



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

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415.558.6378

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Information:
415.558.6377



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, January 25, 2017**
Time: **Not before 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	969 Burnett Avenue	Case No.:	2016-008217VAR
Cross Street(s):	Glenview and Portola	Building Permit:	2016.05.02.6225
Block /Lot No.:	2847/044	Applicant:	W. Charles Perry
Zoning District(s):	RM-1 / 40-X	Telephone:	(415) 509-2956
Area Plan:	N/A	E-Mail:	charles@wcharlesperry.com
PROJECT DESCRIPTION			
<p>The proposal is for a new Accessory Dwelling Unit (ADU) within the existing building envelope. Additionally, the proposal includes repairing and expanding existing rear decks and addition of a new rear deck for an ADU which is being sought under a separate building permit.</p> <p>PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a rear yard of 19 feet, 8 inches. The existing building and rear decks encroach into the required rear yard to within 17 feet, 5 inches of the rear property line. The proposal includes extending the rear decks by 2 feet to within 15 feet, 5 inches of the rear property line and the addition of a fourth deck at the lowest level; therefore, the project requires a variance.</p>			
ADDITIONAL INFORMATION			
<p>ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://notice.sfplanning.org/2016-008217VAR.pdf</p> <p>Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.</p>			
Planner: Veronica Flores Telephone: (415) 575-9173 E-Mail: veronica.flores@sfgov.org			

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311 or 312, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.




An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

BALCONY DECAY REPAIR


969 BURNETT AVE

SAN FRANCISCO, CA 94131

REVISIONS	
NO.	DATE
	S.F. PLANNING REVIEW
-	6/7/2016
	S.F. PLANNING REVIEW
-	10/16/16
	S.F. PLANNING REVIEW
-	11/10/16

W. CHARLES PERRY & ASSOCIATES

231 W. 41ST AVE.
SAN MATEO, CA 94403
650-638-9546



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DRAWINGS ARE
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CONSTRUCTION
WHEN SHOWN
ON 11X17 OR
NOT WET SIGNED
AND DATED

BALCONY DECAY REPAIR

APARTMENT BUILDING

969 BURNETT AVE
SAN FRANCISCO, CA 94131

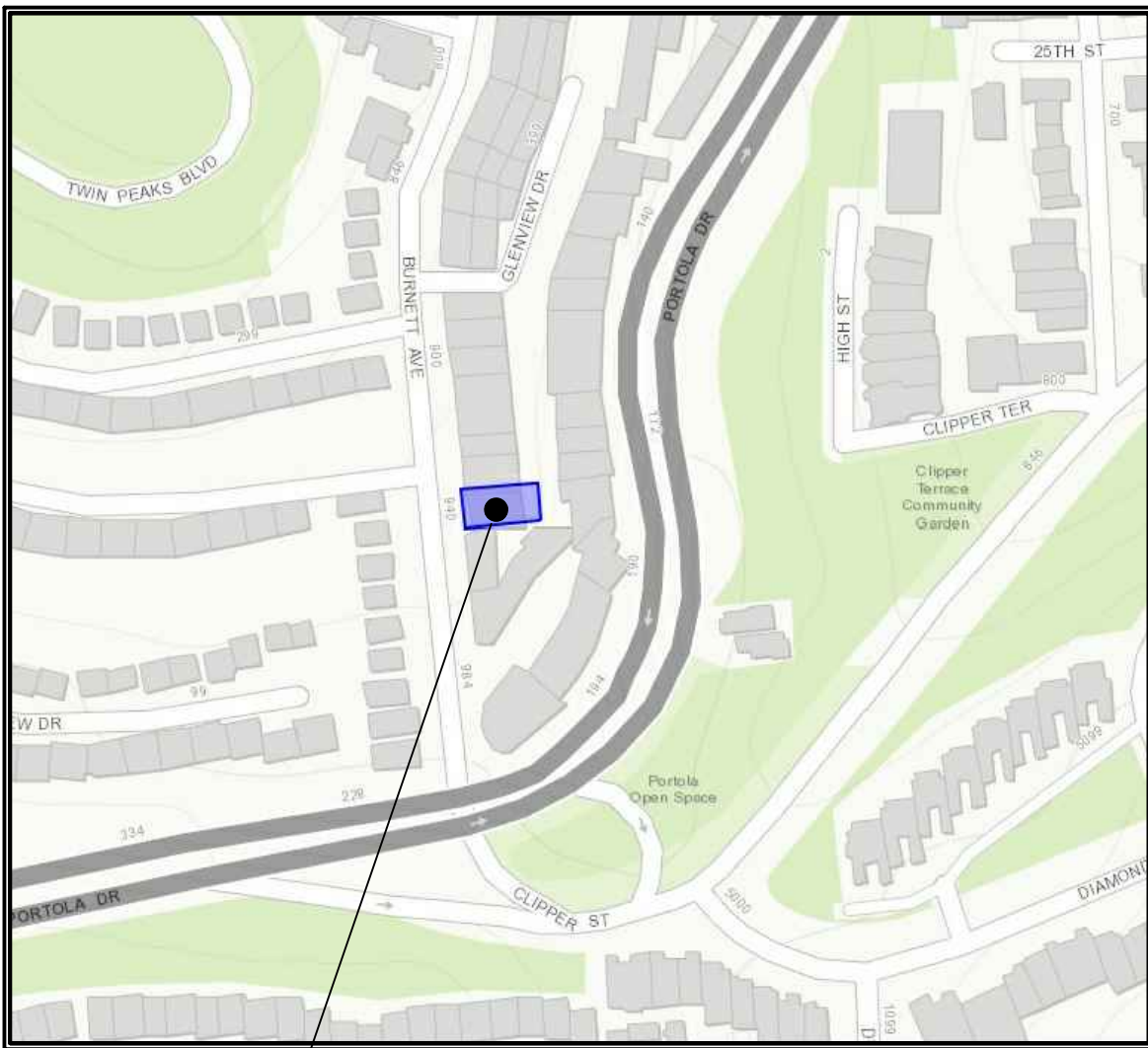
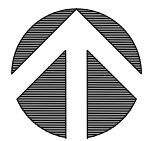
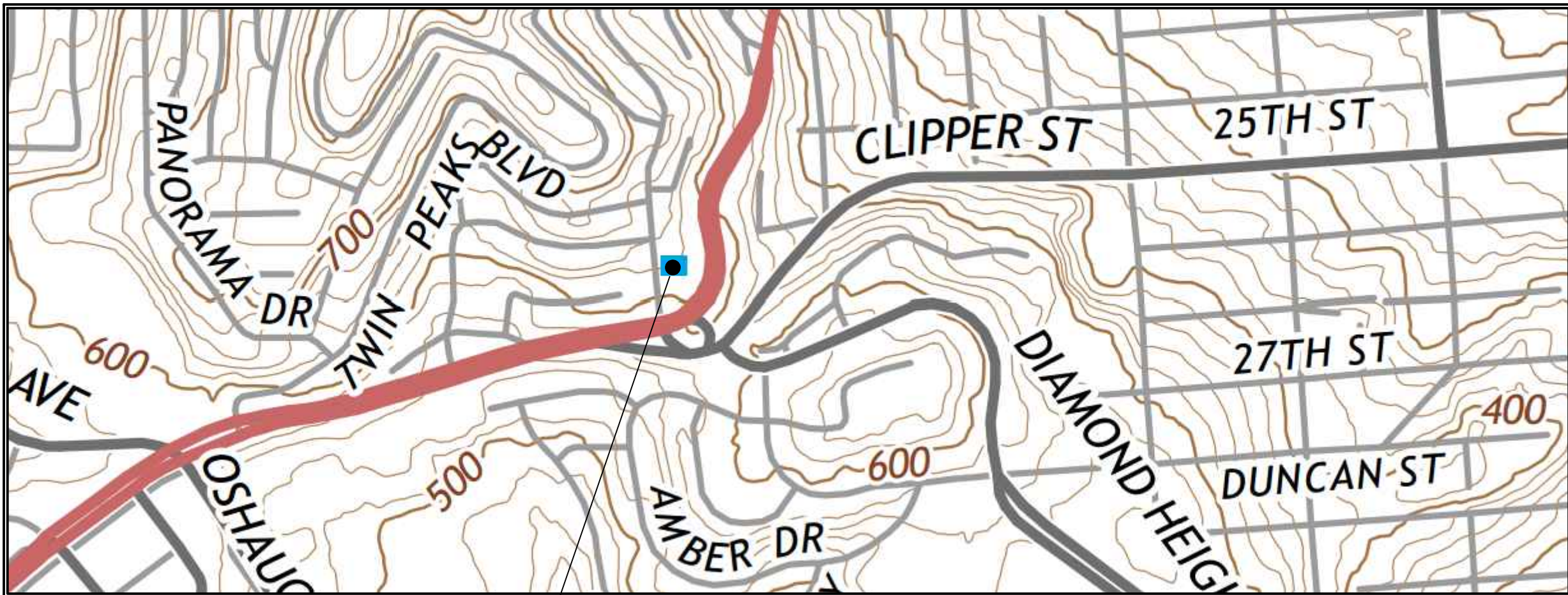
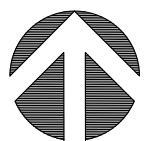
TITLE SHEET

DATE: 2-08-2016

DRAWN BY: RW

JOB#:

T1

PROJECT DATA	SHEET INDEX:	PROJECT TEAM	VICINITY MAP
<div><div>APN # USE ZONING</div><div>TYPE OF CONSTRUCTION OCCUPANCY OF BUILDING BUILDING AREA PARCEL AREA WORK AREA EXISTING BALCONY AREA ADDED BALCONY AREA</div><div>UNITS STORIES YEAR BUILT</div></div> <div><div>2847044 MULTI FAMILY RM-1 – RESIDENTIAL – HOUSE, THREE FAMILY</div><div>SPRINKLED R-2 6,441 SQ FT 3,088 SQ FT 1,173 SQ FT 355 SQ FT 289 SQ FT</div><div>6 3 LIVING LEVELS/4 TOTAL LEVELS 1962</div></div>	<div><div>T1 G1 A1 A1.R A2 A3 A3.R A4 A4.R A5 S1 S1.R S2 S2.R S3 S3.R S4 S4.R S5 S5.R S6.R S7.R</div><div>TITLE SHEET GENERAL NOTES (E) SITE PLAN (N) SITE PLAN (E) FRONT ELEVATION (E) REAR ELEVATION (N) REAR ELEVATION (E) SIDE ELEVATION (N) SIDE ELEVATION (E) PHOTOS (E) LEVEL 1 WALL PLAN & LEVEL 2 FLOOR FRAMING (N) LEVEL 1 WALL PLAN & LEVEL 2 FLOOR FRAMING (E) LEVEL 2 WALL PLAN & LEVEL 3 FLOOR FRAMING (N) LEVEL 2 WALL PLAN & LEVEL 3 FLOOR FRAMING (E) LEVEL 3/4 WALL PLAN & LEVEL 4 FLOOR FRAMING (N) LEVEL 3/4 WALL PLAN & LEVEL 4 FLOOR FRAMING (E) LEVEL 5 WALL PLAN & LEVEL 5 FRAMING (N) LEVEL 5 WALL PLAN & LEVEL 5 FRAMING (E) CROSS SECTION (N) CROSS SECTION BALCONY DETAILS BALCONY DETAILS</div><div>NO. SHEETS = 22</div></div>	<div>ENGINEER:<div>W. CHARLES PERRY & ASSOCIATES 231 W. 41st AVE. SAN MATEO, CA. 94403 PHONE: 650-638-9246 CONTACT: CHARLES PERRY PHONE: 415-509-2956 EMAIL: CHARLES@WCHARLESPERRY.COM</div></div> <div>PROPERTY OWNER:<div>NINE SIXTY NINE, LLC, C/O CONTEMPO LTD 15TH FLOOR, CONTEMPO PLACE 81 HUNG TO ROAD, KWUN TONG KOWLOON, HONG KONG CONTACT: MANCHOR POON EMAIL: MANCHOR.POON@CONTEMPO.COM PHONE: 852-2378-4644</div></div> <div>PROPERTY MANAGER:<div>AMORE REAL ESTATE 3001 LAGUNA ST. SAN FRANCISCO, CA 94125 CONTACT: JERRY HSIEH EMAIL: JERRY-HH@AMORES.F.COM PHONE: 415-549-7010</div></div> <div>CONTRACTOR:<div>TO BE DETERMINED</div></div>	<div><div><div>SITE</div><div>TRUE NORTH</div></div></div>
TOPOGRAPHY	CODES USED	ABBREVIATIONS	
<div><div><div>SITE</div><div>TRUE NORTH</div></div></div>	<div>1. COMPLY WITH ALL CODES INCLUDING; 2013 CALIFORNIA STATE BUILDING CODE 2013 CALIFORNIA STATE PLUMBING CODE 2013 CALIFORNIA STATE MECHANICAL CODE 2013 CALIFORNIA STATE ELECTRICAL CODE CALIFORNIA FIRE CODE, TITLE 24, PG&E REQUIREMENTS AND 2013 CURRENT CITY CODES INCLUDING:</div> <div>PROJECT SCOPE</div> <div>NOTES</div> <div>1. PLANS WERE EXTENSIVELY REVISED BASED ON INITIAL S.F. PLANNING REVIEW AND REQUIREMENTS FOR VARIANCE. 2. INDIVIDUAL CHANGES NOT SEPARATELY MARKED; ENTIRE SHEETS MARKED AS REVISED</div>	<div><div>© ADD'N. AVE. BLDG. BD'S BLK'G. BM. CONC. CAB. C.J. CLG. CLT. CONC. CONT. DN. DBL. D.S. DIA. D.J. (E) ELEC. ELEV. EXT. EA. FDN. F.H. FIXT. F.J. FLR. FLUOR. FT. FTG. FURN. GA. GALV. GFI GLB G.S.M. GYP. BD. HDR. HNGR. HWY. IN. INCAND. INC. INSUL. JT. LNDY.</div><div>AT ADDITION AVENUE BUILDING BOARDS BLOCKING BEAM CONCRETE CABINET CEILING JOIST CEILING CLOSET CONCRETE CONTINUOUS DOWN DOUBLE DOWN SPOUT DIAMETER DECK JOIST EXISTING ELECTRIC ELEVATION EXTERIOR EACH FOUNDATION FULL HEIGHT FIXTURE FLOOR JOIST FLOOR FLUORESCENT FEET FOOTING FURNACE GAUGE GALVANIZED GROUND FAULT INTERRUPT GLUE LAMINATED BEAM GALVANIZED SHEET METAL GYPSUM BOARD HEADER HANGER HIGHWAY INCH INCANDESCENT INCLUDE INSULATION JOIST LAUNDRY</div><div>LT. MAX. MFR. MIN. MT'D. MTL. (N) N.I.C. N.T.S. O/C O.C. O/ O.H. OP. OPP. OP'G. PART. PLYWD. PT.GR. P.T. R. RTD RD. REINF. REQ'D. RM. R.O. S-TAB S.D. SECT. SIM. SINGL. S.O.G. STD. T & G T.D.L. T.O.C. THK. TR. TYP. U/ V.I.F. V.B. W/ W/O WD. W.P. W.W.F.</div><div>LIGHT MAXIMUM MANUFACTURER MINIMUM MOUNTED METAL NEW NOT IN CONTRACT NOT TO SCALE ON CENTER OVER OVER HEAD, OVER HANG OPERATED OPPOSITE OPENING PARTIAL PLYWOOD PAINT GRADE PRESSURE TREATED RADIUS, RISER RIGID TRUSS DIAPHRAGM ROAD REINFORCED REQUIRED ROOM ROUGH OPENING SEISMICALLY-TUNED ARTICULATED BRACED FRAME SMOKE DETECTOR SECTION SIMILAR SINGLE SLAB ON GRADE STANDARD TONGUE & GROOVE TRUE DIVIDED LITE TOP OF CONCRETE THICK TREAD TYPICAL UNDER VERIFY IN FIELD VAPOR BARRIER WITH WITHOUT WOOD WOOD PROOF WELDED WIRE FABRIC</div></div>	

GENERAL NOTES:

1.01. All work on these drawings is intended to comply with the 2013 California Building Code (CBC). Construction is to comply with all chapters of that code. It is the Contractor's responsibility to be familiar with the standard requirements for construction, and to keep a copy of the 2013 CBC Volume 1 on the job site at all times. The code is to be considered a part of this drawing set.

1.02. The contractor to provide all work and materials in accordance with or as required by the 2013 California Building Code (CBC), 2013 California Mechanical Code (CMC), 2013 California Plumbing Code (CPC), 2013 California Electrical Code (CEC), 2013 California Energy Code, 2013 Fire Code, and all other state, and local ordinances and regulations.

1.03. These drawings and specifications are the property and copyright of the Designer and shall not be used on any other work or project except by written agreement with the Designer.

1.04. CONTRACTOR AND SUB-CONTRACTORS ARE RESPONSIBLE FOR THOROUGH REVIEW OF THESE DOCUMENTS INCLUDING ALL PLANS, NOTES, DETAILS, AND ELEVATIONS PRIOR TO THE COMMENCEMENT OF ANY WORK. Any discrepancy in this set of construction documents is to be brought to the immediate attention of the Designer.

1.05. IF specifications vary within this set of plans, the stringent is said to apply. Any clarifications necessary shall be done through the Designer only and in writing.

1.06. If any details are noted to be missing or incomplete, written questions are to be directed to the Designer for clarification prior to the signing of any contract for construction.

1.07. The General Contractor is required to notify the Designer in writing of any substitution, revision or proposed alternate at least two weeks prior to the expected date of order or installation of said alternate in order to allow adequate time of coordination and approvals by Designer, any professional consultants as well as the local code enforcement agency. A two week response is not guaranteed, so the greater the notice period, the better.

1.08. The General Contractor shall be responsible for scheduling and being present for all required inspections.

1.09. Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. Any discrepancy shall be immediately brought to the attention of the Designer prior to the commencement of any work. The General Contractor shall verify all dimensions and site/grade conditions prior to commencing any work. The General Contractor shall keep a set of these plans and specifications on the job site as reference at all times.

1.10. The construction contractor and his subcontractors agree that in accordance with generally accepted construction practices, the construction contractor and his subcontractors will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project, including safety of all persons and property. This requirement shall be made to apply continuously and not limited to normal working hours, and the construction contractor and his subcontractors further agree to defend, indemnify and hold the Designer harmless from any and all liability, real or alleged, in connection with the performance of the work on the project, except liability arising from the sole negligence of the Designer.

1.11. The General Contractor is required to designate a contact person for the project. The contact's name and phone number area to be given to the Owner and the Designer. Unless specified by the Owner, the General Contractor is to provide full time supervision on the job site for the duration of the project. General Contractor is to provide and maintain a job site phone and fax machine.

1.12. The Contractor shall confine operations to the site areas permitted by law, ordinances, permits, and the contract documents and shall not unreasonably encumber the site with any materials or equipment.

1.13. No portion of the work requiring a shop drawing or sample submission (per the request of the owner, General Contractor, or Designer) shall be commenced until the submission has been reviewed and acted upon by the said party. All such portions of the work shall be in accordance with the approved shop drawings and samples.

1.14. General Contractor is responsible for visiting job site prior to bidding and conducting reasonable inspection of existing conditions for purpose of accurately assessing the scope of work, site conditions and overall project intent. Questions arising from this site visit are to be directed to the Designer for clarification prior to bid.

1.15. These drawings are intended to illustrate a complete job. Unless specified, work is to include all common and necessary accessories (i.e. toilet roll holders, towel bars, mirrors, etc.) as well as all components required to meet current code requirements in the jurisdiction where work is being performed.

1.16. Certain items, materials, and features represented within this set may not be approved as part of the building permit. Questions regarding the specifics of approvals shall be directed to local jurisdiction.

1.17. Notice: This set has been produced for the purpose of obtaining a building permit. These drawings are not intended to be accurate "as-builts," nor inclusive of all details, drawings material specifications, etc. needed to address all possible construction issues.

1.18 These working drawings are not to be used in any construction for which building permits have not been obtained. Additionally, the Designer is not responsible for the correctness of any work undertaken prematurely if it is based on plans that have not been reviewed and approved by the building department. This stipulation applies to original submittal drawings, and revisions. All drawings are preliminary until a permit is issued.

DEMOLITION NOTES:

2.01. The existing retaining walls are to be demolished.

2.02. Verify with owners whether or not old, removed and miscellaneous materials should be saved for possible future use or discarded.

2.03. General Contractor is responsible for replacement of items damaged by demolition or removed in error.

2.04. No asbestos removal is to be undertaken by any party except as allowed by law.

2.05. Existing gas service pipe to be located, protected, and reused.

2.06. General Contractor to be responsible for removal of all construction debris and other associated materials from the structure and the site. Framed areas to be free of debris and vacuum cleaned prior to sheet rocking.

2.07. Design and installation of all temporary shoring is the responsibility of the general contractor and sub-contractors. All existing framing and load transfer is to be field verified prior to shoring of any portion of the structure.

2.08. All unused and demolished electrical is to be removed back to the nearest utilized junction. No dead hots to remain after construction.

SITE DEVELOPMENT NOTES:

3.01. Verify location of all underground utilities and services prior to excavation.

3.02. Contractor shall verify the locations of all property boundaries for the site and verify all setback and easement location s prior to construction. Any discrepancies should be brought to the attention of the Designer before further commencement of work.

3.03. Contractor is responsible for notifying and scheduling the project Engineer of Record for site inspections and observations of excavations, drilling, drainage, backfill, etc.

3.04. Soil compaction for grading or backfill shall be placed in 6" maximum lifts to 95% compaction, unless specified otherwise by project soils engineer.

3.05. Temporary earth shoring is the responsibility of the contractor & sub-contractor.

3.06. Soils Engineer of Record shall review & approve all retaining wall, foundation, grading, & drainage plans.

3.07. Soils Engineer shall inspect and approve all excavation, back filling, compaction, & grading.

FOUNDATION & CONCRETE NOTES:

4.01. For building code references see the 2013 Calif. Code of Building Regulations.

4.02. Foundation vents- per 2013 CBC, provide vent openings of not less than 1 s.f. for each 150 s.f. of under floor area. Openings shall be covered with corrosion resistant wire mesh with openings of 1/4" dimension. Where moisture due to climate and groundwater conditions is not considered excessive, the enforcement agency may allow operable louvers and the required net area of vent openings to be reduced to 10 percent of the above, provided the under-floor ground surface area is covered with an approved vapor retarder.

4.03. Provide minimum of 18" x 24" access to under floor areas per 2013 CBC.

4.04. Minimum clearance between bottom of floor joist of floors without joists and the ground beneath shall be 18". Minimum clearance under girders shall be 12" per 2013 CBC.

4.05. Provide 8" wood framing separation from earth & 2" separation from paving per CBC.

4.06. All concrete rough opening sized, elevations, etc. are to be verified prior to foundation pour. Locations of holdowns, curbs, steps, curtains, plumbing and mechanical, etc. are to be coordinated by the General Contractor. Should additional clarifications to these drawings be required, the contractor should contact the Designer as early as possible.

4.07. All cold joints to be chipped for rough surface, sandblasted clean and free of soil or debris. Dampen surface immediately prior to concrete pour.

4.08. Revisions and substitutions are to be submitted to the building department and must be approved prior to continuing work.

4.09. Special inspection by the Engineer of Record will be required before and after for water proofing below grade.

4.10. When shot-crete is specified, special inspection will be required by the Engineer of Record prior and during the process.

MECHANICAL NOTES:

5.01. All work shall comply with the 2013 California Mechanical Code and all applicable federal, state, and local codes. Mechanical work is to be bid and provided complete per code.

5.02. Per 2013 CBC, heating facilities shall be capable of maintaining a room temperature of 70 degrees F at a point three feet above the floor.

5.03. Mechanical contractor to accept sole responsibility for proper design and installation of mechanical system. Mechanical contractor to coordinate with the Designer & General Contractor to design and install suitable mechanical distribution system per Title 24. See sheet index for location of Title 24 conformance worksheets and energy compliance notes within this set.

5.04. Mechanical layout shown is schematic and is shown for design intent only. Mechanical contractor to coordinate with the Engineer of Record to design and install suitable mechanical distribution system per Title 24.

5.05. Furnaces shall be installed per manufacturer's specifications and shall meet requirements of the 2013 CMC.

5.06. For furnaces installed in attics, provide a minimum 20" x 30" access opening, with a level platform, convenience duplex outlet, and area light switched from attic opening. Opening must be adequate to remove and replace any installed mechanical equipment.

5.07. For indoor stoves, an exhaust duct and fan having a minimum capacity of 100 cfm per square foot of hood intake shall be installed, as wide as the unit and centered over the unit. When the duct penetrates a ceiling or floor, it shall be enclosed in a fire-resistive shaft covered on one side as required for one-hour fire-resistive construction, with the duct separated from the shaft with a minimum 1" airspace, and terminate minimum 18" above the roof surface.

5.08. Appliances designed to be fixed in position shall be securely fastened in place. Supports for appliances shall be designed and constructed to sustain vertical and horizontal loads as required by the 2013 CMC.

5.09. Appliances installed in garages with glow, spark, or flame ignition shall have igniter 18" above floor and shall be protected from vehicle impact.

ELECTRICAL NOTES:

6.01. All work shall comply with the 2013 California Electrical Code (CEC) and all applicable federal, state, and local states and ordinances.

6.02. All unused and demolished electrical is to be removed back to the nearest utilized junction. No dead end live wires to remain after construction.

6.03. All electrical load sheets and calculations required by the building department shall be the responsibility of the Electrical Sub-contractor and approved by the Designer.

6.04. Telephone outlets to be pre-wired by Contractor. Verify location of all telephone outlets with owner prior to installation.

6.05. Electrical openings (switches, receptacles, etc.) on opposite sides of fire rated walls shall be maintained at least 24 inches apart.

6.06. Per 2013 CEC, lighting fixtures, lighting outlets and ceiling fans located over an indoor spa or hot tub or within 5 feet of the inside wall of the spa or hot tub shall be a minimum of 7"-6" above the maximum water level and shall be protected by a ground-fault circuit interrupter.

Exception 1: Lighting fixtures, lighting outlets and ceiling fans located 12 ft. or more above the maximum water level shall not require protection by a ground-fault circuit-interrupter.

Exception 2: Lighting fixtures meeting the requirements of items "a." or "b." below and protected by a ground-fault circuit-interrupter shall be permitted to be installed less than 7 ft.-6 in. over a spa or hot tub.

- a. Recessed fixtures with a glass or plastic lens and nonmetallic or electrically isolated metal rim, suitable for use in damp locations.
- b. Surface-mounted fixtures with a glass or plastic globe and a non-metallic body or a metallic body isolated from contact and suitable for use in damp locations.

6.07. Per 2013 CEC, receptacle spacing shall not exceed 12 feet measured horizontally along the wall.

6.08. Per 2013 CEC, kitchen electrical receptacles along the counter tops shall be spaced a maximum of 2 feet from the sink(s) and 4 feet on-center. Island or peninsula counter tops 12 inches or wider shall have at least one receptacle for each 4 feet of counter top. Kitchen outlets shall be on at least two separate circuits with ground-fault circuit interrupt protection.

6.09. Per 2013 CEC, at least one wall switch-controlled lighting outlet shall be installed in every habitable room; in bathrooms, hallways, stairways, attached garages, and detached garages with electrical power; and at outdoor entrances or exits.

DESIGNER/OWNER/CONTRACTOR AGREEMENT:

7.01. Contractor is responsible for thorough review of these documents including all plans, notes, details and elevations prior to the commencement of any work.

7.02. The contractor is also responsible for thorough review of compliance with the soils investigation report, the structural calculations report, Title-24 energy report, and any other consultant reports listed. All reports and recommendations are to be considered part of these construction documents.

7.03. The contractor shall notify the Engineer of Record immediately of any discrepancies or conflicts in these drawings.

7.04. The contractor shall give the Engineer of Record adequate notice (min. 48 hours) for any necessary site visits or drawing revisions.

7.05. Should the contractor or owner disagree with any of the requirements of this set he/she shall notify the Engineer of Record in writing prior to signing of the contract for construction and the Engineer of Record shall be contracted to provide additional or alternative information needed or requested.

7.06. Contractor is responsible for full time adequate supervision of all sub-trades. Contractor must designate a contact person for all information related to job site information.

7.07. By using these documents for the construction, the Contractor and Owner warrant that they have read, do understand, and agree to these conditions.

STUCCO:

8.01. Treat edge of (E) stucco with "weld-crete" prior to installing (N) stucco scratch coat. Where plywood backing is damaged or rotted, contractor to remove and replace with approved material.

8.02. Damaged material to be removed to adjacent stud, on each side, to make a clean, square opening. Replace with (n) square piece of plywood. Provide backing on all sides, & tape all joints

8.03. Contractor to install 2 layers of 15 pound building paper, lapped to drain.

8.04. Install galvanized stucco lath, screeds, & expansion joints in accordance w/astm c1063-99 and mfg.'s recommendations.

8.05. Provide 7/8" new stucco where read. to match existing finish. Apply stucco as follows:
-Min. 3 coat per ASTM c 926-98a
-Textured to match existing stucco
-Scratch and brown coats should be allowed to harden per stucco association recommendations, before any subsequent coats are applied. The finish coat of stucco should be allowed to cure for 28 days with moist curing for the first 4 days. After 28 days the alkalinity of the surface should be ph neutral (7) before any painting occurs.
-For additional curing guidelines, contractor to follow northwest wall and ceiling bureau guideline, follow the more restrictive of the two.

8.06. Contractor shall submit product literature to Engineer of Record for review & approval prior to installation.

8.07. Areas where (E) stucco is to remain are to be power washed & scraped to remove all loose material.

8.08. On walls where stucco is not completely removed, demo up stucco 16" to allow for the installation of (N) stucco screed & counter flashing.

8.09. Stucco non-removal: stop 16" (one stud bay) short of architectural limits, such as corners etc. Tie in new lath min. 2" lap, lap building paper 2" horizontal. & 6" vertical joints typical.

8.10. Adjacent areas where (E) stucco was removed to have (N) stucco brown coat applied at a thickness 1/8" less than (E) stucco to allow (N) 1/8" finish coat to be flush & blended with (E) stucco.

8.11. Apply (N) 1/8" finish stucco coat over (N) base coat.

8.12. (N) finish coat texture to match (E).

8.13. Blend (N) stucco to (E) from nearest (N) corner bead or control joint.

8.14. Place horizontal control joints at each floor level.

8.15. Vertical control joints to be continuous top to bottom and spaced 12 ft. apart max.

PRIORITY OF DOCUMENTS:

- 9.01. Priority of documents:
 - A. Signed change orders and addendum
 - B. Contracts prevail over:
 - C. Written specifications, including standards, product installation & use guides, codes, and regulations, which prevail over:
 - D. Drawn plans.

9.02. When a conflict or multiple requirements occur, the most restrictive interpretation considering all requirements shall prevail.

9.03. Engineer of Record shall be the final arbiter in the interpretation of contract and construction documents.

REVISIONS

NO.	DATE
 S.F. PLANNING REVIEW	6/7/2016
 S.F. PLANNING REVIEW	10/16/16
 S.F. PLANNING REVIEW	11/10/16

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BALCONY DECAY REPAIR

APARTMENT BUILDING

969 BURNETT AVE
SAN FRANCISCO, CA 94131

GENERAL NOTES

DATE: 2-08-2016

DRAWN BY: RW

JOB#:

G1

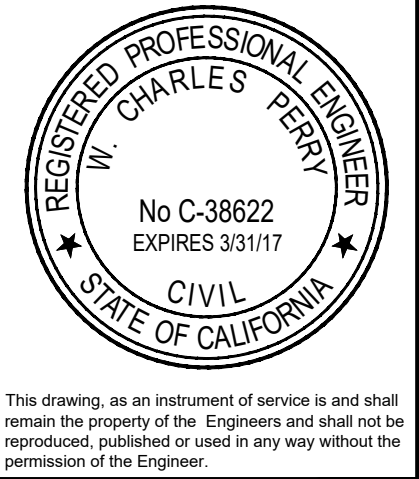


(E) SITE PLAN
SCALE: 1"=20'-0"

REVISIONS	
NO.	DATE
△	S.F. PLANNING REVIEW
-	6/7/2016
△	S.F. PLANNING REVIEW
-	10/16/16
△	S.F. PLANNING REVIEW
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(E) SITE PLAN

DATE: 2-08-2016
DRAWN BY: RW
JOB#:

A1

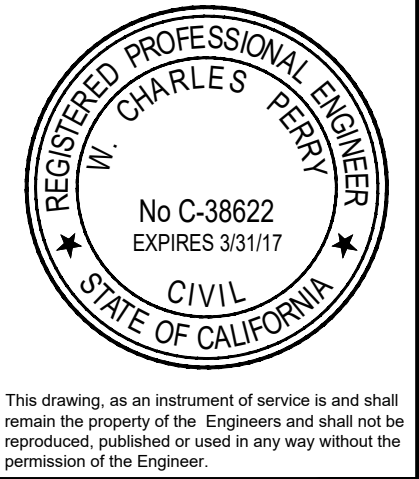


(N) SITE PLAN
SCALE: 1"=20'-0"

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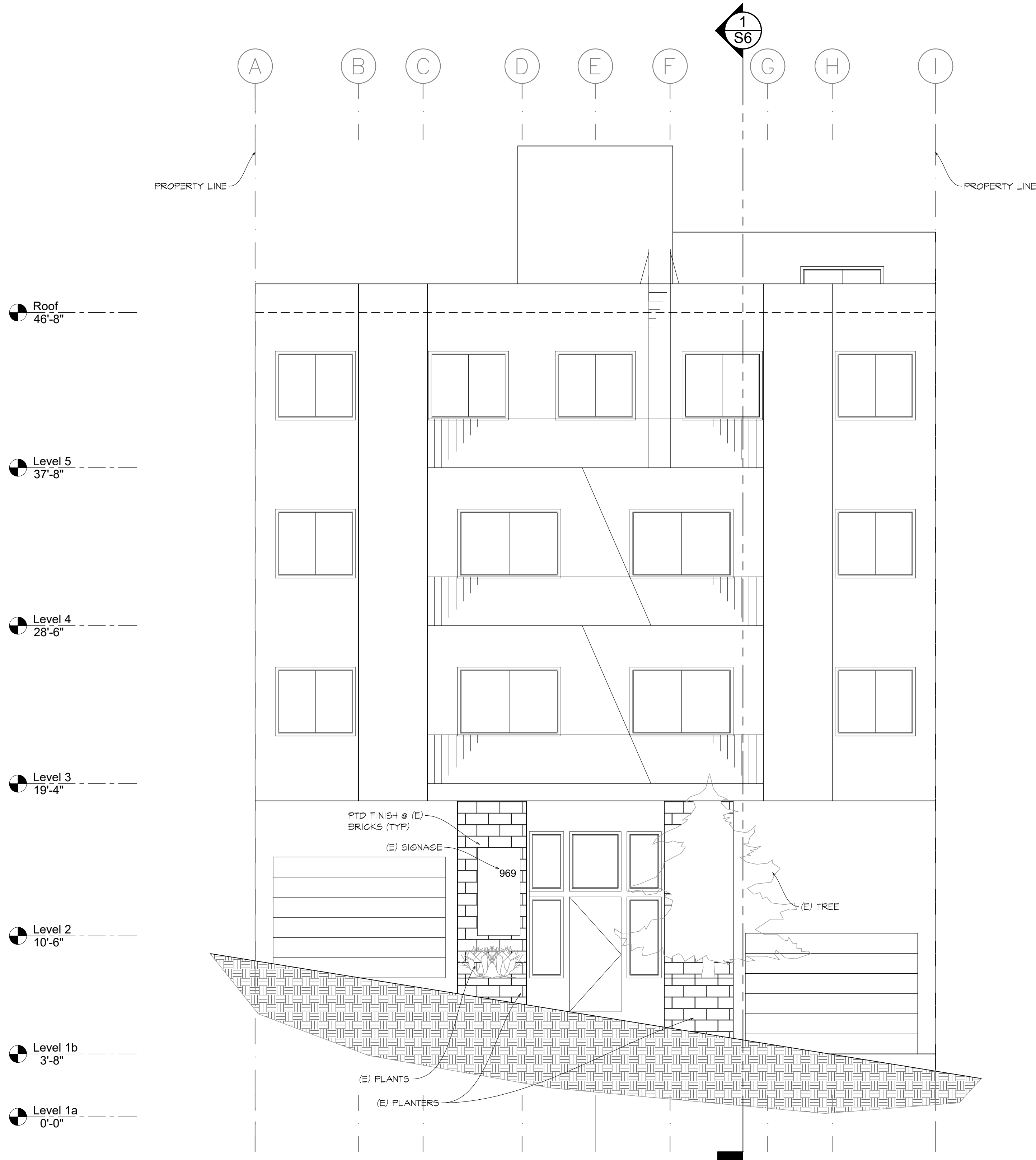
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APARTMENT BUILDING**

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SAN FRANCISCO, CA 94131

(N) SITE PLAN

DATE: 2-08-2016
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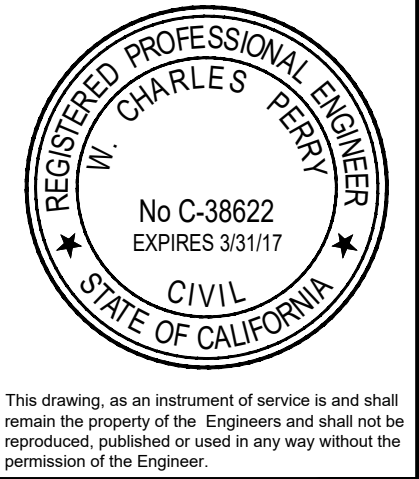
A1.R



REVISIONS	
NO.	DATE
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-	6/7/2016
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-	10/16/16
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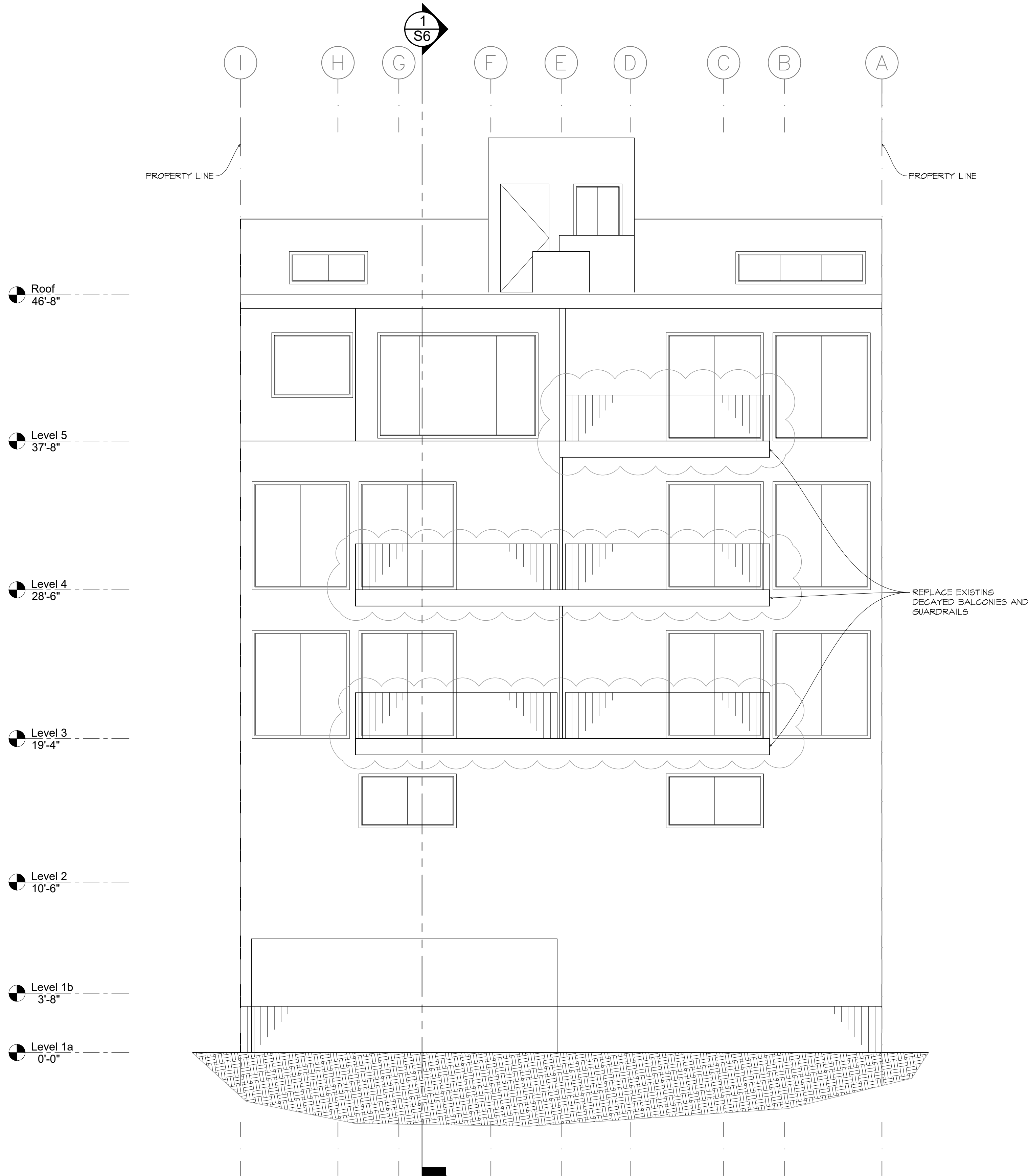
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(E) FRONT ELEVATION

DATE: 2-08-2016
DRAWN BY: RW
JOB#:

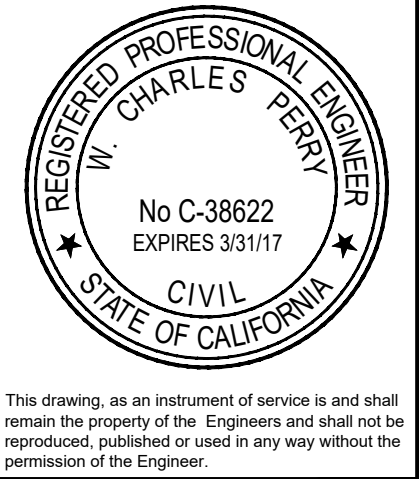
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REVISIONS	
NO.	DATE
1	6/7/2016
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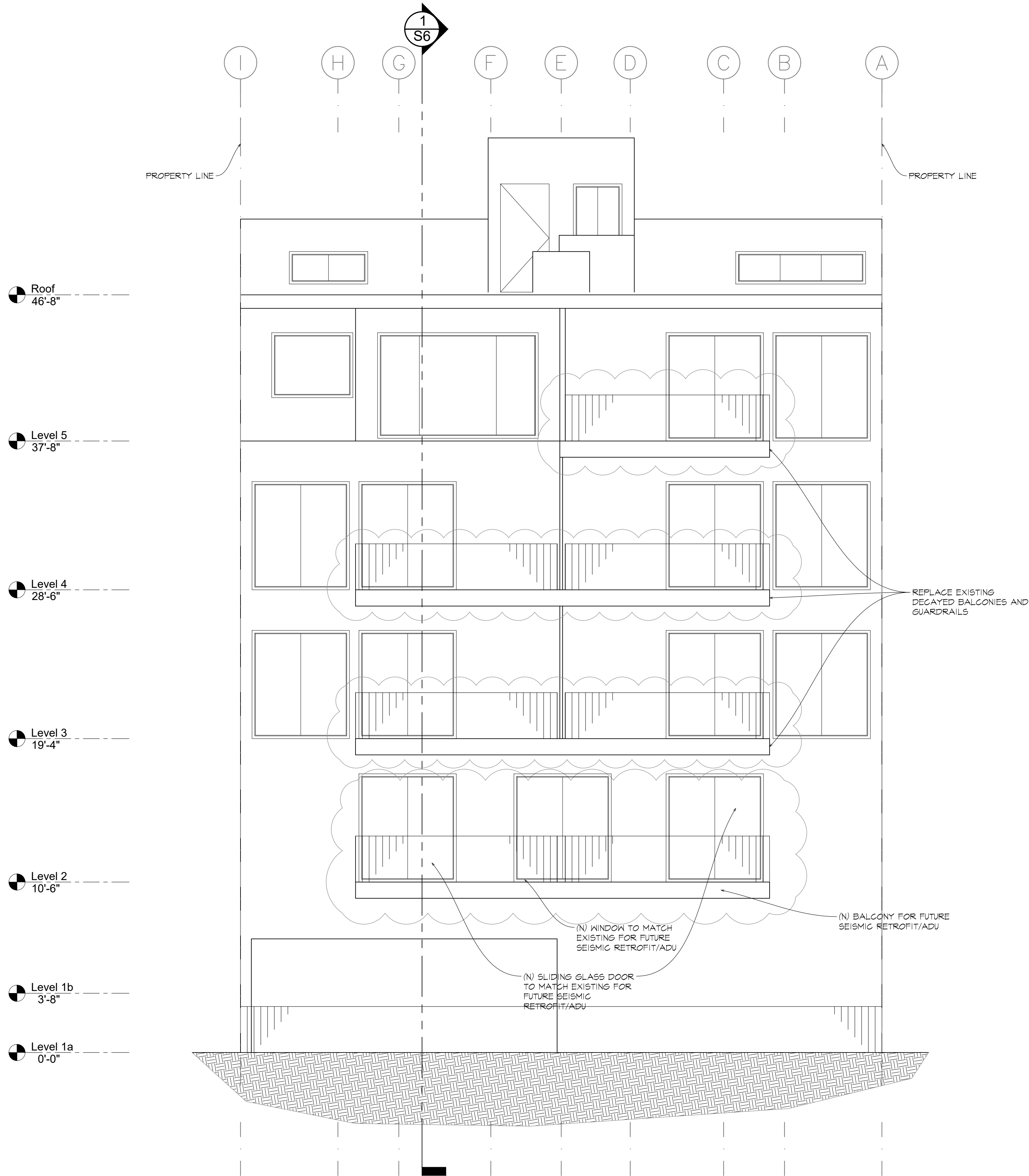
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(E) REAR ELEVATION

DATE: 2-08-2016
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A3

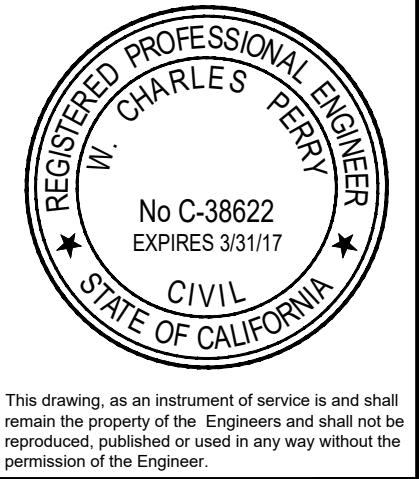


(N) REAR ELEVATION
SCALE: 1/4"=1'-0"

REVISIONS	
NO.	DATE
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-	6/7/2016
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-	10/16/16
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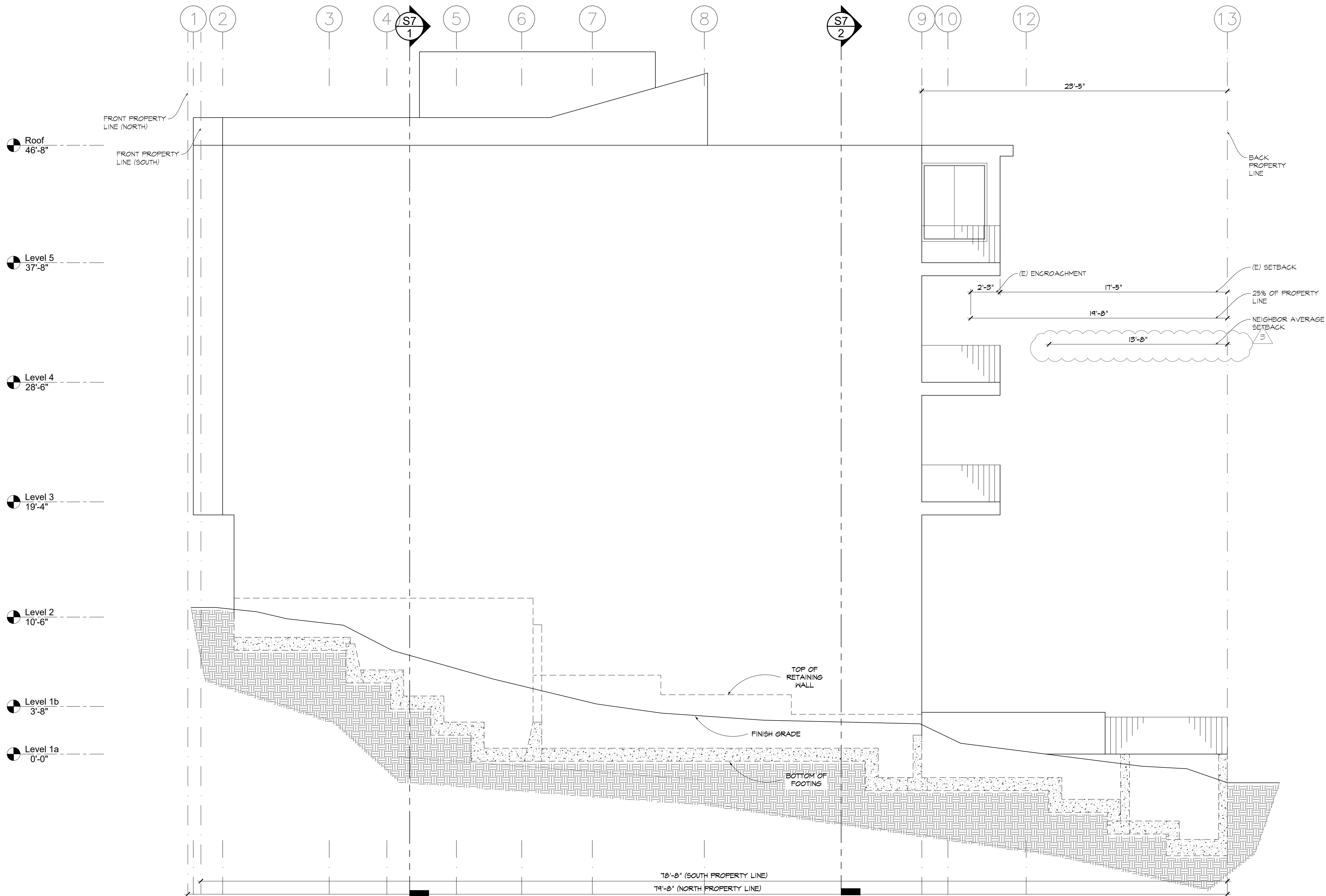
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(N) REAR ELEVATION

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A3.R

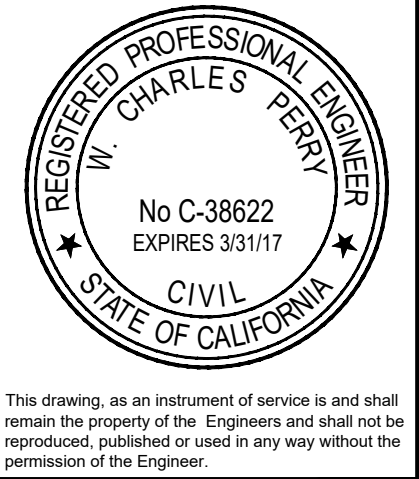


(E) SIDE ELEVATION
SCALE: 1/4"=1'-0"

REVISIONS	
NO.	DATE
△	S.F. PLANNING REVIEW
-	6/7/2016
△	S.F. PLANNING REVIEW
-	10/16/16
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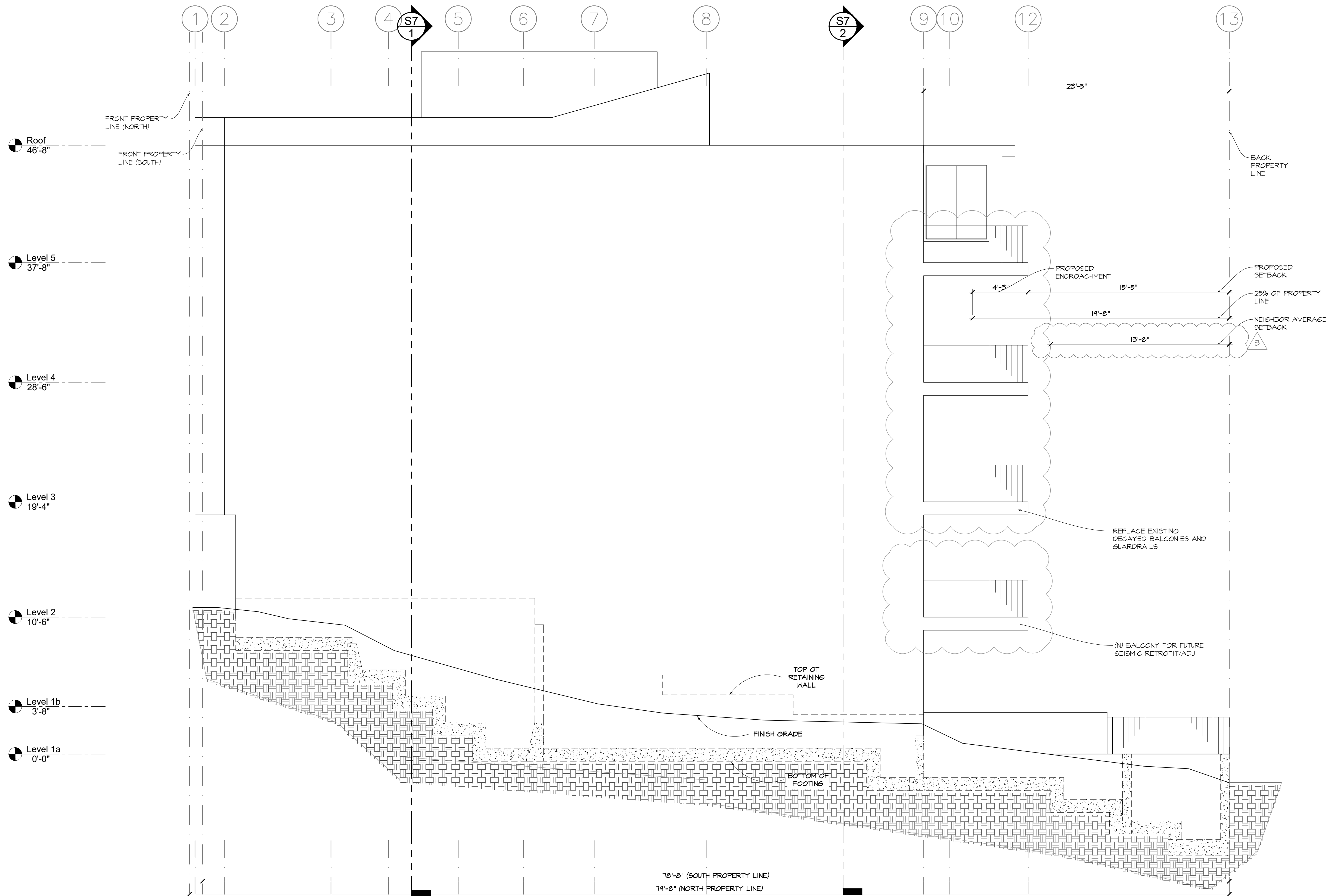
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(E) SIDE ELEVATION

DATE: 2-08-2016
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A4

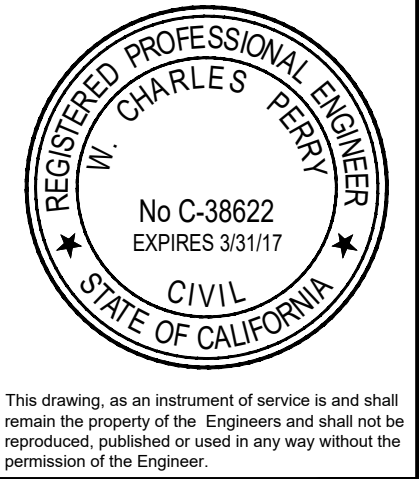


(N) SIDE ELEVATION
SCALE: 1/4"=1'-0"

REVISIONS	
NO.	DATE
△	S.F. PLANNING REVIEW
-	6/7/2016
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(N) SIDE ELEVATION

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(E) FRONT PHOTO
SCALE: N.T.S.



(E) REAR PHOTO
SCALE: N.T.S.

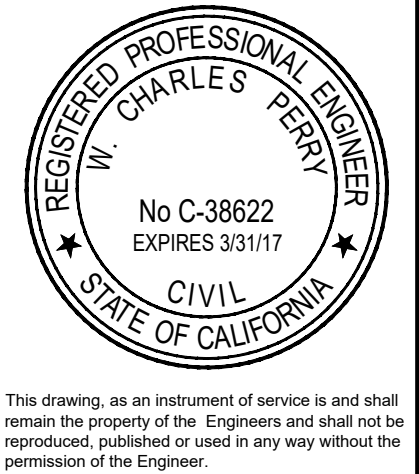


(E) SIDE PHOTO
SCALE: N.T.S.

REVISIONS	
NO.	DATE
1	S.F. PLANNING REVIEW
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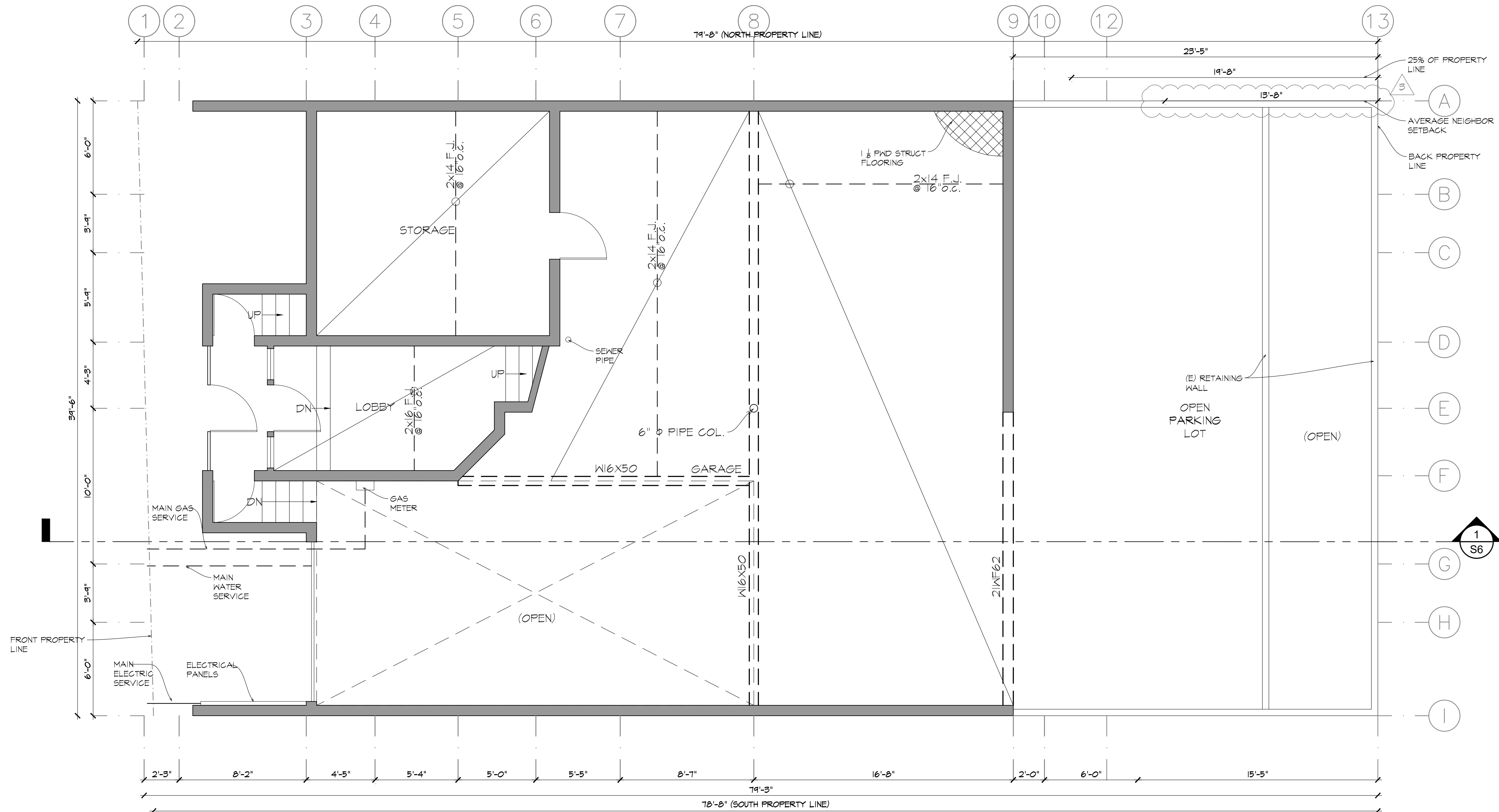
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(E) PHOTOS

DATE: 2-08-2016
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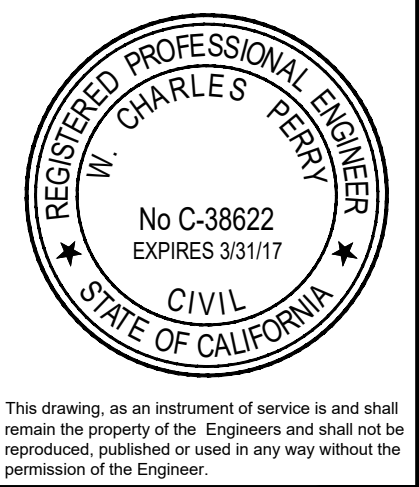
A5



(E) LEVEL 1 WALL PLAN & LEVEL 2 FRAMING
SCALE: 1/4"=1'-0"

REVISIONS	
NO.	DATE
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-	6/7/2016
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-	11/10/16

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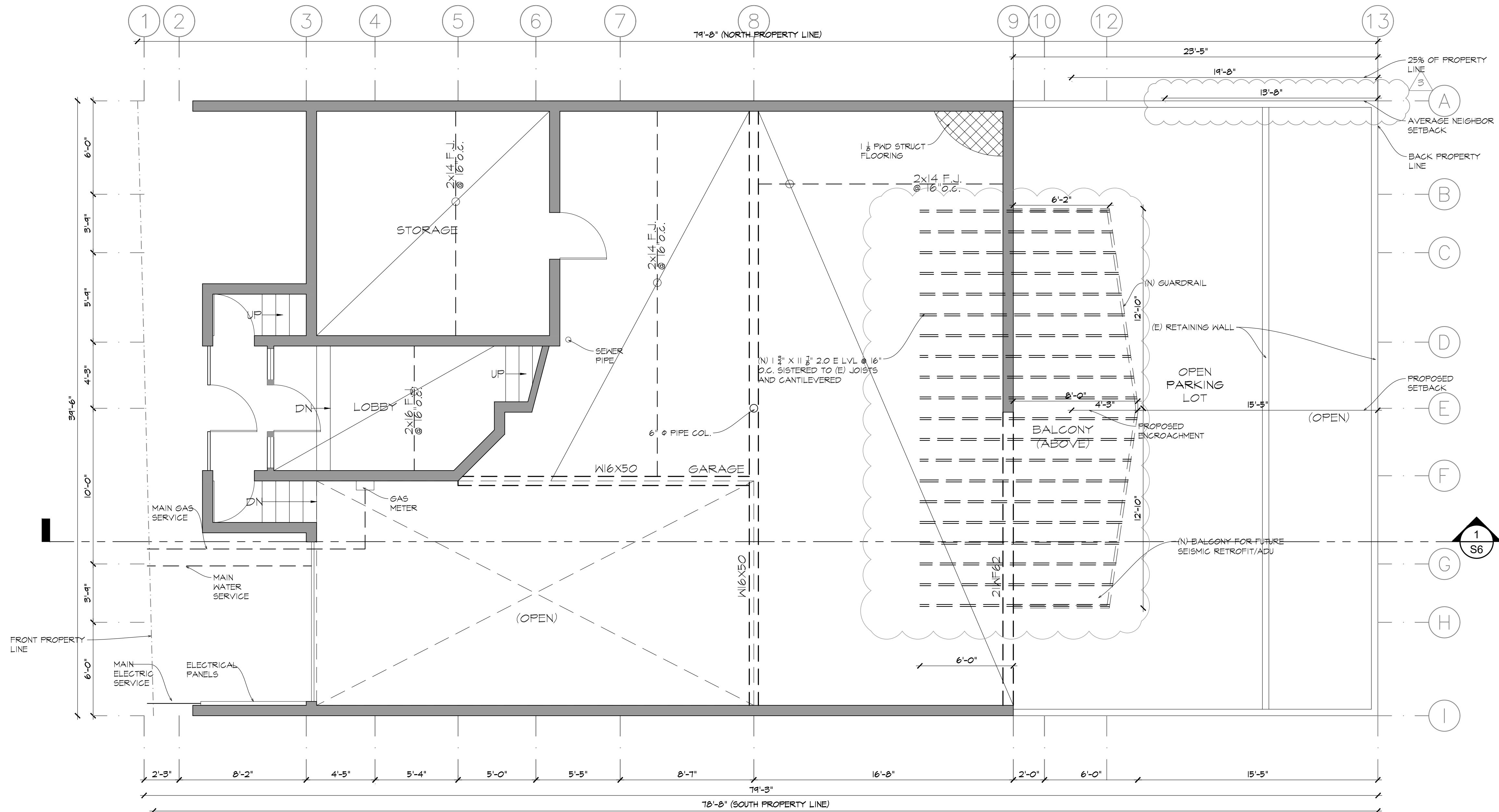


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**(E) LEVEL 1 WALL PLAN
& LEVEL 2 FRAMING**

DATE: 2-08-2016
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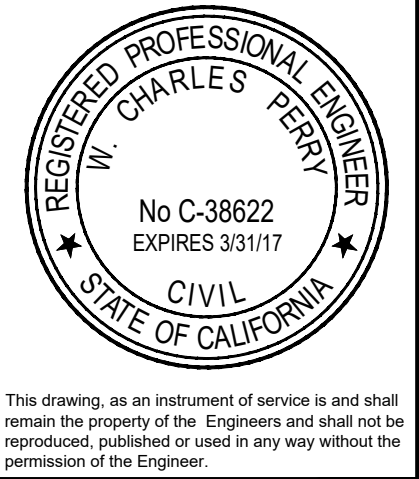


(N) LEVEL 1 WALL PLAN & LEVEL 2 FRAMING
SCALE: 1/4"=1'-0"

REVISIONS	
NO.	DATE
△	S.F. PLANNING REVIEW
-	6/7/2016
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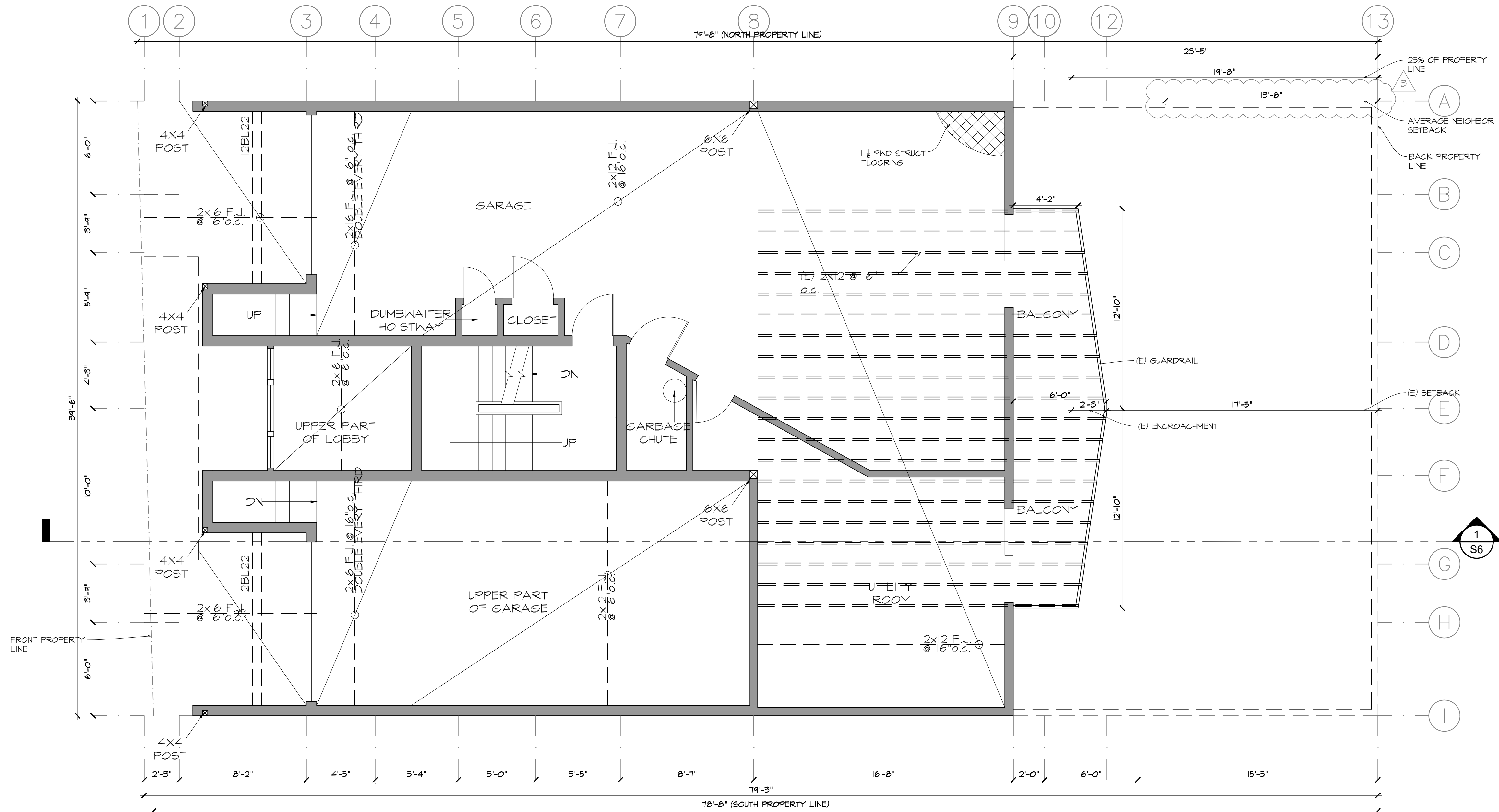
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**(N) LEVEL 1 WALL PLAN
& LEVEL 2 FRAMING**

DATE: 2-08-2016
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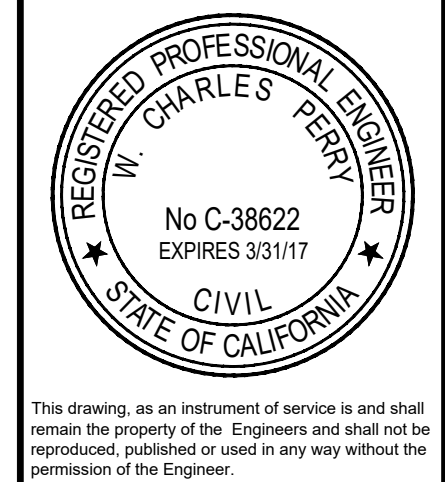
S1.R



(E) LEVEL 2 WALL PLAN & LEVEL 3 FRAMING
SCALE: 1/4"=1'-0"

REVISIONS	
NO.	DATE
△	S.F. PLANNING REVIEW
-	6/7/2016
△	S.F. PLANNING REVIEW
-	10/16/16
△	S.F. PLANNING REVIEW
-	11/10/16

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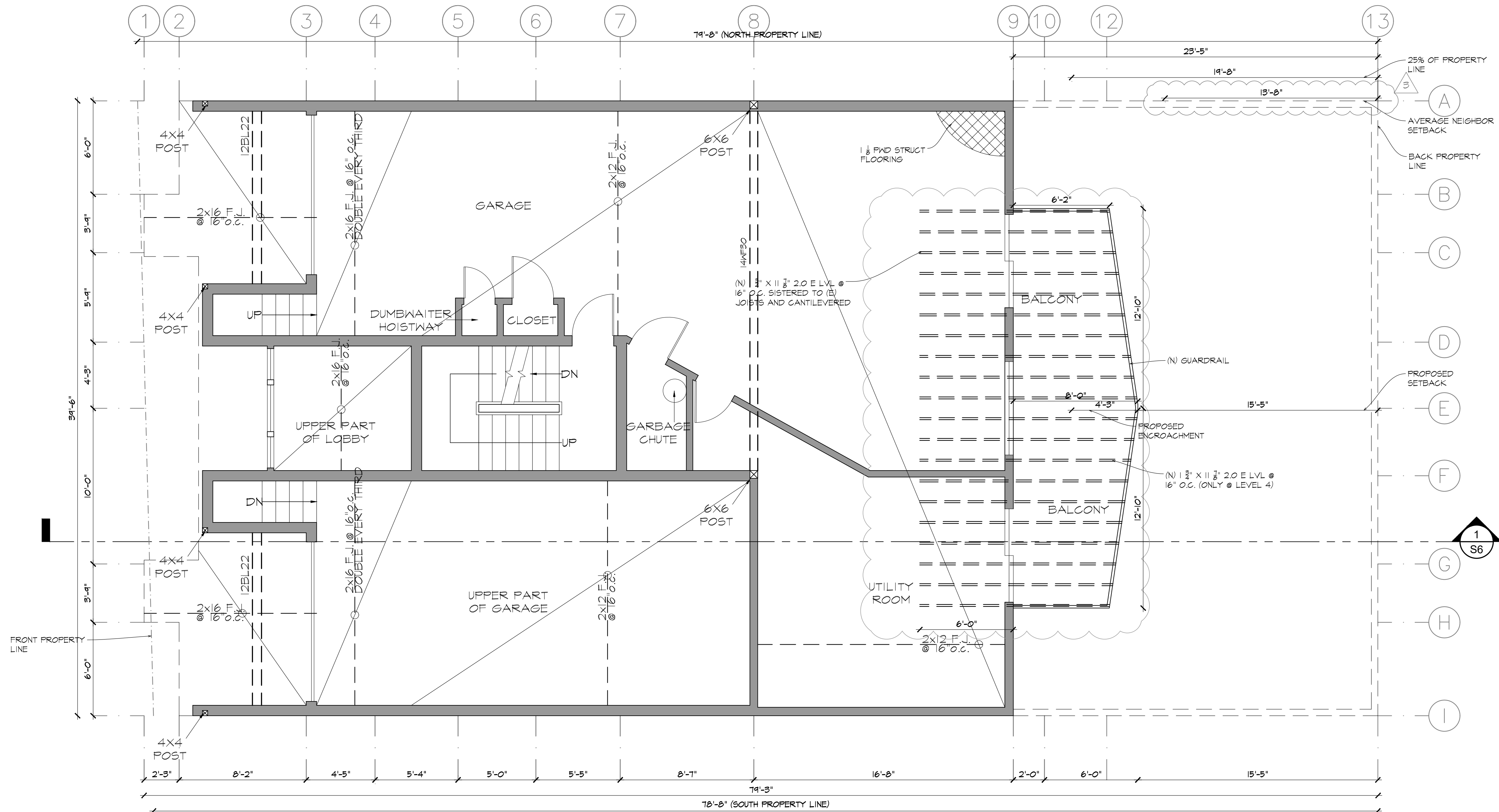


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**(E) LEVEL 2 WALL
PLAN & LEVEL 3
FRAMING**

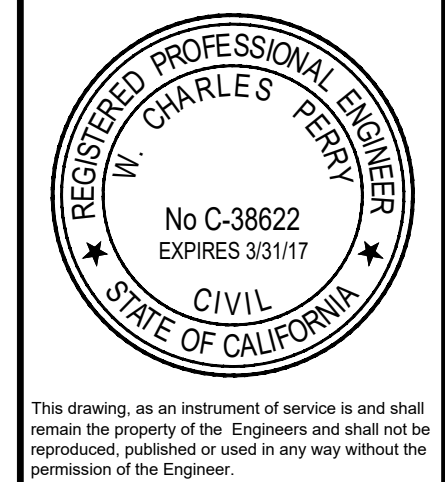
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(N) LEVEL 2 WALL PLAN & LEVEL 3 FRAMING
SCALE: 1/4"=1'-0"

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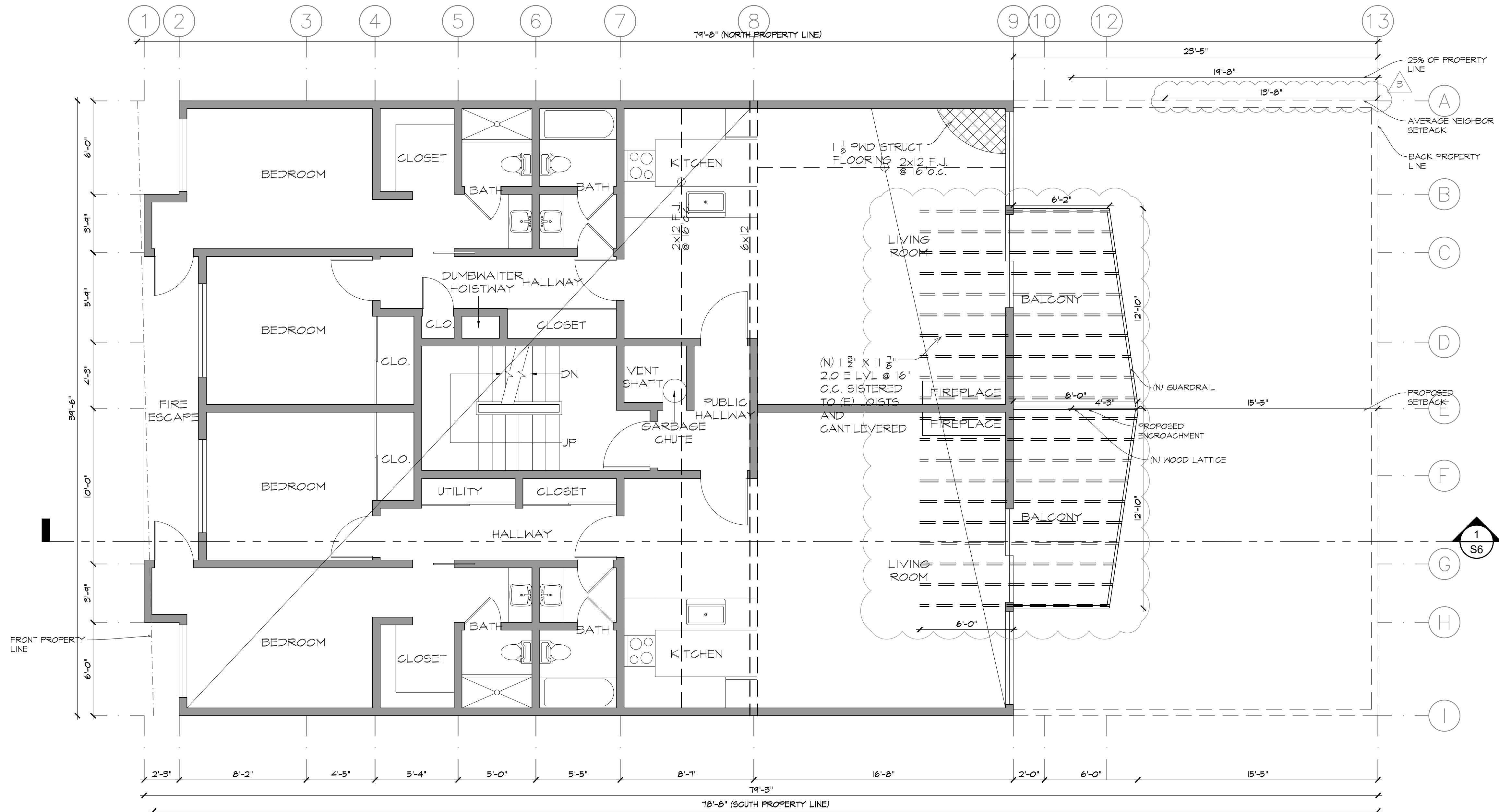
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**(N) LEVEL 2 WALL
PLAN & LEVEL 3
FRAMING**

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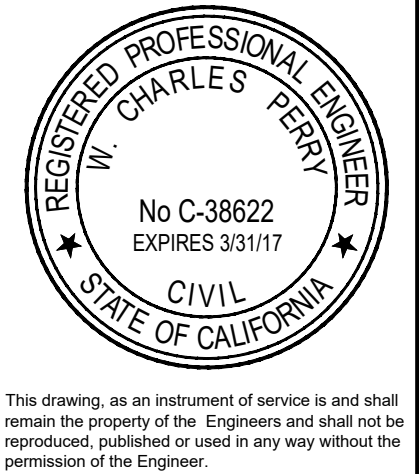
S2.R



(N) LEVEL 3/4 WALL PLAN & LEVEL 4 FRAMING
SCALE: 1/4"=1'-0"

REVISIONS	
NO.	DATE
1	6/7/2016
2	10/16/16
3	11/10/16

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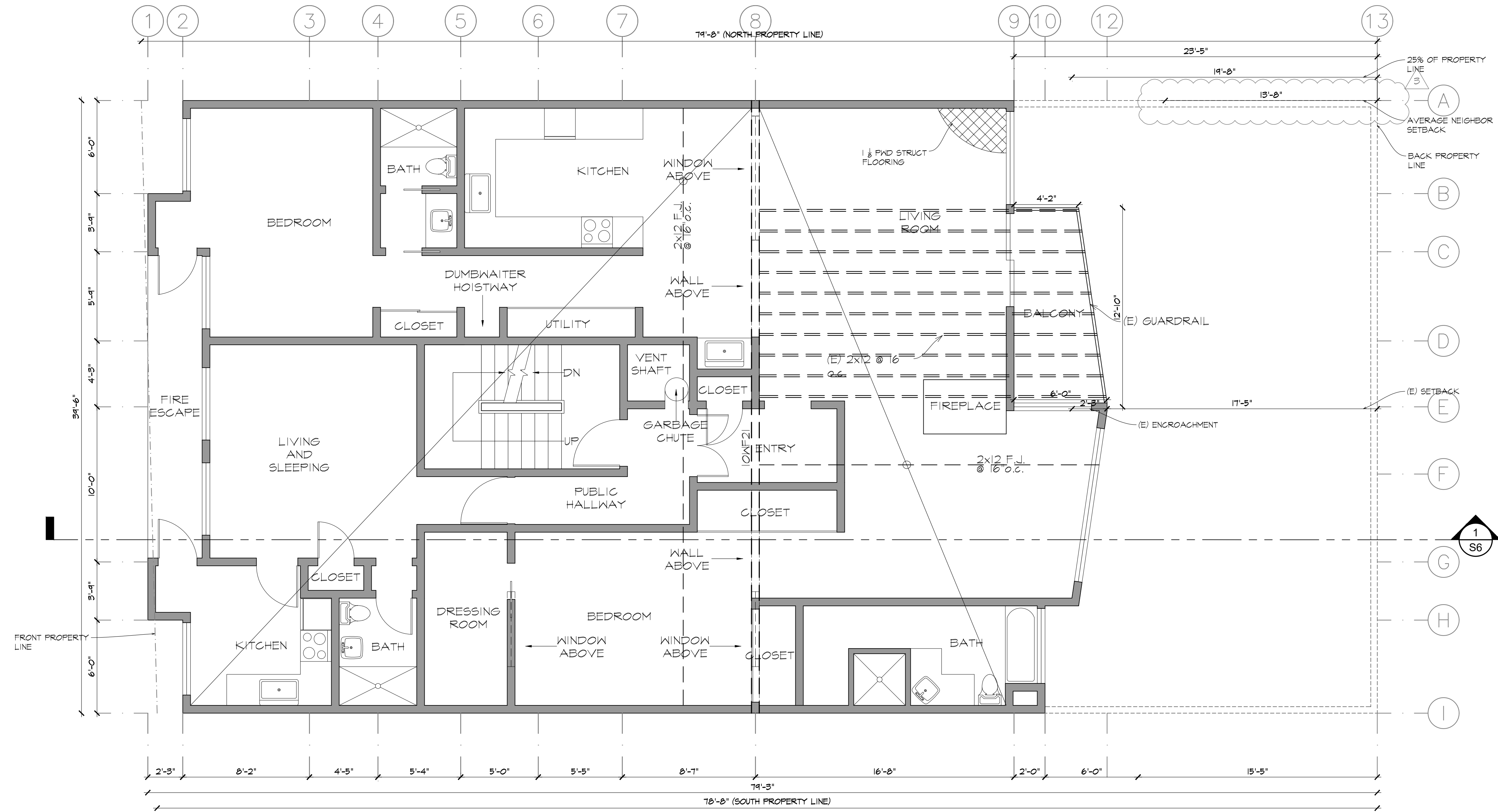
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**(N) LEVEL 3/4 WALL
PLAN & LEVEL 4
FRAMING**

DATE: 2-08-2016
DRAWN BY: RW
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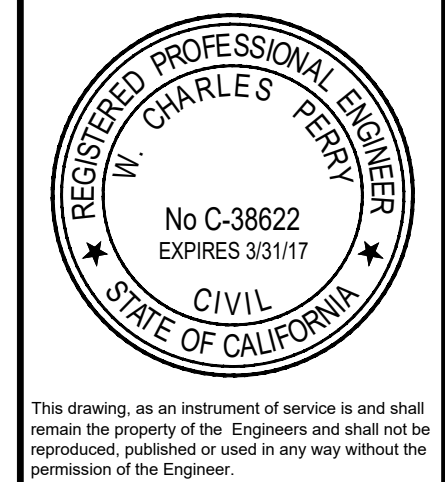
S3.R



(E) LEVEL 5 WALL PLAN & LEVEL 5 FRAMING
SCALE: 1/4"=1'-0"

REVISIONS	
NO.	DATE
1	S.F. PLANNING REVIEW
-	6/7/2016
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-	11/10/16

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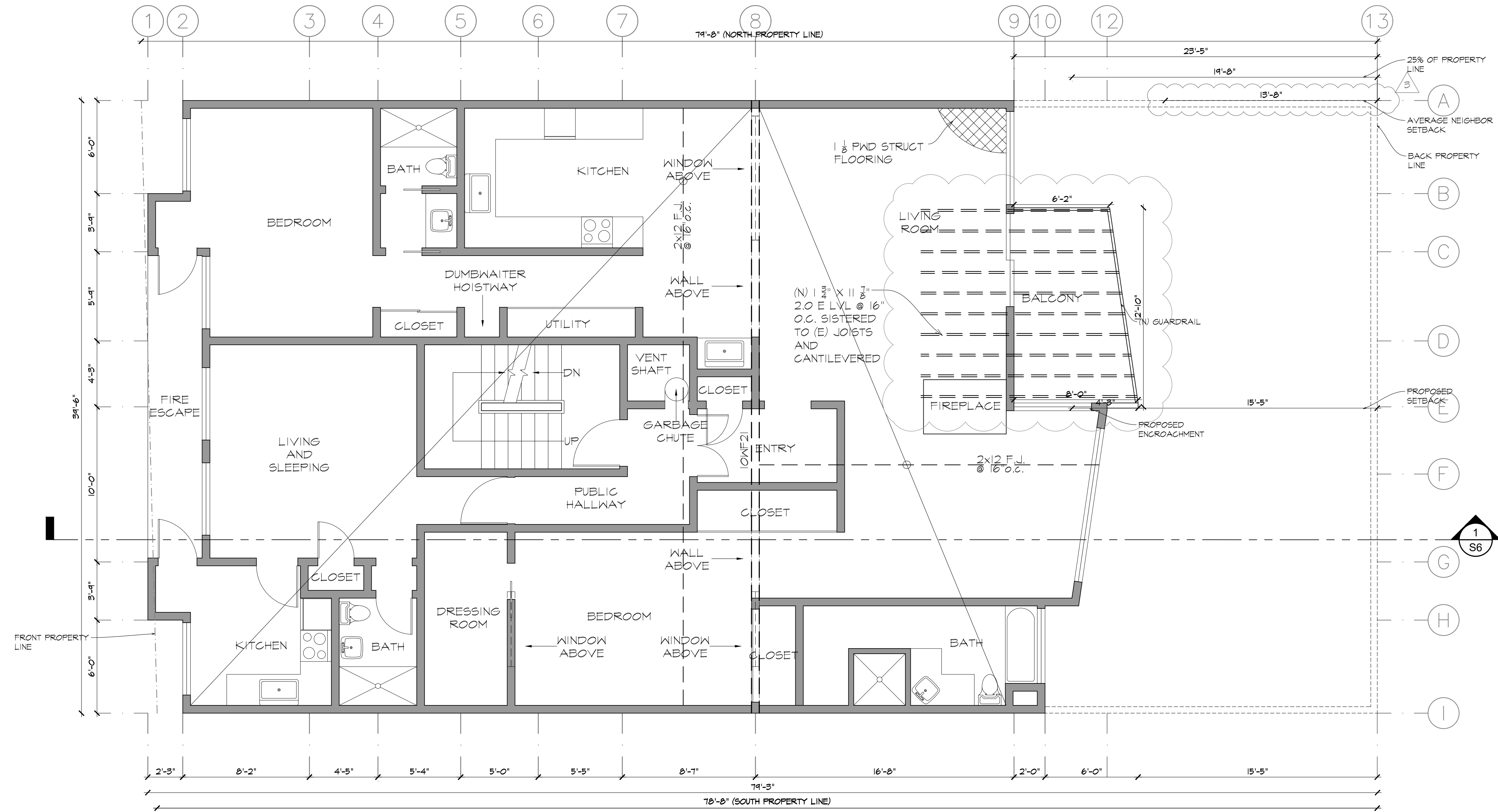


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**(E) LEVEL 5 WALL PLAN
& LEVEL 5 FRAMING**

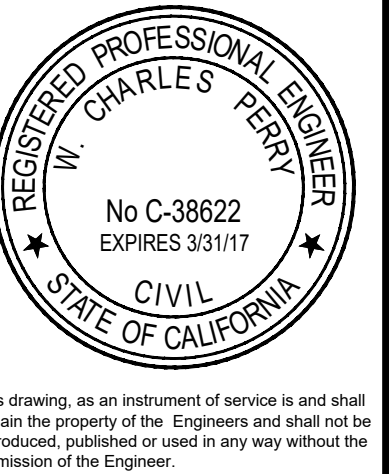
DATE: 2-08-2016
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(N) LEVEL 5 WALL PLAN & LEVEL 5 FRAMING
SCALE: 1/4"=1'-0"

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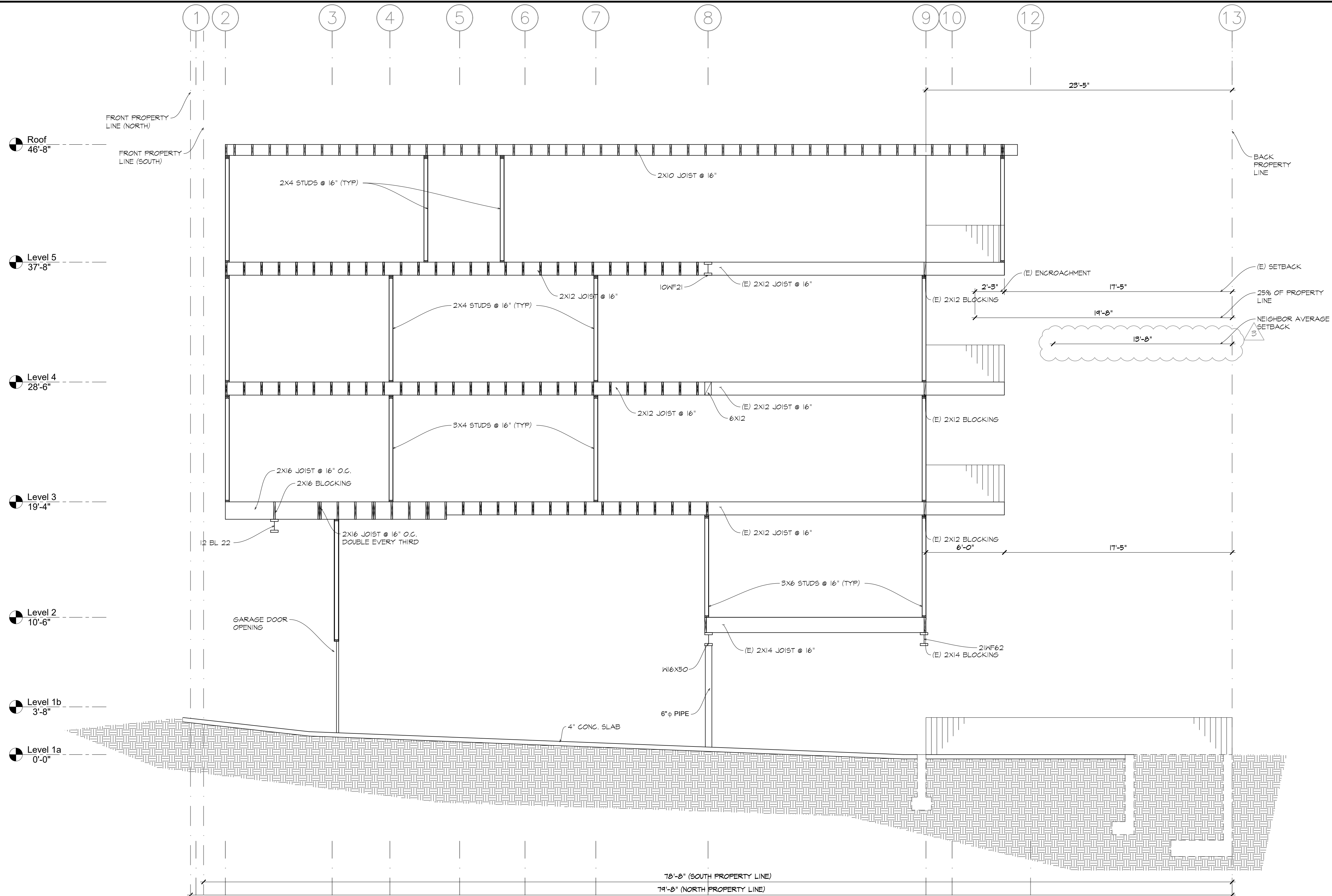
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**(N) LEVEL 5 WALL PLAN
& LEVEL 5 FRAMING
PLAN**

DATE: 2-08-2016
DRAWN BY: RW
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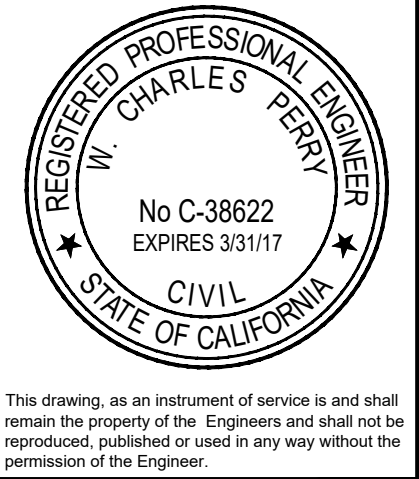
S4.R



(E) CROSS SECTION
SCALE: 1/4"=1'-0"

REVISIONS	
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-	10/16/16
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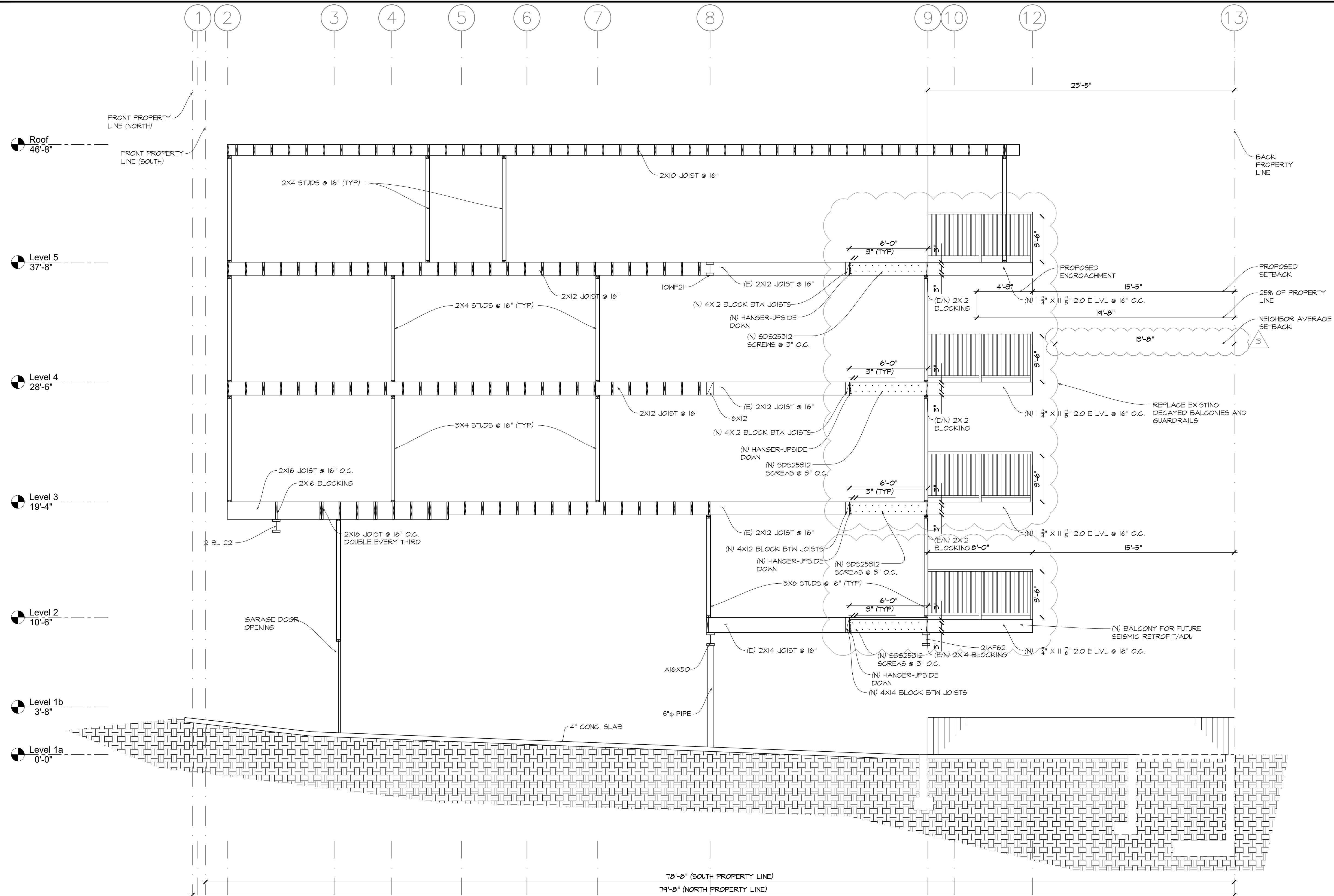


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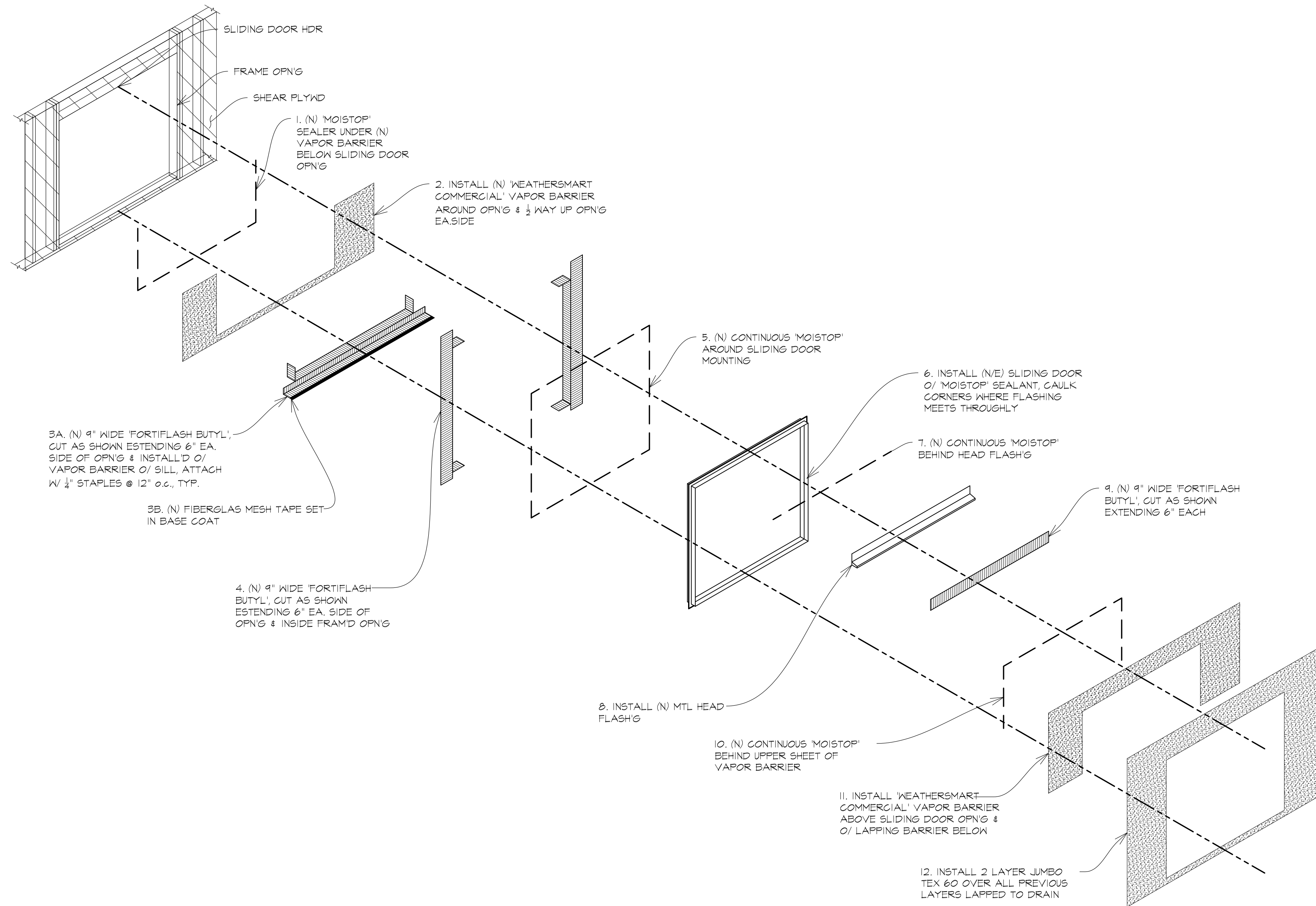
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SAN FRANCISCO, CA 94131

**(E) CROSS
SECTION**

DATE: 2-08-2016
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(N) CROSS SECTION
SCALE: 1/4"=1'-0"



1 SLIDING DOOR FLASHING DETAIL
SCALE: N.T.S.

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BALCONY DETAILS

DATE: 2-08-2016
DRAWN BY: RW
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S7.R