MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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ADD	REVIATIONS				
&	AND	FAU.	FORCED AIR UNIT	PLAM.	PLASTIC LAMINATE
@	AT	F.E.	FIRE EXTINGUISHER	PLYWD.	PLYWOOD
<u>ę̃</u>	CENTERLINE	F.E.C.	FIRE EXTINGUISHER CABINET	PR.	PAIR
±	PLUS OR MINUS	F.H.C.	FIRE HOSE CABINET	PT.	POINT
Ē.	PROPERTY LINE	FIN.	FINISH	PTN.	PARTITION
#	POUND OR NUMBER	FL.	FLOOR	R.	RISER
# A.F.F.	ABOVE FINISHED FLOOR	FLUOR.	FLUORESCENT	REF.	REFERENCE
A.i .i . AL.	ALUMINUM	F.O.C.	FACE OF CONCRETE	REF	
		F.O.C. F.O.F.	FACE OF CONCRETE	REQ.	REFRIGERATOR REQUIRED
ALUM.	ALUMINUM	-			
ANOD.	ANODIZED	F.O.P.	FACE OF PLYWOOD	R.F.P.	REINFORCED FIBERGLASS PANEL
APPROX.	APPROXIMATE	F.O.S.	FACE OF STUD	RM.	ROOM
A.R.	AS REQUIRED	FPL	FIREPLACE	R.O.	ROUGH OPENING
A.S.	ADJUSTABLE SHELVING	F.R.	FIRE RETARDANT OR FIRE RATED	S.	SOUTH
ARCH.	ARCHITECTURAL	FT.	FOOT OR FEET	S.C.D.	SEE CIVIL DRAWINGS
A/V	AUDIOVISUAL	FURR.	FURRING	SCHED.	SCHEDULE
BD.	BOARD	FUT.	FUTURE	SECT.	SECTION
BLDG.	BUILDING	F.V.	FIELD VERIFY	S.E.D.	SEE ELECTRICAL DRAWINGS
BLK.	BLOCK	GA.	GAUGE	SF	SQUARE FEET
BLKG.	BLOCKING	GALV.	GALVANIZED	S.I.D.	SEE INTERIOR DRAWINGS
B.O.	BOTTOM OF	GSM.	GALVANIZED SHEET METAL	SIM	SIMILAR
BTWN.	BETWEEN	G.C.	GENERAL CONTRACTOR	S.M.D.	SEE MECHANICAL DRAWINGS
CAB.	CABINET	GEN.	GENERAL	SPEC.	SPECIFICATION
CBC	CALIFORNIA BUILDING CODE	GWB	GYPSUM WALL BOARD	SQ.	SQUARE
CEC	CALIFORNIA ELECTRICAL CODE	GYP.	GYPSUM WALL BOARD	S.S.D.	SEE STRUCTURAL DRAWINGS
	CALIFORNIA FIRE CODE		HOSEBIB	S.S.D.	
CFC	CALIFORNIA FIRE CODE CALIFORNIA GREEN BUILDING	H.B.	ПОЭЕВІВ	ა.ა.	STAINLESS STEEL
CGC	STANDARDS CODE	H.C.	HANDICAPPED	STD.	STANDARD
CLG.	CEILING	H.M.	HOLLOW METAL	STL.	STEEL
CLKG.	CAULKING	HORIZ.	HORIZONTAL	STOR.	STORAGE
CLOS.	CLOSET	HR	HOUR	STRUCT.	STRUCTURAL
CLR	CLEAR	HT.	HEIGHT	T.	TREAD
CMC	CALIFORNIA MECHANICAL CODE	H.W.D.	HOT WATER DISPENSER	T.B.D.	TO BE DETERMINED
CMU	CONCRETE MASONRY UNIT	H.W.H.	HOT WATER HEATER	T&G	TONGUE AND GROOVE
C.O.	CLEANOUT	INSUL.	INSULATION	TEL.	TELEPHONE
COL.	COLUMN	INT.	INTERIOR	TEMP.	TEMPORARY
CONC.	CONCRETE	JAN.	JANITOR	THK.	THICK
CONN.	CONNECTION		JANITOR'S CLOSET	T.O.	TOP OF
CONSTR.	CONSTRUCTION	J.G. JT.	JOINT	T.O.S.	TOP OF SLAB
CONT.	CONTINUOUS	KIT.	KITCHEN	T.O.W.	TOP OF WALL
CORR.	CORRIDOR	LAM.	LAMINATE	TYP	TYPICAL
CPC	CALIFORNIA PLUMBING CODE	LAV.	LAVATORY	U.L.	UNDERWRITERS LABORATORY
CRC	CALIFORNIA RESIDENTIAL CODE	MAX	MAXIMUM	U.O.N.	UNLESS OTHERWISE NOTED
CTR.	CENTER	MDF	MEDIUM DENSITY FIBERBOARD	UTIL.	UTILITY
CTSK.	COUNTERSUNK	MECH.	MECHANICAL	VAR.	VARIES
DDI	DALIBLE	MEMB	MEMBRANE	VOT	VINIVI COMPOSITION THE

MEMBRANE

MEZZANINE

MANUFACTURER

MISCELLANEOUS

MASONRY OPENING

NOT IN CONTRACT

NOT TO SCALE

NOT IN CONTRACT

MOUNTING

MULLION

NEW

NORTH

NUMBER

NOMINAL

OVERALI

NOT TO SCALE

ON CENTER

O.F.S. OUTSIDE FACE OF STUD

METAL

MINIMUM

MOUNTED

MOUNTING

MULLION

NEW

NORTH

NUMBER NOMINAL

MET.

MEZZ.

MFR.

MTD.

MTG.

NOM.

N.T.S.

MUL.

NOM.

N.T.S.

O.A.

MUL.

V.C.T.

VERT.

V.I.F.

VOL.

WD.

WIN

W.O.

W/O

YD.

X OR x

VINYL COMPOSITION TILE

VERTICAL

VOLUME

WITH

WOOD

WEIGHT

YARD

WINDOW

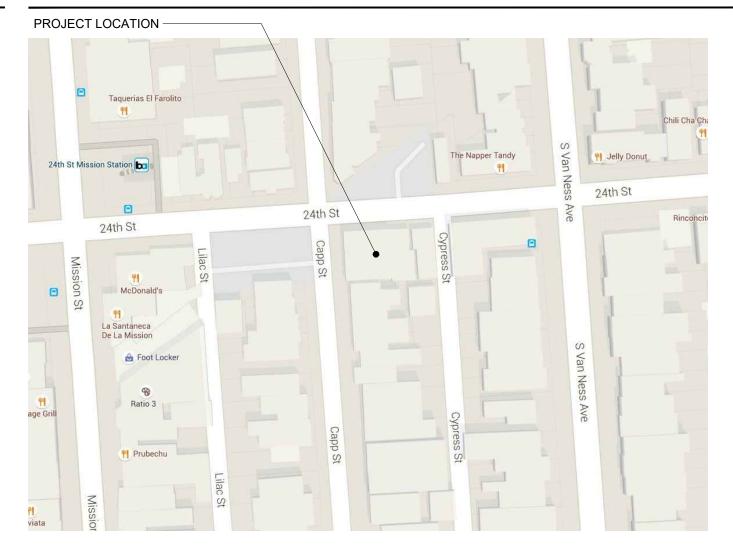
VERIFY IN FIELD

WEST OR WIDTH

WATER CLOSET

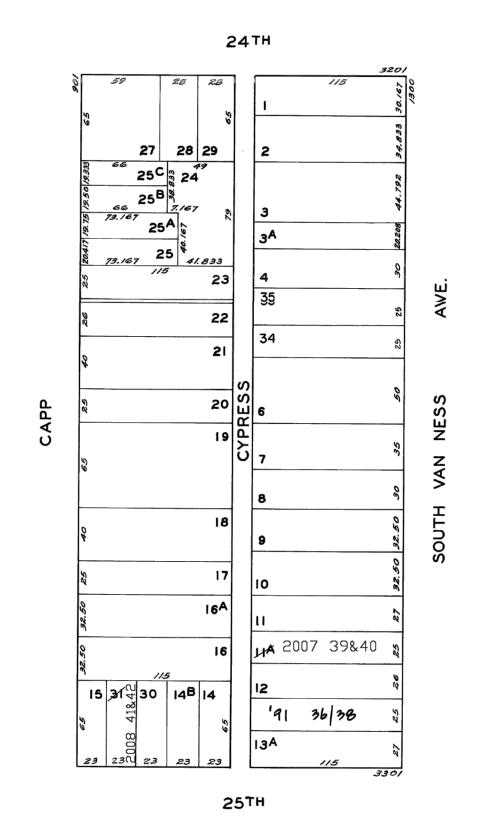
WHERE OCCURS WITHOUT

VICINITY MAP



PARCEL MAP

SCALE: N.T.S.



SYMBOLS

EXTR. EXTRUSION

F.A. FIRE ALARM

DOUBLE

DIA. OR Ø DIAMETER

DEPARTMENT

DOUBLE HUNG

DIMENSION

DISPENSER

DOWN

DOOR

DISHWASHER

DOOR OPENING

EXPANSION JOINT ELECTRICAL

ELECTRICAL PANEL BOARD

EMERGENCY

ENGINEER

EQUIPMENT

EXISTING

EXTERIOR

EQUAL

DOWNSPOUT

DRAWING

DRAWER

EAST

EACH

DRINKING FOUNTAIN

DBL.

DEPT.

DET.

DIM.

DW

DISP.

DWR.

E.J.

ELEC.

EMER.

ENGR.

EQPT

EXT.

D.F.

	CENTERLINE
A101-	DETAIL TAG — DETAIL NUMBER — SHEET NUMBER
(00)	DOOR TAG; SEE DOOR SCHEDULE
01	DOOR AND HARDWARE TAG; SEE DOOR SCHEDULE DOOR NUMBER HARDWARE NUMBER
D 01 B - C	ELEVATION — ELEVATION NUMBER — ELEVATION — SHEET NUMBER
+9'-0"	ELEVATION MARKER
<u>(01)</u>	EQUIPMENT TAG; SEE EQUIPMENT SCHEDULE
01	FINISH TAG; SEE FINISH SCHEDULE
<u></u>	FIXTURE TAG; SEE FIXTURE SCHEDULE
01	KEYNOTE
A1	PARTITION TYPE
	REVISION CLOUD AND REVISION NUMBER. RED OR BLACK INDICATES CURRENT REVISION SET. GRAY CLOUD INDICATES PRIOR REVISION.
OFFICE 101	ROOM TAG — ROOM NAME — ROOM NUMBER
01	WINDOW TAG; SEE WINDOW SCHEDULE
01 A101	SECTION — ELEVATION NUMBER — SHEET NUMBER

GENERAL CONDITIONS

- AIA DOCUMENT A201, GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, 2007 EDITION, ARE HEREBY INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS AND SHALL BE CONSIDERED PART OF THE REQUIREMENTS FOR THE COMPLETION OF THE WORK.
 THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE PROJECT PREMISES, AS WELL AS ADJACENT TENANT SPACES WHERE WORK MAY BE PERFORMED TO COMPLETE THE PROJECT PRIOR TO PROJECT
- COMMENCEMENT.

 3. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THE WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS, THE CONTRACTOR IS RESPONSIBLE FOR INFORMING THE ARCHITECT IN WRITING AND OBTAINING A CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH WORK IN QUESTION OR RELATED WORK. REQUESTS FOR ADDITIONAL CHARGES WILL NOT BE ENTERTAINED FOR THE CONTRACTOR'S FAILURE TO FORESEE MEANS OF
- STRUCTURES.

 4. THE CONTRACTOR SHALL EXECUTE WORK IN ACCORDANCE WITH ANY AND ALL APPLICABLE CODES, MANUFACTURERS' RECOMMENDATIONS, AND TRADE AND

INSTALLING EQUIPMENT INTO POSITION INSIDE

- REFERENCE STANDARDS.

 5. THE CONTRACTOR SHALL APPLY FOR, OBTAIN AND PAY FOR ALL LICENSES AND INSPECTIONS AS REQUIRED TO COMPLY WITH ALL CITY AND LOCAL CODES AND LAWS.
- NO WORK DEFECT IN CONSTRUCTION OR QUALITY, OR DEFICIENCY IN ANY REQUIREMENT OF THE CONSTRUCTION DOCUMENTS WILL BE ACCEPTABLE

- DESPITE THE ARCHITECT'S FAILURE TO DISCOVER OR INDICATE DEFECTS OR DEFICIENCIES PRIOR TO OR DURING CONSTRUCTION. DEFECTIVE WORK DISCOVERED WITHIN THE TIME REQUIRED BY GUARANTEES OR WARRANTEES SHALL BE REPLACED BY WORK CONFORMING WITH THE INTENT OF THE CONTRACT DOCUMENTS. NO PAYMENT, EITHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF THE DEFECTIVE WORK OR IMPROPER MATERIALS.
- 7. THE CONTRACTOR SHALL NOT BE RELIEVED OF ANY CONTRACTUAL RESPONSIBILITY RESULTING FROM ARCHITECT'S FAILURE TO DETECT SHOP DRAWINGS ERRORS AND OMISSIONS IN CONFLICT WITH THE CONSTRUCTION DOCUMENTS.
- 8. THE CONTRACTOR SHALL VERIFY THE LAYOUT AND EXACT LOCATION OF ALL PARTITIONS, DOORS, LIGHT FIXTURES, POWER & SIGNAL OUTLETS AND SWITCHES WITH ARCHITECT IN THE FIELD PRIOR TO PROCEEDING WITH CONSTRUCTION.
- CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING
 OF ANY DISCREPANCIES IN THE DRAWINGS-EITHER
 APPARENT OR NOT-OR BEAR THE COST OF PREPARING
 WORK NOT COMPLETED IN ACCORDANCE WITH THE
 INTENT OF THE DRAWINGS.
 DO NOT SCALE DRAWINGS; WRITTEN DIMENSIONS SHALL
- ELEVATIONS.

 11. PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNLESS OTHERWISE NOTED. MAINTAIN DIMENSIONS MARKED "CLEAR". ALLOW FOR THICKNESS OF FINISHES.

GOVERN. DETAILS SHALL GOVERN OVER PLANS AND

PROJECT TEAM

OWNER:
JOSEPH & DOMINIC GALU
3243 24TH STREET
SAN FRANCISCO CA 94110
PHONE: (650) 922-5472
EMAIL: JOEDI9@COMCAST.N

CONTRACTOR:

EMAIL: JOEDI9@COMCAST.NET, DTGALU@MSN.COM

ARCHITECT:
GRANT TAKAHASHI LEE ARCHITECTS
P.O. BOX 16721

SAN FRANCISCO CA 94116 CONTACT: GRANT LEE PHONE: (415) 361-7641 EMAIL: GRANT@GTLARCHITECTS.COM

APPLICABLE CODES

ALL WORK SHALL FULLY COMPLY BUT NOT BE LIMITED TO:

2013 CALIFORNIA BUILDING CODE
2013 CALIFORNIA ELECTRICAL CODE
2013 CALIFORNIA MECHANICAL CODE
2013 CALIFORNIA PLUMBING CODE
2013 GREEN BUILDING BUILDING STANDARDS CODE
2013 CALIFORNIA ENERGY CODE
2013 CALIFORNIA FIRE CODE

2013 SAN FRANCISCO BUILDING CODE AMENDMENTS 2013 SAN FRANCISCO ELECTRICAL CODE AMENDMENTS 2013 SAN FRANCISCO MECHANICAL CODE AMENDMENTS 2013 SAN FRANCISCO PLUMBING CODE AMENDMENTS 2013 SAN FRANCISCO FIRE CODE AMENDMENTS

(E) CURB CUT —

SAN FRANCISCO GREEN LANDSCAPING ORDINANCE

RELATED PERMITS

PLOT PLAN

SCALE: 3/32"=1'-0"

APPROVED PA# 201603283235 & 201603283238 (SEISMIC RETROFITTING)

PROJECT DATA

ADDRESS: 905 CAPP STREET
SAN FRANCISCO, CA 94110

<u>BLOCK/LOT:</u> 6518/027 <u>YEAR BUILT:</u> 1926

STORIES: 3

ZONING: NCT - 24TH-MISSION NEIGHBORHOOD COMMERCIAL TRUST

CONSTRUCTION TYPE: V-B (NO CHANGE)

FULLY SPRINKLERED: NO

EXISTING OCCUPANCY:
RESIDENTIAL & MERCANTILE (NO CHANGE)

PROPOSED OCCUPANCY:
RESIDENTIAL & MERCANTILE (NO CHANGE)

EXISTING USE: R-2 APARTMENT & RETAIL (NO CHANGE)

PROPOSED USE: R-2 APARTMENT & RETAIL (NO CHANGE)

EXISTING RESIDENTIAL UNITS: 12

AREA OF WORK: 400 SF

SCOPE OF WORK

PROPOSES TO ADD AN ACCESSORY DWELLING UNIT WITHIN THE EXISTING BUILDING ENVELOPE ON THE FIRST FLOOR WITH A NEW BATHROOM, KITCHEN AND LIVING SPACE

DEFERRED SUBMITTALS

DEFERRED SUBMITTALS (DESIGN/BUILD) MAY INCLUDE, BUT NOT LIMITED TO THE FOLLOWING:

(E) FIRE ESCAPE

(E) LIGHTWELL -

EXISTING SUBJECT BUILDING

(E) ROOF NO WORK

(E) PROPERTY LINE 59'

(E) 2-STORY BUILDING

— (E) FIRE ESCAPE

- MECHANICAL
 ELECTRICAL
- ELECTRICALPLUMBING

(E) STREET TREE -

—(E) FIRE ESCAPE

(E) LIGHTWELL -

- FIRE ALARM AND/OR LIFE SAFETY
- AUTOMATIC SPRINKLERS (AS REQUIRED)

DRAWING INDEX

INCLUDED INCLUDED AND REVISED

24TH STREET

(E) STAIR DOWN

— (E) 6'-7" SIDE SETBACK

						_
		DATED	16.06.10			
		REV.				
		ш				
			SET			
			PERMIT			
			ЫE			
	ARCHITECTURAL					
A001	COVER SHEET					
A002	ATTACHMENT C7 RESIDENTIAL ADD. & ALTERATIONS					
A003	SF INSPECTION FORMS: BUILDING & ELEC.					
A004	SF INSPECTION FORMS: PLUMBING					
T24A	TITLE 24					
T24B	TITLE 24					
A101	1F: EXISTING & DEMOLITION PLAN					
A102	2F: EXISTING PLAN (NO WORK)					
A103	3F: EXISTING PLAN (NO WORK)					
A104	ROOF: EXISTING PLAN (NO WORK)					
A111	CONSTRUCTION PLAN					
A121	RCP & POWER PLANS					
A901	SCHEDULES					
						 L

ARCHITECT



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PROFESSIONAL SEAL



CAPP STREET ACCESSORY DWELLING UNIT 905 CAPP STREET SAN FRANCISCO, CA 94110

DRAWING ISSUANCE

PERMIT SET

DESCRIPTION	DATE
PERMIT SET	2016.06.

COVER SHEET

SCALE N.T.S.

PROJECT NO. 1606

A O O A

SHEET

City and County of San Francisco Green Building Submittal: Residential Additions and Alterations

REQUIREMENTS

'he following items are required for all additions and alterations to residential occupancy which increase conditioned area, volume, or size of a residential building. Requirements apply only to areas and systems within the scope of addition and alteration, with the exception of "Existing Noncompliant Plumbing Fixtures" (below). An abbreviated summary of each requirement is included for reference. To determine if this form is appropriate for a project, see Administrative Bulleting 93, Attachment A, Table 1. Projects required to meet a LEED standard must use C-3 "Submittal for LEED Projects", and projects required to meet GreenPoint Rated must use the C-4 "Submittal for GreenPoint Rated Projects." Projects seeking certification may use the C-3 "Submittal for LEED Projects" or C-4 "Submittal for GreenPoint Rated" as alternatives to this form.

Construction and Demolition Debris: 100% of mixed debris must be transported by a registered hauler to a registered facility and be processed for recycling, in compliance with the San Francisco Construction & Demolition Debris Ordinance (San Francisco Building Code Chapter 13B and Environment Code Chapter 14)

Recycling by Occupants: Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials. - See Administrative Bulletin 088.

Water Efficient Irrigation: Projects that include ≥ 1,000 square feet of new or modified landscape must comply with the San Francisco Water Efficient Irrigation Ordinance. (See www.sfwater.org/landscape)

Stormwater Control Plan: Projects disturbing ≥ 5,000 square feet must implement a Stormwater Control Plan meeting SFPUC Stormwater Design Guidelines. (See www.sfwater.org/sdg)

Grading and paving: Construction plans shall indicate how the site grading or drainage system will manage surface water flows to keep water from entering the building, such as swales, drains, or water retention gardens. (CalGreen 4.106.3)

Smart Irrigation Controller: Automatically adjust irrigation based on weather and soil moisture. Controllers must have either an integral or separate rain sensors that connects or communicates with the controller. (CalGreen 4.304.1

Indoor Water Efficiency: Install water-efficient fixtures and fittings as summarized in CalGreen 4.303 (See "Indoor Water Efficiency" at left.) Replace all noncompliant fixtures in project area (CalGreen 3.301.1.1, San Francisco Housing Code 12A)

Energy Efficiency: Comply with California Energy Code (Title 24, Part 6 2013)

Rodent Proofing: Annular spaces around pipes, electric cables, conduits, or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing with cement mortar, concrete masonry, or a similar method acceptable to the San Francisco Department of Building Inspection. (CalGreen 4.406.1)

Moisture content: Verify wall and floor framing shall be verified to not exceed 19% moisture content prior to enclosure as detailed below. Materials with visible signs of moisture damage shall not be installed. (CalGreen 4.505.3) 1) Moisture content shall be determined with either a probe-type or a contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements in Section 101.8 2) Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade-stamped end of each piece to be verified.

3) At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing. Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Manufacturers' drying recommendations shall be followed for wet-applied insulation products prior to enclosure

Capillary break for concrete slab on grade: Concrete slab on grade foundations required to have a vapor retarder must also have a capillary break, including at least one of the following: (CalGreen 4.505.2) 1) A 4-inch (101.6 mm) thick base of 1/2-inch (12.7 mm) or larger clean aggregate shall be provided with a vapor retarder in direct contact with concrete and a concrete mix design which will address bleeding, shrinkage and curling shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06. 2) A slab design specified by a licensed design professional.

Fireplaces and woodstoves: Install only direct-vent or sealed-combustion appliances; comply with US EPA Phase II limits. (CalGreen 4.503.1)

Design and Install HVAC System to ACCA Manual J, D, and S (CalGreen 4.507.2)

HVAC Installer Qualifications: HVAC system installers must be trained and certified in the proper installation of HVAC systems, such as via a state certified apprenticeship program, public utility training program (with certification as installer qualification), or other program acceptable to the Department of Building Inspection. (CalGreen 702.1)

Covering duct openings and protecting mechanical equipment during construction: Duct openings and other air distribution component openings shall covered during all phases of construction with tape, plastic, sheetmetal, or other acceptable methods to reduce the amount of water, dust, and debris entering the system. (CalGreen 4.504.1)

ENERGY STAR Compliant Bathroom exhaust fans: Must be ENERGY STAR compliant, ducted to terminate outside the building, and controlled by humidistat capable of adjustment between relative humidity of less than 50% to maximum of 80%. Humidity control may be a separate component from the exhaust fan. (CalGreen 4.506.1)

Carpet: All carpet must meet one of the following: (CalGreen 4.504.3)

- 1. Carpet and Rug Institute Green Label Plus Program,
- 2. California Department of Public Health Standard Practice for the testing of VOCs (Specification 01350),
- 3. NSF/ANSI 140 at the Gold level.
- 4. Scientific Certifications Systems Sustainable Choice, OR
- 5. California Collaborative for High Performance Schools EQ 2.2 and listed in the CHPS High Performance Product Database

AND carpet cushion must meet Carpet and Rug Institute Green Label, AND indoor carpet adhesive & carpet pad adhesive must not exceed 50 g/L VOC content.

Resilient flooring systems: For 80% of floor area receiving resilient flooring, install resilient flooring complying with (CalGreen 4.504.4):

- 1. Certified under the Resilient Floor Covering Institute (RFCI) FloorScore program,
- 2. Compliant with the VOC-emission limits and testing requirements of California Department of Public Health 2010 Standard Method for the Testing and Evaluation Chambers v.1.1,
- 3. Compliant with the Collaborative for High Performance Schools (CHPS) EQ2.2 and listed in the CHPS High Performance Product Database, OR
- 4. Certified under the Greenguard Children & Schools Program to comply with California Department of Public Health criteria.

Composite wood products: Hardwood plywood, particleboard, and medium density fiberboard composite wood products used on interior or exterior shall meet CARB Air Toxics Control Measure for Composite Wood. See CalGreen Table 4.504.5.

Interior paints and coatings: Comply with VOC limits in the Air Resources Board Architectural Coatings Suggested Control Measure and California Code of Regulations Title 17 for aerosol paints. See CalGreen Table 4.504.3.

Low-VOC aerosol paints and coatings: Meet BAAQMD VOC limits (Regulation 8, Rule 49) and Product-Weighted MIR Limits for ROC. (CalGreen 4.504.2.3.)

Low VOC Caulks, Construction adhesives, and Sealants: Meet SCAQMD Rule 1168. See CalGreen Tables 4.504.1 and 4.504.2. (CalGreen 4.504.2.1)

INDOOR WATER USE

All fixtures must not exceed the following flow rates (CalGreen Section 4.303.1):

Fixture Type	Maximum Prescriptive Flow Rate	Referenced Standard from California Plumbing Code Table 1401.1
Showerheads ²	2.0 gpm @ 80 psi per valve and per showerhead²	n/a
Lavatory faucets - residential	1.5 gpm @ 60 psi	n/a
Lavatory faucets - common and public use areas	0.5 gpm @ 60 psi	n/a
Metering faucets	.25 gallons/cycle	ASME A112.18.1/CSA B125.1
Kitchen faucets	1.8 gpm @ 60 psi default, allowed to temporarily increase to 2.2 gpm	n/a
Tank-type water closets	1.28 gallons/flush¹ and EPA WaterSense Certified	U.S. EPA WaterSense Tank-Type High-Efficiency Toilet Specification
Flushometer valve water closets	1.28 gallons/flush1	ASME A112.19.2/CSA B45.1 - 1.28 ga
Urinals	0.5 gallons/flush	ASME A112.19.2/CSA B45.1 - 0.5 ga

For dual flush toilets, effective flush volume is defines as the average volume of two reduced flushes and one full flush. The referenced standard is ASME 112.19.14 and USEPA WaterSense Tank-Type High Efficiency Toilet Specification - 1.28 gal (4.8 L).

The combined flow rate of all showerheads in one shower stall not exceed the maximum flow rate for one showerhead, or the shower shall be designed to allow only one showerhead to be in operation at a time. (CalGreen 4.303.1.3)

EXISTING NONCOMPLIANT PLUMBING FIXTURES

All fixtures that are not compliant with the San Francisco Residential Water Conservation Ordinance that serve or are located within the project area must be replaced with fixtures or fittings meeting the maximum flow rates and standards at left. For more information, see the DBI brochure, "San Francisco's Residential Energy and Water Conservation Requirements", available at SFDBI.org, and also see the "Residential Water Conservation" section of the SFPUC website - SFWATER.org.

Noncompliant plumbing fixtures include:

- Any toilet manufactured for use more than 1.6 gallons of water per flush.
- Any urinal manufactured for use more than 1 gallon of water per flush.
- Any showerhead manufactured to have a flow capacity of more than 2.5 gallons of water per minute.
- Any interior faucet that emits more than 2.2 gallons of water per minute.

Exceptions to this requirement are limited to situations where replacement of fixture(s) would detract from the historic integrity of the building, as determined by the Department of Building Inspection pursuant to San Francisco Building Code Chapter 13A.

VERIFICATION

Indicate below who is responsible for ensuring green building requirements are met. Projects that increase total conditioned floor area by ≥1,000 square feet are required to have a Green Building Compliance Professional of Record as described in Administrative Bulletin 93. For projects that increase total conditioned floor area by <1,000 square feet, the applicant or design professional may sign below, and no license or special qualifications are required.

FINAL COMPLIANCE VERIFICATION form will be required prior to Certificate of Completion.

CAPP STREET - ACCESSORY DWELLING UNIT

Project Name

6518 / 027

Block/Lot

905 CAPP STREET, SAN FRANCISCO CA 94110

Address

RESIDENTIAL & MERCANTILE

Primary Occupancy

Gross Building Area

Increase In Conditioned Floor Area

I will assure that approved construction documents and construction fulfill the requirements of San Francisco Green Building Code. It is my professional opinion that the requirements of the San Francisco Green Building Code will be met. I will notify the Department of Building Inspection if the project will, for any reason, not substantially comply with these requirements, if I am no longer the Green Building Compliance Professional of Record for the project, or if am otherwise no longer responsible for assuring the compliance of the project with the San Francisco Green Building Code.

Licensed Professional: Sign & Date

(May be signed by the applicant when less than 1,000 square feet is added.)

Affix professional stamp:



Projects that increase total conditioned floor area by ≥1,000 square feet:

The Green Building Compliance Professional of Record for this project is:

Green Building Compliance Professional - Name and Contact Phone Number

Green Building Compliance Professional - Firm

- I am a LEED Accredited Professional
- □ I am a GreenPoint Rater
- □ I am an ICC Certified CalGreen Inspector

Green Building Compliance Professional - Sign & Date

Signature by a professional holding at least one of the above certifications is required. If the Licensed Professional does not hold a certification for green design and/or inspection, this section may be completed by another party who will verify applicable green requirements are met.

ARCHITECT



PROFESSIONAL SEAL



STREET SISCO, CA

DRAWING ISSUANCE

PERMIT SET

DESCRIPTION	DATE
PERMIT SET	2016.06.1

ATTACHMENT C-7 RESIDENTIAL ADD. **& ALTERATIONS**



Edwin M. Lee, Mayor Tom C. Hui, S.E., C.B.O., Director

NOTICE

TITLE-24 ENERGY INSPECTION REQUIREMENTS LOW-RISE RESIDENTIAL (BUILDING)

Please note that Certificates of Installation and/or Verification are required for this project, as indicated on this form issued with this permit. Ensuring the accurate completion of this documentation is the direct responsibility of the engineer/architect of record. This documentation is required in addition to the called inspections performed by the Department of Building Inspection.

For questions regarding the details or extent of required documentation or testing, and if there are any field problems regarding documentation or testing, please call your District Building Inspector of 415-558-6570.

Before final building inspection is scheduled, documentation of energy compliance "Certificate of Installation, Acceptance, and Verification" must be completed and signed by the responsible person in charge. The permit will not be finalized without compliance with the energy inspection requirements.

Energy Inspection Services Contact Information

- Telephone: (415) 558-6132
- Fax: (415) 558-6474
- Email: dbi.energyinspections@sfgov.org

In person: 3rd floor at 1660 Mission St.

inspection submittals, including final letters, may be emailed (preferred) or faxed. We will also be shifting to a paperless fax receipt mode.

Note: We are moving towards a 'paperless' mode of operation. All special

Installation and Verification certificates can be found on the California Energy Commission website at http://energy.ca.gov/title24/2013standards/

Information Sheet M-06 provides submittal instructions for the Title-24 Installation, verification, and acceptance energy certificates. M-06 may be found on the SFDBI website at http://sfdbi.org/information-sheets

> **Energy Inspection Services** 1660 Mission Street-San Francisco CA 94103 Office (415) 558-6132 - FAX (415) 558-6474 - www.sfgov.org/dbi (website)

Attachment RB

TITLE-24 LOW-RISE RESIDENTIAL ENERGY INSPECTION (BUILDING) A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED DRAWING SET

JOB ADDRESS 905 CAPP STREET APPLICATION NO.

ENGINEER/ARCHITECT/DESIGNER NAME GRANT TAKAHASHI LEE

Ensuring the completion of installation documentation as well as the required acceptance/verification testing is the direct responsibility of the undersigned. Installation documentation must be completed by the contractor performing

In accordance with the requirements of the 2013 California Energy Code, the following documentation is required for the

- CF2R ENV-20a-H HERS Building Envelope Air Leakage Single
- Point Test with Automatic Meter (IB6)

 [] CF2R ENV-20c-H HERS Building Envelope Air Leakage Multi Point
- [] CF2R ENV-20d-H HERS Building Envelope Air Leakage Repeated
- [] CF2R ENV-22-H HERS High Quality Insulation Installation (QII)
- Ceiling/Roof Deck (IB38) [] CF2R ENV-23-H HERS - High Quality Insulation Installation (QII)
- Insulation (IB11)
 [] CF2R ENV-24-H HERS—High Quality Insulation Installation (QII) Framing Stage for SIP and [CF (IB39)
-] CF2R-MCH-01a-E Space conditioning systems ducts and fans
- Performance (IB12) CF2R-MCH-01b-E Space conditioning systems ducts and fans Prescriptive (IB40)
 [] CF2R-MCH-01c-E Space conditioning systems ducts and fans
- Prescriptive Newly Constructed Buildings (IB41)
 [] CF2R-MCH-02-E Non HERS -- Whole house fan (IB13)] CF2R-MCH-20a-H HERS » Duct Leakage « New Systems (IB14)
- [] CF2R-MCH-20b-H HERS Duct Leakage Low Leakage Ducts in Conditioned Space (compliance credit) (IB15)
- [] CF2R-MCH-20c-H HERS-Duct Leakage Low Leakage Air-Handling Units (IB16)
- [] CF2R-MCH-20d-H HERS Duct Leakage Altered System (IB17)
- [] CF2R-MCH-20e-H HERS Duct Leakage Scaling All Accessible
- [] CF2R-MCH-21-H HERS = Duct Location Verification (compliance [] CF2R-MCH-22a-H HERS Forced Air System Fan Efficacy
- All Zones Calling (IB19)
 [] CF2R-MCH-22b-H HERS Forced Air System Fan Efficacy Every Zonal Control Mode (1843)

the installation. Verification testing must be completed by a certified HERS rater.

building elements in this project

1. Installation

- J CF2R-MCH-23a-H HERS Forced Air System Airflow Rate All Zones Calling (IB20) J CF2R-MCH-23b-H HERS Forced Air System Airflow Rate CF2R ENV-01-E Non HERS = Fenestration & Site built Fenestration
- I) CF2R ENV-02-E Non HERS Envelope Air Sealing Requirements Every Zonal Confrol (IB44)

 CF2R-MCH-23c-I | HERS - Forced Air System Airflow Rate (IB2) [1] CF2R ENV-03-E Non HERS—insulation installation (IB3) CF2R ENV-04-E Non HERS - Roofing; Radiant Barrier (IB4)
- Alternative Compliance (IB45)

 11 CF2R MCH 23d H HERS Forced Air System Airflow Rate Measurement Only (1846) 1 CF2R MCH 24a-H HERS—Building Envelope Air Leakage Single-Point Test with Manual Meter (1847) Point Test with Manual Meter (IB5).

 [] CF2R ENV-20b-H HERS Building Envelope Air Leakage Single CF2R MCH 24b-H HERS - Building Envelope Air Leakage
 - CF2R MCH 24b-H HERS—Building Envelope Air Leakage Single-Point Test with Automatic Meter (IB48)

 CF2R MCH-24c-H HERS—Building Envelope Air Leakage Multi-Point Test(IB49)

 CF2R MCH-24d-H HERS—Building Envelope Air Leakage Repeated Single Point with Manual Meter (IB50)

 CF2R-MCH-24e-H HERS—Building Envelope Air Leakage
- Single Point with Manual Meter (IB8)

 [] CF2R ENV-20e-H HERS Building Envelope Air Leakage Repeated Single Point with Automatic Meter (IB9)

 [] CF2R ENV-21-H HERS High Quality insulation installation (QII) Framing Stage for Batt, Loose FIII, and SPF (IB10) Repeated Single Point with Automatic Meter(IB51) CF2R-MCH-25a-H HERS - Refrigerant Charge Verification -
 - [] CF2R MCH-25b-H HERS Refrigerant Charge Verification -[] CF2R-MCH-25c-H HERS - Refrigerant Charge Verification - Weigh-in
 - [] CF2R-MCH-25d-H HERS Refrigerant Charge Verification Charge Indicator Display (CID) (IB24)

 CF2R-MCH 25e-H HERS - Refrigerant Charge Verification - Winter Setup for Standard Charge Verification (IB25)
 - CF2R-MCH-25f-E Retrigerant Charge Verification New package unit with factory charge (IB26) [] CF2R-MCH-26-H HERS Verified EER or SEER (IB27) ☐ CF2R MCH-27a-H HERS - Mechanical Ventilation - Continuous Whole-Building Mechanical Ventilation Airflow - Fan Vent Rate
 - J CF2R-MCH-27b-H HERS Mechanical Ventilation Continuous Whole-Building Mechanical Ventilation Airflow Total Vent Rate Method (IB29) Method (IB28)
 - 11 CF2R-MCH-27c-FI HERS Mechanical Ventilation Intermittent Whole-Building Mechanical Ventilation Airflow - Fan Vent Rate
 - Method (IB30) [] CF2R-MCH-27d-H HERS – Mechanical Ventilation – intermittent Whole-Building Mechanical Ventilation Airflow – Total Vent Rate

CF2R-MCH-28-H HERS Return Duct And Filter Design (IB31) CF2R-MCH-29-H HERS - Buried Ducts and Deeply Buried Ducts

City and County of San Francisco Department of Building Inspection



Edwin M. Lee, Mayor Tom C. Hul, S.E., C.B.O., Director

NOTICE

TITLE-24 ENERGY INSPECTION REQUIREMENTS

LOW-RISE RESIDENTIAL (ELECTRICAL)

Please note that Certificates of Installation and/or Verification are required for this project, as indicated on this form issued with this permit. Ensuring the accurate completion of this documentation is the direct responsibility of the engineer/architect of record. This documentation is required in addition to the called inspections performed by the Department of Building Inspection.

For questions regarding the details or extent of required documentation or testing, and if there are any <u>field</u> problems regarding documentation or testing, please call your District Electrical Inspector or 415-558-6570.

Before final electrical inspection is scheduled, documentation of energy compliance "Certificate of Installation, Acceptance, and Verification" must be completed and signed by the responsible person in charge. The permit will not be finalized without compliance with the energy inspection requirements.

Energy Inspection Services Contact Information

- Telephone: (415) 558-6132
- (415) 558-6474 Fax: Email:
- dbi.energyinspections@sfgov.org In person: 3rd floor at 1660 Mission St.

Note: We are moving towards a 'paperless' mode of operation. All special inspection submittals, including final letters, may be emailed (preferred) or faxed. We will also be shifting to a paperless fax receipt mode.

Installation and Verification certificates can be found on the California Energy Commission website at http://energy.ca.gov/title24/2013standards/

Information Sheet M-06 provides submittal instructions for the Title-24 installation, verification, and acceptance energy certificates. M-06 may be found on the SFDBI website at http://sfdbi.org/information-sheets

> Energy Inspection Services 1660 Mission Street-San Francisco CA 94103 Office (415) 558-6132 - FAX (415) 558-6474 - www.sfgov.org/dbi (website)

City and County of San Francisco Department of Building Inspection

Ceiling/Roof Deck (VB34)

Every Zonal Control Mode (VE37)

Every Zonal Control (VB38)

[] CF3R-MCH-23a-H HERS - Forced Air System Airflow Rate

All Zones Calling (VB14)

[] CF3R-MCH-23b-H HERS - Forced Air System Airflow Rate

[] CF3R-MCH-23c-H HERS Forced Air System Airflow Rate

sulation (VB7)

| CF3R ENV-20a-H HERS - Building Envelope Air Leakage Single Point Test with Manual Meter (VB1)
| CF3R ENV-20b-H HERS - Building Envelope Air Leakage Single Point Test with Automatic Meter (VB2)

[] CF3R ENV-20c-H HERS - Building Envelope Air Leakage Multi Point

[] CF3R ENV-20d-H HERS = Building Envelope Air Leakage Repeated Single Point with Manual Meter (VB4)
 [] CF3R ENV-20e-H HERS = Building Envelope Air Leakage Repeated

Single Point with Automatic Meter (VB5)

[] CF3R ENV-21-H HERS - High Quality Insulation Installation (QII)

Framing Stage – wood frame (VB6)
[] CF3R ENV-22-H HERS - High Quality Instillation Installation (QII).

[] CF3R ENV-23-H HERS.- High Quality Insulation Installation (QII)

[] CF3R ENV-24-H HERS Fligh Quality Insulation Installation (QII)

Framing Stage – SIP and ICF (VB35) [] CF3R-MCH-20a-H HERS - Duct Leakage - New Systems (VBt

[] CF3R-MCH-20b-H HERS: Duct Leakage Low Leakage Ducts in Conditioned Space (compliance credit) (VB9)
[] CF3R-MCH-20c-H HERS - Duct Leakage - Low Leakage Air-Handling Units (VB10)

2. Verification



Edwin M. Lan May Tom C. Hui, S.E.

Tom G. Hui, S.E., C.B.O., Director	
CF3R-MCH-24a H HFRS — Building Envelope Air Leakage Single-Point Test with Manual Meter (VB41) CF3R-MCH-24b H HFRS — Building Envelope Air Leakage Single-Point Test with Automatic Meter (VB42)	
[] CF3R-MCH 24c-H HERS = Building Envelope Air Leakage	GRANT TAKAHASHI LEE
Multi-Point Test (VB43) [1] CF3R-MCH-24d-H HERS – Building Envelope Air Leakage Repeated Single-Point with Manual Meter (VB44):	ARCHITECTS
 CF3R-MCH-24e-H HERS – Building Envelope Air Leakage Repeated Single-Point with Automatic Meter (VB45) 	ALL PRODUCTION & INTELLECTUAL PROPERTY RIGHTS RESERVED © 2016
[] CF3R-MCH-25a-H HERS - Refrigerant Charge Verification -	PROFESSIONAL SEAL

GRANT

TAKAHASHI

LEE

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PERMIT SET

DATE

2016.06.10

ARCHITECT

CF3R-MCH-25a:H_FIERS - Refrigerant Charg Superheat Method (VB15) CF3R-MCH-25b-H HERS - Refrigerant Charge Verification -J CF3R-MCH-25c-H HERS - Refrigerant Charge Verification - Weigh-in

CF3R-MCH 25d H. HERS - Refrigerant Charge Verification - Charge Indicator Display (CID) (VB18)

CF3R-MCH-25e-H HERS - Refrigerant Charge Verification - Winter Setup for Standard Charge Verification (VB19)

[] CF3R-MCH-20d-H HERS - Duct Leakage - Altered System (VB11) [] CF3R MCH-26-H HERS - Verified EER or SEER (VB21)] CF3R-MCH-27a-H HERS - Mechanical Ventilation - Continuous Whole Building Mechanical Ventilation Airflow - Fan Vent Rate [] CF3R-MCH-20e-H HERS - Duct Leakage - Sealing All Accessible viethod (VB22) I CF3R-MCH-27b-H HERS - Mechanical Ventilation - Continuous [] CF3R-MCH-21-H HERS - Duct Location Verification (compliance Whole-Building Mechanical Ventilation Airflow Total Vent Rate

Method (VB23) [1] CF3R-MCH-27c-H. HERS - Mechanical Ventilation - Intermittent Whole-Building Mechanical Ventilation Airflow - Fan Vent Rate [] CF3R-MCH-22a-H HERS - Forced Air System Fan Efficacy All Zones Calling (VB13) Vethod (VB24) CF3R-MCH-27d-H: HERS Mechanical Ventilation - Intermittent [1 CF3R-MCH-22b-H HERS > Forced Air System Fan Efficacy

Whole-Building Mechanical Ventilation Airflow - Total Vent Rate Vethod (VB46) [] CF3R-MCH-28-H HERS - Return Duct And Filter Grille Design

[1] CF3R-MCH-29-H HERS - Supply Duct Surface Area and R-Value; Buried Ducts; Deeply Buried Ducts (VB27)

Alternative Compliance (VB39)

[] CF3R-MCH-23d-H HERS - Forced Air System Airflow Rate Measurement Only (VB40) Date 6/10/2016 GRANT TAKAHASHI LEE Prepared by: Required information: GRANT@GTLARCHITECTS.COM Phone (415) 558-

DBI Engineer or Plan Checker APPROVAL (Based on submitted reports)

DBI Building Inspector or Energy Inspection Services Staff

QUESTIONS ABOUT TITLE-24 ENERGY INSPECTION SHOULD BE DIRECTED TO: Energy Inspection Services (415) 558-6132; or, dbi.energyinspections@stgov.org; or FAX (415) 558-6474

Attachment RE

TITLE-2	4 LOW RISE RI	ESIDENTIAL	. ENERGY	INSPECTIO	N (ELECTR	ICAL)
	COPY OF THIS DOCU					
ADDRESS	905 CAPP STREET	« APPU	CATION NO	iā	######################################	DUM NG

ENGINEER/ARCHITECT/DESIGNER NAME_	GRANT TAKAHASHI LEE	PHONE NO. (415)	361-7641
Ensuring the completion of installation do direct responsibility of the undersigned. In the installation. Verification testing must be	nstallation documentation must	be completed by the contract	n testing is the ctor performing

In accordance with the requirements of the 2013 California Energy Code, the following documentation is required for the electrical elements in this project.

[] CF2R-LTG-01-E Lighting types and controls for single family buildings (IE1)
[] CF2R-LTG-02-E Lighting types and controls for multifamily buildings.

[] CF2R-SPV-01a-E Photovoltaic systems compliance credit (IE3)

GRANT TAKAHASHI LEE 6/10/2016 Required information: GRANT@GTLARCHITECTS.COM APPROVAL (Based on submitted reports)

QUESTIONS ABOUT TITLE-24 ENERGY INSPECTION SHOULD BE DIRECTED TO

Energy Inspection Services (415) 558-6132; or dbi energyinspections@sfqov.org for FAX (415) 558-6474

DBI Electrical Inspector or Energy Inspection Services Staff

1. Installation

[] CF2R-SPV-016-E Photovoltaic systems exceptions to solar ready area requirements (IE4)
[] CF2R-SPV-01c-E Photovoltaic systems PV compilance credit and

SF INSPECTION FORMS: **BUILDING & ELEC.**

N.T.S.

DRAWING ISSUANCE

DESCRIPTION

PERMIT SET



City and County of San Francisco Department of Building Inspection



Edwin M. Lee, Mayor Tom C. Hui, S.E., C.B.O., Director

NOTICE:

TITLE-24 ENERGY INSPECTION REQUIREMENTS LOW-RISE RESIDENTIAL (PLUMBING)

Please note that Certificates of Installation and/or Verification are required for this project, as indicated on this form issued with this permit. Ensuring the accurate completion of this documentation is the direct responsibility of the engineer/architect of record. This documentation is required in addition to the called inspections performed by the Department of Building Inspection.

For questions regarding the details or extent of required documentation or testing, and if there are any <u>field</u> problems regarding documentation or testing, please call your District Plumbing Inspector or 415-558-6570.

Before final plumbing inspection is scheduled, documentation of energy compliance "Certificate of Installation, Acceptance, and Verification" must be completed and signed by the responsible person in charge. The permit will not be finalized without compliance with the energy inspection requirements.

Energy Inspection Services Contact Information

Telephone: (415) 558-6132

(415) 558-6474 Fax:

Email: dbi.energyinspections@sfgov.org
 In person: 3rd floor at 1660 Mission St.

Note: We are moving towards a 'paperless' mode of operation. All special inspection submittals, including final letters, may be emailed (preferred) or faxed. We will also be shifting to a paperless fax receipt mode.

Installation and Verification certificates can be found on the California Energy Commission website at http://energy.ca.gov/title24/2013standards/

Information Sheet M-06 provides submittal instructions for the Title-24 installation, verification, and acceptance energy certificates. M-06 may be found on the SFDBI website at http://sfdbi.org/information-sheets

> Energy Inspection Services 1660 Mission Street—San Francisco CA 94103 Office (415) 558-6132 - FAX (415) 558-6474 - www.sfgov.org/dbl (website)

> > Attachment RP

TITLE-24 LOW-RISE RESIDENTIAL SPECIAL INSPECTION (PLUMBING) A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED DRAWING SET

	SOUTH CONTRACTOR DESCRIPTIONS OF THE SOUTH STATE OF		
JOB ADDRESS 905 CAPP STREET	APPLICATION NO	[ADDENDUM NO
ENGINEER/ARCHITECT/DESIGNER NAME	GRANT TAKAHASHI LEE	PHONE NO. 1 41	15 361-7641
Ensuring the completion of installation do direct responsibility of the undersigned. In the installation. Verification testing must be	istallation documentation mus	it be completed by the c	ication testing is the ontractor performing

In accordance with the requirements of the 2013 California Energy Code, the following documentation is required for the plumbing work in this project:

1. Installation

Plumbing
[] CF2R-PLB-01-E DHW Non-HERS - Multifamily Central Hot Water

 [] CF2R-PLB-01-E DHW Non-HERS - Multifamily Central Hot Water System Distribution (IP6)
 [] CF2R-PLB-02-E DHW Non-HERS - Single Dwelling Unit Hot Water System Distribution (IP5)
 [] CF2R-PLB-03-E DHW Non-HERS - Pool and Spa System (IP7)
 [] CF2R-PLB-21-H DHW HERS - HERS Multifamily Central Hot Water System Distribution (IP9)
 [] CF2R-PLB-22-H DHW HERS - HERS Single Dwelling Unit Hot Water System Distribution (IP8) System Distribution (IP8)

[] CF2R-STH-01-E Solar Water Heating System (IP1)

Mechanical
[] CF2R-MCH-04-E Non HERS – Evaporative coolers (IP2)

2. Verification

[] CF3R-PLB-21-H DHW HERS - HERS Multifamily Central Hot Water System Distribution (VP2)
[] CF3R-PLB-22-H DHW HERS - HERS Single Dwelling Unit Hot Water

	System Distribution (VP3)	Ŕ			
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					翁
		編			£5
396	Prepared by:	GRANT TAKAHASHI LEE	Et .	Date 6/10/2016	100
		Engineer/Architect of Record	/ Designer S	lignature	
	Required information: Fax:	Email:	GRANT	@GTLARCHITECTS.COM	
	270-9939900 37	No. of the Contract of the Con	-		Wes .
	Review by:	ij		Phone: (415) 558-	
	**	DBI Engineer or Plan Checker			
				lan.	
	APPROVAL (Based on s	ubmitted reports)			
	di:	<u>g.</u>		W 25	
	DATE	DBI Plumbing Inspector	or Energy Ir	rspection Services Staff	

QUESTIONS ABOUT TITLE-24 ENERGY INSPECTION SHOULD BE DIRECTED TO: Energy Inspection Services (415) 558-6132; or, dbi energyinspections@sfgov.org; or FAX (415) 558-6474

SF INSPECTION

N.T.S.

FORMS:

PROJECT NO. 1606

PLUMBING

ARCHITECT



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PROFESSIONAL SEAL



DWELLING UNIT

SORY STREE NCISCO,

PERMIT SET

DATE

2016.06.10

DRAWING ISSUANCE

DESCRIPTION

PERMIT SET

Assembly Laye
 Inside Finish: Gypsum Boar
 Cavity | Frame: R-13 | 2x4
 Exterior Finish: Wood
 Sidinglsheathingldecking
 Floor Surface: Carpeted
 Floor Deck: Wood Sidinglsh
 Cavity | Frame: R-19 | 2x6

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TITLE

DESCRIPTION

PERMIT SET

TITLE 24

SCALE

SHEET

PROJECT NO. Y6046#

N.T.S.

PERMIT SET

DATE

2016.06.10

DRAWING ISSUANCE

CAPP STREET
ACCESSORY DWELLING UNIT
905 CAPP STREET
SAN FRANCISCO, CA 94110

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ARCHITECT



Building Envel	ope Measures:
§110.6(a)1:	Doors and windows between conditioned and unconditioned spaces are manufactured to limit air leakage.
§110.6(a)5:	Fenestration products (except field-fabricated windows) have a label listing the certified U-Factor, certified Solar Heat Gain Coefficient (SHGC), and infiltration that meets the requirements of §10-111(a).
§110.7:	Exterior doors and windows are weatherstripped; all joints and penetrations are caulked and sealed.
§110.8(a):	Insulation specified or installed meets Standards for Insulating Material. Indicate type and include on the CF2R.
§110.8(i):	The thermal emittance and aged solar reflectance values of the cool roofing material meets the requirements of §110.8(i) when the installation of a cool roof is specified on the CF1R.
§110.8(j):	A radiant barrier shall have an emittance of 0.05 or less when the installation of a radiant barrier is specified on the CF1R.
§150.0(a):	Minimum R-30 insulation in wood-frame ceiling; or the weighted average U-factor shall not exceed 0.031. Minimum R-19 in a rafter roof alteration. Attic access doors shall have permanently attached insulation using adhesive or mechanical fasteners. The attic access shall be gasketed to prevent air leakage.
§150.0(b):	Loose fill insulation shall conform with manufacturer's installed design labeled R-value.
§150.0(c):	Minimum R-13 insulation in 2x4 inch wood framing wall or have a U-factor of 0.102 or less (R-19 in 2x6 or 0.074 maximum U-factor).
§150.0(d):	Minimum R-19 insulation in raised wood-frame floor or 0.037 maximum U-factor.
§150.0(g)1:	In Climate Zones 14 and 16 a Class II vapor retarder shall be installed on the conditioned space side of all insulation in all exterior walls, vented attics and unvented attics with air-permeable insulation.
§150.0(g)2:	In Climate Zones 1-16 with unvented crawl spaces the earth floor of the crawl space shall be covered with a Class I or Class II vapor retarder.
§150.0(g)3:	In a building having a controlled ventilation crawl space, a Class I or Class II vapor retarder shall be placed over the earth floor of the crawl space to reduce moisture entry and protect insulation from condensation, as specified in the exception to Section 150.0(d).
§150.0(1):	Slab edge insulation shall: have a water absorption rate, for the insulation material alone without facings, no greater than 0.3%; have water vapor permeance rate is no greater than 2.0 perm/inch, be protected from physical damage and UV light deterioration; and when installed as part of a heated slab floor meets the requirements of §110.8(g).
§150.0(q):	Fenestration, including skylights, separating conditioned space from unconditioned space or outdoors shall have a maximum U-factor of 0.58; or the weighted average U-factor of all fenestration shall not exceed 0.58.
Fireplaces, Dec	orative Gas Appliances and Gas Log Measures:
§150.0(e)1A:	Masonry or factory-built fireplaces have a closable metal or glass door covering the entire opening of the firebox.
§150.0(e)1B:	Masonry or factory-built fireplaces have a combustion outside air intake, which is at least six square inches in area and is equipped with a readily accessible, operable, and tight-fitting damper or a combustion-air control device.
§150.0(e)1C:	Masonry or factory-built fireplaces have a flue damper with a readily accessible control.
§150.0(e)2:	Continuous burning pilot lights and the use of indoor air for cooling a firebox jacket, when that indoor air is vented to the outside of the building, are prohibited.
Space Conditio	ning, Water Heating and Plumbing System Measures:
§110.0-§110.3:	HVAC equipment, water heaters, showerheads, faucets and all other regulated appliances are certified to the Energy Commission
§110.3(c)5:	Water heating recirculation loops serving multiple dwelling units meet the air release valve, backflow prevention, pump isolation valve, and recirculation loop connection requirements of §110.3(c)5.
§110.5:	Continuously burning pilot lights are prohibited for natural gas: fan-type central furnaces, household cooking appliances (appliances without an electrical supply voltage connection with pilot lights that consume less than 150 Btu/hr are exempt), and pool and spa heaters.
§150.0(h)1:	Heating and/or cooling loads are calculated in accordance with ASHRAE, SMACNA or ACCA using design conditions specified in §150.0(h)2.
§150.0(h)3A:	Installed air conditioner and heat pump outdoor condensing units shall have a clearance of at least five feet from the outlet of any dryer vent.
§150.0(i):	Heating systems are equipped with thermostats that meet the setback requirements of §110.2(c).
§150.0(j)1A:	Storage gas water heaters with an energy factor equal to or less than the federal minimum standards shall be externally wrapped with insulation having an installed thermal resistance of R-12 or greater.
§150.0(j)1B:	Unfired hot water tanks, such as storage tanks and backup storage tanks for solar water-heating systems, have R-12 external insulation or R-16 internal insulation where the internal insulation R-value is indicated on the exterior of the tank

insulation or R-16 internal insulation where the internal insulation R-value is indicated on the exterior of the tank.

For domestic hot water system piping, whether buried or unburied: the first 5 feet of hot and cold water pipes from the storage tank, all piping with a nominal diameter of 3/4 inch or larger, all piping associated with a domestic hot water recirculation system regardless of the pipe diameter, piping from the heating source to storage tank or between tanks, piping buried below grade, and all hot water pipes from the heating source to kitchen fixtures must be insulated according to the requirements of TABLE 120.3-

All domestic hot water pipes that are buried below grade must be installed in a water proof and non-crushable casing or sleeve that allows for installation, removal, and replacement of the enclosed pipe and insulation.

§110.4(b)1:	Any pool or spa heating equipment shall be installed with at least 36 inches of pipe between filter and heater or dedicated su and return lines, or built-up connections for future solar heating.		
§110.4(b)2:	Outdoor pools or spas that have a heat pump or gas heater shall have a cover.		
§110.4(b)3:	Pools shall have directional inlets that adequately mix the pool water, and a time switch that will allow all pumps to be set of grammed to run only during off-peak electric demand periods.		
§110.5:	Natural gas pool and spa heaters shall not have a continuous burning pilot light.		
§150.0(p):	Residential pool systems or equipment shall meet specified pump sizing, flow rate, piping, filters, and valve requirements.		
Lighting Meas	ures:		
§110.9:	All lighting control devices and systems, ballasts, and luminaires shall meet the applicable requirements of §110.9.		
§150.0(k)1A:	Installed luminaires shall be classified as high-efficacy or low-efficacy for compliance with §150.0(k) in accordance with T 150.0-A or TABLE 150.0-B, as applicable.		
§150.0(k)1B:	When a high efficacy and low efficacy lighting system are combined in a single luminaire, each system shall separately comwith the applicable provisions of §150.0(k).		
§150.0(k)1C:	The wattage and classification of permanently installed luminaires in residential kitchens shall be determined in accordance §130.0(c). In residential kitchens, the wattage of electrical boxes finished with a blank cover or where no electrical equipme been installed, and where the electrical box can be used for a luminaire or a surface mounted ceiling fan, shall be calculated watts of low efficacy lighting per electrical box.		
§150.0(k)1D:	Ballasts for fluorescent lamps rated 13 watts or greater shall be electronic and shall have an output frequency no less than 20		
§150.0(k)1E:	Permanently installed night lights and night lights integral to installed luminaires or exhaust fans shall be rated to consume a more than 5 watts of power per luminaire or exhaust fan as determined in accordance with §130.0(c). Night lights do not not be controlled by vacancy sensors.		
§150.0(k)1F:	Lighting integral to exhaust fans (except when installed by the manufacturer in kitchen exhaust hoods) shall meet the applic requirements of §150.0(k).		
§150.0(k)2A:	High efficacy luminaires must be switched separately from low efficacy luminaires.		
§150.0(k)2B:	Exhaust fans shall be switched separately from lighting systems.		
§150.0(k)2C:	Luminaires shall be switched with readily accessible controls that permit the luminaires to be manually switched ON and O		
§150.0(k)2D:	Controls and equipment are installed in accordance with manufacturer's instructions.		
§150.0(k)2E:	No control shall bypass a dimmer or vacancy sensor function if the control is installed to comply with §150.0(k).		
§150.0(k)2F:	Lighting controls comply with applicable requirements of §110.9.		
§150.0(k)2G:	An Energy Management Control System (EMCS) may be used to comply with dimmer requirements if: it functions as a din according to §110.9; meets Installation Certificate requirements of §130.4; the EMCS requirements of §130.5; and all other requirements in §150.0(k)2.		
§150.0(k)2H:	An Energy Management Control System (EMCS) may be used to comply with vacancy sensor requirements of §150.0(k) if functions as a vacancy sensor according to §110.9; meets Installation Certificate requirements of §130.4; the EMCS require of §130.5; and all other requirements in §150.0(k)2.		
§150.0(k)2I:	A multiscene programmable controller may be used to comply with dimmer requirements of this section if it provides the functionality of a dimmer according to §110.9, and complies with all other applicable requirements in §150.0(k)2.		
§150.0(k)3A:	A minimum of 50 percent of the total rated wattage of permanently installed lighting in kitchens shall be high efficacy.		
§150.0(k)3B:	Kitchen lighting includes all permanently installed lighting in the kitchen except internal lighting in cabinets that illuminate the inside of the cabinets. Lighting in areas adjacent to the kitchen, including but not limited to dining and nook areas, are considered kitchen lighting if they are not separately switched from kitchen lighting.		
§150.0(k)4:	Permanently installed lighting that is internal to cabinets shall use no more than 20 watts of power per linear foot of illuminariabinet.		
§150.0(k)5:	A minimum of one high efficacy luminaire shall be installed in each bathroom; and all other lighting installed in each bathroshall be high efficacy or controlled by vacancy sensors.		
§150.0(k)6:	Lighting installed in attached and detached garages, laundry rooms, and utility rooms shall be high efficacy luminaires and controlled by vacancy sensors.		
§150.0(k)7:	Lighting installed in rooms or areas other than in kitchens, bathrooms, garages, laundry rooms, and utility rooms shall be efficacy, or shall be controlled by either dimmers or vacancy sensors.		
§150.0(k)8:	Luminaires recessed into ceilings shall: be listed for zero clearance insulation contact (IC) by Underwriters Laboratories or nationally recognized testing/rating laboratory; have a label that certifies that the luminaire is airtight with air leakage less to CFM at 75 Pascals when tested in accordance with ASTM E283; be sealed with a gasket or caulk between the luminaire had and ceiling, and shall have all air leak paths between conditioned and unconditioned spaces sealed with a gasket or caulk; a allow ballast maintenance and replacement without requiring cutting holes in the ceiling. For recessed compact fluorescent luminaries with ballasts to qualify as high efficacy for compliance with §150.0(k), the ba shall be certified to the Energy Commission to comply with the applicable requirements in §110.9.		
§150.0(k)9A:	For single-family residential buildings, outdoor lighting permanently mounted to a residential building or other buildings on same lot shall be high efficacy, or may be low efficacy if it meets all of the following requirements: i. Controlled by a manual ON and OFF switch that does not override to ON the automatic actions of Items ii or iii below; an ii. Controlled by a motion sensor not having an override or bypass switch that disables the motion sensor, or controlled by a motion sensor having a temporary override switch which temporarily bypasses the motion sensing function and automatical reactivates the motion sensor within 6 hours; and iii. Controlled by one of the following methods:		

§150.0(j)2C:	Pipe for cooling system lines shall be insulated as specified in §150.0(j)2A. Piping insulation for steam and hydronic heatin systems or hot water systems with pressure > 15 psig shall meet the requirements in TABLE 120.3-A.	
§150.0(j)3:	Insulation is protected from damage, including that due to sunlight, moisture, equipment maintenance, and wind.	
§150.0(j)3A:	Insulation exposed to weather shall either be rated for outdoor use or installed with a cover suitable for outdoor service. For example, protected by aluminum, sheet metal, painted canvas, or plastic cover. Cellular foam insulation protected as specified painted with coating that is water retardant and provides shielding from solar radiation that degrades the material.	
§150.0(j)3B:	Insulation covering chilled water piping and refrigerant suction piping located outside the conditioned space shall have a Class II vapor retarding facing, or the insulation shall be installed at the thickness that qualifies as a Class I or Class II varetarder.	
§150.0(n)1:	Systems using gas or propane water heaters to serve individual dwelling units shall include: a 120V electrical receptacle within feet of the water heater; a Category III or IV vent, or a Type B vent with straight pipe between the outside termination and the space where the water heater is installed; a condensate drain that is no more than 2 inches higher than the base of the installed water heater, and allows natural draining without pump assistance; and a gas supply line with a capacity of at least 200,000 Btu/hr.	
§150.0(n)2:	Recirculating loops serving multiple dwelling units shall meet the requirements of §110.3(c)5.	
§150.0(n)3:	Solar water-heating systems and collectors shall be certified and rated by the Solar Rating and Certification Corporation (SR or by a testing agency approved by the Executive Director.	
Ducts and Fan	s Measures:	
§150.0(m)1:	All air-distribution system ducts and plenums installed are sealed and insulated to meet the requirements of CMC §601.0, §603.0, §604.0, §605.0 and ANSI/SMACNA-006-2006 HVAC Duct Construction Standards Metal and Flexible 3rd Edition Supply-air and return-air ducts and plenums are insulated to a minimum installed level of R-6.0 (or higher if required by CN §605.0) or enclosed entirely in directly conditioned space as confirmed through field verification and diagnostic testing (RA3.1.4.3.8). Connections of metal ducts and inner core of flexible ducts are mechanically fastened. Openings shall be sea with mastic, tape, or other duct-closure system that meets the applicable requirements of UL 181, UL 181A, or UL 181B or aerosol sealant that meets the requirements of UL 723. If mastic or tape is used to seal openings greater than ¼ inch, the combination of mastic and either mesh or tape shall be used. Building cavities, support platforms for air handlers, and plent defined or constructed with materials other than sealed sheet metal, duct board or flexible duct shall not be used for conveyi conditioned air. Building cavities and support platforms may contain ducts. Ducts installed in cavities and support platform shall not be compressed to cause reductions in the cross-sectional area of the ducts.	
§150.0(m)2:	Factory-Fabricated Duct Systems shall comply with specified requirements for duct construction, connections, and closures; and seams of duct systems and their components shall not be sealed with cloth back rubber adhesive duct tapes unless such t used in combination with mastic and draw bands.	
§150.0(m)3-6:	Field-Fabricated Duct Systems shall comply with requirements for: pressure-sensitive tapes, mastics, sealants, and other requirements specified for duct construction; duct insulation R-value ratings; duct insulation thickness; and duct labeling.	
§150.0(m)7:	All fan systems that exchange air between the conditioned space and the outside of the building must have backdraft or auto dampers.	
§150.0(m)8:	Gravity ventilating systems serving conditioned space have either automatic or readily accessible, manually operated dampe except combustion inlet and outlet air openings and elevator shaft vents.	
§150.0(m)9:	Insulation shall be protected from damage, including that due to sunlight, moisture, equipment maintenance, and wind but no limited to the following: insulation exposed to weather shall be suitable for outdoor service. For example, protected by alumin sheet metal, painted canvas, or plastic cover. Cellular foam insulation shall be protected as above or painted with a coating the water retardant and provides shielding from solar radiation.	
§150.0(m)10:	Flexible ducts cannot have porous inner cores.	
§150.0(m)11:	When space conditioning systems use forced air duct systems to supply conditioned air to an occupiable space, the ducts shat sealed and duct leakage tested, as confirmed through field verification and diagnostic testing, in accordance with Reference Residential Appendix RA3.	
§150.0(m)12:	Mechanical systems that supply air to an occupiable space through ductwork exceeding 10 feet in length and through a thern conditioning component, except evaporative coolers, shall be provided with air filter devices that meet the requirements of §150.0(m)12.	
§150.0(m)13:	Space conditioning systems that utilize forced air ducts to supply cooling to an occupiable space shall have a hole for the placement of a static pressure probe (HSPP), or a permanently installed static pressure probe (PSPP) in the supply plenum. The space conditioning system must also demonstrate airflow \geq 350 CFM per ton of nominal cooling capacity through the return grilles, and an air-handling unit fan efficacy \leq 0.58 W/CFM as confirmed by field verification and diagnostic testing, in accordance with Reference Residential Appendix RA3.	
§150.0(m)15:	Zonally controlled central forced air cooling systems shall be capable of simultaneously delivering, in every zonal control mo an airflow from the dwelling, through the air handler fan and delivered to the dwelling, of ≥ 350 CFM per ton of nominal coo capacity, and operating at an air-handling unit fan efficacy of ≤ 0.58 W/CFM as confirmed by field verification and diagnostic testing, in accordance with Reference Residential Appendix RA3.	
§150.0(o):	All dwelling units shall meet the requirements of ASHRAE Standard 62.2. Neither window operation nor continuous operation central forced air system air handlers used in central fan integrated ventilation systems are permissible methods of providing t Whole Building Ventilation.	
§150.0(o)1A:	Whole Building Ventilation airflow shall be confirmed through field verification and diagnostic testing, in accordance with Reference Residential Appendix RA3.	
Pool and Spa H	leating Systems and Equipment Measures:	
§110.4(a):	Any pool or spa heating system shall be certified to have: a thermal efficiency that complies with the Appliance Efficiency Regulations; an on-off switch mounted outside of the heater that allows shutting off the heater without adjusting the thermos setting; a permanent weatherproof plate or card with operating instructions; and shall not use electric resistance heating.	

	-Rise Residential Mandatory Measures Summary a. Photocontrol not having an override or bypass switch that disables the photocontrol; or
	b. Astronomical time clock not having an override or bypass switch that disables the astronomical time clock, and which is
	programmed to automatically turn the outdoor lighting OFF during daylight hours; or
	c. Energy management control system which meets all of the following requirements: At a minimum provides the functionality o
	an astronomical time clock in accordance with §110.9; meets the Installation Certification requirements in §130.4; meets the
	requirements for an EMCS in §130.5; does not have an override or bypass switch that allows the luminaire to be always ON; and
	is programmed to automatically turn the outdoor lighting OFF during daylight hours.
	For low-rise multifamily residential buildings, outdoor lighting for private patios, entrances, balconies, and porches; and outdoor lighting for residential parking lots and residential carports with less than eight vehicles per site shall comply with one of the
§150.0(k)9B:	following requirements:
§150.0(R)5B.	i. Shall comply with §150.0(k)9A; or
	ii. Shall comply with the applicable requirements in §110.9, §130.0, §130.2, §130.4, §140.7 and §141.0.
§150.0(k)9C:	For low-rise residential buildings with four or more dwelling units, outdoor lighting not regulated by §150.0(k)9B or 150.0(k)9D
§130.0(k)9C:	shall comply with the applicable requirements in §110.9, §130.0, §130.2, §130.4, §140.7 and §141.0.
§150.0(k)9D:	Outdoor lighting for residential parking lots and residential carports with a total of eight or more vehicles per site shall comply
3120.0(K))D.	with the applicable requirements in §110.9, §130.0, §130.2, §130.4, §140.7 and §141.0.
§150.0(k)10:	Internally illuminated address signs shall comply with §140.8; or shall consume no more than 5 watts of power as determined
- ','	according to §130.0(c).
§150.0(k)11:	Lighting for residential parking garages for eight or more vehicles shall comply with the applicable requirements for nonresidential garages in §110.9, §130.0, §130.1, §130.4, §140.6, and §141.0.
	In a low-rise multifamily residential building where the total interior common area in a single building equals 20 percent or less of
§150.0(k)12A:	the floor area, permanently installed lighting for the interior common areas in that building shall be high efficacy luminaires or
3	controlled by an occupant sensor.
	In a low-rise multifamily residential building where the total interior common area in a single building equals more than 20
	percent of the floor area, permanently installed lighting in that building shall:
§150.0(k)12B:	i. Comply with the applicable requirements in §110.9, §130.0, §130.1, §140.6 and §141.0; and
§150.0(k)12 D .	ii. Lighting installed in corridors and stairwells shall be controlled by occupant sensors that reduce the lighting power in each
	space by at least 50 percent. The occupant sensors shall be capable of turning the light fully On and Off from all designed paths of
C.I. D. I. D.	ingress and egress.
Solar Ready Bu	
044040()4	Single family residences located in subdivisions with ten or more single family residences and where the application for a
§110.10(a)1:	tentative subdivision map for the residences has been deemed complete, by the enforcement agency, on or after January 1, 2014,
\$110.10(a)2.	shall comply with the requirements of §110.10(b) through §110.10(e).
§110.10(a)2:	Low-rise multi-family buildings shall comply with the requirements of §110.10(b) through §110.10(d).
	The solar zone shall have a minimum total area as described below. The solar zone shall comply with access, pathway, smoke ventilation, and spacing requirements as specified in Title 24, Part 9 or other Parts of Title 24 or in any requirements adopted by
	local jurisdiction. The solar zone total area shall be comprised of areas that have no dimension less than 5 feet and are no less that
	80 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than 160 square feet each for
§110.10(b)1:	buildings with roof areas greater than 10,000 square feet.
(-)	For single family residences the solar zone shall be located on the roof or overhang of the building and have a total area no less
	than 250 square feet. For low-rise multi-family buildings the solar zone shall be located on the roof or overhang of the building o
	on the roof or overhang of another structure located within 250 feet of the building or on covered parking installed with the
	building project and have a total area no less than 15 percent of the total roof area of the building excluding any skylight area.
§110.10(b)2:	All sections of the solar zone located on steep-sloped roofs shall be oriented between 110 degrees and 270 degrees of true north.
\$110.10/L\2.4	No obstructions, including but not limited to, vents, chimneys, architectural features, and roof mounted equipment, shall be
§110.10(b)3A:	located in the solar zone.
	Any obstruction, located on the roof or any other part of the building that projects above a solar zone shall be located at least twice
§110.10(b)3B:	the distance, measured in the horizontal plane, of the height difference between the highest point of the obstruction and the
	horizontal projection of the nearest point of the solar zone, measured in the vertical plane.
§110.10(b)4:	For areas of the roof designated as solar zone, the structural design loads for roof dead load and roof live load shall be clearly
0(0)	indicated on the construction documents.
	The construction documents shall indicate: a location for inverters and metering equipment and a pathway for routing of conduit
§110.10(c):	from the solar zone to the point of interconnection with the electrical service (for single family residences the point of interconnection will be the main service panel); a pathway for routing of plumbing from the solar zone to the water-heating

interconnection will be the main service panel); a pathway for routing of plumbing from the solar zone to the water-heating

§110.10(e)1: The main electrical service panel shall have a minimum busbar rating of 200 amps.

§110.10(d):

A copy of the construction documents or a comparable document indicating the information from §110.10(b) through §110.10(c) shall be provided to the occupant.

The main electrical service panel shall have a reserved space to allow for the installation of a double pole circuit breaker for a

§110.10(e)2: future solar electric installation. The reserved space shall be: positioned at the opposite (load) end from the input feeder location or main circuit location, and permanently marked as "For Future Solar Electric".

ARCHITECT



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PROFESSIONAL SEAL



CAPP ST ACCESSORY 905 CAPP STREE SAN FRANCISCO

DRAWING ISSUANCE

PERMIT SET

DESCRIPTION	DATE
PERMIT SET	2016.06.1

TITLE 24

N.T.S.

DEMOLITION NOTES

- 1. CONTRACTOR SHALL COORDINATE THE EXTENT OF THE 7. CONTRACTOR SHALL ENSURE THE STABILITY OF ALL (E) DEMOLITION WITH CONSTRUCTION PLANS AND PROTECT ALL PORTIONS OF (E) STRUCTURE TO REMAIN 2. THESE DRAWINGS ILLUSTRATE THE REMOVAL OF
- NON-STRUCTURAL COMPONENTS ONLY, UNLESS OTHERWISE SPECIFICALLY NOTED. ALL STRUCTURAL WALLS, BEAMS AND COLUMNS SHALL REMAIN. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERY OF ANY UNDOCUMENTED STRUCTURAL COMPONENT.
- 3. THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION OF MATERIAL TO REMAIN, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING MATERIALS.

THE OWNER.

- 4. IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE AFFECTED AREAS AT NO COST TO
- 5. REMOVE ALL (E) FINISHES, HARDWARE, EQUIPMENT, CONDUIT, PLUMBING, AND FRAMING NECESSARY TO ACCOMMODATE ALL NEW WORK
- 6. CAP OFF ALL PLUMBING, GAS, & ELECTRICAL LINES, AS REQUIRED.

- STRUCTURE, FRAMING AND FOUNDATIONS TO REMAIN DURING DEMOLITION AND CONSTRUCTION OF NEW
- 8. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN, ADEQUACY, & SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC.

9. CONTRACTOR SHALL REPLACE ALL DAMAGED OR

- DECAYED EXISTING WOOD FRAMING, FLOOR, OR SHEATHING IN AREAS OF REMODEL AND REPAIR. NOTIFY ARCHITECT IF DAMAGED OR DECAYED CONDITIONS ARE ENCOUNTERED PRIOR TO COMMENCING REPAIR WORK. 10. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFE REMOVAL AND DISPOSAL OF ALL MATERIALS NOT FOR
- RE-USE ON THIS PROJECT. RECYCLE AND HAUL ALL DEBRIS IN ACCORDANCE WITH LOCAL JURISDICTION REQUIREMENTS. 11. DOCUMENTATION HEREIN DOES NOT AUTHORIZE,
- DESCRIBE, REQUIRE OR INCLUDE THE REMOVAL OF ANY HAZARDOUS MATERIALS OR ELEMENTS, INCLUDING, BUT NOT LIMITED TO LEAD PAINT, ASBESTOS AND PCB'S. GENERAL CONTRACTOR SHALL COMPLY WITH ALL

WALL LEGEND

APPLICABLE LAWS, REGULATIONS, ORDINANCES AND

CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER.

ANY REMOVAL OF HAZARDOUS MATERIALS SHALL BE

DOCUMENTED SEPARATELY, AND SHALL OCCUR AS

REQUIRED BY CODE AND REGULATORY REQUIREMENTS.

MATERIALS. IF GENERAL CONTRACTOR DISCOVERS ANY

RULES RELATING TO ANY HAZARDOUS OR TOXIC

SUCH MATERIALS ON THE PROPERTY, GENERAL

(E) WALL CONSTRUCTION TO REMAIN _ _ _ _ _ _ _ (E) NON-STRUCTURAL CONSTRUCTION TO BE REMOVED, U.O.N.

DEMOLITION KEYNOTES

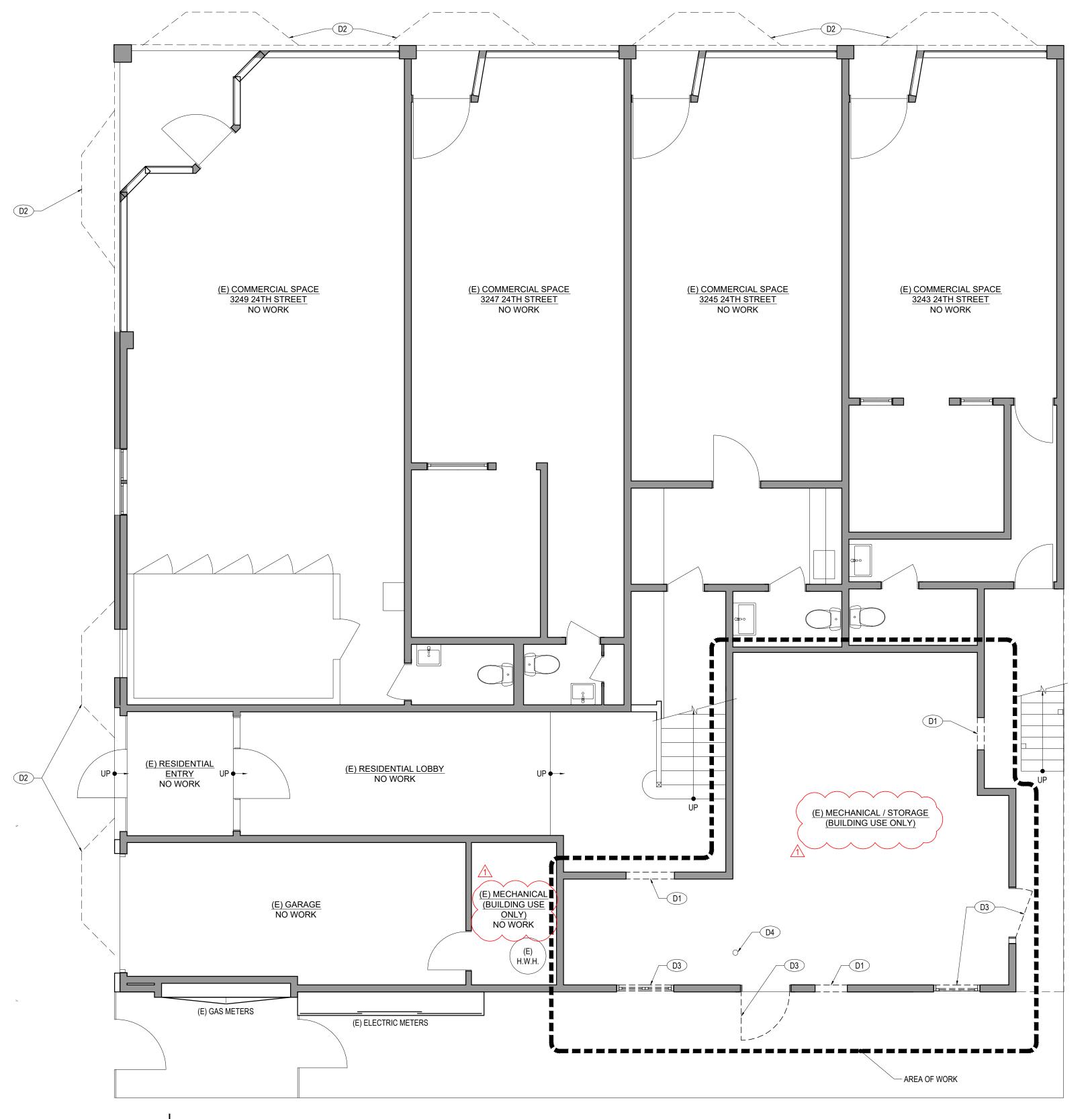
COORDINATE LIMITS OF REMOVAL WITH CONSTRUCTION PLAN D2 (E) ELEMENT ABOVE TO REMAIN D3 REMOVE (E) DOOR OR WINDOW

(E) PLUMBING LINE TO REMAIN



ARCHITECT





DWELLING UNIT

DRAWING ISSUANCE

PERMIT SET

DESCRIPTION	DATE	
PERMIT SET	2016.06.10	
NOPR #1 RESPONSE /	2016.09.02	

1F: EXISTING & DEMOLTION PLAN

SCALE 1/4" = 1'-0"

PROJECT NO. 1606

TITLE

FIRST FLOOR: EXISTING & DEMOLITION PLAN SCALE: 1/4"=1'-0"



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SCESSORY DWELLING UNIT SCAPP STREET

DRAWING ISSUANCE

PERMIT SET

DESCRIPTION	DATE
PERMIT SET	2016.06.10

2F: EXISTING PLAN (NO WORK)

SCALE 1/4" = 1'-0"

PROJECT NO. 1606

A102



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SCESSORY DWELLING UNIT

DRAWING ISSUANCE

PERMIT SET

DESCRIPTION	DATE
PERMIT SET	2016.06.10
TITLE	

3F: EXISTING PLAN (NO WORK)

SCALE 1/4" = 1'-0"

PROJECT NO. 1606

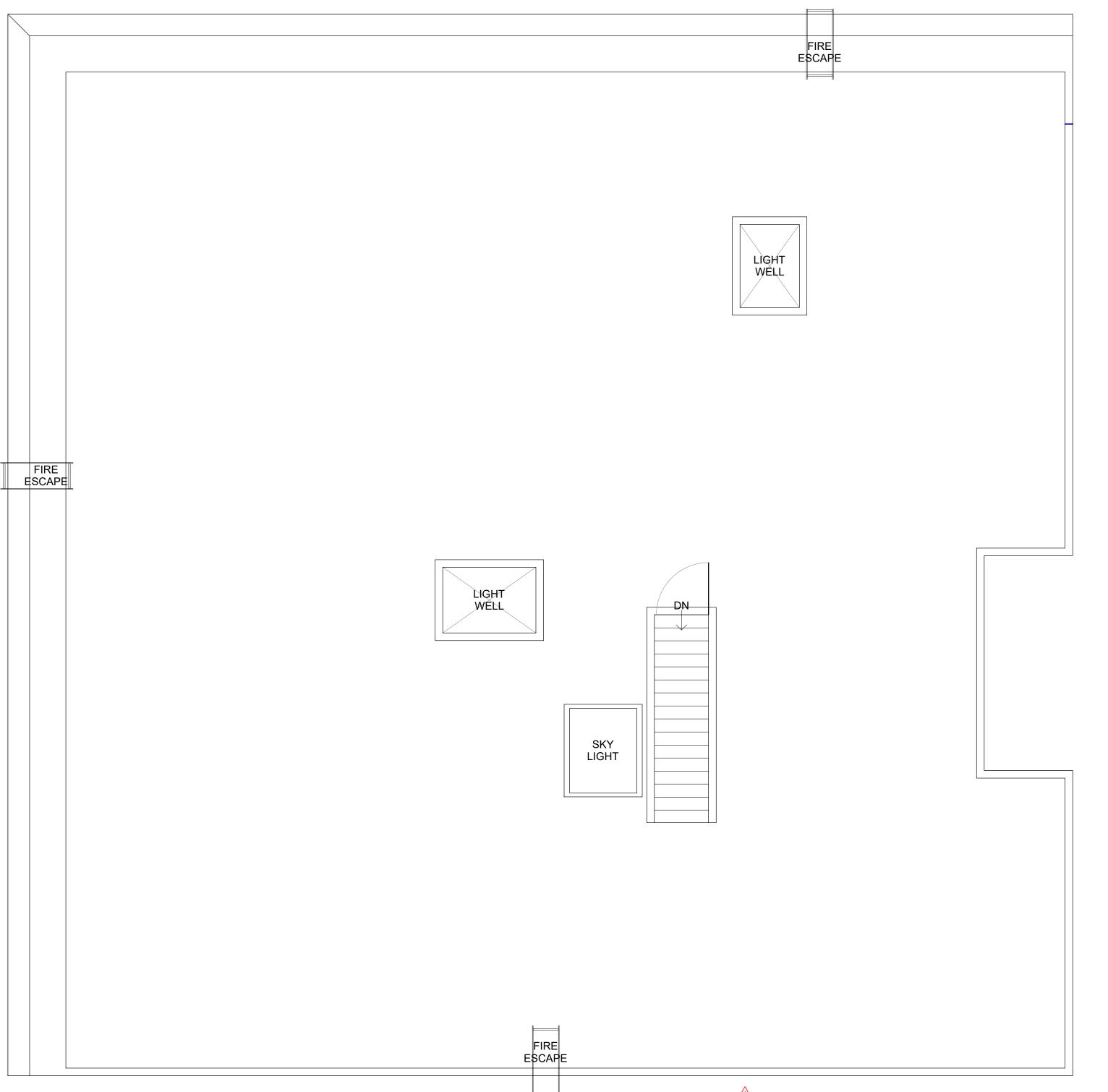
A103



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CAPP STREET ACCESSORY DWELLING UNIT 905 CAPP STREET SAN FRANCISCO, CA 94110

DRAWING ISSUANCE

PERMIT SET

DATE	
DATE	
2016.06.1	
2016.09.0	

TITLE

NOTE: NO ROOF DECK/USABLE OPEN SPACE ON BUILDING ROOFTOP

ROOF: EXISTING PLAN (NO WORK)

SCALE 1/4" = 1'-0"



CONSTRUCTION NOTES

- 1. ALL (N) INTERIOR WALLS: TYPE "A" U.O.N.
- 2. ALL DIMENSIONS ARE TO FACE OF FINISH, CENTERLINE OF OPENING OR EDGE OF JAMB FRAME, U.O.N. 3. DOORS NOT LOCATED BY DIMENSION SHALL BE PLACED
- 4" OFF JAMB, U.O.N. 4. NEW EXTERIOR WALL CEMENT PLASTER FINISH
- INSTALLED PER ASTM C 926 ("STANDARD SPECIFICATION FOR APPLICATION OF PORTLAND CEMENT-BASED PLASTER") AND ASTM C 1063, ("STANDARD SPECIFICATION 8. FOR INSTALLATION OF LATHING AND FURRING TO RECEIVE INTERIOR AND EXTERIOR PORTLAND CEMENT-BASED PLASTER")
- 5. PROVIDE FLASHING, COUNTERFLASHING, CAP FLASHING, METAL TRIM, OTHER FABRICATED ITEMS AND MISCELLANEOUS SHEET METALWORK AT JUNCTIONS OF 10. All TOILETS TO HAVE A MINIMUM CLEARANCE OF 24" IN A ROOF AND WALL, AT CHIMNEYS, OVER EXPOSED DOORS AND WINDOWS, AT CHANGES OF SIDING MATERIAL IN ROOF VALLEYS OR WHERE REQUIRED TO PROVIDE COMPLETE WATERTIGHT AND WATERPROOF
- CONSTRUCTION. . FLASHING & SHEET METALWORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH SHEET METAL & AIR CONDITIONING CONTRACTORS' NATIONAL ASSOCIATION (SMACNA) ARCHITECTURAL SHEET METAL MANUAL. COMPLY WITH MINIMUM THICKNESS OR GAGE REQUIREMENTS AS SPECIFIED IN SMACNA
- ARCHITECTURAL SHEET METAL MANUAL. 7. ISOLATE AND PROTECT DISSIMILAR METALS FROM CONTACT WITH EACH OTHER BY APPLYING SPECIFIED ISOLATION MATERIAL TO CONTACT SURFACES. PROTECT SURFACES OF SHEET METAL IN CONTACT WITH CONCRETE, TREATED WOOD, OR ALUMINUM WITH A HEAVY COATING OF BITUMINOUS PAINT AS
- RECOMMENDED BY MANUFACTURER/FABRICATOR. FLASHING & SHEET METALWORK WILL NOT BE MEASURED SEPARATELY FOR PAYMENT BUT WILL BE PAID FOR AS PART OF THE CONTRACT LUMP SUM PRICE FOR ARCHITECTURAL WORK
- ALL DOORS AND WINDOWS NOT TAGGED ARE EXISTING TO REMAIN U.O.N.
- FRONT AND 15" FROM CENTERLINE OF THE TOILET TO EACH SIDE [CPC 402.5]
- 11. PROVIDE CEMENT BACKER BOARD IN AREAS TO RECEIVE TILE FINISH. 12. WOOD LOCATED NEARER THAN 6" TO EARTH SHALL BE
- TREATED WOOD. 13. ALL HANDRAIL HEIGHT TO BE 34 INCHES MIN, 38 INCHES
- MAX. [CBC 1012.2] 14. PROVIDE 1-1/2" MIN CLEAR SPACE BETWEEN A HANDRAIL & A WALL OR OTHER SURFACE ADJACENT TO THE

HANDRAIL. [CBC 1012.7]

THICK [2013 CMC 920.3]

- 15. STAIRWAYS SHALL HAVE A MINIMUM HEADROOM CLEARANCE OF 80 INCHES MEASURED VERTICALLY FROM A LINE CONNECTING THE EDGE OF THE NOSINGS. [CBC
- 16. NATURAL VENTILATION OF AN OCCUPIED SPACE SHALL BE NOT LESS THAN 4 PERCENT OF THE FLOOR AREA BEING VENTILATED. [CBC 1203.4.1]

OF THE FLOOR AREA OF THE ROOM SERVED. [CBC 1205.2]

- 17. NATURAL LIGHT OF AN OCCUPIED SPACE SHALL HAVE A MINIMUM NET GLAZED AREA NOT LESS THAN 8 PERCENT
- 18. KITCHEN RANGES SHALL BE PROVIDED WITH A METAL VENTILATING HOOD. A VERTICAL CLEARANCE OF 24" MINIMUM BETWEEN THE COOKTOP & METAL VENTILATING HOOD SHALL BE MAINTAINED. THE HOOD SHALL BE AS WIDE AS THE RANGE AND CENTERED OVER THE UNIT. THE METAL HOOD SHALL BE 0.0122" MINIMUM
- 19. WALLS, PARTITIONS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS AND SLEEPING UNITS FROM EACH OTHER OR FROM PUBLIC OR SERVICE AREAS SHALL HAVE A SOUND TRANSMISSION CLASS (STC) OF NOT LESS THAN 50 (45 IF FIELD TESTED) FOR AIR-BORNE NOISE WHEN TESTED IN ACCORDANCE WITH ASTM E 90. [CBC 1207.2]

MECHANICAL NOTES

- 1. ENVIRONMENTAL AIR DUCTS (DUCTING USED FOR CONVEYING AIR AT TEMPERATURES NOT EXCEEDING 250°F (121 °C) TO OR FROM OCCUPIED AREAS OF ANY OCCUPANCY THROUGH OTHER THAN HEATING OR AIR-CONDITIONING SYSTEMS, SUCH AS VENTILATION FOR HUMAN USAGE, DOMESTIC KITCHEN RANGE EXHAUST, BATHROOM EXHAUST DUCTS, AND DOMESTIC-TYPE CLOTHES DRYER EXHAUST DUCTS SHALL TERMINATE 3' FROM PROPERTY LINE & OPENINGS INTO BUILDING.
- 2. PROVIDE GAS VENT TERMINATIONS PER CMC 802.6 & 802.6.2

PROVIDE COMBUSTION AIR PER CMC CHAPTER 7. KITCHEN EXHAUST HOOD SHALL HAVE A MINIMUM EXHAUST RATE OF 100 CFM. PROVIDE SPACE HEATING TO ALL INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY.

(E) COMMERCIAL SPACE

3249 24TH STREET

NO WORK

(E) RESIDENTIAL

ENTRY

NO WORK

(E) GAS METERS

-(E) 37.25" W GATE

SCALE: 1/4"=1'-0"

CONSTRUCTION KEYNOTES (N) CARPENTER BUILT STAIR; (3) STRINGERS MINIMUM (N) HANDRAIL SHALL HAVE 1-1/2" Ø GRASPABILITY OR EQUIVALENT AND BE CONTINUOUS AT 34" MIN, 38" MAX ABOVE TREAD NOSING [CBC 1012.2] (N) 5/8" TYPE 'X' GWB @ ALL EXTERIOR WALLS W/ R-13 INSULATION IN ACCORDANCE W/ TITLE 24 CALCULATIONS (N) 5/8" TYPE 'X' GWB W/ INSULATION FOR STC 50. (N) R-19 BELOW FLOOR INSULATION IN ACCORDANCE W/ TITLE 24 CALCULATIONS (C6) TRASH/RECYCLING LOCATION

(E) COMMERCIAL SPACE

3247 24TH STREET

NO WORK

(E) MECHANICAL

(BUILDING USE ONLY) NO WORK

(E)

(N) BATH

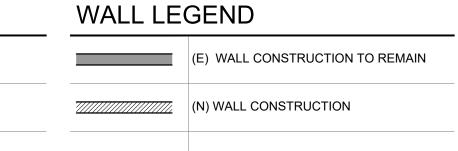
(E) RESIDENTIAL LOBBY

NO WORK

(E) ELECTRICAL METERS

-(E) 36" W GATE

(E) GARAGE NO WORK



(E) COMMERCIAL SPACE

3243 24TH STREET

NO WORK

ELECTRIC RANGE

KITCHEN

- AREA OF WORK

(N) STUDIO

(4) EQ RISERS @ 7.75" MAX



ARCHITECT

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LNO ELLING

DRAWING ISSUANCE

PERMIT SET

DESCRIPTION	DATE	
PERMIT SET	2016.06.10	
NOPR #1 RESPONSE 1	2016.09.02	

CONSTRUCTION PLAN

SCALE 1/4" = 1'-0"

PROJECT NO.

FIRST FLOOR: CONSTRUCTION PLAN

(E) COMMERCIAL SPACE

3245 24TH STREET

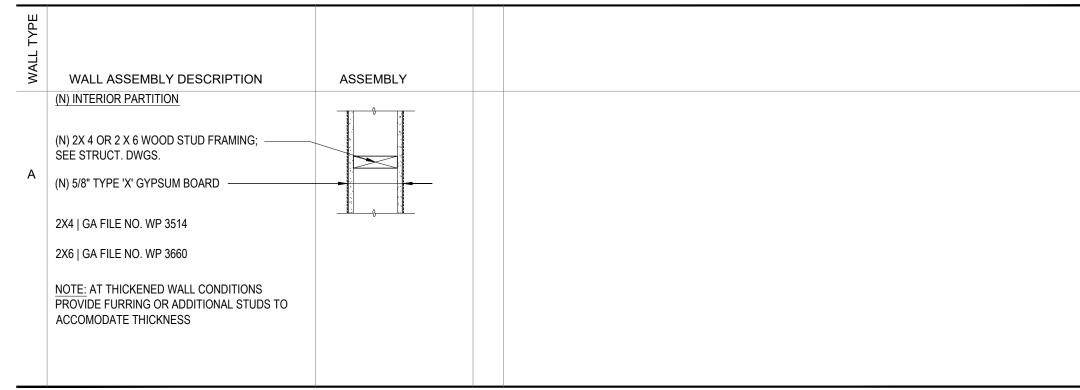
NO WORK

PLUMBING NOTES

- 1. SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 2.0 GALLONS PER MINUTE AT 80 PSI. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR SHOWERHEADS. [CPC 408.2][CGBSC 4.303.1.3.1]
- 2. MULTIPLE SHOWER HEADS CONTROLLED BY A SINGLE VALVE SHALL HAVE A COMBINED FLOW RATE NOT TO EXCEED 2.0 GALLONS PER MINUTE. ALTERNATELY, THE VALVE MAY BE DESIGNED TO ALLOW ONLY ONE SHOWER HEAD (WITH A FLOW RATE NOT TO EXCEED 2.0 GALLONS PER MINUTE) TO BE IN OPERATION AT A TIME. A HAND HELD SHOWER IS CONSIDERED A SHOWER HEAD.
- 3. SHOWER VALVES SHALL BE A PRESSURE/TEMPERATURE BALANCED TYPE THAT CONFORMS TO ASME 1016.
- 4. VACUUM BREAKERS REQUIRED FOR HANDHELD SHOWER 5. WHERE TWO SEPARATE HANDLES CONTROL THE HOT
- AND COLD WATER, THE LEFT-HAND FAUCET SHALL CONTROL HOT WATER. 6. LOCATE THE SHOWERHEAD ON THE SIDE WALL OF THE
- SHOWER COMPARTMENT. 7. SHOWERS SHALL BE FINISHED WITH A NONABSORBENT FINISH TO A HEIGHT OF AT LEAST 72" ABOVE FLOOR.

- SHOWERS SHALL BE AT LEAST 32" X 32" OR 1024 SQUARE INCHES WITH NOT LESS THAN 30" WIDTH. THE MEASUREMENT IS TAKEN FROM THE TOP OF THE CURB AT THE CURB CENTERLINE TO OPPOSITE WALL. THE CLEAR AREA SHALL BE MAINTAINED TO MINIMUM
- 70" ABOVE THE DRAIN. 8.1. AN EXCEPTION IS ALLOWED WHERE AN EXISTING BATHTUB IS REPLACED BY A SHOWER HAVING AN OVERALL DIMENSION OF 30" WIDE BY 60" LONG. SHOWER DOORS SHALL OPEN SO AS TO MAINTAIN NOT LESS THAN A 22 INCH UNOBSTRUCTED OPENING FOR
- 10. THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.5 GALLONS PER MINUTE AT 60 PSI. THE MINIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.8 GALLONS PER MINUTE AT 20 PSI. [CPC 403.7] [CGBSC
- 4.303.1.4.1] 11. THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI. WHERE COMPLYING FAUCETS ARE UNAVAILABLE, AERATORS OR OTHER MEANS MAY BE USED TO ACHIEVE REDUCTION. [CGBSC 4.303.1.4.4]
- 12. MINIMUM 1" AIR GAP SEPARATION BETWEEN FLOOD LEVEL OF SINK AND TUB AND THE WATER SUPPLY OUTLET
- 13. WATER CLOSETS SHALL BE MAXIMUM 1.28 GALLONS PER FLUSH (GPF).
- 14. DUAL FLUSH WATER CLOSETS ARE PERMITTED, PROVIDED THE AVERAGE OF 2 REDUCED FLUSHES AND ONE FULL FLUSH DOES NOT EXCEED 1.28 GPF. EXAMPLE: IF THE DUAL FLUSH TOILET USES 1.6 GAL FOR A FULL FLUSH, AND 1.0 GAL FOR A REDUCED FLUSH, 1.6 + 1.0 + 1.0 = 3.6 GAL / 3 = 1.2 GPF = OK, SINCE THE COMPOSITE IS
- LESS THAN 1.28 GPF. 15. PROVIDE CAULKING AT THE BOTTOM OF ALL WATER
- CLOSETS. 16. SHOWER PANS SHALL BE TESTED FOR WATER-TIGHTNESS BY FILLING WITH WATER TO THE LEVEL OF THE ROUGH THRESHOLD. THE TEST PLUG SHALL BE SO PLACED THAT BOTH UPPER AND UNDER SIDES OF THE SUB-PAN SHALL BE SUBJECTED TO THE TEST AT THE POINT WHERE IT IS CLAMPED TO THE DRAIN. TEST SHALL BE 24 HOURS MINIMUM.
 - PLUMBING VENTS SHALL TERMINATE NOT LESS THAN 10 FEET FROM, OR NOT LESS THAN 3 FEET ABOVE, AN OPENABLE WINDOW, DOOR, OPENING, AIR INTAKE, OR VENT SHAFT, OR NOT LESS THAN 3 FEET IN EVERY DIRECTION FROM A LOT LINE, ALLEY AND STREET EXCEPTED [CPC 906.2]
 - 18. MINIMIZE PIPE PENETRATIONS THROUGH ROOF BY GANGING VENTS TOGETHER.

WALL PARTITION TYPES



PARTITION NOTES:

- 1. REFER TO GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL AND CBC TABLE 7-B FOR REFERENCE RATED WALL ASSEMBLIES
- 2. ATTACHMENT OF WALL SHEATHING AND FINISHES TO COMPLY WITH THE REQUIREMENTS OF THE REFERENCED WALL RATED WALL ASSEMBLY AND STRUCTURAL DRAWINGS
- 3. THERMAL INSULATION TO FILL WALL CAVITY. PROVIDE R-13

RCP & LIGHTING NOTES

- ALL NEW ELECTRICAL WORK SHALL COMPLY WITH THE 2013 CALIFORNIA ELECTRICAL CODE (2013 CEC) & 2013 SAN FRANCISCO ELECTRICAL CODE AMENDMENTS.
 ALL NEW LIGHTING SHALL BE INSTALLED IN ACCORDANCE
- WITH THE 2013 CALIFORNIA TITLE 24 BUILDING ENERGY EFFICIENCY STANDARDS.

 3. LIGHTING SHALL BE CLASSIFIED AS HIGH OR LOW
- EFFICACY IN ACCORDANCE WITH TABLE 150.0-A OR
 TABLE 150.0-B OF THE 2013 CALIFORNIA TITLE 24
 BUILDING ENERGY EFFICIENCY STANDARDS.

 4. HIGH EFFICIENCY LED LUMINAIRES SHALL HAVE MINIMUM
- COLOR RENDITION INDEX (CRI) ≥ 90 AND CORRELATED COLOR TEMPERATURE (CCT) OF 2700-4000K (INTERIOR) AND UP TO 5000K (OUTDOOR)
- ALL HIGH EFFICACY LIGHTING SHALL BE SWITCHED SEPARATELY FROM LOW EFFICACY LIGHTING.
- 6. ALL FLUORESCENT FIXTURES 13W OR GREATER SHALL HAVE ELECTRONIC BALLASTS AND SHALL HAVE AN OUTPUT FREQUENCY NO LESS THAN 20KHZ OR APPROVED GU-24 LINE VOLTAGE SOCKETS.
- 7. ALL RECESSED LIGHTING IN SURFACES WITH THERMAL INSULATION SHALL HAVE AIR TIGHT/IC HOUSINGS.
- 8. LIGHTING INSTALLED IN BATHROOMS SHALL: (A) HAVE MINIMUM ONE HIGH EFFICACY LIGHT FIXTURE; AND (B) ALL OTHER LIGHTING SHALL BE HIGH EFFICACY OR CONTROLLED BY VACANCY SENSORS.
- 9. ALL LIGHTING IN ATTACHED AND DETACHED GARAGES, LAUNDRY AND UTILITY ROOMS SHALL BE HIGH EFFICACY AND CONTROLLED BY VACANCY SENSORS.
- ALL INTERIOR LIGHTING IN ROOMS OR AREAS OTHER
 THAN KITCHENS, BATHROOMS, GARAGES, LAUNDRY AND
 UTILITY ROOMS SHALL BE HIGH EFFICACY, OR SHALL BE
 CONTROLLED BY EITHER DIMMERS OR VACANCY
 SENSORS.
- 11. ALL LIGHTING CONTROLS, BALLASTS FOR RECESSED LUMINAIRES, AND HIGH EFFICACY LED LIGHT SOURCES SHALL BE CERTIFIED BY THE ENERGY COMMISSION FOR COMPLIANCE WITH THE 2013 CALIFORNIA TITLE 24 BUILDING ENERGY EFFICIENCY STANDARDS
- BUILDING ENERGY EFFICIENCY STANDARDS.

 12. AT LEAST 50% OF LIGHTING WATTAGE IN KITCHEN SHALL
- BE FROM HIGH EFFICACY LIGHT FIXTURES.

 13. PERMANENTLY INSTALLED LIGHTING THAT IS INTERNAL TO CABINETS SHALL USE NO MORE THAN 20 WATTS OF POWER PER LINEAR FOOT OF ILLUMINATED CABINET.

FAN CONTINUES TO OPERATE

14. ANY EXHAUST FAN WITH INTEGRAL LIGHTING SHALL HAVE ABILITY TO MANUALLY SWITCH OFF LIGHT SYSTEM WHILE

- 15. OUTDOOR LIGHTING MOUNTED TO THE BUILDING SHALL
 BE HIGH EFFICACY OR MAY BE LOW EFFICACY IF IT
 MEETS ALL OF THE REQUIREMENTS OF SECTION
 150.0(K)9A OF THE 2013 CALIFORNIA TITLE 24 BUILDING
 ENERGY EFFICIENCY STANDARDS
- 150.0(K)9A OF THE 2013 CALIFORNIA TITLE 24 BUILDING ENERGY EFFICIENCY STANDARDS.

 16. INSTALL AS MANY ADJACENT SWITCHES AND OUTLETS IN
- ONE PLATE AS POSSIBLE.

 17. GENERAL CONTRACTOR TO COORDINATE ALL SWITCHING
 NOT SHOWN ON PLANS WITH OWNER.
- 18. LIGHTS NOT LOCATED BY DIMENSION SHALL BE
 CENTERED ON SECTION OF CEILING LOCATED. ALIGN W/
 CENTER OF ADJACENT FIXTURES, DOORS, OR WINDOWS.
 19. ALL CONDUITS AND WIRES TO BE CONCEALED.
- 20. ALL (N) CEILINGS TO BE PAINTED GYPSUM BOARD U.O.N.
 17. WHEN A PERMIT IS REQUIRED FOR ALTERATIONS,
 REPAIRS OR ADDITIONS WITH A TOTAL COST OR
 CALCULATED VALUATION EXCEEDING ONE THOUSAND
 DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING
 UNITS WITH A FOSSIL FUEL-BURNING HEATER OR
 APPLIANCE, FIREPLACE OR AN ATTACHED GARAGE SHALL
 HAVE A CARBON MONOXIDE ALARM INSTALLED IN
 ACCORDANCE WITH CBC 420.6.2. CARBON MONOXIDE
 ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC
 DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE
 PERMIT WAS OBTAINED. [CBC 420.6.2.2]
- 18. ALL SMOKE ALARMS INCLUDING COMBINATION SMOKE ALARMS, THAT ARE SOLELY BATTERY POWERED SHALL CONTAIN A NONREPLACEABLE, NONREMOVABLE BATTERY THAT IS CAPABLE OF POWERING THE SMOKE ALARM FOR AT LEAST 10 YEARS.
- 19. COMMENCING JANUARY 1, 2015, ALL NEW LISTINGS OF SMOKE ALARMS OR COMBINATION SMOKE ALARMS SHALL DISPLAY THE DATE OF MANUFACTURE, PROVIDE A PLACE ON THE DEVICE WHERE THE DATE OF INSTALLATION CAN BE WRITTEN, AND INCORPORATE A HUSH FEATURE.
- 20. EXCEPTIONS TO 18 AND 19 ABOVE INCLUDE:

 A) SMOKE DETECTORS INTENDED TO BE USED WITH A
 FIRE ALARM OR HOUSEHOLD FIRE ALARM CONTROL UNIT;
 B) SMOKE ALARMS THAT SEND A SUPERVISION AND
 BATTERY DEPLETION SIGNAL TO A FIRE ALARM OR
 HOUSEHOLD FIRE ALARM CONTROL UNIT VIA A
 LOW-POWER RADIO FREQUENCY WIRELESS
 COMMUNICATION;
 C) SMOKE ALARMS THAT USE LOW-POWER RADIO

FREQUENCY WIRELESS COMMUNICATION SIGNAL FOR

INTERCONNECTION.

POWER & SIGNAL NOTES

- NEW CONVENIENCE OUTLETS ONLY SHOWN. G.C. TO VERIFY AND PROVIDE ALL NECESSARY POWER FOR ALL EQUIPMENT.
- G.C. TO COORDINATE REQUIRED DATA WITH OWNER
 G.C. TO COORDINATE WITH OWNER FOR NEW AV SYSTEM.
- 5. ALL DIMENSIONS ARE TO CENTERLINE OF OUTLET OR GROUP OF OUTLETS.6. DO NOT SURFACE MOUNT CONDUIT OR JUNCTION BOXES
- ON WALLS. ALL CONDUIT AND JUNCTION BOXES SHOULD
 BE RECESSED. NOTIFY ARCHITECT OF ANY
 DISCREPANCIES.

 7. INSTALL OUTLETS ON OPPOSITE SIDES OF PARTITIONS IN
- INSTALL OUTLETS ON OPPOSITE SIDES OF PARTITIONS II SEPARATE STUD CAVITIES. OFFSET OUTLETS MINIMUM DISTANCE AS REQUIRED TO AVOID BACK-TO-BACK INSTALLATION.
- 8. IN ALL AREAS SPECIFIED IN CEC 210.52, ALL 125-VOLT, 15AND 20- AMPERE RECEPTACLES SHALL BE LISTED
 TAMPER-RESISTANT RECEPTACLES. (CEC 406.12)
- 9. ALL COUNTER RECEPTACLES SHALL BE GFCI PROTECTED
 AND TAMPER-RESISTANT.

 10. COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER.
- 10. COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER (AFCI) SHALL PROTECT ALL RECEPTACLES IN ALL DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS OR SIMILAR ROOMS OR AREAS WITH BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE PHASE, 15- AND 20-AMPERE RECEPTACLE OUTLETS. (CEC 210.12)

- 11. ALL BATHROOM RECEPTACLE OUTLETS SHALL BE SUPPLIED BY AT LEAST ONE 20-AMPERE BRANCH CIRCUIT. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. RECEPTACLES SHALL TO BE ON THE WALL WITHIN (3) FEET OF OUTSIDE EDGE OF SINK BASIN & GFCI PROTECTED [CEC 210.52(D), 210.11(C)(3), 210.8(A)(1)].
- 12. TWO 20-AMPERE GFCI PROTECTED CIRCUITS SHALL BE PROVIDED IN THE KITCHEN COUNTER AND ISLAND OUTLETS [CEC 210.52(B)(1), 210.52(B)(3), 210.52(C)]
- 13. ISLAND & PENINSULAR COUNTER SPACES WITH A LONG DIMENSION OF 24 INCHES OR GREATER AND A SHORT DIMENSION OF 12 INCHES OR GREATER SHALL BE PROVIDED WITH ONE RECEPTACLE MINIMUM. [CEC 210.52 (C)(2)(3)]
- 14. COUNTERTOP AND SIMILAR WORK SURFACES OUTLETS SHALL NOT BE INSTALLED IN THE FACE UP POSITION [2013 CEC 406.5(E)]
- 15. ALL MULTIWIRE BRANCH CIRCUITS, INCLUDING BUT NOT LIMITED TO DISHWASHER & GARBAGE DISPOSAL CIRCUITS, SHALL DISCONNECT SIMULTANEOUSLY ALL UNGROUNDED CONDUCTORS AT THE POINT WHERE THE BRANCH CIRCUIT ORIGINATES (CEC 210.4)
- 16. DISHWASHER, GARBAGE DISPOSAL, MICROWAVE, AND SPA MOTOR OR HEATER SHALL HAVE DEDICATED CIRCUITS. [CEC 210.23 A(1), 210.23 A(2)] REFER TO MANUFACTURERS FOR SEPARATE CIRCUIT REQUIREMENTS.

RCP KEYNOTES	POWER & SIGNAL LEGEND		
(N) 5/8" TYPE 'X' GWB. AT CEILING	GROUNDED DUPLEX ELECTRICAL OUTLET		
	GROUNDED FOUR-PLEX ELECTRICAL OUTLET		
	GFI DUPLEX ELECTRICAL OUTLET AT 42"A.F.F., U.O.N.		
	GFI FOUR-PLEX ELECTRICAL OUTLET AT 42"A.F.F., U.O.N.		

SYMBOL	ABBRV.	FIXTURE TYPE	MFR. / STYLE
-\$-	L1	4" RECESSED LED DOWNLIGHT	BY G.C.
(SD)	L2	COMBINATION SMOKE & CARBON MONOXIDE DETECTOR	BY G.C.
•	L3	EXHAUST FAN. MIN. 50 CFM + HUMIDISTAT	BY G.C.
\$		SWITCH	BY G.C.
\$		MANUAL ON, AUTO OFF VACANCY SENSOR	BY G.C.
\$		DIMMER SWITCH. ALL LIGHTS ON SWITCH TO BE DIMMABLE	BY G.C.

WALL LEGEND

(E) WALL CONSTRUCTION TO REMAIN

(N) WALL CONSTRUCTION



ARCHITECT

GRANT TAKAHASHI LEE A R C H I T E C T S

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PROFESSIONAL SEAL



CAPP STREET ACCESSORY DWELLING UNIT 905 CAPP STREET SAN FRANCISCO CA 94110

DRAWING ISSUANCE

PERMIT SET

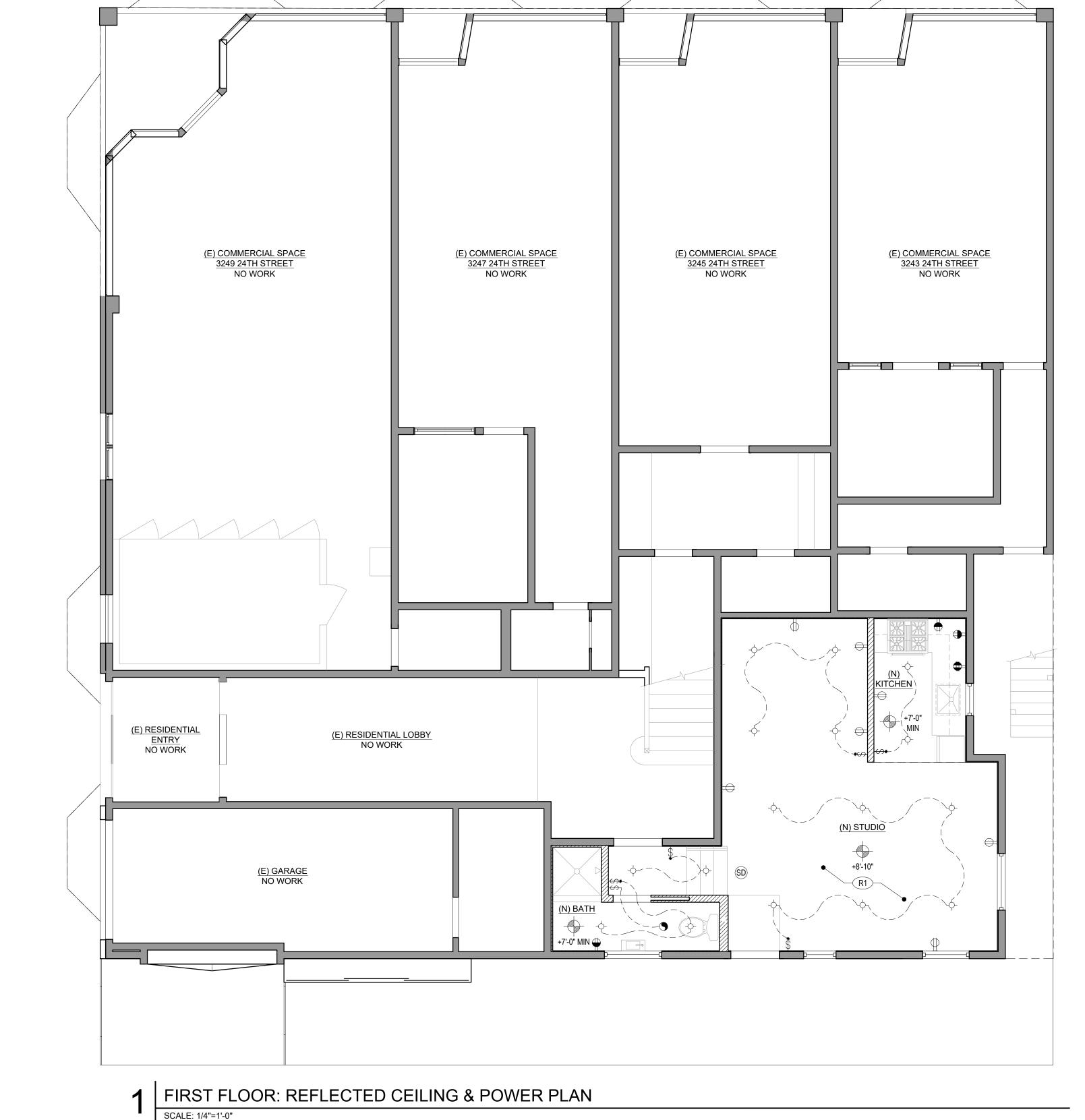
DESCRIPTION	DATE	
PERMIT SET	2016.06.10	
TITLE		

RCP & POWER PLANS

SCALE 1/4" = 1'-0"

PROJECT NO. 1606

A121



DOOR SCHEDULE

SYMBOL	DOOR						FRAME		
	TYPE	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	MATERIAL	FINISH	COMMENTS
E									
R	А	3'-0"	6'-8"	1 3/8"	SOLID WOOD	PAINT			
1	В	3'-0"	6'-8"	1 3/8"	SOLID WOOD	PAINT			
2	С	2'-4"	6'-8"	1 3/8"	SOLID WOOD	PAINT			

ARCHITECT



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PROFESSIONAL SEAL



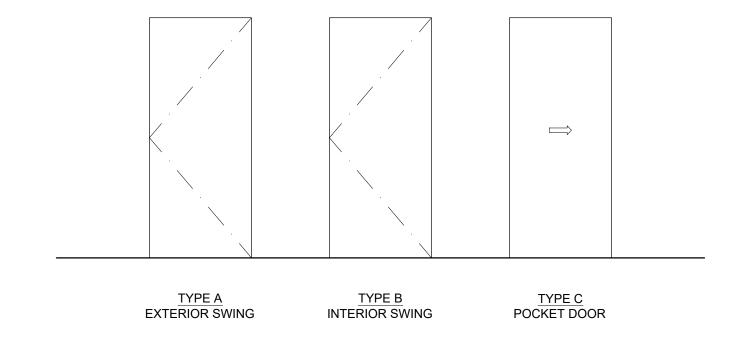
DOOR NOTES:

- 1. HARDWARE ON RATED DOORS SHALL BEAR UL LABEL.
- 2. GENERAL CONTRACTOR TO PROVIDE CODE COMPLIANT SAFETY GLAZING WHERE REQUIRED.
- 3. ALL FENESTRATION ON DOORS SHALL HAVE U-FACTORS AND SOLAR HEAT GAIN COEFFICIENT VALUES IN ACCORDANCE WITH T-24 ENERGY CALCULATIONS. ALL FENESTRATIONS MUST HAVE TEMPORARY & PERMANENT LABELS.
- 4. GENERAL CONTRACTOR TO VERIFY SIZE OF DOORS TO 7. ALL EXTERIOR DOOR OPENINGS SHALL HAVE FIT IN (E) OPENINGS.
- 5. EXTERIOR DOORS TO BE GLAZED WITH DOUBLE PANE, LOW-E CLEAR GLASS WITH U.V. PROTECTION. 6. ALL EXTERIOR DOORS TO HAVE GALVANIZED SHEET METAL PAN FLASHING AND GALVANIZED METAL HEAD FLASHING, U.O.N.
- SELF-ADHERED FLASHING. ALL GAPS BETWEEN FRAMING AND EXTERIOR DOOR

FRAMES TO BE FILLED WITH EXPANDING FOAM

- INSULATION. 9. ALL GLAZED EXTERIOR DOORS TO HAVE THERMAL SEAL GASKETING, U.O.N.
- 10. ALL (N) DOORS SHALL HAVE (N) LEVER TYPE HARDWARE -LEVER SHALL BE CURVED WITH A RETURN TO WITHIN 1/2 INCH OF THE DOOR, U.O.N.

DOOR TYPES



WINDOW SCHEDULE

SYMBOL	TYPE	W x H FRAME DIM. U.O.N.	HEAD HEIGHT A.F.F.	MATERIAL	INTERIOR FINISH	EXTERIOR FINISH	MANUFACTURER	COMMENTS
1	D	2'-0" x 2'-0"	6'-8", V.I.F.	VINYL	VINYL	VINYL	JELD WEN V-1500	LOW-E 272 OBSCURE GLAZING
2	A	3'-6" x 3'-6"	6'-0", V.I.F.	STEEL	STEEL	STEEL		OBSCURE GLASS
3	В	3'-0" x 3'-0"	7'-3", V.I.F.	VINYL	VINYL	VINYL	JELD WEN V-1500	LOW-E 272 OBSCURE GLAZING
4	С	2'-0" x 2'-0"	8'-0", V.I.F.	VINYL	VINYL	VINYL	JELD WEN V-1500	LOW-E 272 OBSCURE GLAZING
5	D	3'-10" x 3'-10"	7'-10", V.I.F.	VINYL	VINYL	VINYL	JELD WEN V-1500	LOW-E 272 OBSCURE GLAZING

WINDOW NOTES:

- ALL DIMENSIONS ARE FRAME DIMENSIONS U.O.N.
 SILL OR HEAD HEIGHTS GIVEN ARE TO WINDOW FRAME
- 3. GENERAL CONTRACTOR TO PROVIDE CODE COMPLIANT

SAFETY GLAZING WHERE REQUIRED

WINDOW TYPES

TYPE A FIXED

1HR FIRE RATED

OBSCURE GLASS

TYPE B FIXED

OBSCURE GLASS

SURFACE.

TYPE C SINGLE-HUNG

OBSCURE GLASS

4. SAFETY GLAZING SHALL BE INSTALLED WITHIN 60 INCHES 5. EMERGENCY EGRESS WINDOWS TO COMPLY WITH CBC 7. GLAZING TO BE LOW E-SUN DEFENSE GLAZING, 0.32 OF A TUB/SHOWER WHERE THE GLAZING IS LESS THAN 60 INCHES ABOVE THE ANY STANDING OR WALKING

TYPE D SLIDER

OBSCURE GLASS

- 6. ALL FENESTRATION ON WINDOWS SHALL HAVE
- U-FACTORS AND SOLAR HEAT GAIN COEFFICIENT VALUES IN ACCORDANCE WITH T-24 ENERGY CALCULATIONS. ALL FENESTRATIONS MUST HAVE TEMPORARY & PERMANENT LABELS.
- U-FACTOR OR BETTER

DRAWING ISSUANCE

PERMIT SET

CAPP ST ACCESSORY 905 CAPP STREET SAN FRANCISCO,

	DESCRIPTION	DATE		
•	PERMIT SET	2016.06.10		

TITLE

SCHEDULES

SCALE N.T.S.

NOTICE OF PUBLIC HEARING

Hearing Date: Wednesday, March 22, 2017

Time: Not before 9:30 AM

Location: City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408

Case Type: Variance

Hearing Body: Zoning Administrator

PROPERTY IN	IFORMATION	APPLICATION INFORMATION		
Project Address:	905 Capp Street	Case No.: Building Permit: Applicant: Telephone: E-Mail:	2016-00716VAR	
Cross Street(s):	24 th Street		2016.06.10.9680	
Block /Lot No.:	6518 / 027		Grant T. Lee	
Zoning District(s):	24 th Mission NCT / 55-X		(415) 361-7641	
Area Plan:	Mission		grant@gtlarchitects.com	

PROJECT DESCRIPTION

The proposed project is to add one Accessory Dwelling Unit at the ground floor level of an existing 3-story, 16 unit residential and commercial building.

PER SECTION 140 OF THE PLANNING CODE the subject property is required to have windows of each unit face directly on an open area no less than 25 feet in every horizontal direction, with an increase of 5 feet in every horizontal dimension at each subsequent floor immediately above. The dimensions of the open area may be reduced to 15 feet in width and depth for Accessory Dwelling Units. The subject property has no rear yard and a side setback that is 6'7" x 59'. The proposed Accessory Dwelling Unit will face onto that setback, which is less than the minimum 15 x 15 foot open area required for reduced dwelling unit exposure; therefore, thereby requiring an exposure variance.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://notice.sfplanning.org/2016-00716VAR.pdf

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: Seema Adina Telephone: (415) 575-8722 E-Mail: seema.adina@sfgov.org

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible. Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311 or 312, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property.

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.