY INSPECTION (ELECTRICAL) A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED DRAWING SET

JOB ADDRESS 905 CAPP STREET APPLICATION NO. ADDENDUM NO.

ENGINEER/ARCHITECT/DESIGNER NAME GRANT TAKAHASHI LEE PHONE NO. 415 361-7641

Ensuring the completion of installation documentation as well as the required acceptance/verification testing is the direct responsibility of the undersigned. Installation documentation must be completed by the contractor performing the installation. Verification testing must be completed by a certified HERS rater.

In accordance with the requirements of the 2013 California Energy Code, the following documentation is required for the electrical elements in this project:

#### 1. Installation

- CF2R-LT-01-E Lighting types and controls for single family buildings (E1)
- CF2R-LT-02-E Lighting types and controls for multifamily buildings (E2)
- CF2R-SPV-01a-E Photovoltaic systems compliance credit (E3)
- CF2R-SPV-01b-E Photovoltaic systems exceptions to solar ready area requirements (E4)
- CF2R-SPV-01c-E Photovoltaic systems PV compliance credit and exemptions (E5)

Prepared by GRANT TAKAHASHI LEE Date: 6/10/2016  
Engineer/Architect of Record/Designer Signature

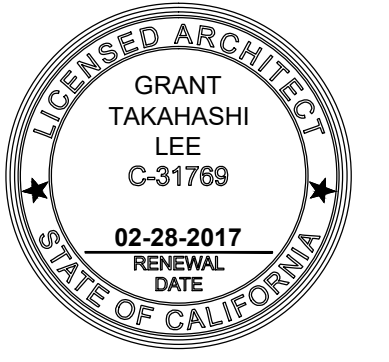
Required information: Fax: Email: GRANT@GTLARCHITECTS.COM

Review by DBI Engineer or Plan Checker Phone: (415) 558-

APPROVAL (Based on submitted reports)

DATE DBI Electrical Inspector or Energy Inspection Services Staff

QUESTIONS ABOUT TITLE-24 ENERGY INSPECTION SHOULD BE DIRECTED TO: Energy Inspection Services (415) 558-6132; or [dbi.energyinspections@sfgov.org](mailto:dbi.energyinspections@sfgov.org); or FAX (415) 558-6474



CAPP STREET  
ACCESSORY DWELLING UNIT  
905 CAPP STREET  
SAN FRANCISCO, CA 94110

DRAWING ISSUANCE

PERMIT SET

DESCRIPTION DATE  
PERMIT SET 2016.06.10

TITLE

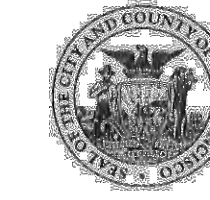
SF INSPECTION FORMS:  
BUILDING & ELEC.

SCALE N.T.S.

PROJECT NO. 1606

SHEET

A003



**NOTICE**

**TITLE-24 ENERGY INSPECTION REQUIREMENTS  
LOW-RISE RESIDENTIAL (PLUMBING)**

Please note that Certificates of Installation and/or Verification are required for this project, as indicated on this form issued with this permit. Ensuring the accurate completion of this documentation is the direct responsibility of the engineer/architect of record. This documentation is required *in addition* to the called inspections performed by the Department of Building Inspection.

For questions regarding the details or extent of required documentation or testing, and if there are any field problems regarding documentation or testing, please call your District Plumbing Inspector or 415-558-6570.

Before final plumbing inspection is scheduled, documentation of energy compliance "Certificate of Installation, Acceptance, and Verification" must be completed and signed by the responsible person in charge. **The permit will not be finalized without compliance with the energy inspection requirements.**

**Energy Inspection Services Contact Information**

1. Telephone: (415) 558-6132
2. Fax: (415) 558-6474
3. Email: [dbi.energyinspections@sfgov.org](mailto:dbi.energyinspections@sfgov.org)
4. In person: 3<sup>rd</sup> floor at 1660 Mission St.

Note: We are moving towards a "paperless" mode of operation. All special inspection submittals, including final letters, may be emailed (preferred) or faxed. We will also be shifting to a paperless fax receipt mode.

Installation and Verification certificates can be found on the California Energy Commission website at <http://energy.ca.gov/title24/2013standards/>

Information Sheet M-06 provides submittal instructions for the Title-24 installation, verification, and acceptance energy certificates. M-06 may be found on the SFDBI website at <http://sfdbi.org/information-sheets>

Energy Inspection Services  
1660 Mission Street - San Francisco CA 94103  
Office (415) 558-6132 - FAX (415) 558-6474 - [www.sfgov.org/dbi](http://www.sfgov.org/dbi) (website)



GRANT TAKAHASHI LEE  
ARCHITECTS



CAPP STREET  
ACCESSORY DWELLING UNIT  
905 CAPP STREET  
SAN FRANCISCO, CA 94110

Attachment RP

**TITLE-24 LOW-RISE RESIDENTIAL SPECIAL INSPECTION (PLUMBING)**

A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED DRAWING SET

JOB ADDRESS: 905 CAPP STREET APPLICATION NO. ADDENDUM NO.

ENGINEER/ARCHITECT/DESIGNER NAME: GRANT TAKAHASHI LEE PHONE NO. (415) 361-7641

Ensuring the completion of installation documentation as well as the required acceptance/verification testing is the direct responsibility of the undersigned. Installation documentation must be completed by the contractor performing the installation. Verification testing must be completed by a certified HERS rater.

In accordance with the requirements of the 2013 California Energy Code, the following documentation is required for the plumbing work in this project:

**1. Installation**

- Plumbing
- CF2R-PLB-01-E DHW Non-HERS - Multifamily Central Hot Water System Distribution (IP6)
  - CF2R-PLB-02-E DHW Non-HERS - Single Dwelling Unit Hot Water System Distribution (IP8)
  - CF2R-PLB-03-E DHW Non-HERS - Pool and Spa System (IP7)
  - CF2R-PLB-21-H DHW HERS - HERS Multifamily Central Hot Water System Distribution (IP9)
  - CF2R-PLB-22-H DHW HERS - HERS Single Dwelling Unit Hot Water System Distribution (IP9)

- Solar
- CF2R-STH-01-E Solar Water Heating System (IP1)

- Mechanical
- CF2R-MCH-04-E Non-HERS - Evaporative coolers (IP2)

**2. Verification**

- CF3R-PLB-21-H DHW HERS - HERS Multifamily Central Hot Water System Distribution (VP2)
- CF3R-PLB-22-H DHW HERS - HERS Single Dwelling Unit Hot Water System Distribution (VP3)

Prepared by: GRANT TAKAHASHI LEE Date: 6/10/2016

Required Information: Engineer/Architect of Record/Designer Signature

Fax: GRANT@GTLARCHITECTS.COM Email:

Review by: DBI Engineer or Plan Checker Phone: (415) 558-

APPROVAL (Based on submitted reports)

DATE DBI Plumbing Inspector or Energy Inspection Services Staff

QUESTIONS ABOUT TITLE-24 ENERGY INSPECTION SHOULD BE DIRECTED TO: Energy Inspection Services (415) 558-6132 or [dbi.energyinspections@sfgov.org](mailto:dbi.energyinspections@sfgov.org); or FAX (415) 558-6474

DRAWING ISSUANCE

PERMIT SET

DESCRIPTION	DATE
PERMIT SET	2016.06.10

TITLE

SF INSPECTION  
FORMS:  
PLUMBING

SCALE N.T.S.

PROJECT NO. 1606

A004

SHEET

GENERAL INFORMATION	
01	Project Name: Capp St. Accessory Dwelling Unit Addition
02	Calculation Description: Title 24 Analysis
03	Project Location: 805 Capp St. San Francisco
04	City: San Francisco
05	Standards Version: Compliance 2015
06	Compliance Manager Version: BEiCMaGz 2013-1 (744)
07	Climate Zone: C23
08	Project Scope: Newly Constructed (Addition Allow)
09	Building Type: Multifamily
10	Front Orientation (deg/Cardinal): 287
11	Number of Dwelling Units: 1
12	Total Cond. Floor Area (ft²): 600
13	Number of Zones: 1
14	Slab Area (ft²): 0
15	Number of Stories: 1
16	Addition Cond. Floor Area (ft²): 0
17	Natural Gas Available: Yes
18	Addition Slab Area (ft²): 0
19	Glazing Percentage (%): 11.1%
20	Glazing Percentage (%): 11.1%
21	Glazing Percentage (%): 11.1%

COMPLIANCE RESULTS	
01	Building Complies with Computer Performance
02	This building DOES NOT require HERS Verification
03	This building incorporates one or more Special Features shown below

ENERGY USE SUMMARY					
Energy Use (kWh/ft²-yr)	Standard Design	Proposed Design	Compliance Margin	Percent Improvement	
6.46	11.69	-5.23	-44.1%		
Space Heating	3.96	0.18	5.1%		
Space Cooling	3.14	0.00	0.0%		
Water Heating	50.06	21.67	43.3%		
Photovoltaic Offset		0.00			
Compliance Energy Total	63.22	46.80	16.42		26.0%

Registration Number: CA Building Energy Efficiency Standards - 2013 Residential Compliance  
 Report Version - CF1R-04072016-744  
 Registration Date/Time: 14:00, Tue, Jun 07, 2016  
 Report Generated at: 2016-06-07 14:00:50

DWELLING UNIT INFORMATION	
01	Dwelling Unit Name: DDU-1 (-H1)
02	Dwelling Unit Type: DU-1
03	Zone: Addition

DWELLING UNIT TYPES								
Name	CFA (ft²)	02	03	04	05	06	07	08
DU-1	400	0	1	Space Conditioning System Name (Count): Heating Component 1:1 (1) Cooling Component 1:1 (1)	DHW System Name: DHW Sys 1	JAG Vent Fan Name: Default Minimum (AQ Fan)		
01		02	03	04	05	06	07	08
Name	Zone	Construction	Asimuth	Orientation	Gross Area (ft²)	Window & Door Area (ft²)	Tilt (deg)	
Wall to UNC.	Addition	R-13 Wall	0	-specify-	264	20	90	
Left Wall	Addition	R-13 Wall	357	Left	17	0	90	
Back Wall	Addition	R-13 Wall	87	Back	179	16.3	90	
Right Wall	Addition	R-13 Wall	177	Right	238	48	90	
Raised Floor	Addition	R-19 Floor Crawspace			400			

Registration Number: CA Building Energy Efficiency Standards - 2013 Residential Compliance  
 Report Version - CF1R-04072016-744  
 Registration Date/Time: 14:00, Tue, Jun 07, 2016  
 Report Generated at: 2016-06-07 14:00:50

SPACE CONDITIONING SYSTEMS					
SC Sys Name	System Type	Heating Unit Name	Cooling Unit Name	Fan Name	Distribution Name
Heating Component 1:1	Other Heating and Cooling System	Heating Component 1		None	None
Cooling Component 1:1:1	Other Heating and Cooling System		Cooling Component 1	None	None
HVAC - HEATING UNIT TYPES					
Name	Type	02		03	05
Heating Component 1	Wall/Furnace/Fan - Ductless fan forced wall furnace			Efficiency	75 AFUE
HVAC - COOLING UNIT TYPES					
Name	System Type	EER	SEER	Zonally Controlled	Multi-speed Compressor
Cooling Component 1	AC/Cooling				

Registration Number: CA Building Energy Efficiency Standards - 2013 Residential Compliance  
 Report Version - CF1R-04072016-744  
 Registration Date/Time: 14:00, Tue, Jun 07, 2016  
 Report Generated at: 2016-06-07 14:00:50

REQUIRED SPECIAL FEATURES	
01	No cooling system included

The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.

HERS FEATURE SUMMARY		
The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional details is provided in the building components tables below.		
Building-Level Verifications:		
Cooling System Verifications:	- None -	
Domestic Hot Water System Verifications:	- None -	
ENERGY DESIGN RATING	Reference Energy Use: 187.66	Margin: 16.42
Total Energy (kWh/ft²-yr)	171.24	Percent Improvement: 8.7%

\* includes calculated Appliances and Miscellaneous Energy Use (AMIEU)

BUILDING - FEATURES INFORMATION							
Project Name	Conditioned Floor Area (ft²)	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems	
Capp St. Accessory Dwelling Unit Addition	400	1	0	1	0	1	
ZONE INFORMATION							
Zone Name	Zone Type	Zone Floor Area (ft²)	Avg. Ceiling Height	Number of Dwelling Units			
Addition	Conditioned	400	8.5	1			

Registration Number: CA Building Energy Efficiency Standards - 2013 Residential Compliance  
 Report Version - CF1R-04072016-744  
 Registration Date/Time: 14:00, Tue, Jun 07, 2016  
 Report Generated at: 2016-06-07 14:00:50

DOORS			
01	02	03	04
Name	Side of Building	Area (ft²)	U-factor
Door	Wall to Jnc.	20.0	0.60
Door Z	Right Wall	20.0	0.60

OPAQUE SURFACE CONSTRUCTIONS						
01	02	03	04	05	06	07
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Winter Design U-value	Assembly Layers
R-13 Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O.C.	R 13	0.095	Inside Finish: Gypsum Board Exterior Finish: Wood Siding/sheathing/decking Floor Finish: Carpeted Floor Deck: Wood Siding/sheathing/decking Cavity Frames: R-19 (2x8)
R-19 Floor Crawspace	Floors Over Crawspaces	Wood Framed Floor	2x6 @ 16 in. O.C.	R 19	0.049	

BUILDING ENVELOPE - HERS VERIFICATION							
01	Quality Insulation Installation (QII)	02	Quality Installation of Spray Foam Insulation	03	Building Envelope Air Leakage	04	CFM50
	Not Required		Not Required		Not Required		

Registration Number: CA Building Energy Efficiency Standards - 2013 Residential Compliance  
 Report Version - CF1R-04072016-744  
 Registration Date/Time: 14:00, Tue, Jun 07, 2016  
 Report Generated at: 2016-06-07 14:00:50

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT	
Documentation Author Name: Kevin Rindon	Documentation Author Signature: [Signature]
Company: Energy Calc Company	Signature Date: 6/7/2016
Address: 45 Mitchell Blvd. # 16	CEA/HERS Certification Identification (if applicable):
City/State/Zip: San Rafael, CA 94903	Phone: 415-457-0990
RESPONSIBLE PERSON'S DECLARATION STATEMENT	
I certify that this Certificate of Compliance Documentation is accurate and complete.	
I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.	
Responsible Design Name: Grant Takahashi Lee Architects	
Responsible Designer Signature: [Signature]	
Date Signed: 6/10/2016	
License: C-31769	
Phone: (415) 361-7641	

Registration Number: CA Building Energy Efficiency Standards - 2013 Residential Compliance  
 Report Version - CF1R-04072016-744  
 Registration Date/Time: 14:00, Tue, Jun 07, 2016  
 Report Generated at: 2016-06-07 14:00:50

2013 Low-Rise Residential Mandatory Measures Summary

NOTE: Low-rise residential buildings subject to the Standards must comply with all applicable mandatory measures listed, regardless of the compliance approach used. Exceptions may apply. Review the respective code section for more information.

Table with columns for measure ID and description. Includes sections for Building Envelope Measures, Fireplaces, Decorative Gas Appliances and Gas Log Measures, Space Conditioning, Water Heating and Plumbing System Measures, and Pool and Spa Heating Systems and Equipment Measures.

2013 Low-Rise Residential Mandatory Measures Summary

Table with columns for measure ID and description. Includes sections for Ducts and Fans Measures, Solar Ready Buildings, and Pool and Spa Heating Systems and Equipment Measures.

2013 Low-Rise Residential Mandatory Measures Summary

Table with columns for measure ID and description. Includes sections for Lighting Measures, Solar Ready Buildings, and Pool and Spa Heating Systems and Equipment Measures.

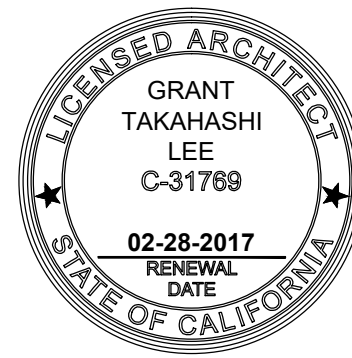
2013 Low-Rise Residential Mandatory Measures Summary

Table with columns for measure ID and description. Includes sections for Solar Ready Buildings, Pool and Spa Heating Systems and Equipment Measures, and other residential measures.

ARCHITECT



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CAPP STREET ACCESSORY DWELLING UNIT 905 CAPP STREET SAN FRANCISCO, CA 94110

DRAWING ISSUANCE

PERMIT SET

Table with columns for DESCRIPTION and DATE. Row 1: PERMIT SET, 2016.06.10

TITLE

TITLE 24

SCALE N.T.S.

PROJECT NO. Y606#

T24B

SHEET

**DEMOLITION NOTES**

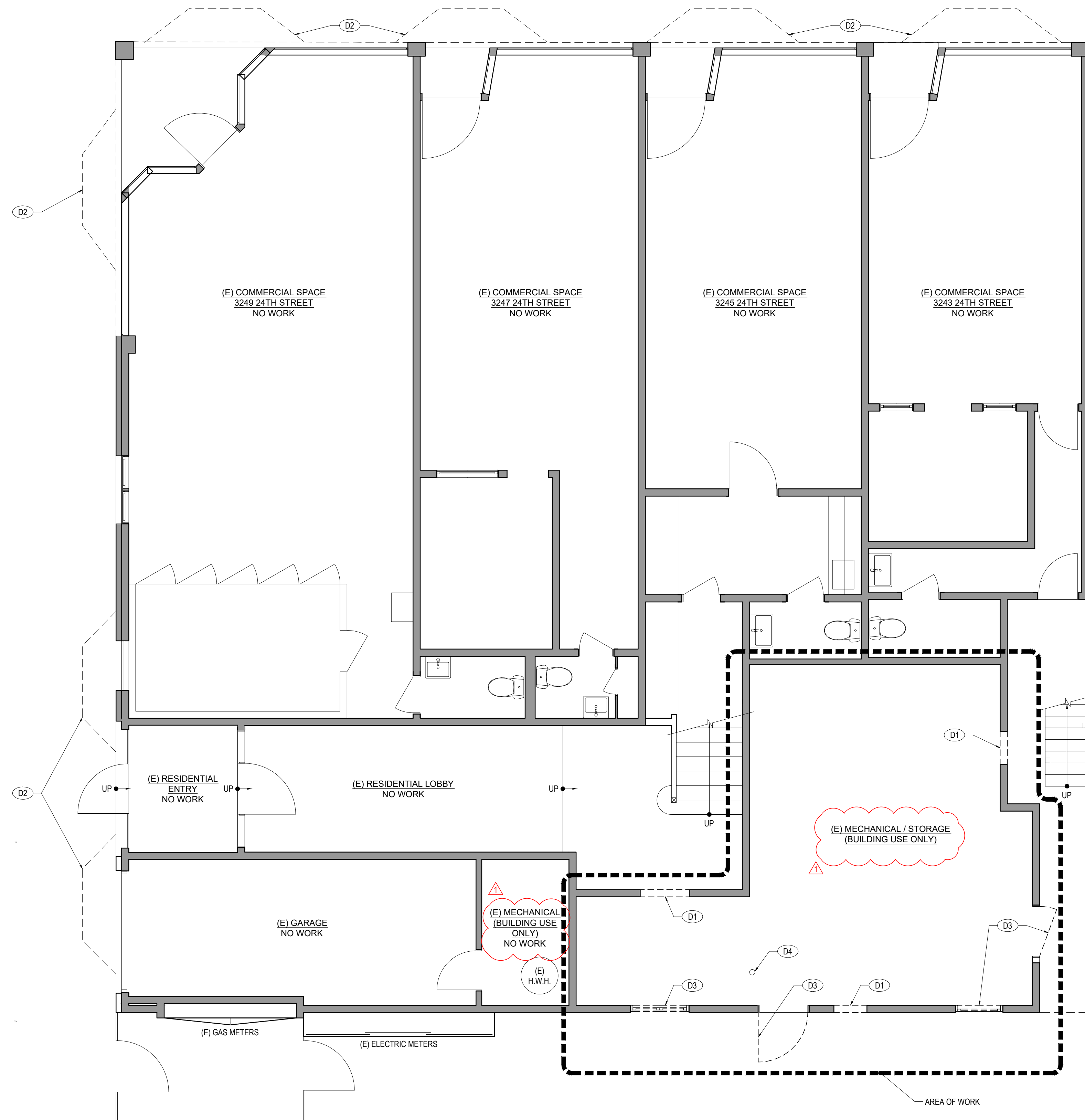
- CONTRACTOR SHALL COORDINATE THE EXTENT OF THE DEMOLITION WITH CONSTRUCTION PLANS AND PROTECT ALL PORTIONS OF (E) STRUCTURE TO REMAIN
- THESE DRAWINGS ILLUSTRATE THE REMOVAL OF NON-STRUCTURAL COMPONENTS ONLY, UNLESS OTHERWISE SPECIFICALLY NOTED. ALL STRUCTURAL WALLS, BEAMS AND COLUMNS SHALL REMAIN. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERY OF ANY UNDOCUMENTED STRUCTURAL COMPONENT
- THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION OF MATERIAL TO REMAIN, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING MATERIALS.
- IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE AFFECTED AREAS AT NO COST TO THE OWNER.
- REMOVE ALL (E) FINISHES, HARDWARE, EQUIPMENT, CONDUIT, PLUMBING, AND FRAMING NECESSARY TO ACCOMMODATE ALL NEW WORK
- CAP OFF ALL PLUMBING, GAS, & ELECTRICAL LINES, AS REQUIRED.
- CONTRACTOR SHALL ENSURE THE STABILITY OF ALL (E) STRUCTURE, FRAMING AND FOUNDATIONS TO REMAIN DURING DEMOLITION AND CONSTRUCTION OF NEW WORK
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN, ADEQUACY, & SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC.
- CONTRACTOR SHALL REPLACE ALL DAMAGED OR DECAYED EXISTING WOOD FRAMING, FLOOR, OR SHEATHINGS IN AREAS OF REMODEL AND REPAIR. NOTIFY ARCHITECT IF DAMAGED OR DECAYED CONDITIONS ARE ENCOUNTERED PRIOR TO COMMENCING REPAIR WORK
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFE REMOVAL AND DISPOSAL OF ALL MATERIALS NOT FOR RE-USE ON THIS PROJECT. RECYCLE AND HAUL ALL DEBRIS IN ACCORDANCE WITH LOCAL JURISDICTION REQUIREMENTS.
- DOCUMENTATION HEREIN DOES NOT AUTHORIZE, DESCRIBE, REQUIRE OR INCLUDE THE REMOVAL OF ANY HAZARDOUS MATERIALS OR ELEMENTS, INCLUDING, BUT NOT LIMITED TO LEAD PAINT, ASBESTOS AND PCB'S. GENERAL CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, REGULATIONS, ORDINANCES AND RULES RELATING TO ANY HAZARDOUS OR TOXIC MATERIALS. IF GENERAL CONTRACTOR DISCOVERS ANY SUCH MATERIALS ON THE PROPERTY, GENERAL CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER. ANY REMOVAL OF HAZARDOUS MATERIALS SHALL BE DOCUMENTED SEPARATELY, AND SHALL OCCUR AS REQUIRED BY CODE AND REGULATORY REQUIREMENTS.

**WALL LEGEND**

- (E) WALL CONSTRUCTION TO REMAIN
- (E) NON-STRUCTURAL CONSTRUCTION TO BE REMOVED, U.O.N.

**DEMOLITION KEYNOTES**

- D1 COORDINATE LIMITS OF REMOVAL WITH CONSTRUCTION PLAN
- D2 (E) ELEMENT ABOVE TO REMAIN
- D3 REMOVE (E) DOOR OR WINDOW
- D4 (E) PLUMBING LINE TO REMAIN



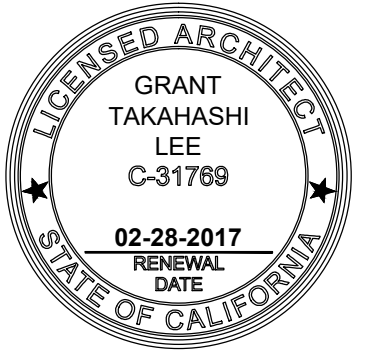
**1** FIRST FLOOR: EXISTING & DEMOLITION PLAN  
SCALE: 1/4" = 1'-0"

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GRANT TAKAHASHI LEE ARCHITECTS

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**CAPP STREET  
ACCESSORY DWELLING UNIT**  
905 CAPP STREET  
SAN FRANCISCO, CA 94110

DRAWING ISSUANCE

PERMIT SET

DESCRIPTION	DATE
PERMIT SET	2016.06.10
NOPR #1 RESPONSE	2016.09.02

TITLE

**1F: EXISTING & DEMOLITION PLAN**

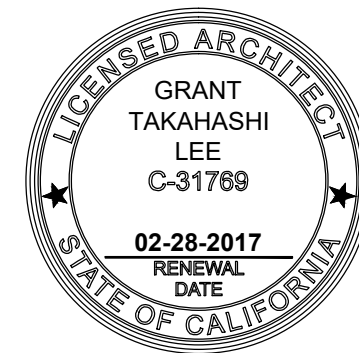
SCALE 1/4" = 1'-0"

PROJECT NO. 1606

**A101**

SHEET





CAPP STREET  
ACCESSORY DWELLING UNIT  
905 CAPP STREET  
SAN FRANCISCO, CA 94110

DRAWING ISSUANCE

PERMIT SET

DESCRIPTION	DATE
PERMIT SET	2016.06.10

TITLE

2F: EXISTING  
PLAN  
(NO WORK)

SCALE 1/4" = 1'-0"

PROJECT NO. 1606



1 SECOND FLOOR: EXISTING PLAN (NO WORK)

SCALE: 1/4"=1'-0"

A102

SHEET



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CAPP STREET  
ACCESSORY DWELLING UNIT  
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DRAWING ISSUANCE

PERMIT SET

DESCRIPTION	DATE
PERMIT SET	2016.06.10

TITLE

3F: EXISTING  
PLAN  
(NO WORK)

SCALE 1/4" = 1'-0"

PROJECT NO. 1606



1 | THIRD FLOOR: EXISTING PLAN (NO WORK)

SCALE: 1/4"=1'-0"

A103

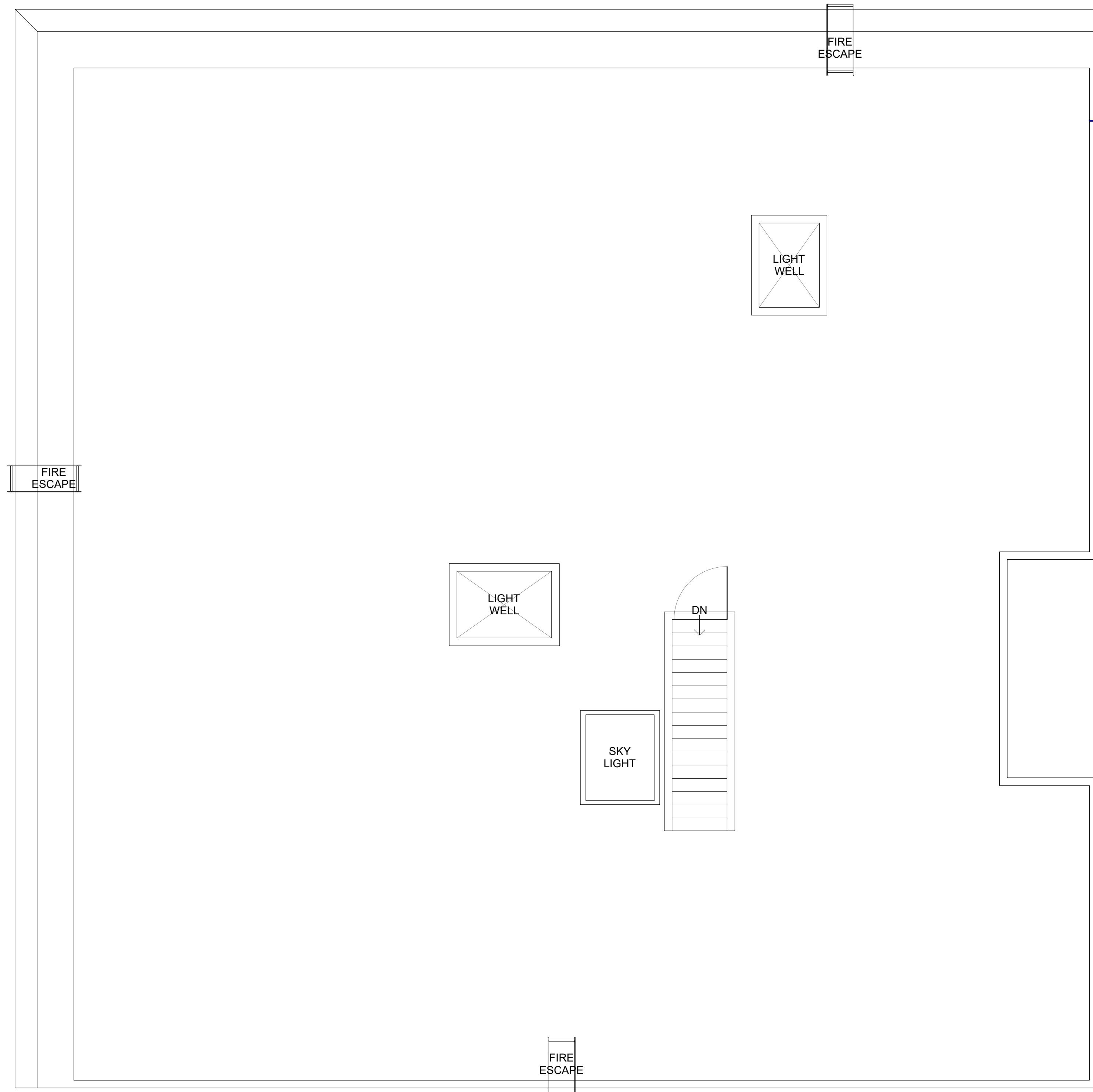
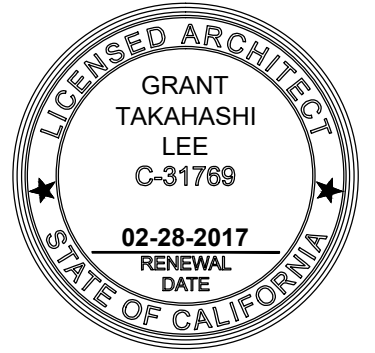
SHEET



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ACCESSORY DWELLING UNIT  
905 CAPP STREET  
SAN FRANCISCO, CA 94110

DRAWING ISSUANCE

PERMIT SET

DESCRIPTION	DATE
PERMIT SET	2016.06.10
NOPR #1 RESPONSE	2016.09.02

TITLE

ROOF: EXISTING  
PLAN  
(NO WORK)

SCALE 1/4" = 1'-0"

PROJECT NO. 1606



A104

SHEET

1 | ROOF: EXISTING PLAN (NO WORK)  
SCALE: 1/4"=1'-0"

NOTE: NO ROOF DECK/USABLE OPEN SPACE ON BUILDING ROOFTOP

**CONSTRUCTION NOTES**

- ALL (N) INTERIOR WALLS, TYPE "A" U.O.N.
- ALL DIMENSIONS ARE TO FACE OF FINISH, CENTERLINE OF OPENING OR EDGE OF JAMB FRAME, U.O.N.
- DOORS NOT LOCATED BY DIMENSION SHALL BE PLACED 4" OFF JAMB, U.O.N.
- NEW EXTERIOR WALL CEMENT PLASTER FINISH INSTALLED PER ASTM C 926 ("STANDARD SPECIFICATION FOR APPLICATION OF PORTLAND CEMENT-BASED PLASTER") AND ASTM C 1063, ("STANDARD SPECIFICATION FOR INSTALLATION OF LATHING AND FURRING TO RECEIVE INTERIOR AND EXTERIOR PORTLAND CEMENT-BASED PLASTER")
- PROVIDE FLASHING, COUNTERFLASHING, CAP FLASHING, METAL TRIM, OTHER FABRICATED ITEMS AND MISCELLANEOUS SHEET METALWORK AT JUNCTIONS OF A ROOF AND WALL, AT CHIMNEYS, OVER EXPOSED DOORS AND WINDOWS, AT CHANGES OF SIDING MATERIAL IN ROOF VALLEYS OR WHERE REQUIRED TO PROVIDE COMPLETE WATERTIGHT AND WATERPROOF CONSTRUCTION.
- FLASHING & SHEET METALWORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH SHEET METAL & AIR CONDITIONING CONTRACTORS' NATIONAL ASSOCIATION (SMACNA) ARCHITECTURAL SHEET METAL MANUAL. COMPLY WITH MINIMUM THICKNESS OR GAGE REQUIREMENTS AS SPECIFIED IN SMACNA ARCHITECTURAL SHEET METAL MANUAL.
- ISOLATE AND PROTECT DISSIMILAR METALS FROM CONTACT WITH EACH OTHER BY APPLYING SPECIFIED ISOLATION MATERIAL TO CONTACT SURFACES. PROTECT SURFACES OF SHEET METAL IN CONTACT WITH CONCRETE, TREATED WOOD, OR ALUMINUM WITH A HEAVY COATING OF BITUMINOUS PAINT AS RECOMMENDED BY MANUFACTURER/FABRICATOR.
- FLASHING & SHEET METALWORK WILL NOT BE MEASURED SEPARATELY FOR PAYMENT BUT WILL BE PAID FOR AS PART OF THE CONTRACT LUMP SUM PRICE FOR ARCHITECTURAL WORK.
- ALL DOORS AND WINDOWS NOT TAGGED ARE EXISTING TO REMAIN U.O.N.
- ALL TOILETS TO HAVE A MINIMUM CLEARANCE OF 24" IN FRONT AND 15" FROM CENTERLINE OF THE TOILET TO EACH SIDE [CPC 402.5]
- PROVIDE CEMENT BACKER BOARD IN AREAS TO RECEIVE TILE FINISH.
- WOOD LOCATED NEARER THAN 6" TO EARTH SHALL BE TREATED WOOD.
- ALL HANDRAIL HEIGHT TO BE 34 INCHES MIN, 38 INCHES MAX. [CBC 1012.2]
- PROVIDE 1-1/2" MIN CLEAR SPACE BETWEEN A HANDRAIL & A WALL OR OTHER SURFACE ADJACENT TO THE HANDRAIL. [CBC 1012.7]

**PLUMBING NOTES**

- SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 2.0 GALLONS PER MINUTE AT 80 PSI. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR SHOWERHEADS. [CPC 408.2][CGBCS 4.303.1.3.1]
- MULTIPLE SHOWER HEADS CONTROLLED BY A SINGLE VALVE SHALL HAVE A COMBINED FLOW RATE NOT TO EXCEED 2.0 GALLONS PER MINUTE. ALTERNATELY, THE VALVE MAY BE DESIGNED TO ALLOW ONLY ONE SHOWER HEAD (WITH A FLOW RATE NOT TO EXCEED 2.0 GALLONS PER MINUTE) TO BE IN OPERATION AT A TIME. A HAND HELD SHOWER IS CONSIDERED A SHOWER HEAD.
- SHOWER VALVES SHALL BE A PRESSURE/TEMPERATURE BALANCED TYPE THAT CONFORMS TO ASME 1016.
- VACUUM BREAKERS REQUIRED FOR HANDHELD SHOWER HEAD.
- WHERE TWO SEPARATE HANDLES CONTROL THE HOT AND COLD WATER, THE LEFT-HAND FAUCET SHALL CONTROL HOT WATER.
- LOCATE THE SHOWERHEAD ON THE SIDE WALL OF THE SHOWER COMPARTMENT.
- SHOWERS SHALL BE FINISHED WITH A NONABSORBENT FINISH TO A HEIGHT OF AT LEAST 72" ABOVE FLOOR.
- SHOWERS SHALL BE AT LEAST 32" X 32" OR 1024 SQUARE INCHES WITH NOT LESS THAN 30" WIDTH. THE MEASUREMENT IS TAKEN FROM THE TOP OF THE CURB AT THE CURB CENTERLINE TO OPPOSITE WALL. THE CLEAR AREA SHALL BE MAINTAINED TO MINIMUM 70" ABOVE THE DRAIN.
- AN EXCEPTION IS ALLOWED WHERE AN EXISTING BATHTUB IS REPLACED BY A SHOWER HAVING AN OVERALL DIMENSION OF 30" WIDE BY 60" LONG.
- SHOWER DOORS SHALL OPEN SO AS TO MAINTAIN NOT LESS THAN A 22 INCH UNOBSTRUCTED OPENING FOR EGRESS.
- THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.5 GALLONS PER MINUTE AT 60 PSI. THE MINIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.8 GALLONS PER MINUTE AT 20 PSI. [CPC 403.7][CGBCS 4.303.1.4.1]
- THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI. WHERE COMPLYING FAUCETS ARE UNAVAILABLE, AERATORS OR OTHER MEANS MAY BE USED TO ACHIEVE REDUCTION. [CGBCS 4.303.1.4.4]
- MINIMUM 1" AIR GAP SEPARATION BETWEEN FLOOD LEVEL OF SINK AND TUB AND THE WATER SUPPLY OUTLET
- WATER CLOSETS SHALL BE MAXIMUM 1.28 GALLONS PER FLUSH (GPF).
- DUAL FLUSH WATER CLOSETS ARE PERMITTED. PROVIDED THE AVERAGE OF 2 REDUCED FLUSHES AND ONE FULL FLUSH DOES NOT EXCEED 1.28 GPF. EXAMPLE: IF THE DUAL FLUSH TOILET USES 1.6 GAL FOR A FULL FLUSH, AND 1.0 GAL FOR A REDUCED FLUSH,  $1.6 + 1.0 = 1.0 = 3.6 \text{ GAL} / 3 = 1.2 \text{ GPF} = \text{OK}$ , SINCE THE COMPOSITE IS LESS THAN 1.28 GPF.
- PROVIDE CAULKING AT THE BOTTOM OF ALL WATER CLOSETS
- SHOWER PANS SHALL BE TESTED FOR WATER-TIGHTNESS BY FILLING WITH WATER TO THE LEVEL OF THE ROUGH THRESHOLD. THE TEST PLUG SHALL BE SO PLACED THAT BOTH UPPER AND UNDER SIDES OF THE SUB-PAN SHALL BE SUBJECTED TO THE TEST AT THE POINT WHERE IT IS CLAMPED TO THE DRAIN. TEST SHALL BE 24 HOURS MINIMUM.
- PLUMBING VENTS SHALL TERMINATE NOT LESS THAN 10 FEET FROM, OR NOT LESS THAN 3 FEET ABOVE, AN OPENABLE WINDOW, DOOR, OPENING, AIR INTAKE, OR VENT SHAFT, OR NOT LESS THAN 3 FEET IN EVERY DIRECTION FROM A LOT LINE, ALLEY AND STREET EXCEPTED [CPC 906.2]
- MINIMIZE PIPE PENETRATIONS THROUGH ROOF BY GANGING VENTS TOGETHER.

**WALL PARTITION TYPES**

WALL TYPE	WALL ASSEMBLY DESCRIPTION	ASSEMBLY
(N) INTERIOR PARTITION	(N) 2X 4 OR 2X 6 WOOD STUD FRAMING; SEE STRUCT. DWGS.	
(N) 5/8" TYPE 'X' GYPSUM BOARD	2X4   GA FILE NO. WP 3514 2X6   GA FILE NO. WP 3660	

NOTE: AT THICKENED WALL CONDITIONS PROVIDE FURRING OR ADDITIONAL STUDS TO ACCOMMODATE THICKNESS

**PARTITION NOTES:**

- REFER TO GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL AND CBC TABLE 7-B FOR REFERENCE RATED WALL ASSEMBLIES
- ATTACHMENT OF WALL SHEATHING AND FINISHES TO COMPLY WITH THE REQUIREMENTS OF THE REFERENCED WALL RATED WALL ASSEMBLY AND STRUCTURAL DRAWINGS
- THERMAL INSULATION TO FILL WALL CAVITY. PROVIDE R-13 MINIMUM.

**MECHANICAL NOTES**

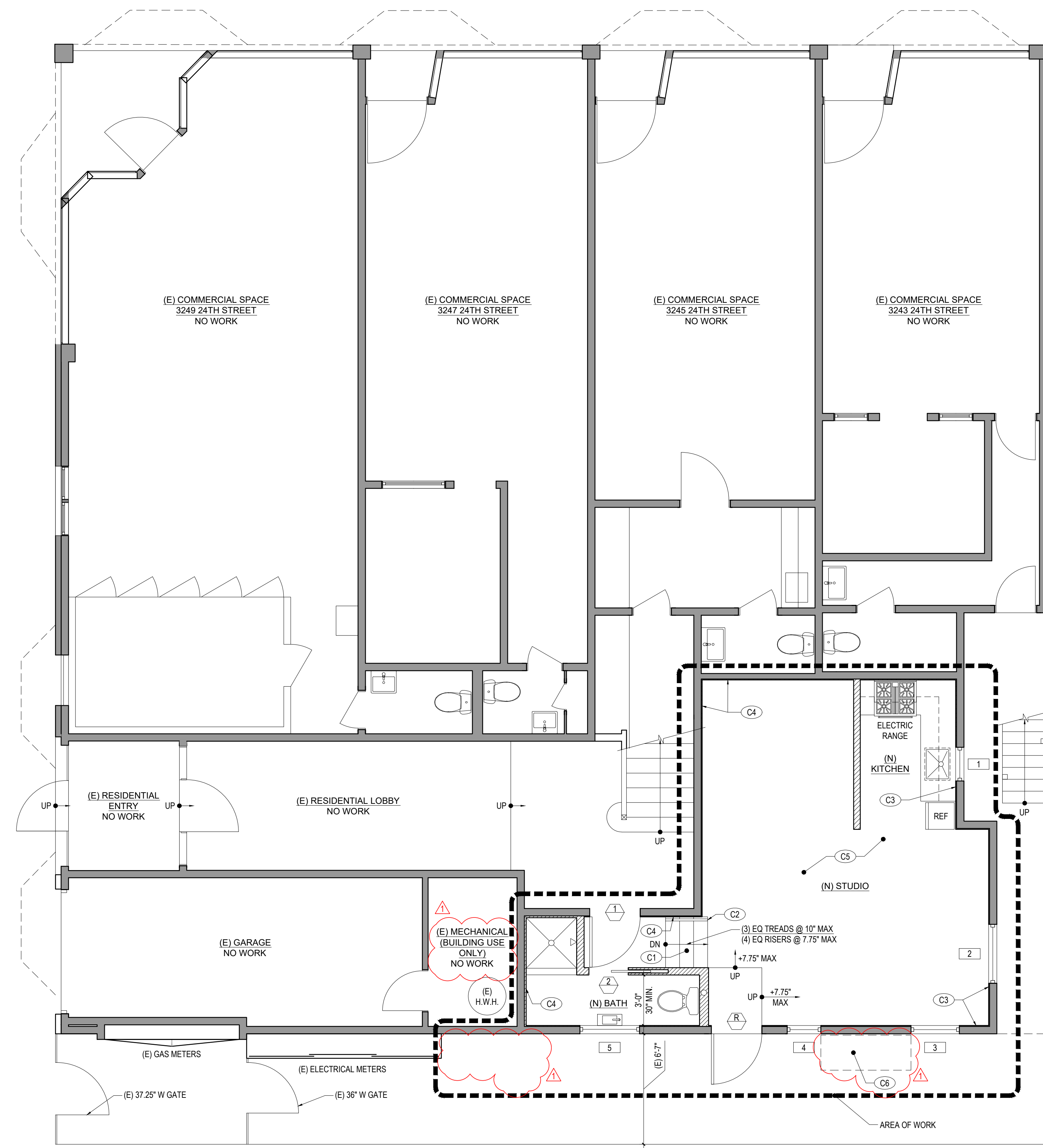
- ENVIRONMENTAL AIR DUCTS (DUCTING USED FOR CONVEYING AIR AT TEMPERATURES NOT EXCEEDING 250°F (121°C) TO OR FROM OCCUPIED AREAS OF ANY OCCUPANCY THROUGH OTHER THAN HEATING OR AIR-CONDITIONING SYSTEMS, SUCH AS VENTILATION FOR HUMAN USAGE, DOMESTIC KITCHEN RANGE EXHAUST, BATHROOM EXHAUST DUCTS, AND DOMESTIC-TYPE CLOTHES DRYER EXHAUST DUCTS SHALL TERMINATE 3' FROM PROPERTY LINE & OPENINGS INTO BUILDING.
- PROVIDE GAS VENT TERMINATIONS PER CMC 802.6 & 802.6.2
- PROVIDE COMBUSTION AIR PER CMC CHAPTER 7.
- KITCHEN EXHAUST HOOD SHALL HAVE A MINIMUM EXHAUST RATE OF 100 CFM.
- PROVIDE SPACE HEATING TO ALL INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY.

**CONSTRUCTION KEYNOTES**

C1	(N) CARPENTER BUILT STAIR; (3) STRINGERS MINIMUM
C2	(N) HANDRAIL SHALL HAVE 1-1/2" Ø GRASPABILITY OR EQUIVALENT AND BE CONTINUOUS AT 34" MIN, 38" MAX ABOVE TREAD NOSING [CBC 1012.2]
C3	(N) 5/8" TYPE 'X' GWB @ ALL EXTERIOR WALLS W/ R-13 INSULATION IN ACCORDANCE W/ TITLE 24 CALCULATIONS
C4	(N) 5/8" TYPE 'X' GWB W/ INSULATION FOR STC 50.
C5	(N) R-19 BELOW FLOOR INSULATION IN ACCORDANCE W/ TITLE 24 CALCULATIONS
C6	TRASH/RECYCLING LOCATION

**WALL LEGEND**

	(E) WALL CONSTRUCTION TO REMAIN
	(N) WALL CONSTRUCTION

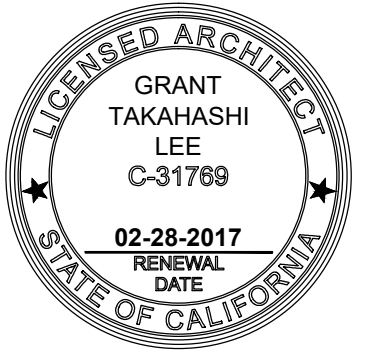


**1 | FIRST FLOOR: CONSTRUCTION PLAN**  
SCALE: 1/4"=1'-0"

ARCHITECT



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PROFESSIONAL SEAL



**CAPP STREET  
ACCESSORY DWELLING UNIT**  
905 CAPP STREET  
SAN FRANCISCO, CA 94110

DRAWING ISSUANCE

PERMIT SET

DESCRIPTION	DATE
PERMIT SET	2016.06.10
NOPR #1 RESPONSE	2016.09.02

TITLE

**CONSTRUCTION  
PLAN**

SCALE 1/4"=1'-0"

PROJECT NO. 1606

**A111**

SHEET

**RCP & LIGHTING NOTES**

- ALL NEW ELECTRICAL WORK SHALL COMPLY WITH THE 2013 CALIFORNIA ELECTRICAL CODE (2013 CEC) & 2013 SAN FRANCISCO ELECTRICAL CODE AMENDMENTS.
- ALL NEW LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH THE 2013 CALIFORNIA TITLE 24 BUILDING ENERGY EFFICIENCY STANDARDS.
- LIGHTING SHALL BE CLASSIFIED AS HIGH OR LOW EFFICACY IN ACCORDANCE WITH TABLE 150.0-A OR TABLE 150.0-B OF THE 2013 CALIFORNIA TITLE 24 BUILDING ENERGY EFFICIENCY STANDARDS.
- HIGH EFFICIENCY LED LUMINAIRES SHALL HAVE MINIMUM COLOR RENDITION INDEX (CRI) ≥ 90 AND CORRELATED COLOR TEMPERATURE (CCT) OF 2700-4000K (INTERIOR) AND UP TO 5000K (OUTDOOR)
- ALL HIGH EFFICACY LIGHTING SHALL BE SWITCHED SEPARATELY FROM LOW EFFICACY LIGHTING.
- ALL FLUORESCENT FIXTURES 13W OR GREATER SHALL HAVE ELECTRONIC BALLASTS AND SHALL HAVE AN OUTPUT FREQUENCY NO LESS THAN 20KHZ OR APPROVED GU-24 LINE VOLTAGE SOCKETS.
- ALL RECESSED LIGHTING IN SURFACES WITH THERMAL INSULATION SHALL HAVE AIR TIGHTIC HOUSINGS.
- LIGHTING INSTALLED IN BATHROOMS SHALL: (A) HAVE MINIMUM ONE HIGH EFFICACY LIGHT FIXTURE; AND (B) ALL OTHER LIGHTINGS SHALL BE HIGH EFFICACY OR CONTROLLED BY VACANCY SENSORS.
- ALL LIGHTING IN ATTACHED AND DETACHED GARAGES, LAUNDRY AND UTILITY ROOMS SHALL BE HIGH EFFICACY AND CONTROLLED BY VACANCY SENSORS.
- ALL INTERIOR LIGHTING IN ROOMS OR AREAS OTHER THAN KITCHENS, BATHROOMS, GARAGES, LAUNDRY AND UTILITY ROOMS SHALL BE HIGH EFFICACY, OR SHALL BE CONTROLLED BY EITHER DIMMERS OR VACANCY SENSORS.
- ALL LIGHTING CONTROLS, BALLASTS FOR RECESSED LUMINAIRES, AND HIGH EFFICACY LED LIGHT SOURCES SHALL BE CERTIFIED BY THE ENERGY COMMISSION FOR COMPLIANCE WITH THE 2013 CALIFORNIA TITLE 24 BUILDING ENERGY EFFICIENCY STANDARDS.
- AT LEAST 50% OF LIGHTING WATTAGE IN KITCHEN SHALL BE FROM HIGH EFFICACY LIGHT FIXTURES.
- PERMANENTLY INSTALLED LIGHTING THAT IS INTERNAL TO CABINETS SHALL USE NO MORE THAN 20 WATTS OF POWER PER LINEAR FOOT OF ILLUMINATED CABINET.
- ANY EXHAUST FAN WITH INTEGRAL LIGHTING SHALL HAVE ABILITY TO MANUALLY SWITCH OFF LIGHT SYSTEM WHILE FAN CONTINUES TO OPERATE
- OUTDOOR LIGHTING MOUNTED TO THE BUILDING SHALL BE HIGH EFFICACY OR MAY BE LOW EFFICACY IF IT MEETS ALL OF THE REQUIREMENTS OF SECTION 150.0(K)(9)A OF THE 2013 CALIFORNIA TITLE 24 BUILDING ENERGY EFFICIENCY STANDARDS.
- INSTALL AS MANY ADJACENT SWITCHES AND OUTLETS IN ONE PLATE AS POSSIBLE.
- GENERAL CONTRACTOR TO COORDINATE ALL SWITCHING NOT SHOWN ON PLANS WITH OWNER.
- LIGHTS NOT LOCATED BY DIMENSION SHALL BE CENTERED ON SECTION OF CEILING LOCATED. ALIGN W/ CENTER OF ADJACENT FIXTURES, DOORS, OR WINDOWS.
- ALL CONDUITS AND WIRES TO BE CONCEALED.
- ALL (N) CEILINGS TO BE PAINTED GYPSUM BOARD U.O.N.
- WHEN A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS WITH A TOTAL COST OR CALCULATED VALUATION EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS WITH A FOSSIL FUEL-BURNING HEATER OR APPLIANCE, FIREPLACE OR AN ATTACHED GARAGE SHALL HAVE A CARBON MONOXIDE ALARM INSTALLED IN ACCORDANCE WITH CBC 420.6.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (CBC 420.6.2.2)
- ALL SMOKE ALARMS INCLUDING COMBINATION SMOKE ALARMS, THAT ARE SOLELY BATTERY POWERED SHALL CONTAIN A NONREPLACEABLE, NONREMOVABLE BATTERY THAT IS CAPABLE OF POWERING THE SMOKE ALARM FOR AT LEAST 10 YEARS.
- COMMENCING JANUARY 1, 2015, ALL NEW LISTINGS OF SMOKE ALARMS OR COMBINATION SMOKE ALARMS SHALL DISPLAY THE DATE OF MANUFACTURE, PROVIDE A PLACE ON THE DEVICE WHERE THE DATE OF INSTALLATION CAN BE WRITTEN, AND INCORPORATE A HUSH FEATURE.
- EXCEPTIONS TO 18 AND 19 ABOVE INCLUDE:
  - A) SMOKE DETECTORS INTENDED TO BE USED WITH A FIRE ALARM OR HOUSEHOLD FIRE ALARM CONTROL UNIT;
  - B) SMOKE ALARMS THAT SEND A SUPERVISION AND BATTERY DEPLETION SIGNAL TO A FIRE ALARM OR HOUSEHOLD FIRE ALARM CONTROL UNIT VIA A LOW-POWER RADIO FREQUENCY WIRELESS COMMUNICATION;
  - C) SMOKE ALARMS THAT USE LOW-POWER RADIO FREQUENCY WIRELESS COMMUNICATION SIGNAL FOR INTERCONNECTION.

**POWER & SIGNAL NOTES**

- NEW CONVENIENCE OUTLETS ONLY SHOWN. G.C. TO VERIFY AND PROVIDE ALL NECESSARY POWER FOR ALL EQUIPMENT.
- G.C. TO COORDINATE REQUIRED DATA WITH OWNER
- G.C. TO COORDINATE WITH OWNER FOR NEW AV SYSTEM.
- ALL DIMENSIONS ARE TO CENTERLINE OF OUTLET OR GROUP OF OUTLETS.
- DO NOT SURFACE MOUNT CONDUIT OR JUNCTION BOXES ON WALLS. ALL CONDUIT AND JUNCTION BOXES SHOULD BE RECESSED. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- INSTALL OUTLETS ON OPPOSITE SIDES OF PARTITIONS IN SEPARATE STUD CAVITIES. OFFSET OUTLETS MINIMUM DISTANCE AS REQUIRED TO AVOID BACK-TO-BACK INSTALLATION.
- IN ALL AREAS SPECIFIED IN CEC 210.52, ALL 125-VOLT, 15- AND 20- AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. (CEC 406.12)
- ALL COUNTER RECEPTACLES SHALL BE GFCI PROTECTED AND TAMPER-RESISTANT.
- COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER (AFCI) SHALL PROTECT ALL RECEPTACLES IN ALL DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENs, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS OR SIMILAR ROOMS OR AREAS WITH BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE PHASE, 15- AND 20- AMPERE RECEPTACLE OUTLETS. (CEC 210.12)
- ALL BATHROOM RECEPTACLE OUTLETS SHALL BE SUPPLIED BY AT LEAST ONE 20-AMPERE BRANCH CIRCUIT. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. RECEPTACLES SHALL TO BE ON THE WALL WITHIN (3) FEET OF OUTSIDE EDGE OF SINK BASIN & GFCI PROTECTED [CEC 210.52(D), 210.11(C)(3), 210.8(A)(1)].
- TWO 20-AMPERE GFCI PROTECTED CIRCUITS SHALL BE PROVIDED IN THE KITCHEN COUNTER AND ISLAND OUTLETS [CEC 210.52(B)(1), 210.52(B)(3), 210.52(C)]
- ISLAND & PENINSULAR COUNTER SPACES WITH A LONG DIMENSION OF 24 INCHES OR GREATER AND A SHORT DIMENSION OF 12 INCHES OR GREATER SHALL BE PROVIDED WITH ONE RECEPTACLE MINIMUM. [CEC 210.52 (C)(2)(3)]
- COUNTERTOP AND SIMILAR WORK SURFACES OUTLETS SHALL NOT BE INSTALLED IN THE FACE UP POSITION [2013 CEC 406.5(E)]
- ALL MULTIWIRE BRANCH CIRCUITS, INCLUDING BUT NOT LIMITED TO DISHWASHER & GARBAGE DISPOSAL CIRCUITS, SHALL DISCONNECT SIMULTANEOUSLY ALL UNGROUNDED CONDUCTORS AT THE POINT WHERE THE BRANCH CIRCUIT ORIGINATES (CEC 210.4)
- DISHWASHER, GARBAGE DISPOSAL, MICROWAVE, AND SPA MOTOR OR HEATER SHALL HAVE DEDICATED CIRCUITS. (CEC 210.23 A(1), 210.23 A(2)) REFER TO MANUFACTURERS FOR SEPARATE CIRCUIT REQUIREMENTS.

**RCP KEYNOTES**

(R1) (N) 5/8" TYPE 'X' GWB. AT CEILING

**POWER & SIGNAL LEGEND**

	GROUNDING DUPLEX ELECTRICAL OUTLET
	GROUNDING FOUR-PLEX ELECTRICAL OUTLET
	GFI DUPLEX ELECTRICAL OUTLET AT 42"A.F.F., U.O.N.
	GFI FOUR-PLEX ELECTRICAL OUTLET AT 42"A.F.F., U.O.N.

**RCP & LIGHTING SCHEDULE**

SYMBOL	ABBRV.	FIXTURE TYPE	MFR. / STYLE
	L1	4" RECESSED LED DOWNLIGHT	BY G.C.
	L2	COMBINATION SMOKE & CARBON MONOXIDE DETECTOR	BY G.C.
	L3	EXHAUST FAN, MIN. 50 CFM + HUMIDISTAT	BY G.C.
		SWITCH	BY G.C.
		MANUAL ON, AUTO OFF VACANCY SENSOR	BY G.C.
		DIMMER SWITCH, ALL LIGHTS ON SWITCH TO BE DIMMABLE	BY G.C.

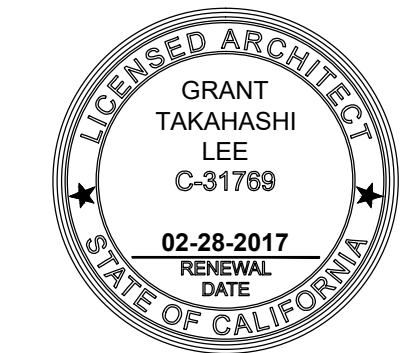
**WALL LEGEND**

	(E) WALL CONSTRUCTION TO REMAIN
	(N) WALL CONSTRUCTION

ARCHITECT



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**CAPP STREET  
ACCESSORY DWELLING UNIT**  
905 CAPP STREET  
SAN FRANCISCO, CA 94110

DRAWING ISSUANCE

PERMIT SET

DESCRIPTION	DATE
PERMIT SET	2016.06.10

TITLE

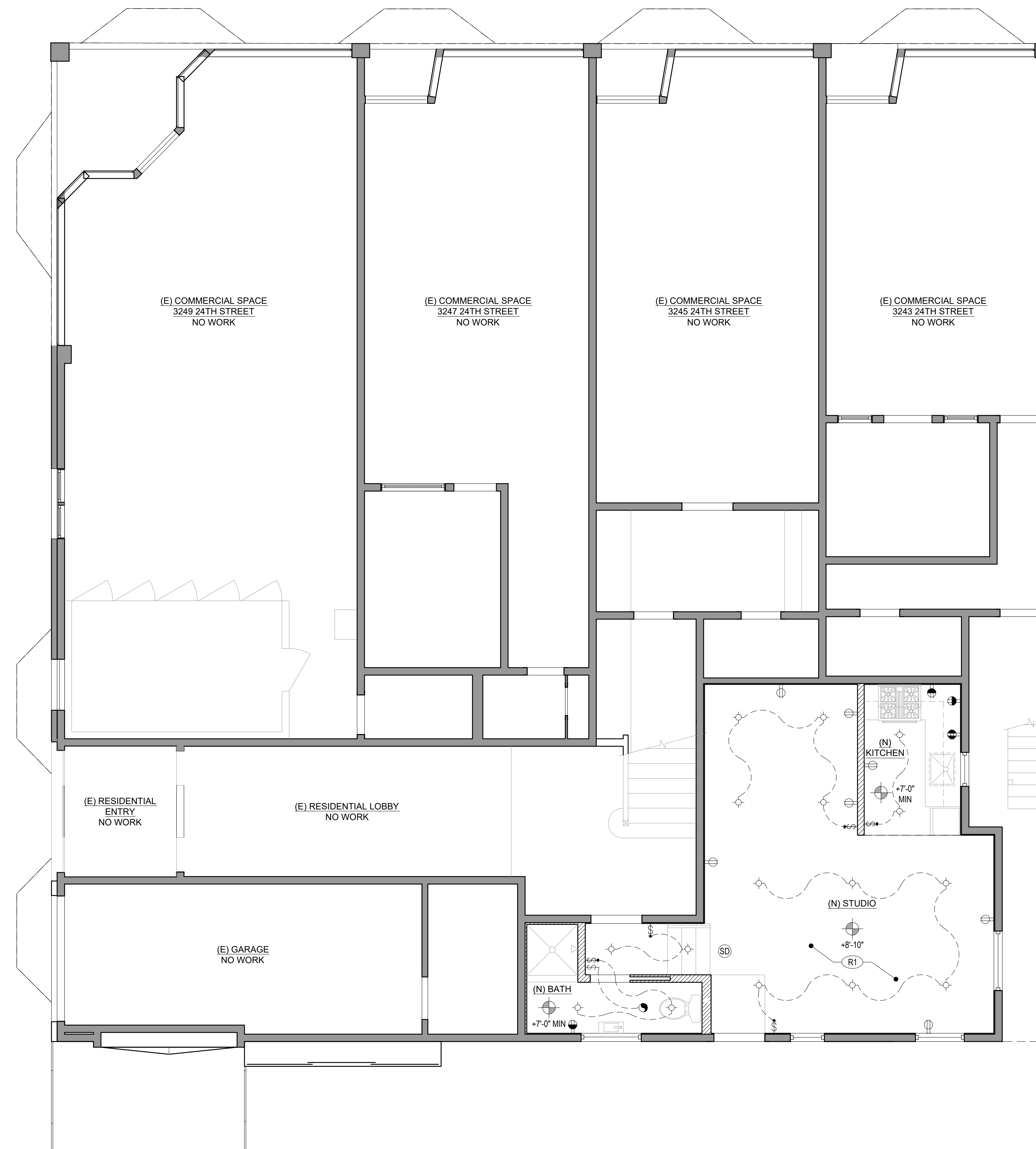
**RCP  
& POWER PLANS**

SCALE 1/4" = 1'-0"

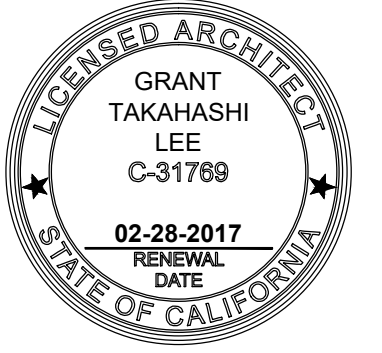
PROJECT NO. 1606

**A121**

SHEET



**1 | FIRST FLOOR: REFLECTED CEILING & POWER PLAN**  
SCALE: 1/4"=1'-0"



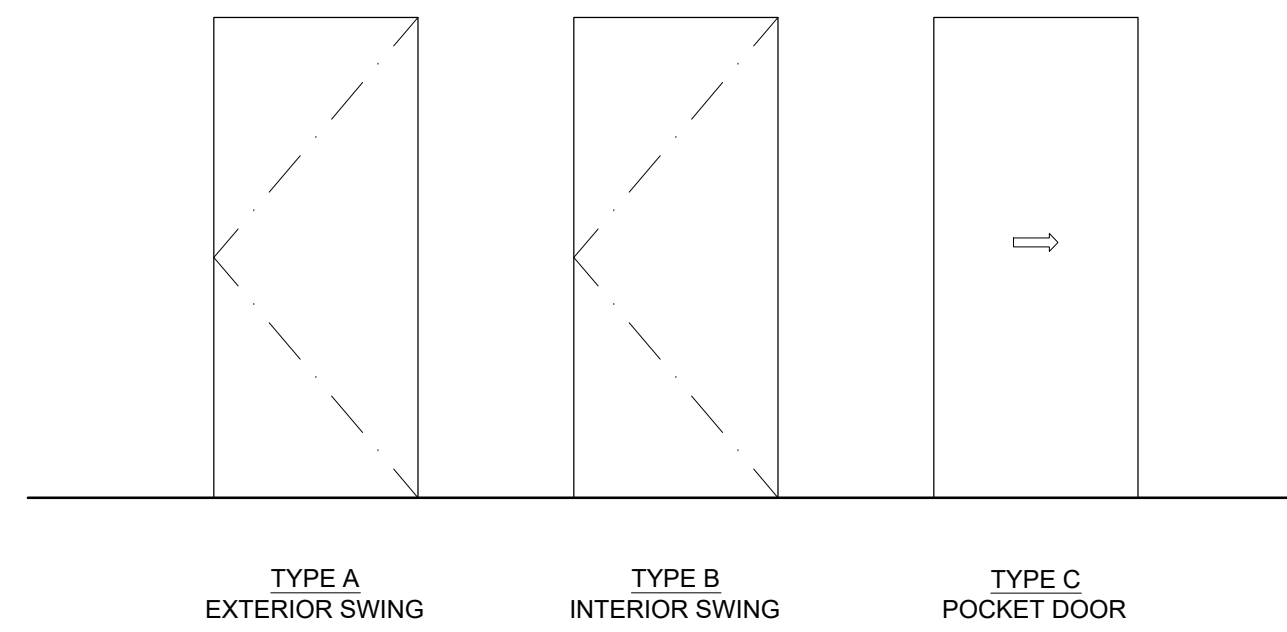
**DOOR SCHEDULE**

SYMBOL	DOOR						FRAME		COMMENTS
	TYPE	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	MATERIAL	FINISH	
(E)									--
(R)	A	3'-0"	6'-8"	1 3/8"	SOLID WOOD	PAINT	--	--	--
(1)	B	3'-0"	6'-8"	1 3/8"	SOLID WOOD	PAINT	--	--	--
(2)	C	2'-4"	6'-8"	1 3/8"	SOLID WOOD	PAINT	--	--	--

**DOOR NOTES:**

- HARDWARE ON RATED DOORS SHALL BEAR UL LABEL
- GENERAL CONTRACTOR TO PROVIDE CODE COMPLIANT SAFETY GLAZING WHERE REQUIRED.
- ALL FENESTRATION ON DOORS SHALL HAVE U-FACTORS AND SOLAR HEAT GAIN COEFFICIENT VALUES IN ACCORDANCE WITH T-24 ENERGY CALCULATIONS. ALL FENESTRATIONS MUST HAVE TEMPORARY & PERMANENT LABELS.
- GENERAL CONTRACTOR TO VERIFY SIZE OF DOORS TO FIT IN (E) OPENINGS.
- EXTERIOR DOORS TO BE GLAZED WITH DOUBLE PANE, LOW-E CLEAR GLASS WITH U.V. PROTECTION
- ALL EXTERIOR DOORS TO HAVE GALVANIZED SHEET METAL PAN FLASHING AND GALVANIZED METAL HEAD FLASHING, U.O.N.
- ALL EXTERIOR DOOR OPENINGS SHALL HAVE SELF-ADHERED FLASHING.
- ALL GAPS BETWEEN FRAMING AND EXTERIOR DOOR FRAMES TO BE FILLED WITH EXPANDING FOAM INSULATION
- ALL GLAZED EXTERIOR DOORS TO HAVE THERMAL SEAL GASKETING, U.O.N.
- ALL (N) DOORS SHALL HAVE (N) LEVER TYPE HARDWARE - LEVER SHALL BE CURVED WITH A RETURN TO WITHIN 1/2 INCH OF THE DOOR, U.O.N.

**DOOR TYPES**



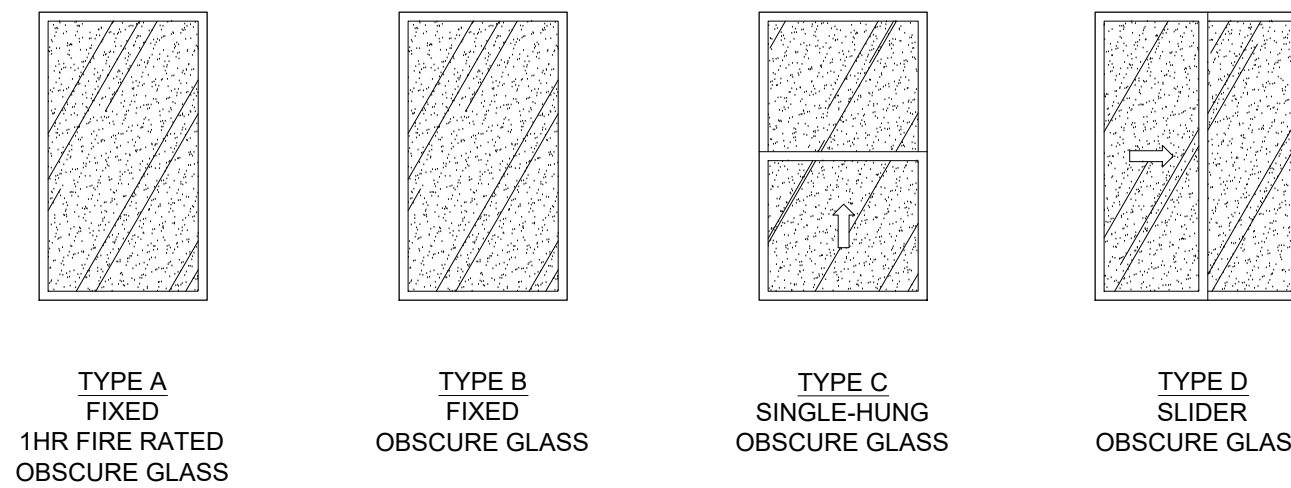
**WINDOW SCHEDULE**

SYMBOL	TYPE	W x H FRAME DIM. U.O.N.	HEAD HEIGHT A.F.F.	MATERIAL	INTERIOR FINISH	EXTERIOR FINISH	MANUFACTURER	COMMENTS
(1)	D	2'-0" x 2'-0"	6'-8", V.I.F.	VINYL	VINYL	VINYL	JELD WEN V-1500	LOW-E 272 OBSCURE GLAZING
(2)	A	3'-6" x 3'-6"	6'-0", V.I.F.	STEEL	STEEL	STEEL	--	OBSCURE GLASS
(3)	B	3'-0" x 3'-0"	7'-3", V.I.F.	VINYL	VINYL	VINYL	JELD WEN V-1500	LOW-E 272 OBSCURE GLAZING
(4)	C	2'-0" x 2'-0"	8'-0", V.I.F.	VINYL	VINYL	VINYL	JELD WEN V-1500	LOW-E 272 OBSCURE GLAZING
(5)	D	3'-10" x 3'-10"	7'-10", V.I.F.	VINYL	VINYL	VINYL	JELD WEN V-1500	LOW-E 272 OBSCURE GLAZING

**WINDOW NOTES:**

- ALL DIMENSIONS ARE FRAME DIMENSIONS U.O.N.
- SILL OR HEAD HEIGHTS GIVEN ARE TO WINDOW FRAME
- GENERAL CONTRACTOR TO PROVIDE CODE COMPLIANT SAFETY GLAZING WHERE REQUIRED
- SAFETY GLAZING SHALL BE INSTALLED WITHIN 60 INCHES OF A TUBISHOWER WHERE THE GLAZING IS LESS THAN 60 INCHES ABOVE THE ANY STANDING OR WALKING SURFACE.
- EMERGENCY EGRESS WINDOWS TO COMPLY WITH CBC 1029
- ALL FENESTRATION ON WINDOWS SHALL HAVE U-FACTORS AND SOLAR HEAT GAIN COEFFICIENT VALUES IN ACCORDANCE WITH T-24 ENERGY CALCULATIONS. ALL FENESTRATIONS MUST HAVE TEMPORARY & PERMANENT LABELS.
- GLAZING TO BE LOW E-SUN DEFENSE GLAZING, 0.32 U-FACTOR OR BETTER

**WINDOW TYPES**



**CAPP STREET**  
**ACCESSORY DWELLING UNIT**  
 905 CAPP STREET  
 SAN FRANCISCO, CA 94110

DRAWING ISSUANCE

PERMIT SET

DESCRIPTION	DATE
PERMIT SET	2016.06.10

TITLE

**SCHEDULES**

SCALE N.T.S.

PROJECT NO. 1606

**A901**

SHEET



**SAN FRANCISCO  
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

# NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, March 22, 2017**  
 Time: **Not before 9:30 AM**  
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**  
 Case Type: **Variance**  
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: <b>905 Capp Street</b>	Case No.: <b>2016-00716VAR</b>
Cross Street(s): <b>24<sup>th</sup> Street</b>	Building Permit: <b>2016.06.10.9680</b>
Block /Lot No.: <b>6518 / 027</b>	Applicant: <b>Grant T. Lee</b>
Zoning District(s): <b>24<sup>th</sup> Mission NCT / 55-X</b>	Telephone: <b>(415) 361-7641</b>
Area Plan: <b>Mission</b>	E-Mail: <b>grant@gtlarchitects.com</b>

## PROJECT DESCRIPTION

The proposed project is to add one Accessory Dwelling Unit at the ground floor level of an existing 3-story, 16 unit residential and commercial building.

**PER SECTION 140 OF THE PLANNING CODE** the subject property is required to have windows of each unit face directly on an open area no less than 25 feet in every horizontal direction, with an increase of 5 feet in every horizontal dimension at each subsequent floor immediately above. The dimensions of the open area may be reduced to 15 feet in width and depth for Accessory Dwelling Units. The subject property has no rear yard and a side setback that is 6'7" x 59'. The proposed Accessory Dwelling Unit will face onto that setback, which is less than the minimum 15 x 15 foot open area required for reduced dwelling unit exposure; therefore, thereby requiring an exposure variance.

## ADDITIONAL INFORMATION

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://notice.sfplanning.org/2016-00716VAR.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents

**FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:**

Planner: **Seema Adina** Telephone: **(415) 575-8722** E-Mail: [seema.adina@sfgov.org](mailto:seema.adina@sfgov.org)

# GENERAL INFORMATION ABOUT PROCEDURES

## HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

## BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311 or 312, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property.

## APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.