



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
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San Francisco,
CA 94103-2479

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**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, December 07, 2016**
 Time: **Not before 9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance (Rear Yard)**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 1674 Filbert St.	Case No.: 2016-008270VAR
Cross Street(s): Gough St & Franklin St	Building Permit: 2016.06.03.9109
Block /Lot No.: 0521/013	Applicant: Ben Farrell
Zoning District(s): RM-1 / 40-X	Telephone: 415-305-3850
Area Plan: N/A	E-Mail: ben@farrellarchitecture.com

PROJECT DESCRIPTION

The proposal is to legalize and extend vertically the existing non-complying rear stair to access a proposed 500 square foot rooftop deck.

PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a 45 percent rear yard, or 36 feet deep. The existing building is legal noncomplying, as existing rear stairs encroach within the required rear yard by approximately 29’6” resulting in a rear yard of 6’6” feet. The proposed project furthers the noncompliance of the existing stairs vertically within the required rear yard and therefore, the project requires a variance from the rear yard requirements (Section 134) of the Planning Code.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department’s website at: <http://sf-planning.org/ftp/files/notice/2016-008270VAR.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department’s website or in other public documents.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Cathleen Campbell** Telephone: **(415)-575-8732** E-Mail: **Cathleen.Campbell@sfgov.org**

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311 or 312, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. On July 18th, 2016 the Department issued the required Section 311 notification for this project. The mailing of such notification will be performed separately.

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.



ARCHITECT
 REAR STAIRS EXTENSION
 1674 FILBERT STREET
 SAN FRANCISCO, CA 94123

BLOCK LOT
 521 013

DATE REVISIONS
 2016-06-03-0109
 ROOF DECK

REVISION / DATE SHEET

SCALE
 DRAWN: B. FARRELL
 CHECK:
 DATE:

COVER SHEET

SHEET

AO.0

9

2016-0603-9109
 PERMIT APPLICATION NUMBER

BUILDING CODES

- 2013 SAN FRANCISCO BUILDING CODE
- 2013 CALIFORNIA BUILDING CODE WITH SAN FRANCISCO AMENDMENTS
- 2013 SAN FRANCISCO ELECTRICAL CODE
- 2013 CALIFORNIA ELECTRICAL CODE WITH SAN FRANCISCO AMENDMENTS
- 2013 CALIFORNIA ENERGY CODE WITH NO LOCAL AMENDMENTS
- 2013 CALIFORNIA MECHANICAL CODE WITH SAN FRANCISCO AMENDMENTS
- 2013 CALIFORNIA MECHANICAL CODE WITH SAN FRANCISCO AMENDMENTS
- 2013 CALIFORNIA FIRE CODE WITH SAN FRANCISCO AMENDMENTS
- 2013 CALIFORNIA FIRE CODE WITH SAN FRANCISCO AMENDMENTS

ADDENDUM SCHEDULE

BUILDING PERMIT APPLICATION
 - PLANNING APPROVAL AND NOTIFICATION
 - BUILDING PERMIT APPROVAL
 ADDITIONAL DEFERRED PERMITS

WORK COMPLETED UNDER SEPARATE PERMITS
 2016-0205-8011 - INSTALL NEPA 1.5 FIRE SPRINKLERS
 2016-0601-7839 - ADJ PER ORDINANCE 30-15
 2016-0501-5255 - WORKS SCOPE TO INTERIOR REMODEL AT 3 UNITS
 2014-0812-5511 - INTERIOR REMODEL 6 UNITS @ 3 UNITS

LOT/BUILDING DATA

PERMIT APP. FROM FIELD (1)
 PROJECT ADDRESS: 1674 FILBERT STREET
 SAN FRANCISCO, CA 94115
 LOT ZONING: RM-2
 CONST. TYPE: TYPE 1C-M
 No. OF STORIES: 4
 No. OF UNITS: 0
 No. OF DWELLING UNITS: 0
 PRESENT USE: MULTI FAMILY DWELLINGS
 PROPOSED USE: MULTI FAMILY DWELLINGS
 OCCUPANCY CLASS: 82
 PROPOSED: 82
 EXISTING: 82
 CHANGE IN OCCUP. NO: 0
 No. OF DWELLING UNITS: 8
 OVERALL HEIGHT AT ϕ : < 40 FT
 EXISTING: < 40 FT
 PROPOSED: N/A
 BASEMENT FLOOR AREA: N/A
 PROPOSED: N/A
 FIRST FLOOR AREA: 1673 SF
 EXISTING: 1673 SF
 PROPOSED: 1673 SF
 SECOND FLOOR AREA: 1673 SF
 EXISTING: 1673 SF
 PROPOSED: 1673 SF
 THIRD FLOOR AREA: 1673 SF
 EXISTING: 1673 SF
 PROPOSED: 1673 SF
 FOURTH FLOOR AREA: 1673 SF
 EXISTING: 1673 SF
 PROPOSED: 1673 SF
 ROOF ACCESS AREA: 95 SF
 EXISTING: 95 SF
 PROPOSED: 95 SF
 TOTAL AREA: 6692 SF
 EXISTING: 6692 SF
 PROPOSED: 6692 SF
 PARK LOT COVERAGE: N/A
 PROPOSED: N/A
 No. OF BUILDINGS ON LOT: 1
 PROPOSED: 1
 SPRINKLERS: PARTIALLY FULLY INSTALLED UNDER SEPARATE PERMIT

PROJECT INDEX

OWNER: SHERIDAN PROPERTIES
 554 CLAYTON STREET, #170206
 SAN FRANCISCO, CA 94107
 CONTACT: ERIN STEEL
 415 881 7782

ARCHITECT (APP. FROM FIELD 2): BENJAMIN FARRELL ARCHITECT
 227 SANSALITO, CA 94065
 415-395-3860 M.

GENERAL CONTRACTOR (APP FROM FIELD 14): TBD

ENERGY CONSERVATION CONSULTANT: N/A

CONSTRUCTION LEADER (APP FROM FIELD 20): TBD



OFFICIAL USE / STAMPS

SCOPE OF WORK PERMIT APPLICATION FORM FIELD (16)

FIRST FLOOR
 - NO WORK UNDER THIS PERMIT

SECOND FLOOR
 - NO WORK UNDER THIS PERMIT

THIRD FLOOR
 - NO WORK UNDER THIS PERMIT

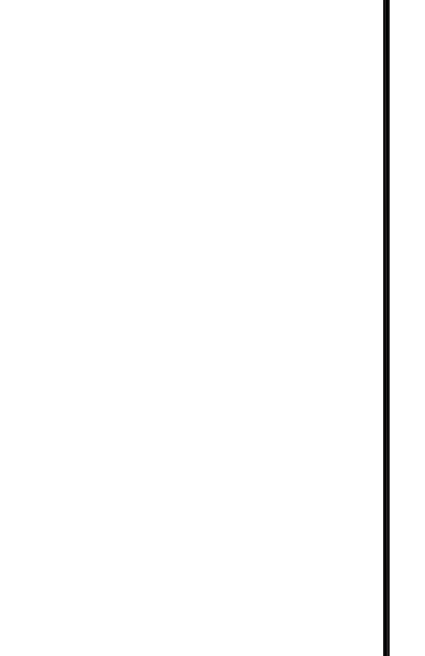
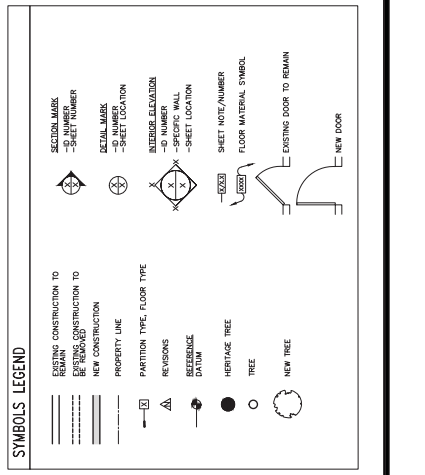
POWER RISERS
 - EXTEND EXISTING WOOD FRAMED STAIRS TO ROOF, INCLUDING HANDRAILS AND GUARDS AS REQUIRED. ADD NEW ROOF DECK.

ROOF
 - NONE (SEE RELATED PERMIT 2016-0603-9109)

EXTERIOR CHANGES
 REAL ELEVATION
 - EXTERIOR EXISTING STAIRS & GUARDRAIL AS REQUIRED
 EXTERIOR FINISHES
 - EXTERIOR EXISTING GUARDRAIL AS REQUIRED
 FRONT STREET ELEVATION
 - NO WORK VISIBLE FROM STREET OR PUBLIC RIGHT OF WAY

ADDITIONAL NOTES

1674-103 INSTALLED UNDER SEPARATE PERMIT



SHEET INDEX

A0.0	COVER SHEET, LOT DATA, BLDG DATA, PROJECT INFO	A3.0	EXISTING EXTERIOR ELEVATIONS
A0.1	PREAPPLICATION LETTER	A3.1	PROPOSED EXTERIOR ELEVATIONS
A1.0	EXISTING SITE PLAN, PROPOSED SITE PLAN	A6.0	CONSTRUCTION DETAILS
A2.1	EXISTING 1ST & 2ND FLOOR PLAN	A10.0	SITE PHOTOS
A2.2	EXISTING 3RD & 4TH FLOOR PLAN		
A2.3	EXISTING ROOF PLAN, PROPOSED ROOF PLAN		



ARCHITECT
 REAR STAIRS EXTENSION
 1674 FILBERT STREET
 SAN FRANCISCO, CA
 94123

LOT
 0521 013
 SIDE REAR STAIRS
 2016-0003-0109
 ROOF BECK

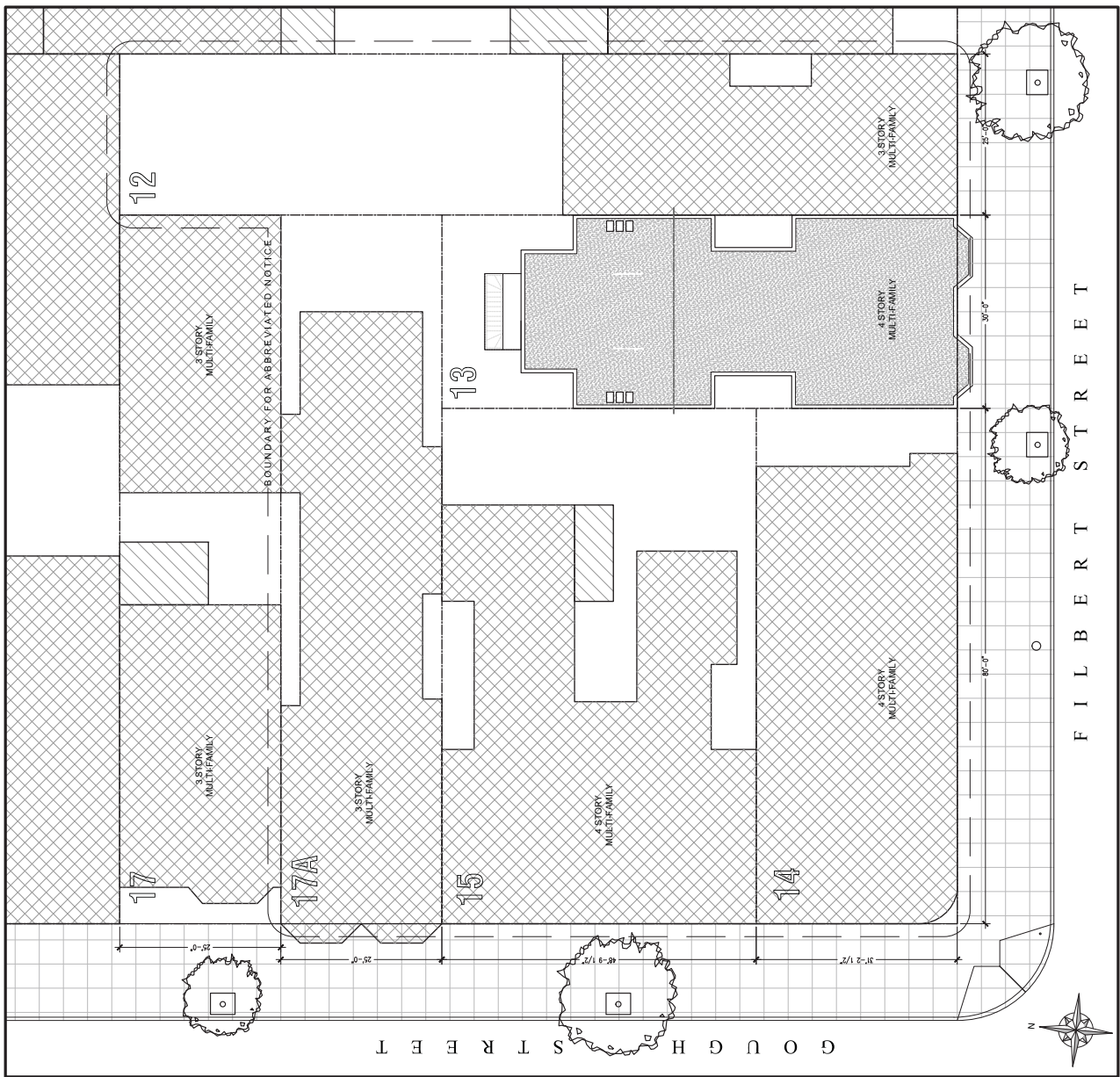
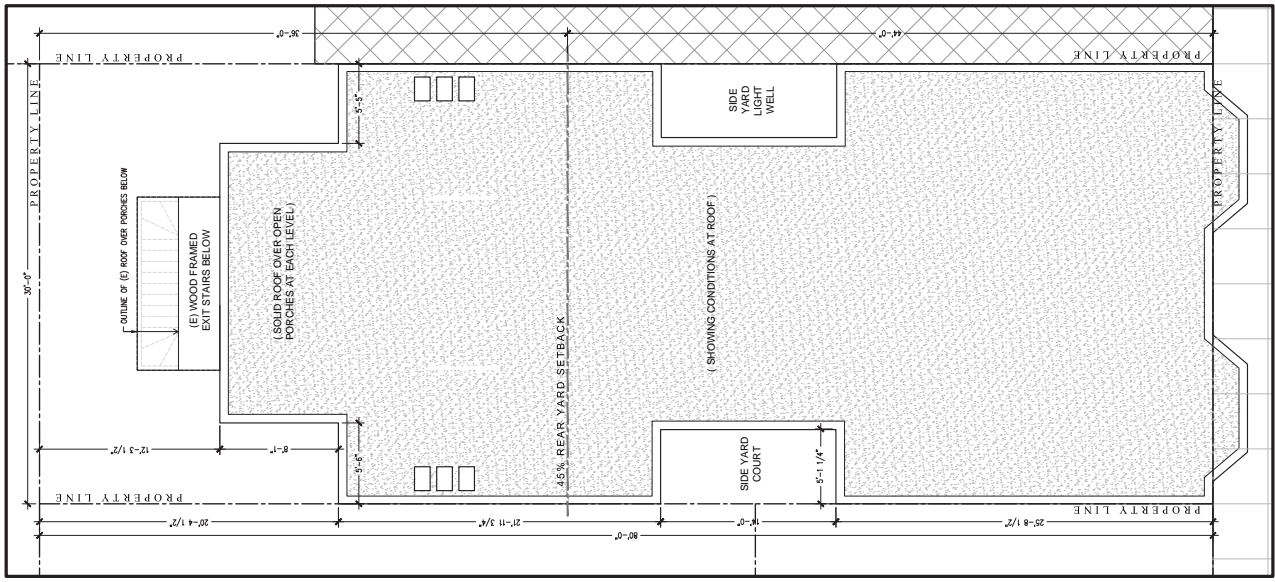
REVISION / DATE SHEET

SCALE
 DRAWN: B. FARRELL
 CHECK:
 DATE:

PARTIAL
 BLOCK PLAN
 AND SITE
 PLAN

SHEET

A1.0



EXISTING AND PROPOSED SITE PLAN
 SCALE: 1/8" = 1' - 0"

PARTIAL BLOCK PLAN SHOWING SOUTH WEST CORNER OF BLOCK 0521
 SCALE: 1/8" = 1' - 0"



FILBERT STREET

GOUGH STREET

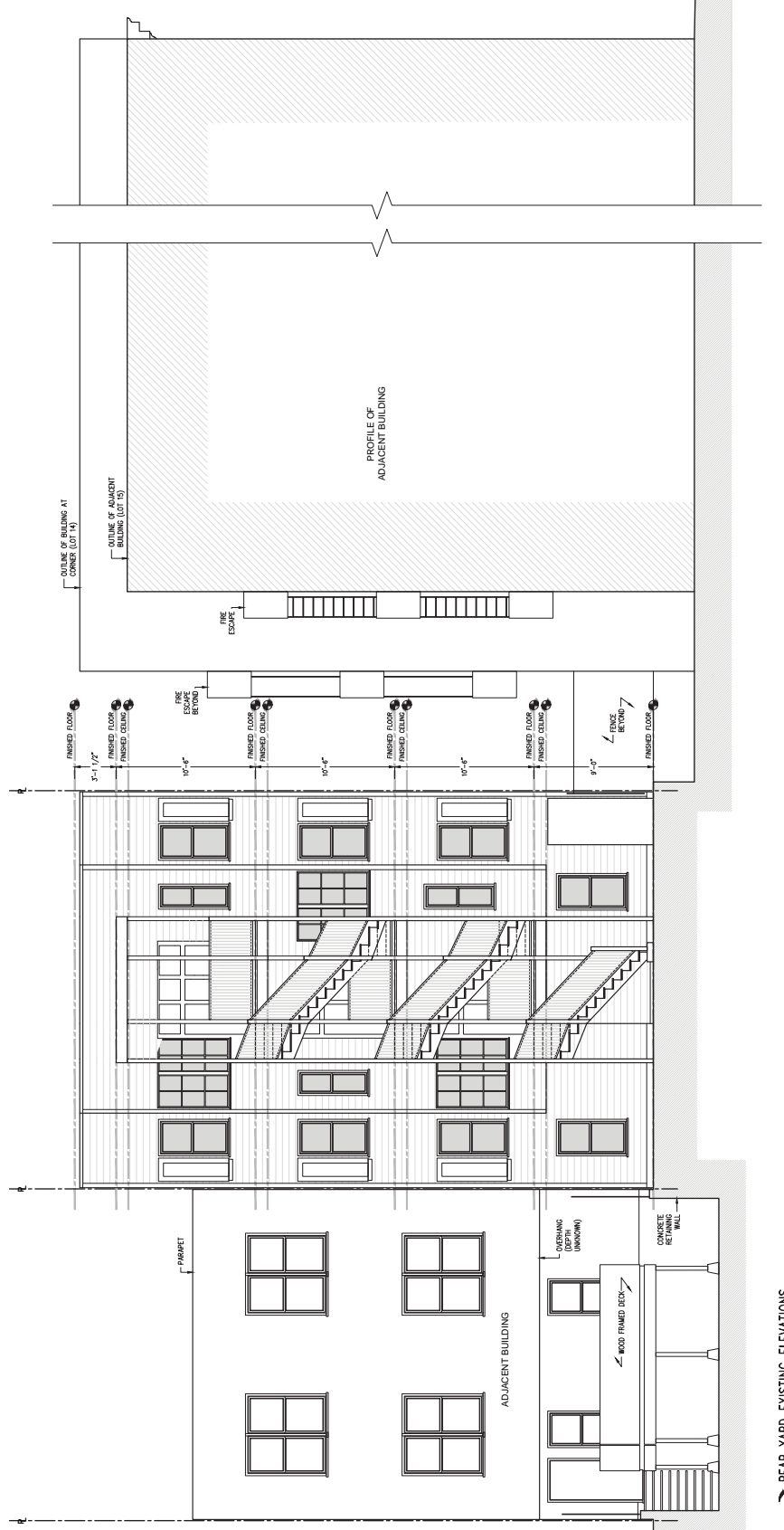


ROOF DECK
 1674 FILBERT STREET
 SAN FRANCISCO, CA
 94123

BLOCK LOT
 0521 013
 DATE REVISIONS
 2014-05-12-5511
 2014-07-28-2259 (SEISMIC)
 2015-04-21-4255
 2015-06-01-1769 (01-15 ADD)
 REVISION / DATE SHEET

SCALE
 DRAWN BY B. FARRELL
 CHECK
 DATE
 EXISTING
 ELEVATIONS

SHEET
A3.1
 OF



REAR YARD EXISTING ELEVATIONS
 SCALE: 1/4" = 1' - 0"

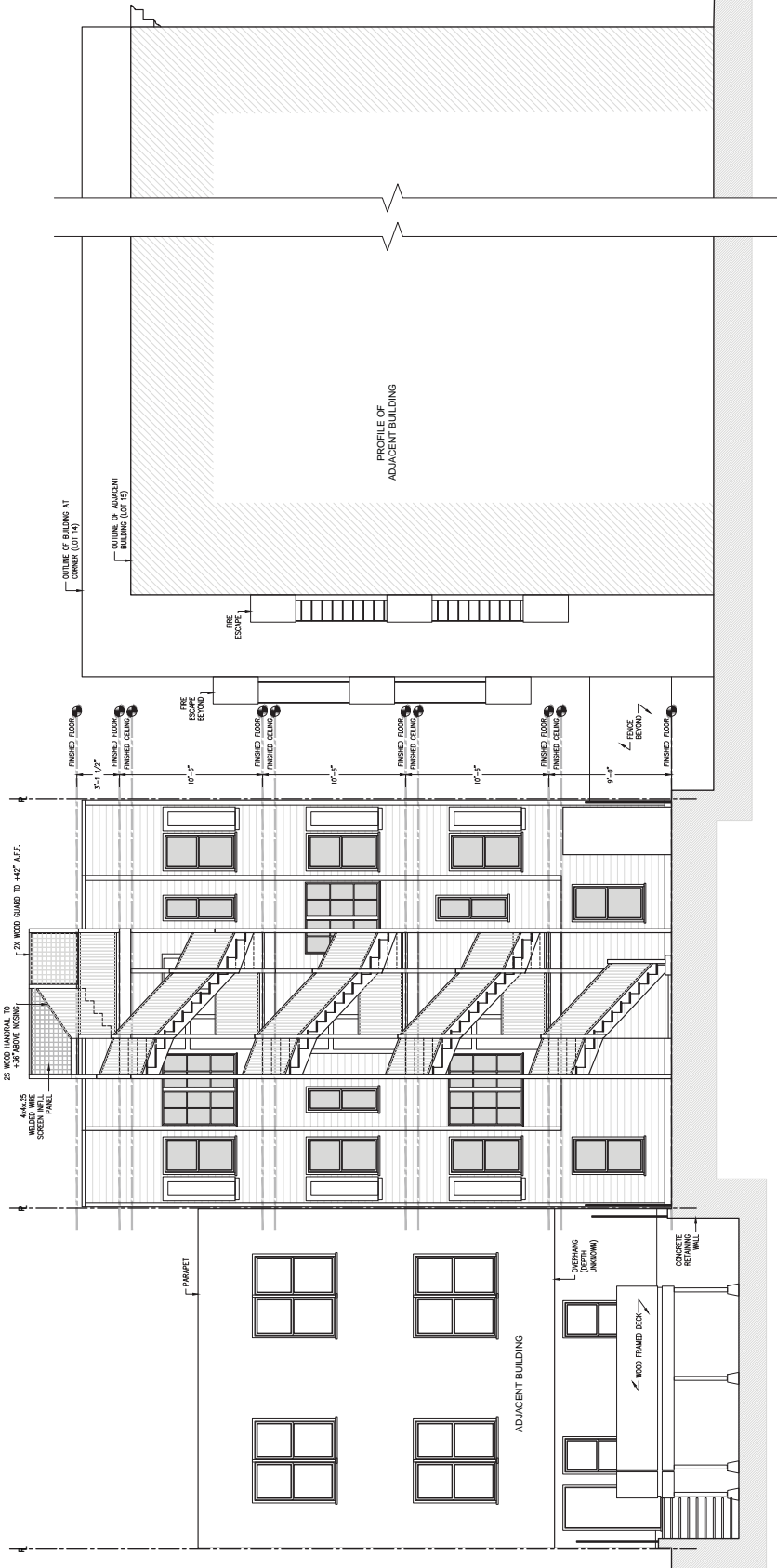


ROOF DECK
 1674 FILBERT STREET
 SAN FRANCISCO, CA
 94123

BLOCK 0521 LOT 013
 DATE REVISIONS
 2014-05-12-5511
 2014-07-28-2259 (SEISMIC)
 2015-04-21-4285
 2015-06-01-1769 (01-15 ADD)
 REVISION / DATE SHEET

SCALE
 DRAWN BY B. FARRELL
 CHECK
 DATE
PROPOSED
 ELEVATIONS

SHEET
A3.2
 OF



REAR YARD PROPOSED ELEVATIONS
 SCALE: 1/4" = 1' - 0"

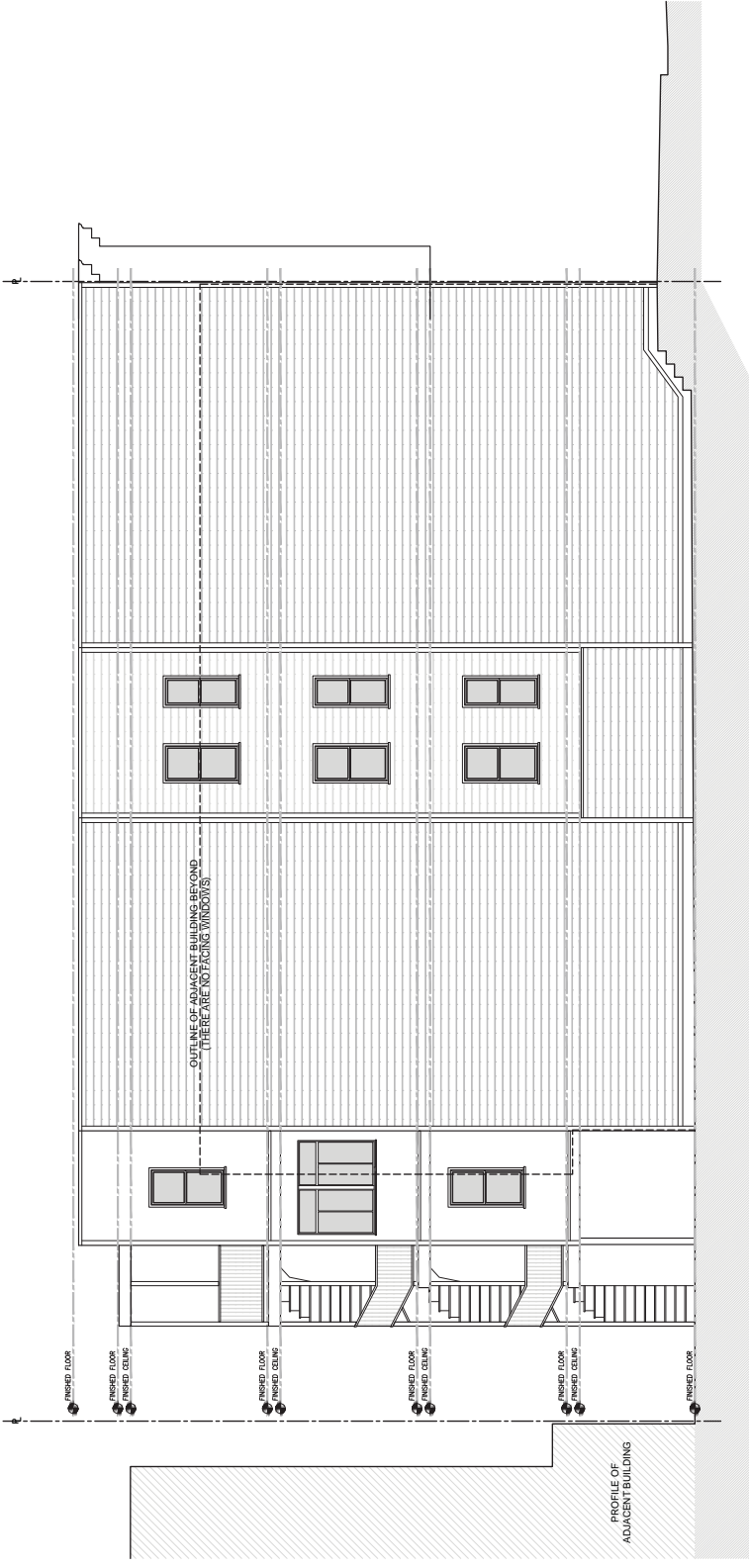


ARCHITECT
ROOF DECK
 1674 FILBERT STREET
 SAN FRANCISCO, CA
 94123

BLOCK LOT
0521 013
 TOTAL PERMITS
 2014-0512-5511
 2014-0728-2259 (RE/SM/C)
 2015-0421-4255
 2015-001-7639 (01-15 ADD)
 REVISION / DATE SHEET

SCALE
 DRAWN BY B. FARRELL
 CHECK
 DATE
EXISTING
 ELEVATIONS

SHEET
A3.3
 OF



EXISTING SIDE ELEVATIONS
 SCALE: 1/4" = 1' - 0"

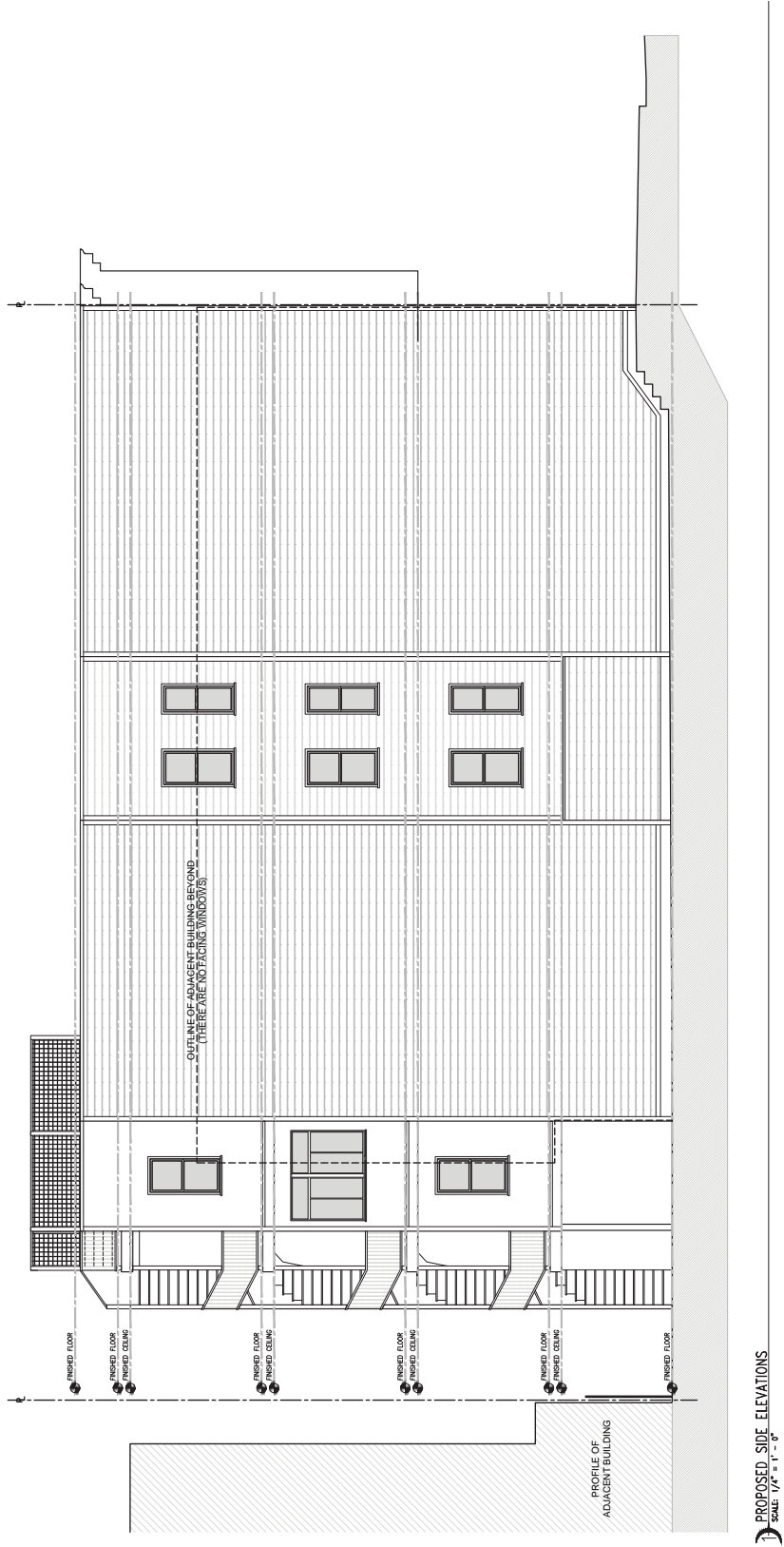


ARCHITECT
ROOF DECK
 1674 FILBERT STREET
 SAN FRANCISCO, CA
 94123

BLOCK _____ LOT **0521 013**
 TOTAL PERMITS
 2014-0512-5511
 2014-0728-2259 (RE/SM/C)
 2015-0421-4255
 2015-001-7639 (01-15 ADD)
 REVISION / DATE SHEET

SCALE _____
 DRAWN BY **B. FARRELL**
 CHECK _____
 DATE _____
PROPOSED
 ELEVATIONS

SHEET
A3.4
 OF





ARCHITECT

ROOF DECK
 1674 FILBERT STREET
 SAN FRANCISCO, CA
 94123

BLOCK LOT
 0521 013
 TITLE PERMITS
 2014-05-12-0511
 2014-07-28-2259 (SEISMIC)
 2015-04-21-4285
 2015-06-17-609 (06-15 ADD)
 REVISION / DATE SHEET

SCALE
 DRAWN B. FARRELL
 CHECK
 DATE
 EXISTING
 ELEVATIONS

SHEET
A3.5
 OF



EXISTING SIDE ELEVATIONS
 SCALE: 1/4" = 1' - 0"



ARCHITECT

ROOF DECK
 1674 FILBERT STREET
 SAN FRANCISCO, CA
 94123

BLOCK 0521 013
 LOT 013
 TOTAL SQUARE FEET 2014-0512-0511
 2014-0728-2259 (RE/SMC)
 2015-0421-4285
 2015-001-17639 (00-15 ADD)
 REVISION / DATE SHEET

SCALE _____
 DRAWN BY B. FARRELL
 CHECK _____
 DATE _____
PROPOSED
 ELEVATIONS

SHEET
A3.6
 OF



PROPOSED SIDE ELEVATIONS
 SCALE: 1/4" = 1' - 0"



ARCHITECT

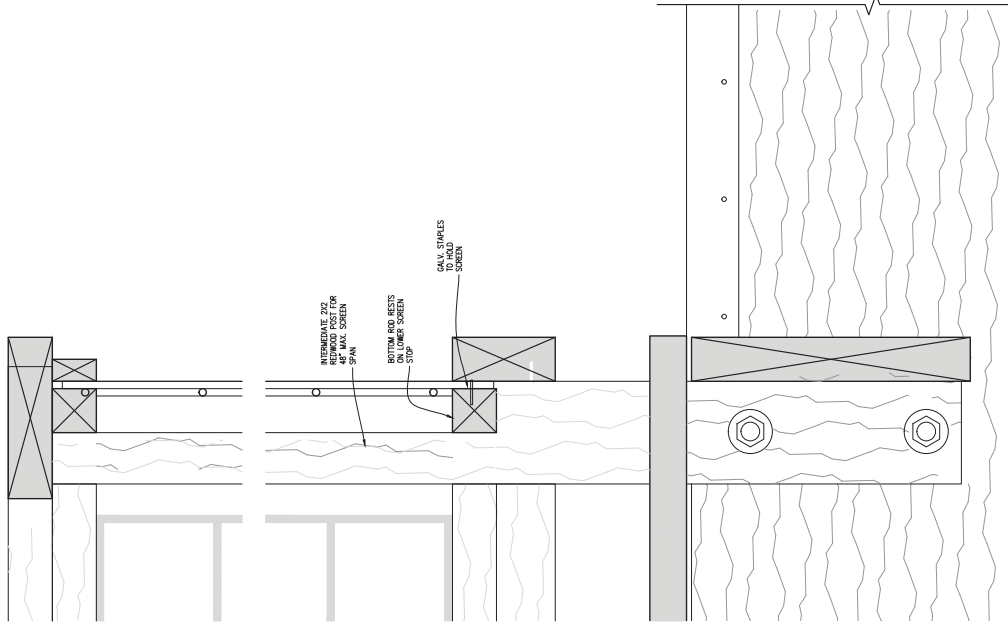
ROOF DECK
 1674 FILBERT STREET
 SAN FRANCISCO, CA
 94123

BLOCK LOT
 0521 013
 DATE REVISIONS
 2014-05-12-5511
 2014-07-28-2259 (RE/SM/C)
 2015-04-21-4285
 2015-06-01-1768 (00-15 ADD)
 REVISION / DATE SHEET

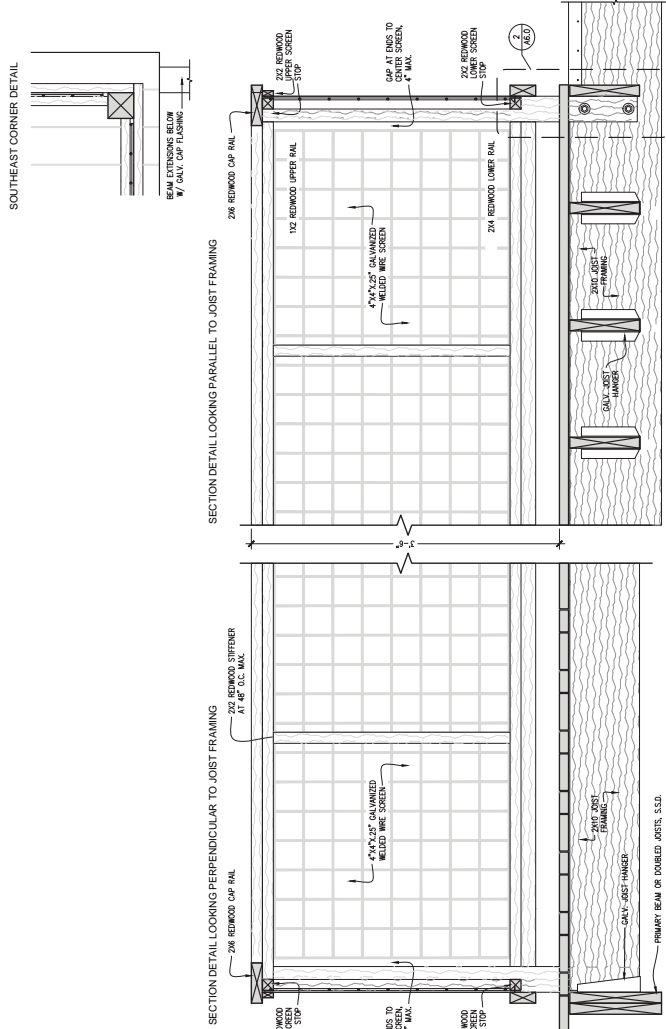
SCALE
 DRAWN: B. FARRELL
 CHECK:
 DATE:
 DETAILS

SHEET

A6.0
 OF



SECTION DETAILS AT DECK
 SCALE: 1/2" = 1' - 0"



SECTION DETAILS AT DECK
 SCALE: 1/2" = 1' - 0"



ROOF DECK
 1674 FILBERT STREET
 SAN FRANCISCO, CA
 94123

BLOCK 0521 LOT 013
 DATE REVISIONS
 2014-05-12 2511
 2014-07-28 2259 (SE/SM/C)
 2015-04-21 4255
 2015-06-01 17628 (00-15 ADD)
 REVISION / DATE SHEET

SCALE
 DRAWN B. FARRELL
 CHECK
 DATE
 PHOTOS

SHEET

A10.0

6



VIEW FROM WEST



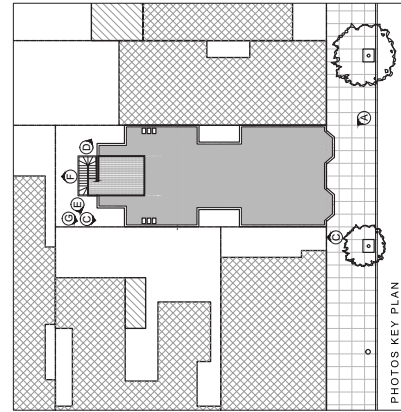
VIEW FROM SOUTH



VIEW FROM EAST



VIEW FROM NORTH



PHOTOS KEY PLAN