

33 SPRUCE STREET. HAAS RESIDENCE

SAN FRANCISCO, CALIFORNIA



PROJECT TEAM

OWNER:
JULIE HAAS
33 SPRUCE STREET,
SAN FRANCISCO, CA 94118
TEL: (415) 221-2667
JULIE@JULIEHAAS.COM

GENERAL CONTRACTOR:
TBD.

STRUCTURAL ENGINEER:
TBD.

ARCHITECT:
ALECK WILSON ARCHITECTS
26 O'FARRELL STREET, SUITE 400
SAN FRANCISCO, CA 94108
CONTACT: ALECK WILSON, MARK FORDELON
TEL: 415.765.9095
FAX: 415.765.1779
ALECK@ALECKWILSONARCHITECTS.COM
PRAMOD@ALECKWILSONARCHITECTS.COM

SITE INFORMATION

ADDRESS: 33 SPRUCE STREET, 94118
BLOCK: 0969
LOT: 002
ZONING: RH-1
OCCUPANCY: R-3
CONSTRUCTION TYPE: V-B
BUILDING AREA: 4763 SQ. FT
ACCESSORY PARKING AREA: 479 SQ. FT

REAR YARD REQ'D SETBACK: 25% OF LOT DEPTH

SHEET INDEX

SHEET #	TITLE	PLANNING								
ARCHITECTURAL										
A0.0	COVER SHEET	b								
A0.1	EQUIVALENCIES	b								
A1.0	SITE PLAN	b								
A2.0	(E) & PROPOSED FLOOR PLANS	b								
A3.0	(E) & PROPOSED ELEVATIONS	b								
TOTAL SHEETS		5								

BUILDING DATA

	EXISTING	PROPOSED
DWELLING UNITS	1	1
BUILDING SQUARE FOOTAGE		
BASEMENT	351 SF	NO CHANGE
FIRST FLOOR	1977 SF	NO CHANGE
SECOND FLOOR	1731 SF	NO CHANGE
THIRD FLOOR	704 SF	NO CHANGE
ACCESSORY PARKING	479 SF	NO CHANGE
TOTAL SQUARE FOOTAGE	5242 SF	NO CHANGE
# OF STORIES	3	3
BUILDING HEIGHT	39'	39'
BUILDING DEPTH	42'	42'
PARKING SPACES	2	2
SPRINKLERS	NONE	NONE
TOTAL ADDITIONAL: 0 SF		

SCOPE

- CONSTRUCTION OF A NEW METAL NON-COMBUSTIBLE WALKWAY TO ACCESS UPPER GARDEN AT REAR YARD OF 2ND FLOOR
- NEW WOOD DOOR TO REPLACE (E) WOOD WINDOW
- WORK NOT VISIBLE FROM STREET
- NO WORK INSIDE OF HOME

SYMBOL LEGEND

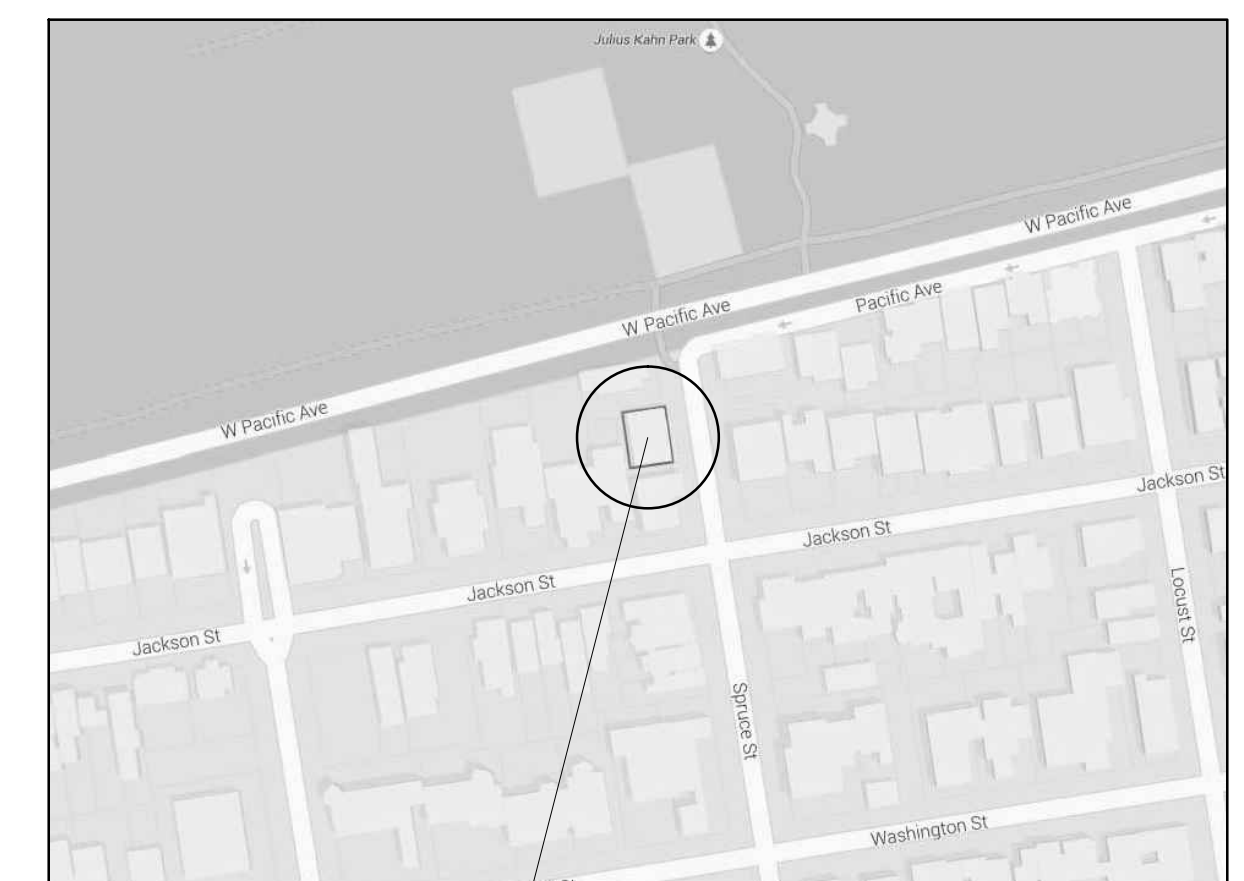
0'-0"	DIMENSION TO FACE OF FRAMING UNLESS OTHERWISE NOTED;	6	DOOR NUMBER, SEE DOOR SCHEDULE	1	CROSS SECTION SHEET LOCATION
1	DETAIL REFERENCE SHEET LOCATION	2	WINDOW NUMBER, SEE WINDOW SCHEDULE	28.67'	SPOT ELEVATION
D	INTERIOR ELEVATION KEY SHEET LOCATION	1	ELEVATION DATUM POINT	1	DRAWING KEYNOTE
1	EXTERIOR ELEVATION	1	DRAWING REVISION		

ABBREVIATIONS

ABV	ABOVE	FAU	FORCED AIR UNIT	PNT, PTD	PAINT, PAINTED
ADJ	ADJACENT	FIN	FINISH	REQD	REQUIRED
AFF	ABOVE FINISH FLOOR	FO	FACE OF	REV	REVISION
AFG	ABOVE FINISH GRADE	FP	FIREPLACE	RM	ROOM
ALT	ALTERNATE	FRMG	FRAMING	RWL	RAIN WATER LEADER
BLKG	BLOCKING	GL	GLASS	SH	SHOWER
B.O.	BOTTOM OF	GSM	GALVANIZED SHEET METAL	SIM	SIMILAR
CC	CENTER TO CENTER	GYP BD	GYPSPUM BOARD	SF	SQUARE FEET
€	CENTERLINE	HR	HOUR	SOG	SLAB ON GRADE
CLO	CLOSET	L/S	LANDSCAPE	SSD	SEE STRUCTURAL DRAWINGS
CLR	CLEAR	MAX	MAXIMUM	STRUCT	STRUCTURAL
COMP	COMPOSITE	MECH	MECHANICAL	T.A.	TOP OF
CONC	CONCRETE	MIN	MINIMUM	TYP	TYPICAL
CONT	CONTINUOUS	(N)	NEW	UON	UNLESS OTHERWISE NOTED
DIM	DIMENSION	NIC	NOT IN CONTRACT		
DN	DOWN	NTS	NOT TO SCALE		
DS	DOWNSPOUT	OC	ON CENTER	WD	WOOD
(E)	EXISTING	OPP	OPPOSITE	WDW	WINDOW
ELEV	ELEVATION			WH	WATER HEATER

VICINITY MAP

NOT TO SCALE



33 SPRUCE STREET.



- ALL WORK SHALL COMPLY WITH THE FOLLOWING CODES:
 - 2013 CALIFORNIA BUILDING CODE
 - 2013 CALIFORNIA ELECTRICAL CODE
 - 2013 CALIFORNIA PLUMBING CODE
 - 2013 CALIFORNIA MECHANICAL CODE
 - 2013 CALIFORNIA ENERGY CODE
 - 2013 CALIFORNIA FIRE CODE
 - 2013 CALGREEN CODE
 - CITY OF SAN FRANCISCO MUNICIPAL CODE: LATEST ADOPTED ADDITION
 - CITY OF SAN FRANCISCO GREEN BUILDING CODE
 - CONSTRUCTION AND DEMOLITION DEBRIS: 100% OF MIXED DEBRIS MUST BE TRANSPORTED BY A REGISTERED HAULER TO A REGISTERED FACILITY AND BE PROCESSED FOR RECYCLING, IN COMPLIANCE WITH THE SAN FRANCISCO CONSTRUCTION & DEMOLITION DEBRIS ORDINANCE.
 - PEST PROTECTION: ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE CLOSED WITH CEMENT MORTAR, CONCRETE MASONRY, OR A SIMILAR METHOD ACCEPTABLE TO DBI FOR PROTECTION AGAINST RODENTS.
 - MOISTURE CONTENT OF BUILDING MATERIALS: VERIFY WALL AND FLOOR FRAMING DOES NOT EXCEED 19% MOISTURE CONTENT PRIOR TO ENCLOSURE. MATERIALS WITH VISIBLE SIGNS OF MOISTURE DAMAGE SHALL NOT BE INSTALLED. MOISTURE CONTENT SHALL BE VERIFIED IN COMPLIANCE WITH THE FOLLOWING: (CALGREEN 4.505.3)
 - MOISTURE CONTENT SHALL BE DETERMINED WITH EITHER A PROBE-TYPE OR A CONTACT-TYPE MOISTURE METER. EQUIVALENT MOISTURE VERIFICATION METHODS MAY BE APPROVED BY THE ENFORCING AGENCY AND SHALL SATISFY REQUIREMENTS IN SECTION 101.8.
 - MOISTURE READINGS SHALL BE TAKEN AT A POINT 2 FEET (610 mm) TO 4 FEET (1219 mm) FROM THE GRADE-STAMPED END OF EACH PIECE TO BE VERIFIED.
 - AT LEAST THREE RANDOM MOISTURE READINGS SHALL BE PERFORMED ON WALL AND FLOOR FRAMING WITH DOCUMENTATION ACCEPTABLE TO THE ENFORCING AGENCY PROVIDED AT THE TIME OF APPROVAL TO ENCLOSURE THE WALL AND FLOOR FRAMING. INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. MANUFACTURERS' DRYING RECOMMENDATIONS SHALL BE FOLLOWED FOR WET-APPLIED INSULATION PRODUCTS PRIOR TO ENCLOSURE.
 - DESIGN AND INSTALL HVAC SYSTEM TO ACCA MANUAL J, D, AND S. (CALGREEN 4.507.2)
 - HVAC INSTALLER QUALIFICATIONS: HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS, SUCH AS VIA STATE CERTIFIED APPRENTICESHIP PROGRAM, PUBLIC UTILITY TRAINING PROGRAM (WITH CERTIFICATION AS INSTALLER QUALIFICATION), OR OTHER PROGRAM ACCEPTABLE TO THE DEPARTMENT OF BUILDING INSPECTION (CALGREEN 702.1)
 - COMPOSITE WOOD PRODUCTS: HARDWOOD PLYWOOD, PARTICLEBOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON INTERIOR OR EXTERIOR SHALL MEET CARB AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD. SEE CALGREEN TABLE 4.504.5.
 - INTERIOR PAINTS AND COATINGS: COMPLY WITH VOC LIMITS IN THE AIR RESOURCES BOARD ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE AND CALIFORNIA CODE OF REGULATION TITLE 17 FOR AEROSOL PAINTS. SEE CALGREEN TABLE 4.503.3.
 - LOW-VOC AEROSOL PAINTS AND COATINGS: MEET BAAQMD VOC LIMITS (REGULATION 8, RULE 49) AND PROCUT-WEIGHTED MIR LIMITS FOR ROC. (CALGREEN 4.504.2.3).
 - LOW VOC CAULKS, CONSTRUCTION ADHESIVES AND SEALANTS: MEET SCAQMD RULE 1168. SEE CALGREEN TABLES 4.504.1 AND 4.502.2. (CALGREEN 4.504.2.1)
 - ALL IRRIGATION SHALL BE INSTALLED WITH SEPARATE RAIN SENSOR TO COMMUNICATE WITH AUTOMATIC ADJUSTABLE CONTROLLER.
- TYPE OF CONSTRUCTION: TYPE V NON-RATED.
- THE STANDARD A.I.A. GENERAL CONDITIONS ARE HEREBY MADE A PART OF THESE DRAWINGS.
- DO NOT SCALE DRAWINGS FOR DIMENSIONS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCEMENT OF ANY WORK DIMENSIONS ARE TO FINISH UNLESS OTHERWISE NOTED.
- CLARIFY ALL DISCREPANCIES BETWEEN THESE AND ACTUAL SITE CONDITIONS WITH THE ARCHITECT BEFORE PERFORMING THE WORK.
- THE CONTRACTOR SHALL:
 - FURNISH, PAY FOR AND FILE ALL NECESSARY PERMITS, FEES, INSPECTIONS, ETC. EXCEPT FOR PLAN CHECK AND ZONING FEES, WHICH WILL BE PAID FOR BY THE OWNER.
 - GUARANTEE ALL WORK FOR ONE YEAR AS EVIDENCED BY THE DATE OF THE FINAL OF PAYMENT.
 - PROVIDE A RELEASE OF ALL SUBCONTRACTOR LIENS BEFORE FINAL PAYMENT IS MADE.
 - INSTALL ALL MATERIAL AND EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 - PROTECT EXISTING VEGETATION FROM DAMAGE DURING THE COURSE OF THE WORK.
 - PROVIDE STRICT CONTROL OF JOB CLEANUP TO REMOVE DUST AND DEBRIS FROM CONSTRUCTION AREA.
- ALL INSPECTIONS ARE REQUIRED PER CBC, SECTION 108.4
- ALL SPECIAL PROTECTION AGENCIES, INDIVIDUALS AND SHOP FABRICATORS SHALL BE APPROVED BY THE BUILDING DEPARTMENT PRIOR TO ANY WORK BEING PERFORMED. SUBMIT ALL DOCUMENTATION FOR APPROVAL.
- THIS BUILDING MEETS THE ENERGY BUILDING DESIGN REQUIREMENTS OF TITLE 24. SEE SHEET T1.1 FOR COMPLIANCE.
- INSULATION SHALL MEET CALIFORNIA ENERGY COMMISSION QUALITY STANDARDS AND BE CERTIFIED BY THE MANUFACTURER.
- FIRESTOPS SHALL BE PROVIDED IN ALL LOCATIONS SPECIFIED BY THE CBC, SECTION 717.

ALECK WILSON
ARCHITECTS INC.
26 O'FARRELL ST., SUITE 400
SAN FRANCISCO, CA 94108
TEL: 415-765-9095
FAX: 415-765-1779
WWW.ALECKWILSONARCHITECTS.COM

HAAS RESIDENCE
33 SPRUCE STREET
SAN FRANCISCO, CALIFORNIA 94118



AWA

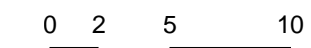
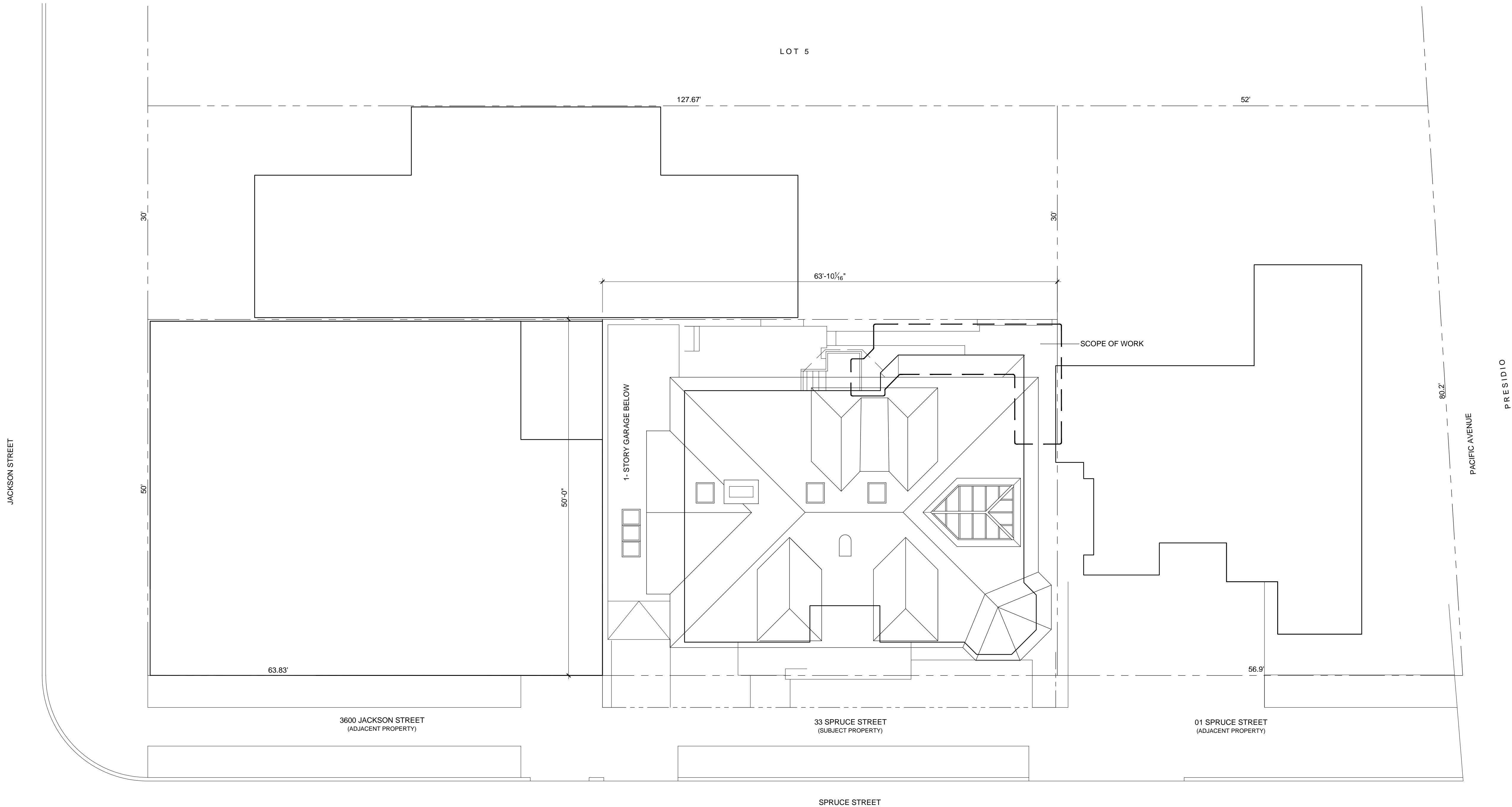
DATES

PLANNING APPLICATION 05/11/2016

COVER SHEET

SCALE N/A

SHEET A0.0



1 SITE PLAN
A1.0 SCALE: 3/16" = 1'-0"

ALECK WILSON
ARCHITECTS INC.
26 O'FARRELL ST., SUITE 400
SAN FRANCISCO, CA 94108
TEL: 415-765-9095
FAX: 415-765-1779
WWW.ALECKWILSONARCHITECTS.COM

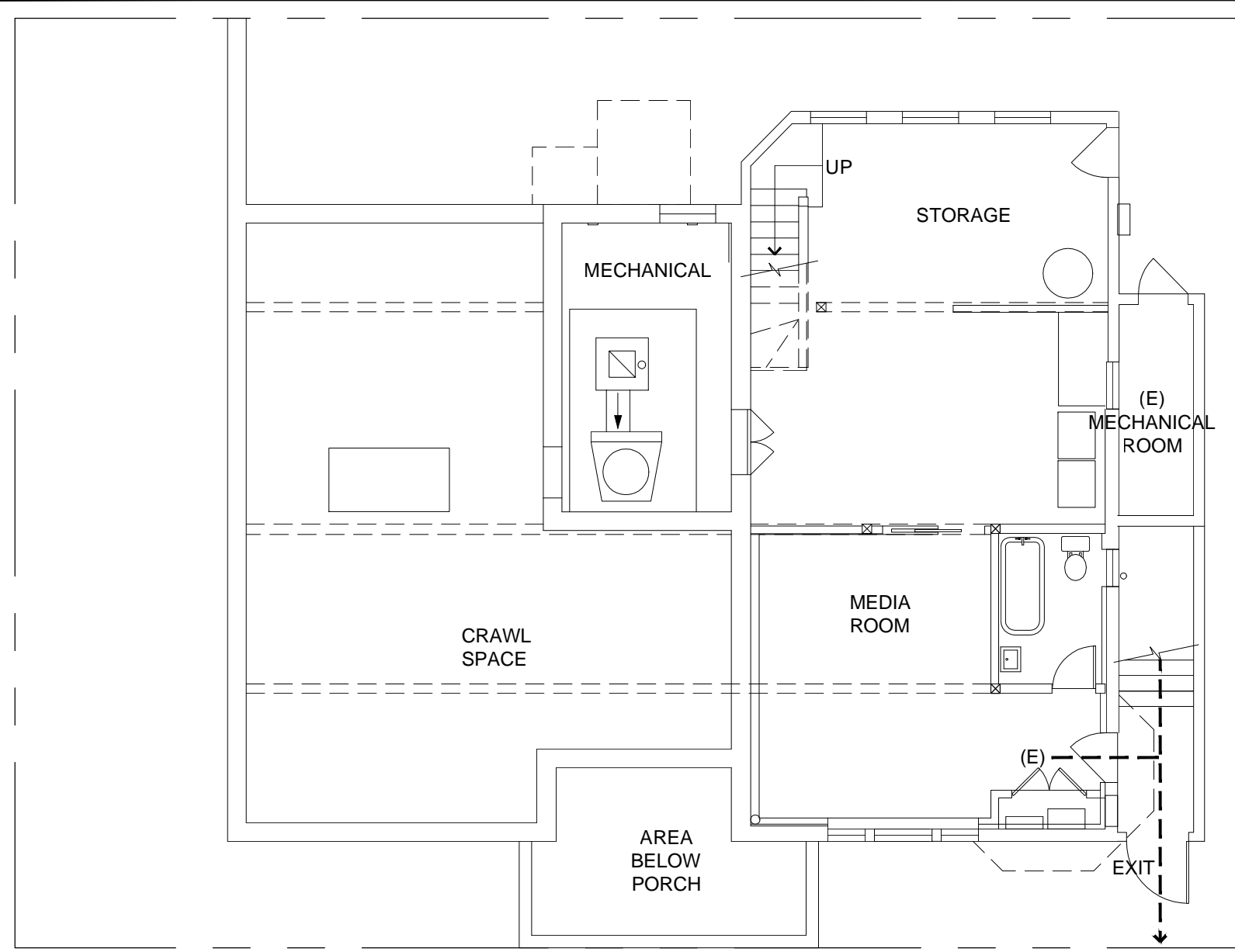
HAAS RESIDENCE
33 SPRUCE STREET
SAN FRANCISCO, CALIFORNIA 94118



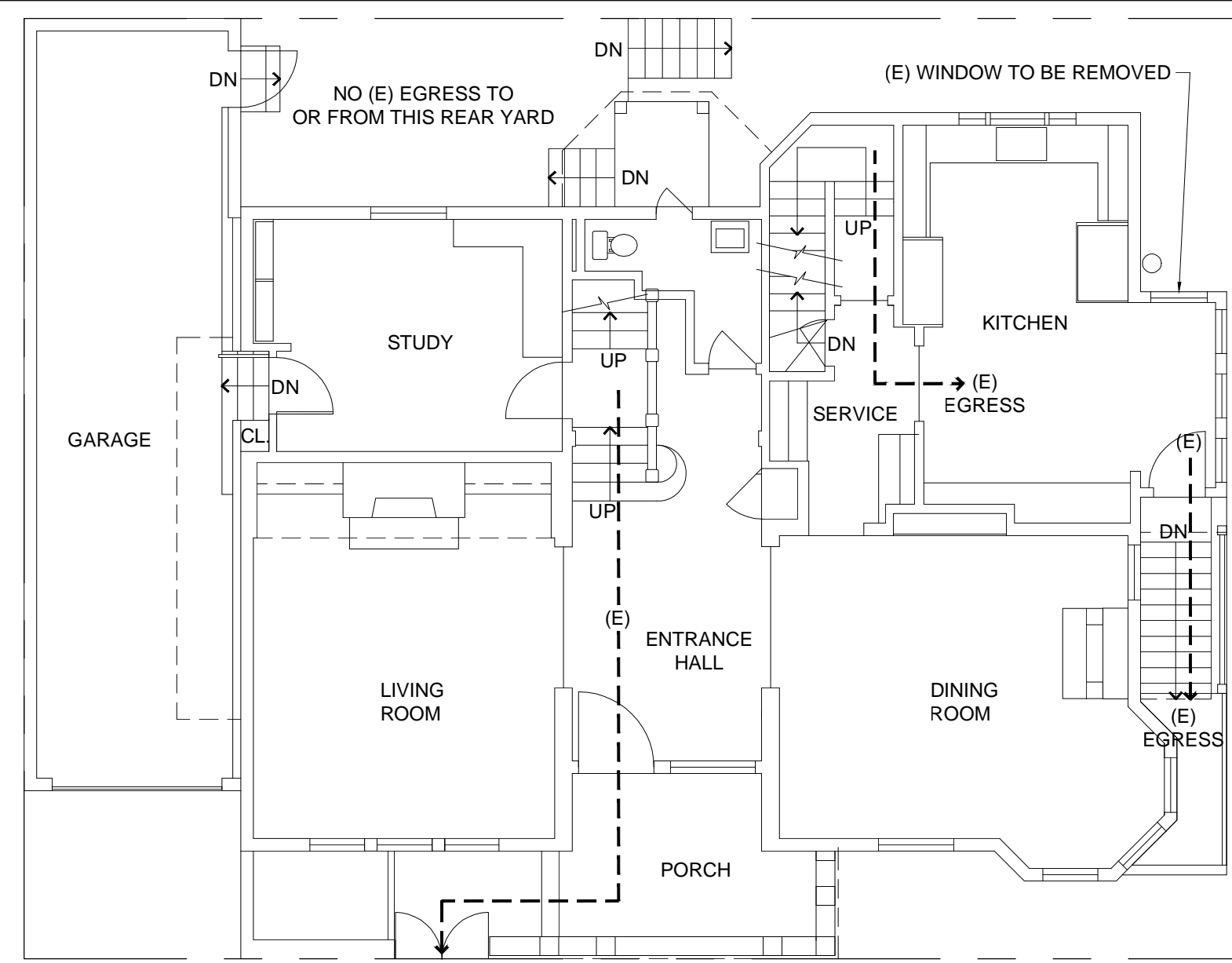
AWA

DATES	
PLANNING APPLICATION	05/11/2016

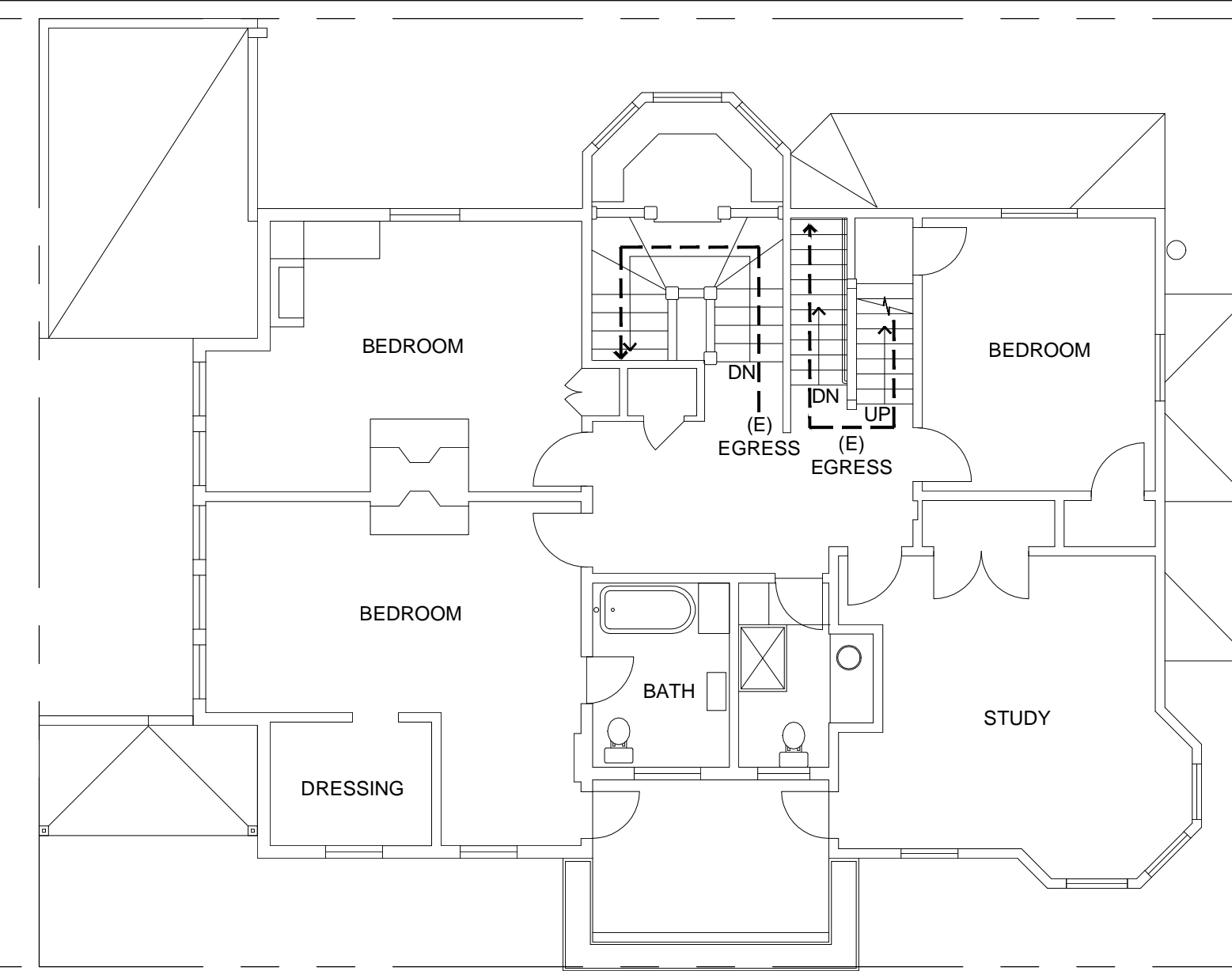
SITE PLAN
SCALE 1/8" = 1'-0"
SHEET **A1.0**



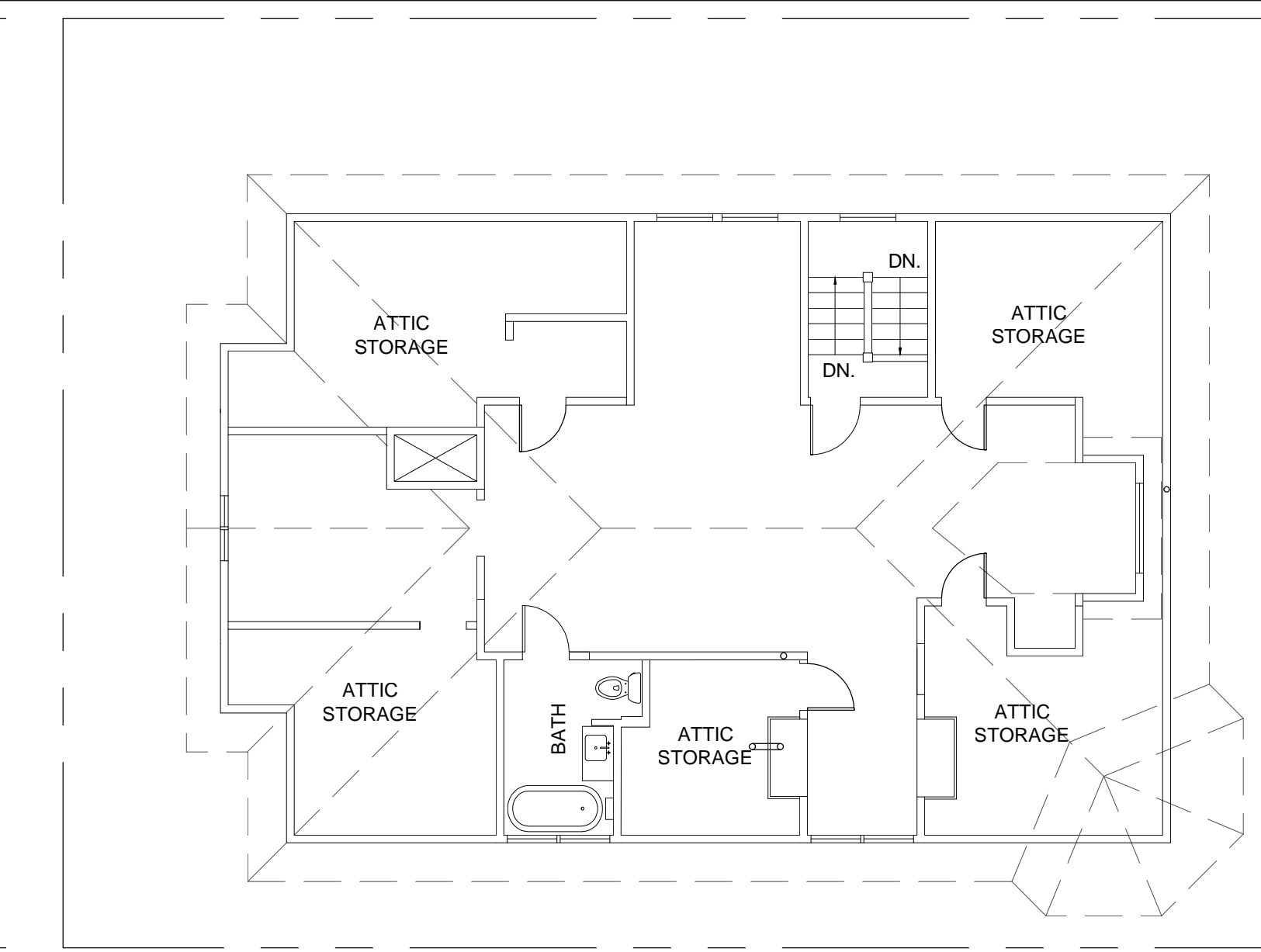
6 EXISTING BASEMENT FLOOR PLAN
A2.0 SCALE: 1/8"=1'-0"



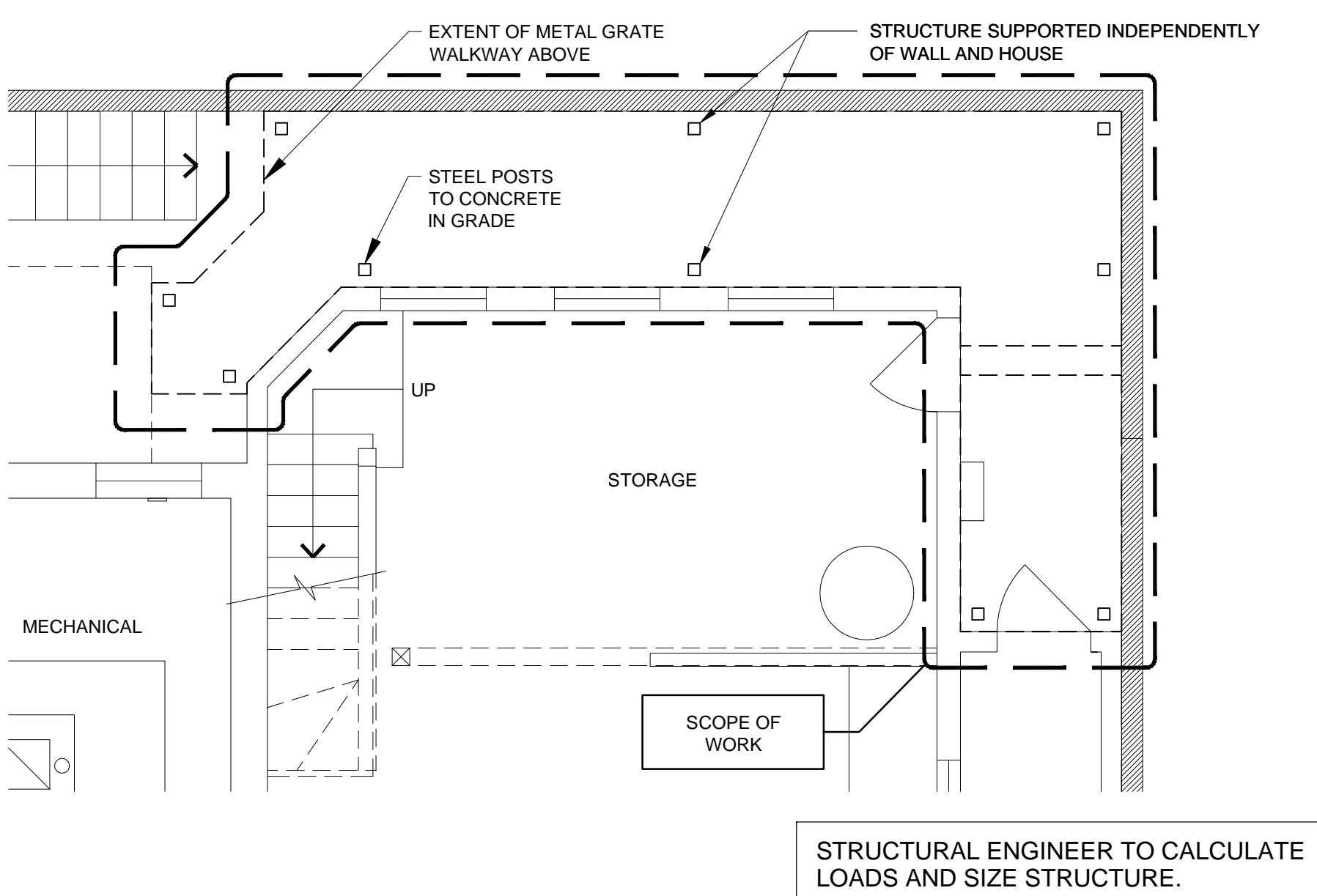
5 EXISTING FIRST FLOOR PLAN
A2.0 SCALE: 1/8"=1'-0"



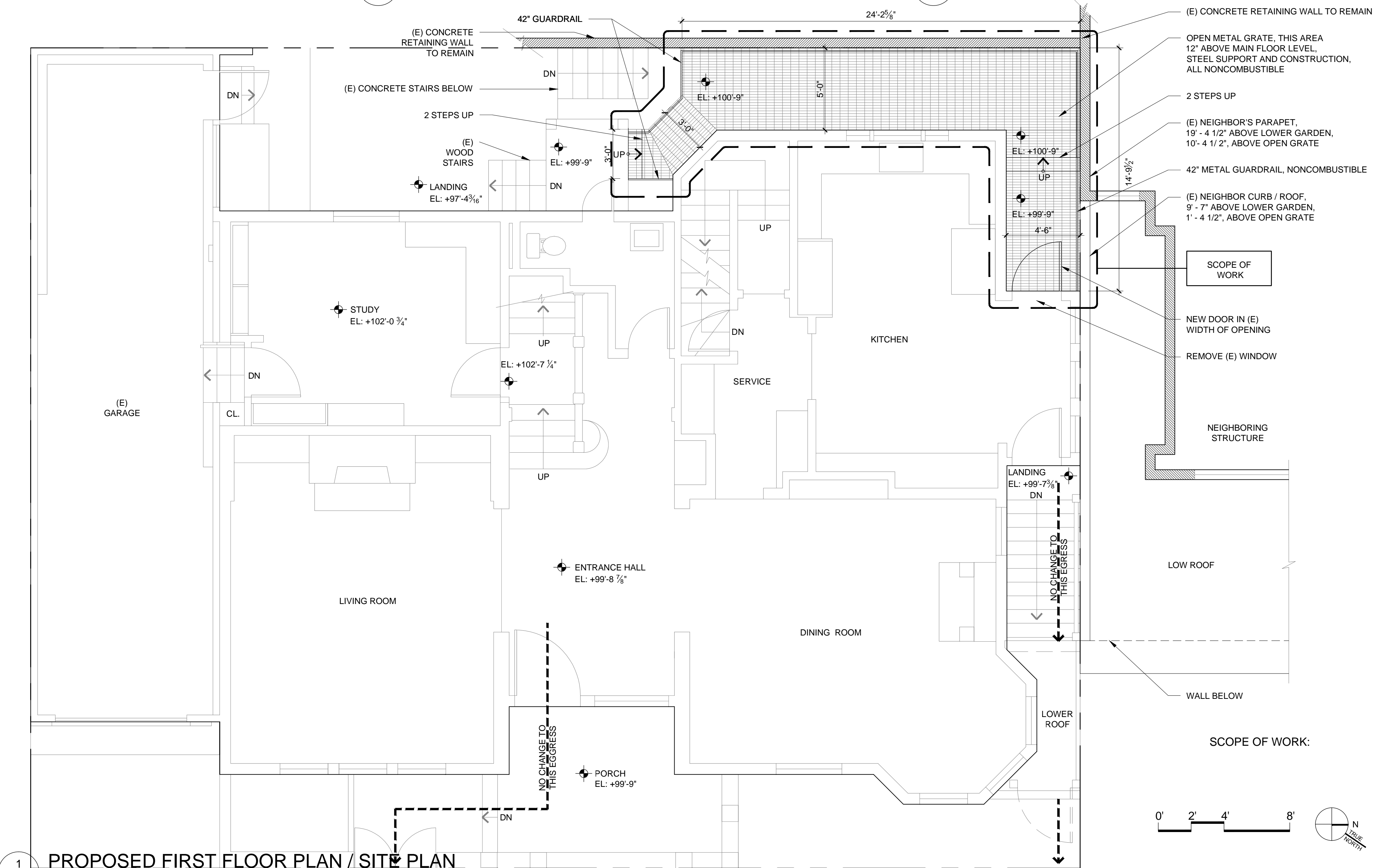
4 EXISTING SECOND FLOOR PLAN
A2.0 SCALE: 1/8"=1'-0"



3 EXISTING ATTIC PLAN
A2.0 SCALE: 1/8"=1'-0"

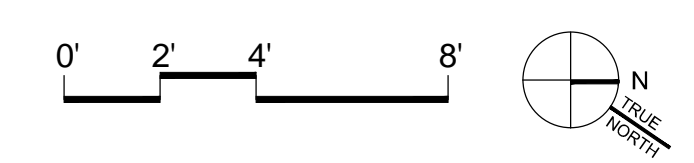


2 PROPOSED PARTIAL BASEMENT FLOOR PLAN
A2.0 SCALE: 1/4"=1'-0"



1 PROPOSED FIRST FLOOR PLAN / SITE PLAN
A2.0 SCALE: 1/4"=1'-0"

STRUCTURAL ENGINEER TO CALCULATE LOADS AND SIZE STRUCTURE.



ALECK WILSON ARCHITECTS INC.
26 O'FARRELL ST., SUITE 400
SAN FRANCISCO, CA 94108
TEL: 415-765-9095
FAX: 415-765-1779
WWW.ALECKWILSONARCHITECTS.COM

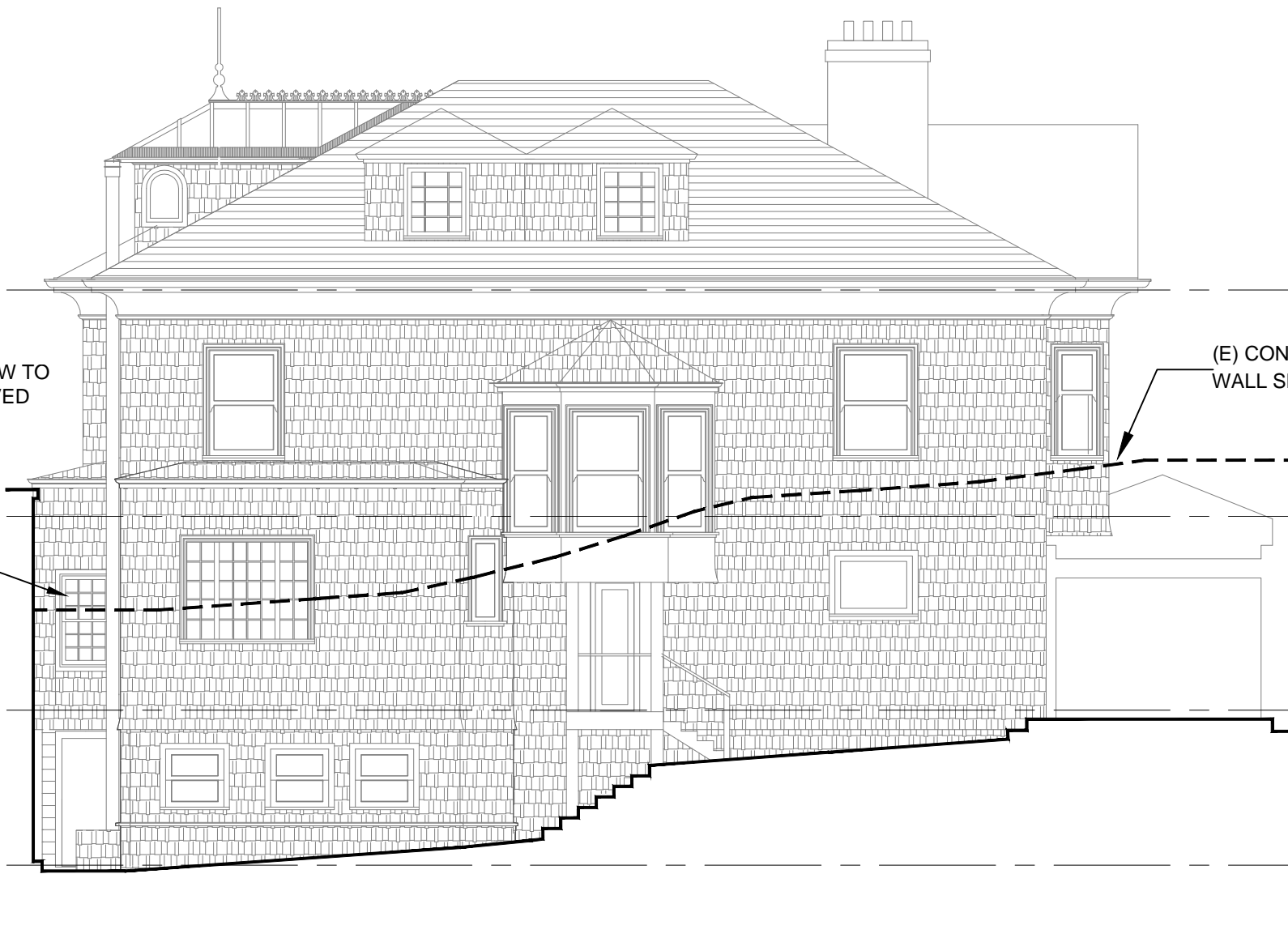
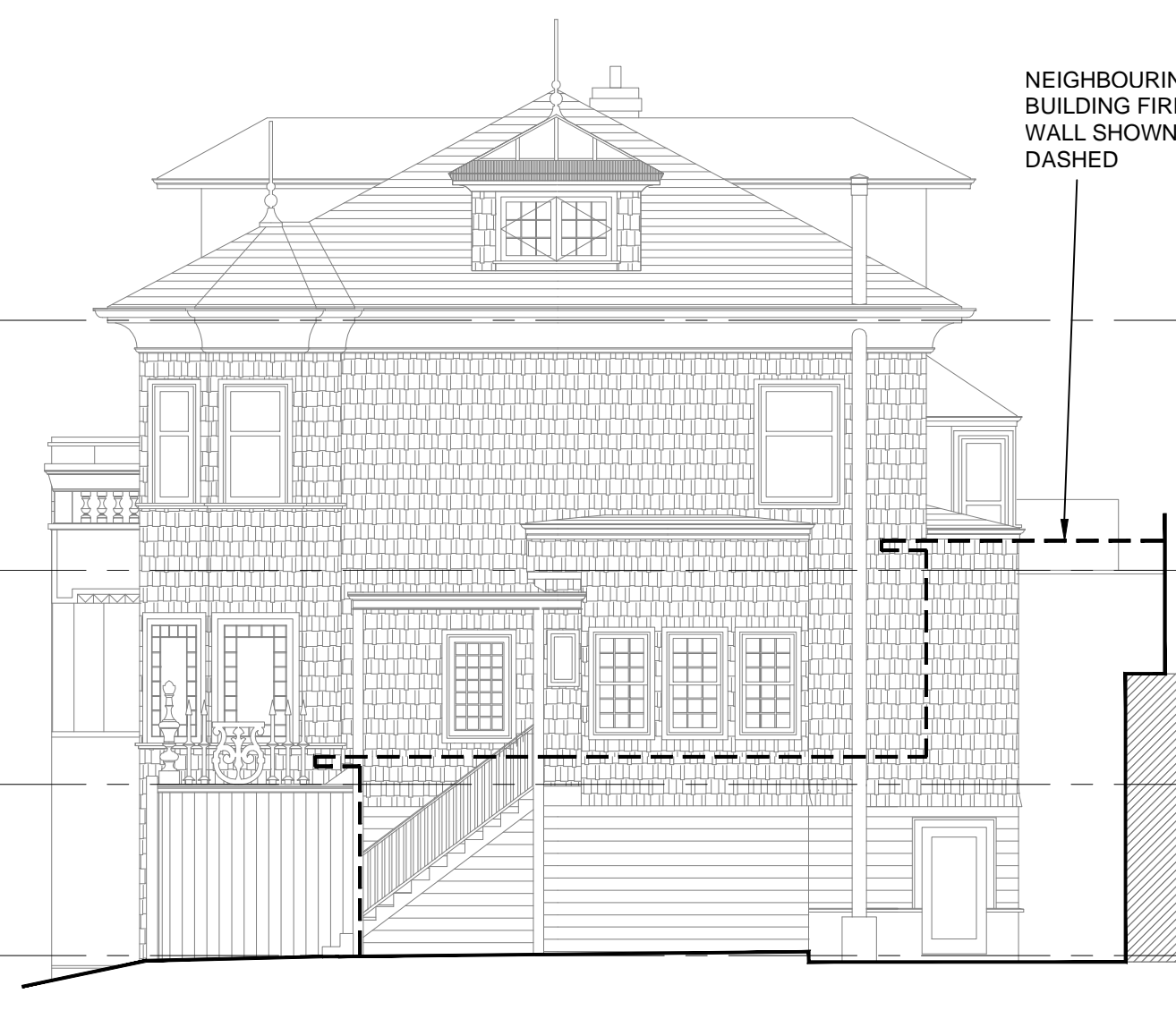
HAAS RESIDENCE
33 SPRUCE STREET
SAN FRANCISCO, CALIFORNIA 94118



AWA

DATES	
PLANNING APPLICATION	05/11/2016

FLOOR PLANS	
SCALE	AS NOTED
SHEET	A2.0

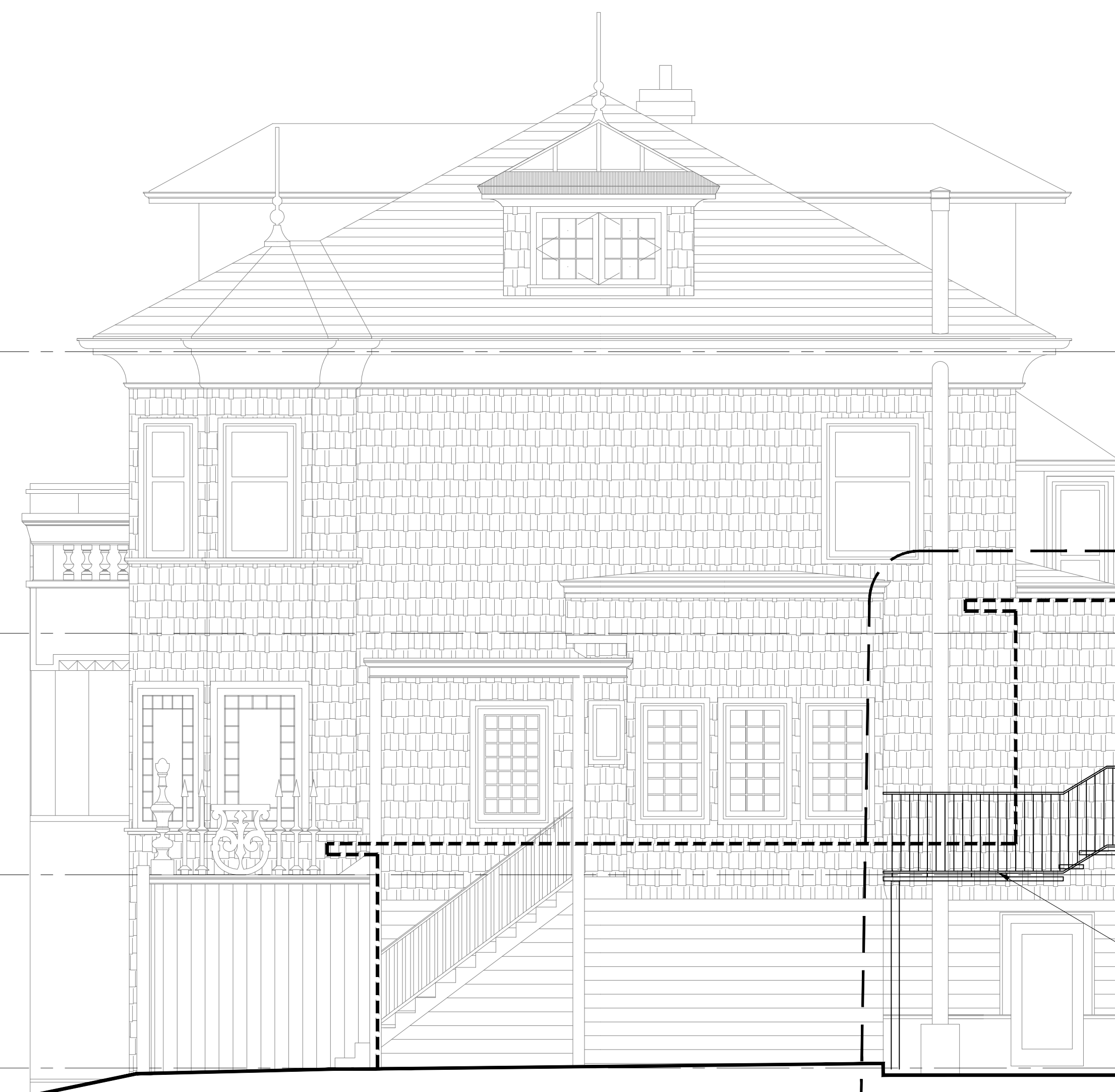


6
A3.0 EXISTING EAST STREET FACING ELEVATION
SCALE: 1/8"=1'-0"
NO WORK TO THIS ELEVATION

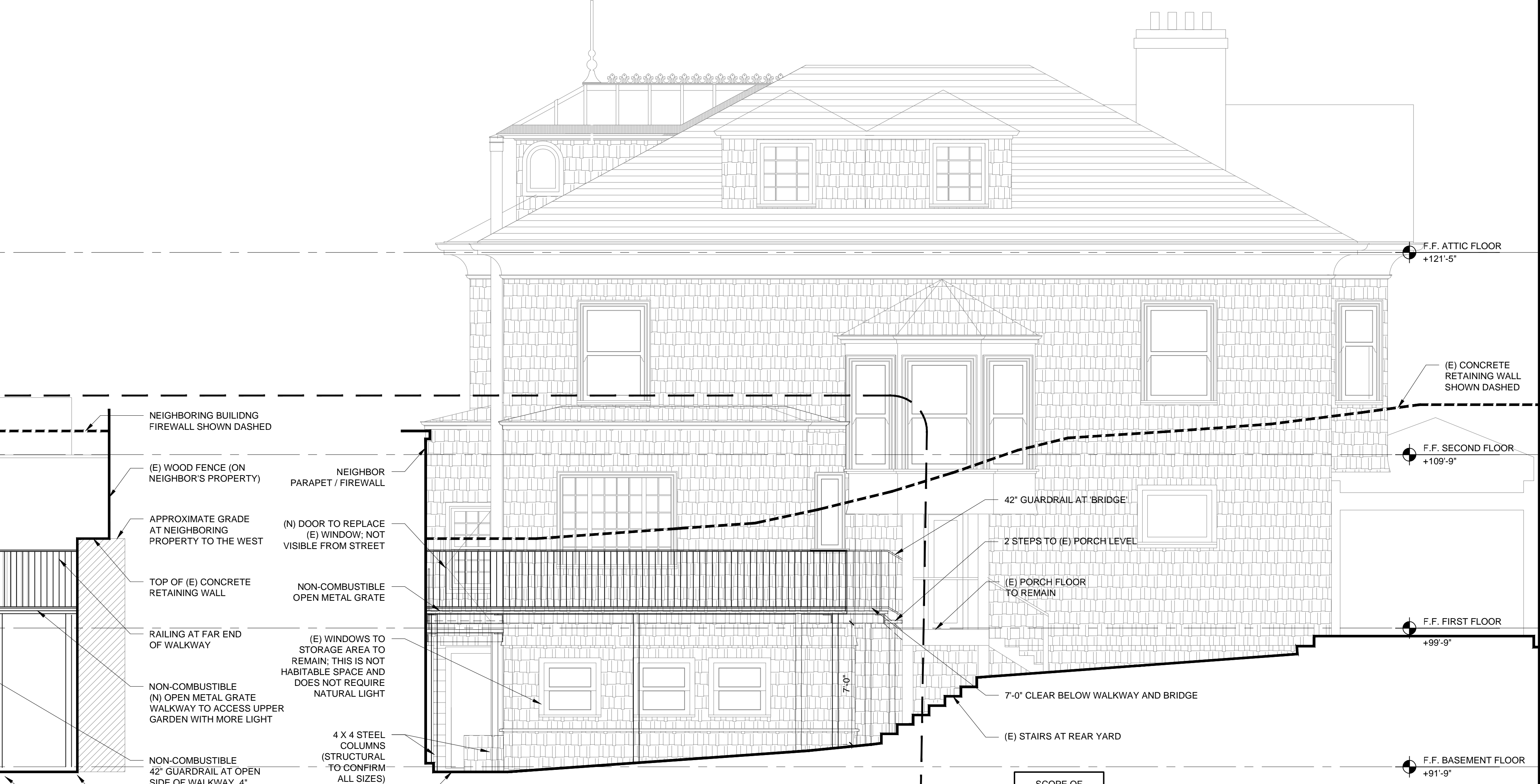
5
A3.0 EXISTING NORTH ELEVATION
SCALE: 1/8"=1'-0"
NO WORK VISIBLE FROM STREET

4
A3.0 EXISTING WEST ELEVATION
SCALE: 1/8"=1'-0"
NO WORK VISIBLE FROM STREET

3
A3.0 EXISTING SOUTH ELEVATION
SCALE: 1/8"=1'-0"
NO WORK TO THIS ELEVATION



2
A3.0 PROPOSED NORTH SIDE ELEVATION
SCALE: 1/4"=1'-0"



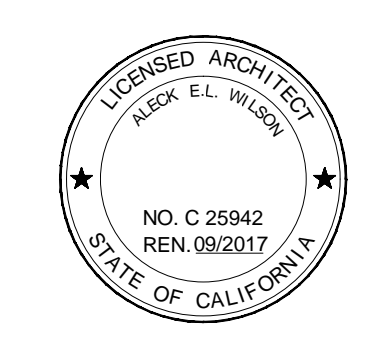
1
A3.0 PROPOSED WEST SIDE ELEVATION
SCALE: 1/4"=1'-0"

- NEIGHBORING BUILDING FIREWALL SHOWN DASHED
- (E) WOOD FENCE (ON NEIGHBOR'S PROPERTY)
- APPROXIMATE GRADE AT NEIGHBORING PROPERTY TO THE WEST
- TOP OF (E) CONCRETE RETAINING WALL
- RAILING AT FAR END OF WALKWAY
- NON-COMBUSTIBLE (N) OPEN METAL GRATE WALKWAY TO ACCESS UPPER GARDEN WITH MORE LIGHT
- NON-COMBUSTIBLE 42" GUARDRAIL AT OPEN SIDE OF WALKWAY, 4" MAXIMUM OPENING
- (E) CONCRETE RETAINING WALL
- PROPOSED STEEL SUPPORT, NONCOMBUSTIBLE
- NEIGHBOR PARAPET / FIREWALL
- (N) DOOR TO REPLACE (E) WINDOW; NOT VISIBLE FROM STREET
- NON-COMBUSTIBLE OPEN METAL GRATE
- (E) WINDOWS TO STORAGE AREA TO REMAIN; THIS IS NOT HABITABLE SPACE AND DOES NOT REQUIRE NATURAL LIGHT
- 4 X 4 STEEL COLUMNS (STRUCTURAL TO CONFIRM ALL SIZES)
- (E) GRADE

- F.F. ATTIC FLOOR +121'-5"
- (E) CONCRETE RETAINING WALL SHOWN DASHED
- F.F. SECOND FLOOR +109'-9"
- F.F. FIRST FLOOR +99'-9"
- F.F. BASEMENT FLOOR +91'-9"
- 42" GUARDRAIL AT BRIDGE
- 2 STEPS TO (E) PORCH LEVEL
- (E) PORCH FLOOR TO REMAIN
- 7'-0" CLEAR BELOW WALKWAY AND BRIDGE
- (E) STAIRS AT REAR YARD
- SCOPE OF WORK

ALECK WILSON ARCHITECTS INC.
26 O'FARRELL ST., SUITE 400
SAN FRANCISCO, CA 94108
TEL: 415-765-9095
FAX: 415-765-1779
WWW.ALECKWILSONARCHITECTS.COM

HAAS RESIDENCE
33 SPRUCE STREET
SAN FRANCISCO, CALIFORNIA 94118



AWA

DATES		ELEVATIONS	
PLANNING APPLICATION	05/11/2016	SCALE	AS NOTED
		SHEET	A3.0