

# ADDITION OF STUDIO UNIT AT 523 GUERRERO STREET, SAN FRANCISCO, CA

FUSHIMI  
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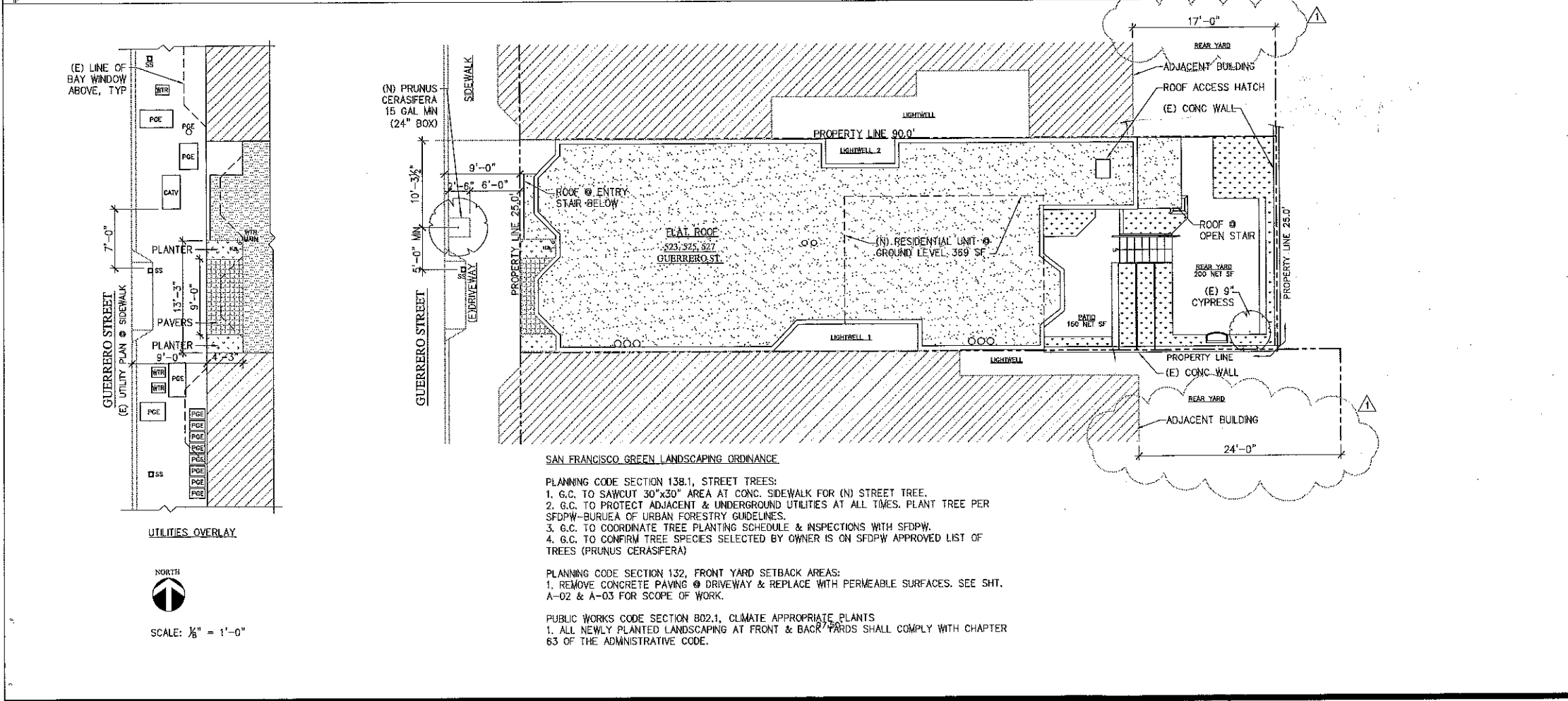
SCOPE OF WORK	PROJECT TEAM	SHEET INDEX	GENERAL NOTES																																				
<p>ADD DWELLING UNIT WITHIN BUILDING ENVELOPE.</p> <p>1. CONVERT STORAGE AREA AT GROUND LEVEL INTO A 369 SF DWELLING UNIT. NEW DWELLING UNIT WILL CONSIST OF KITCHENETTE, BATHROOM, LIVING ROOM, AND SLEEPING AREA.</p> <p>2. (E) HALLWAY IS CONVERTED INTO A 1-HR FIRE-RATED PASSAGEWAY TO EXIT OCCUPANTS FROM THE REAR YARD PATIOS &amp; GROUND LEVEL.</p> <p>3. (E) STORAGE IS CONVERTED INTO BICYCLE STORAGE.</p>	<p><b>OWNER</b> ALEXANDER FLEMING 523 GUERRERO STREET SAN FRANCISCO, CA 94110 TEL: 650-450-6367</p> <p><b>CONTRACTOR</b> PELLANDINI &amp; CO 623 BEAUMONT BLVD PACIFICA, CA 94044 TEL: 415-531-2282 CONTACT: JOHN PELLANDINI</p> <p><b>ARCHITECT</b> FUSHIMI + FUSHIMI ARCHITECTS WITH STUDIO NORTH 4135 PENNINGTON AVE OAKLAND, CA 94619 TEL: 415-235-8427 CONTACT: RANDA FUSHIMI</p>	<p><b>ARCHITECTURAL</b></p> <p>A0.1 PROJECT INFO, SITE PLAN, VICINITY MAP, NOTES, &amp; INDEX</p> <p>A1.1 DEMOLITION PLAN, ABBREVIATIONS, GENERAL NOTES, SYMBOLS</p> <p>A1.2 (E) BLDG SECTION &amp; (E) 4TH FL PLAN</p> <p>A1.3 (E) 2ND FL PLAN &amp; (E) 3RD FL PLAN</p> <p>A1.4 PHOTOS</p> <p>A2.1 PROPOSED GROUND FLOOR PLAN EGRESS PLAN</p> <p>A3.1 EXISTING &amp; PROPOSED EXTERIOR ELEVATIONS</p> <p>A4.1 REFLECTED CEILING PLAN</p> <p>A4.2 MECHANICAL, ELECTRICAL, PLUMBING PLANS</p> <p>A5.1 BUILDING SECTIONS</p> <p>A5.2 SECTION @ BIKE STORAGE &amp; INTERIOR ELEVATIONS</p> <p>A5.3 INTERIOR ELEVATIONS @ EGRESS CORRIDOR</p> <p>A6.1 DETAILS</p> <p>A6.2 DETAILS</p>	<ol style="list-style-type: none"> <li>SAFETY MEASURES: AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF PERSONS AND PROPERTY, AND FOR ALL NECESSARY INDEPENDENT ENGINEERING REVIEWS OF THESE CONDITIONS. THE OWNER REPRESENTATIVE'S JOB SITE REVIEW IS NOT INTENDED TO INCLUDE REVIEW OF THE CONTRACTOR'S SAFETY MEASURES.</li> <li>USE EXTREME CAUTION IN THE REMOVAL AND PROTECTION OF PERSONNEL AND ANY OTHERS IN ALL DEMOLITION ACTIVITIES. THE CONTRACTOR SHALL CONFORM TO ALL OSHA REQUIREMENTS AND ALL GOVERNING CODES, TYPICAL.</li> <li>CONFLICTS: EXAMINE THE CONTRACT DOCUMENTS AND REPORT ALL CONFLICTS, INCONSISTENCIES, DISCREPANCIES, ETC., RELATIVE TO THE WORK OF THE SUBJECT PROJECT PRIOR TO BID FOR CLARIFICATION. DO NOT PROCEED WITH AFFECTED WORK UNTIL THE VARIATIONS OR ANY DISCREPANCIES ARE RESOLVED BY THE OWNER'S REPRESENTATIVE.</li> <li>ANY CONFLICTS, INCONSISTENCIES, DISCREPANCIES, ETC., DRAWN TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE AFTER THE BID OPENING WILL BE RESOLVED OR CLARIFIED BY THE OWNER'S REPRESENTATIVE, AND THE CONTRACTOR SHALL CONFORM AS REQUIRED FOR NO ADDITION TO THE CONTRACT.</li> <li>MAKE ALL FIELD MEASUREMENTS AND INVESTIGATIONS NECESSARY TO PERFORM THE WORK. NO ALLOWANCES WILL BE MADE ON BEHALF OF THE CONTRACTOR FOR HIS ERRORS DUE TO FAILURE TO ACQUAINT HIMSELF WITH THE EXISTING CONDITIONS. FIELD VERIFY ALL DIMENSIONS PRIOR TO THE START OF THE WORK.</li> <li>CONSTRUCT ALL WORK IN ACCORDANCE WITH THE APPLICABLE LAWS, CODES, AND REGULATORY AGENCIES HAVING JURISDICTION, INCLUDING BUT NOT LIMITED TO THE FOLLOWING: <ul style="list-style-type: none"> <li>STATE BUILDING CODE (WHERE MORE RESTRICTIVE THAN LOCAL CODES)</li> <li>FEDERAL OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION</li> <li>CURRENT NFPA REQUIREMENTS</li> </ul> </li> <li>INSTALL ALL WORK PLUMB, LEVEL AND STRAIGHT. PROVIDE AND INSTALL FLOOR LEVELING PRIOR TO INSTALLATION OF FRAMING AND ALL ASSOCIATED WORK. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY AREA ON FLOOR NEEDING LEVELING WHETHER NOTED ON DRAWINGS OR NOT.</li> </ol>																																				
<p style="text-align: center;"><b>PROJECT INFO</b></p> <table style="width: 100%; border: none;"> <tr> <td style="width: 33%;">BLOCK/LOT: 3677/033</td> <td style="width: 33%;">ADDITIONAL DWELLING UNIT AREA: 369 GROSS SF</td> <td style="width: 33%;"></td> </tr> <tr> <td>ZONING: RTO-M</td> <td>OCCUPANT LOAD CALCULATIONS:</td> <td></td> </tr> <tr> <td>BUILDING AREA: 1,524 SF (NO CHANGE)</td> <td>REAR YARD: 350 NET SF / 15 OLF = 23.33 OCC</td> <td></td> </tr> <tr> <td>PARCEL AREA: 2,247 SF</td> <td>GROUND FLOOR: 1345 SF / 200 OLF</td> <td></td> </tr> <tr> <td>YEAR BUILT: 1908</td> <td>(DWELLING 369 SF + GARAGE/STORAGE 976 SF) = 6.75 OCC</td> <td></td> </tr> <tr> <td>OCCUPANCY: R2/S</td> <td>SECOND FLOOR: 1,524 SF / 200 OLF = 7.62 OCC</td> <td></td> </tr> <tr> <td>CONSTRUCTION TYPE: V</td> <td>THIRD FLOOR: 1,524 SF / 200 OLF = 7.62 OCC</td> <td></td> </tr> <tr> <td>FIRE SPRINKLERS: YES (GROUND FLOOR ONLY)</td> <td>FOURTH FLOOR: 1,524 SF / 200 OLF = 7.62 OCC</td> <td></td> </tr> <tr> <td>BUILDING HEIGHT: 40'-3" (45'-0" ALLOWED) (NO CHANGE)</td> <td><b>TOTAL = 53 OCC</b></td> <td></td> </tr> <tr> <td>STORIES: 4 (NO CHANGE)</td> <td></td> <td></td> </tr> <tr> <td>(E) NUMBER OF DWELLING UNITS: 3</td> <td></td> <td></td> </tr> <tr> <td>(N) NUMBER OF DWELLING UNITS: 4</td> <td></td> <td></td> </tr> </table>	BLOCK/LOT: 3677/033	ADDITIONAL DWELLING UNIT AREA: 369 GROSS SF		ZONING: RTO-M	OCCUPANT LOAD CALCULATIONS:		BUILDING AREA: 1,524 SF (NO CHANGE)	REAR YARD: 350 NET SF / 15 OLF = 23.33 OCC		PARCEL AREA: 2,247 SF	GROUND FLOOR: 1345 SF / 200 OLF		YEAR BUILT: 1908	(DWELLING 369 SF + GARAGE/STORAGE 976 SF) = 6.75 OCC		OCCUPANCY: R2/S	SECOND FLOOR: 1,524 SF / 200 OLF = 7.62 OCC		CONSTRUCTION TYPE: V	THIRD FLOOR: 1,524 SF / 200 OLF = 7.62 OCC		FIRE SPRINKLERS: YES (GROUND FLOOR ONLY)	FOURTH FLOOR: 1,524 SF / 200 OLF = 7.62 OCC		BUILDING HEIGHT: 40'-3" (45'-0" ALLOWED) (NO CHANGE)	<b>TOTAL = 53 OCC</b>		STORIES: 4 (NO CHANGE)			(E) NUMBER OF DWELLING UNITS: 3			(N) NUMBER OF DWELLING UNITS: 4			<p style="text-align: center;"><b>CODE SUMMARY</b></p> <p>UNLESS OTHERWISE NOTED, THE CURRENT CODE SHALL APPLY. IN CASE OF CONFLICT BETWEEN REGULATORS' REQUIREMENTS, THE MORE STRINGENT CODE SHALL APPLY.</p> <p>IN CASE OF CONFLICT BETWEEN REGULATORY REQUIREMENTS AND CONTRACT DOCUMENTS, THE MORE STRINGENT SHALL GOVERN.</p> <p><b>2013 CALIFORNIA CODES</b> 2013 CALIFORNIA BUILDING CODE 2013 CALIFORNIA ELECTRICAL CODE 2013 CALIFORNIA MECHANICAL CODE 2013 CALIFORNIA PLUMBING CODE 2013 CALIFORNIA GREEN BUILDING CODE 2013 CALIFORNIA ENERGY CODE</p> <p><b>2013 SAN FRANCISCO CODE AMENDMENTS</b> 2013 SAN FRANCISCO BUILDING CODE AMENDMENTS 2013 SAN FRANCISCO ELECTRICAL CODE AMENDMENTS 2013 SAN FRANCISCO MECHANICAL CODE AMENDMENTS 2013 SAN FRANCISCO PLUMBING CODE AMENDMENTS 2013 SAN FRANCISCO GREEN BUILDING CODE AMENDMENTS 2013 SAN FRANCISCO HOUSING CODE</p>		
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**Architects**  
685 Third Street, Ste 513  
San Francisco, CA 94107  
T 415 235 8427



**523 GUERRERO STREET  
DWELLING ADDITION**  
 523 GUERRERO STREET  
 SAN FRANCISCO, CA 94110  
 APN: 3577-033

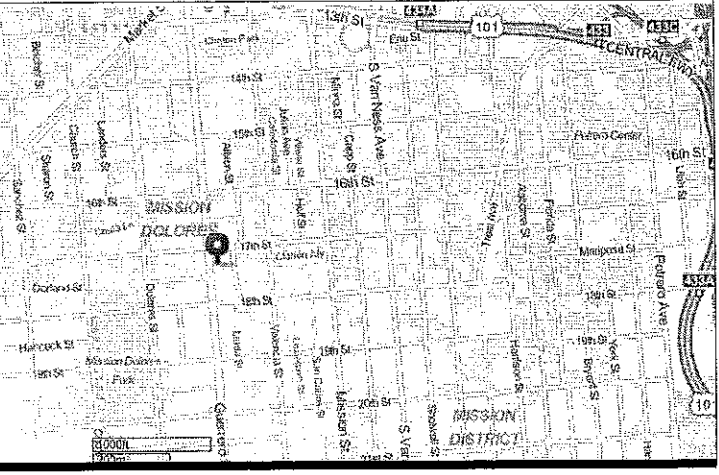
## SITE PLAN



## FIRE SAFETY NOTES

- ALL EXITS TO BE MAINTAINED DURING AND AFTER CONSTRUCTION.
- ALL FIRE RATINGS TO BE RESTORED AFTER CONSTRUCTION.
- ALL PENETRATIONS TO BE REPAIRED.
- MUST MAINTAIN EXISTING FIRE LIFE SAFETY SYSTEMS DURING CONSTRUCTION.

## VICINITY MAP



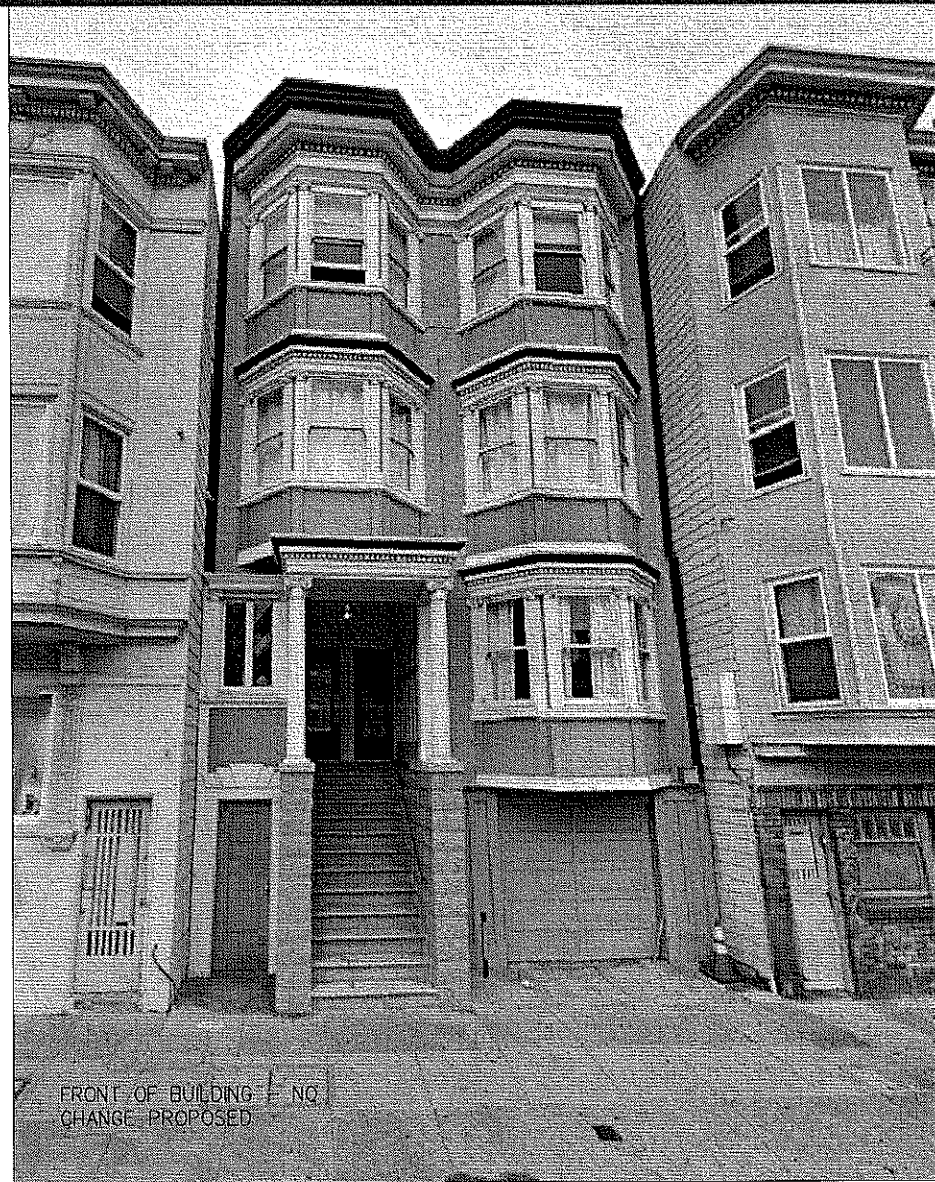
Revisions

No.	Date and Description
5-9-16	PERMT
7-5-16	PLANNING REV 1

Sheet Title  
**PROJ INFO,  
SITE PLAN  
VICINITY  
MAP, NOTES  
& INDEX**

Proj. # 1510  
 Date 03-17-16  
 Scale AS NOTED  
 Sheet Number

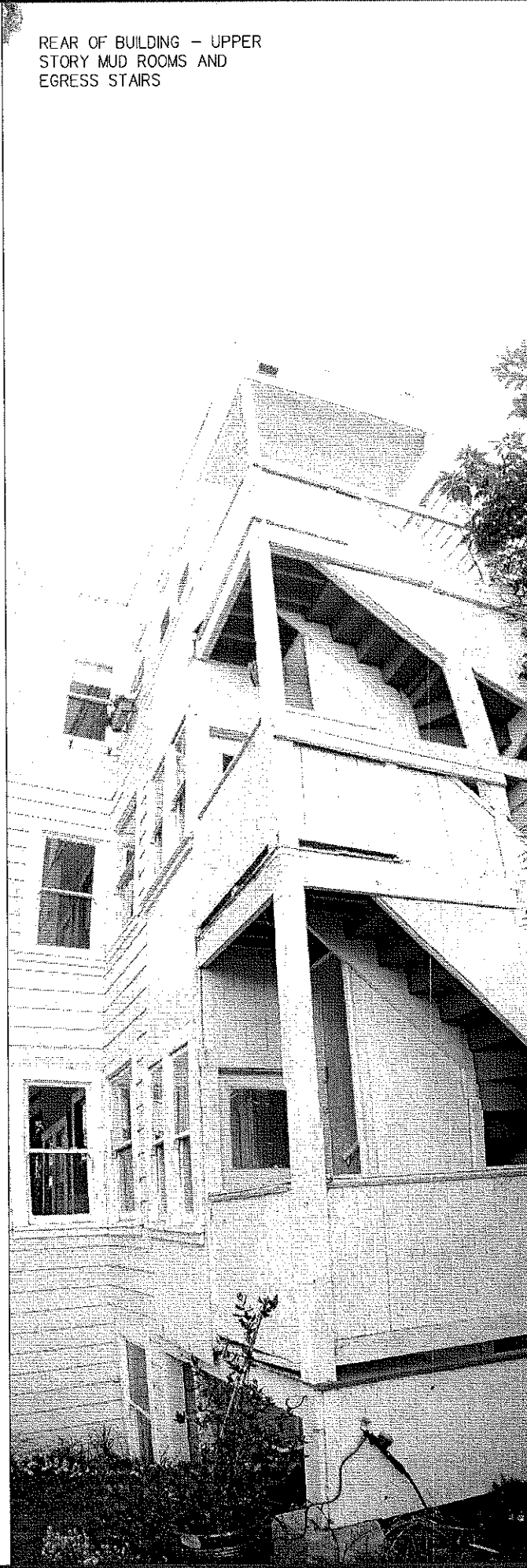
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FRONT OF BUILDING - NO CHANGE PROPOSED



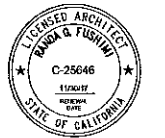
REAR YARD FROM UPPER STORY BEFORE TERRACING, PLANTING, AND PAVED STEPS INSTALLATION



REAR OF BUILDING - UPPER STORY MUD ROOMS AND EGRESS STAIRS

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523 GUERRERO STREET  
DWELLING ADDITION  
523 GUERRERO STREET  
SAN FRANCISCO, CA 94110  
APN: 3577-053

Revisions

No	Date	Description
5-9-16		PERMIT
7-5-16		PLANNING REV 1

Sheet Title

PHOTOS

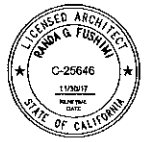
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Date 03-17-16

Scale AS NOTED

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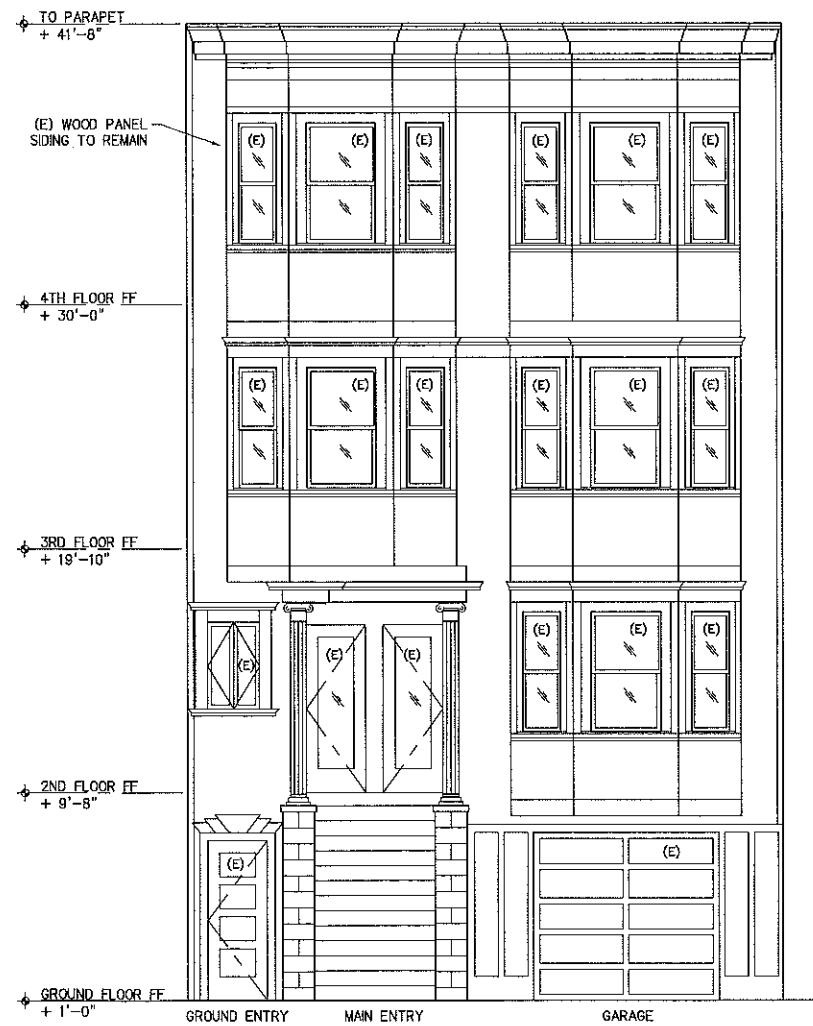


Revisions

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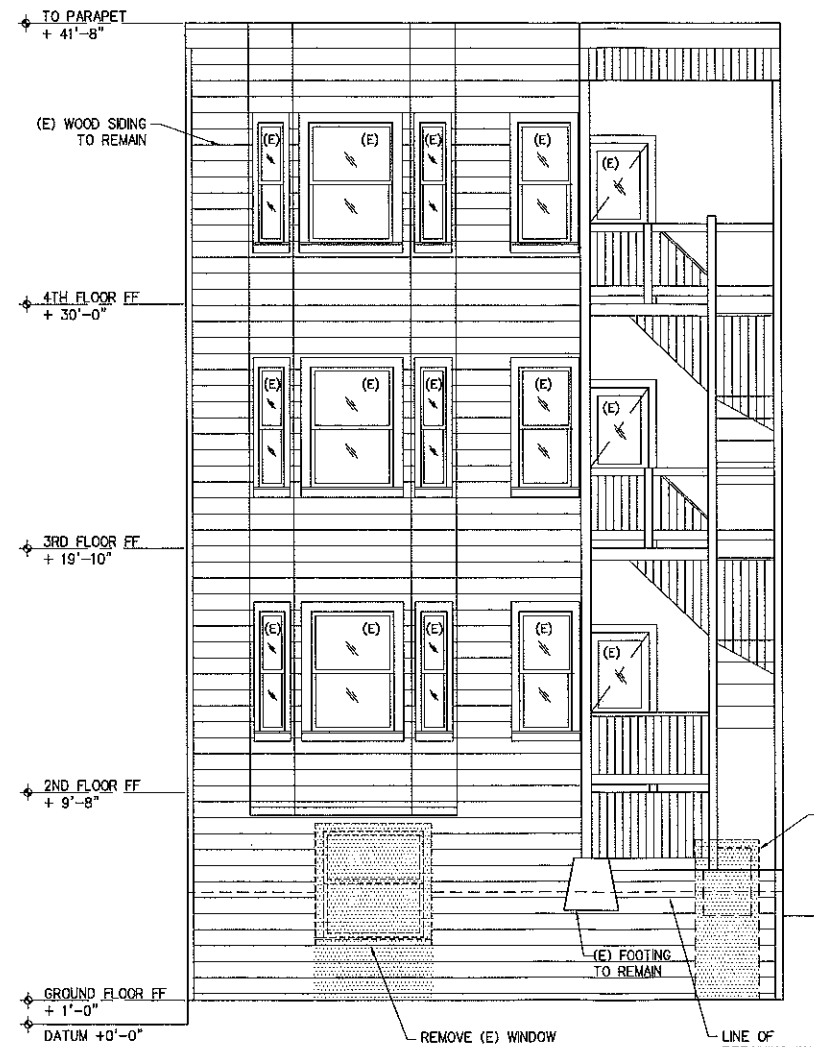
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**EXISTING & PROPOSED EXTERIOR ELEVATIONS**

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Scale	AS NOTED
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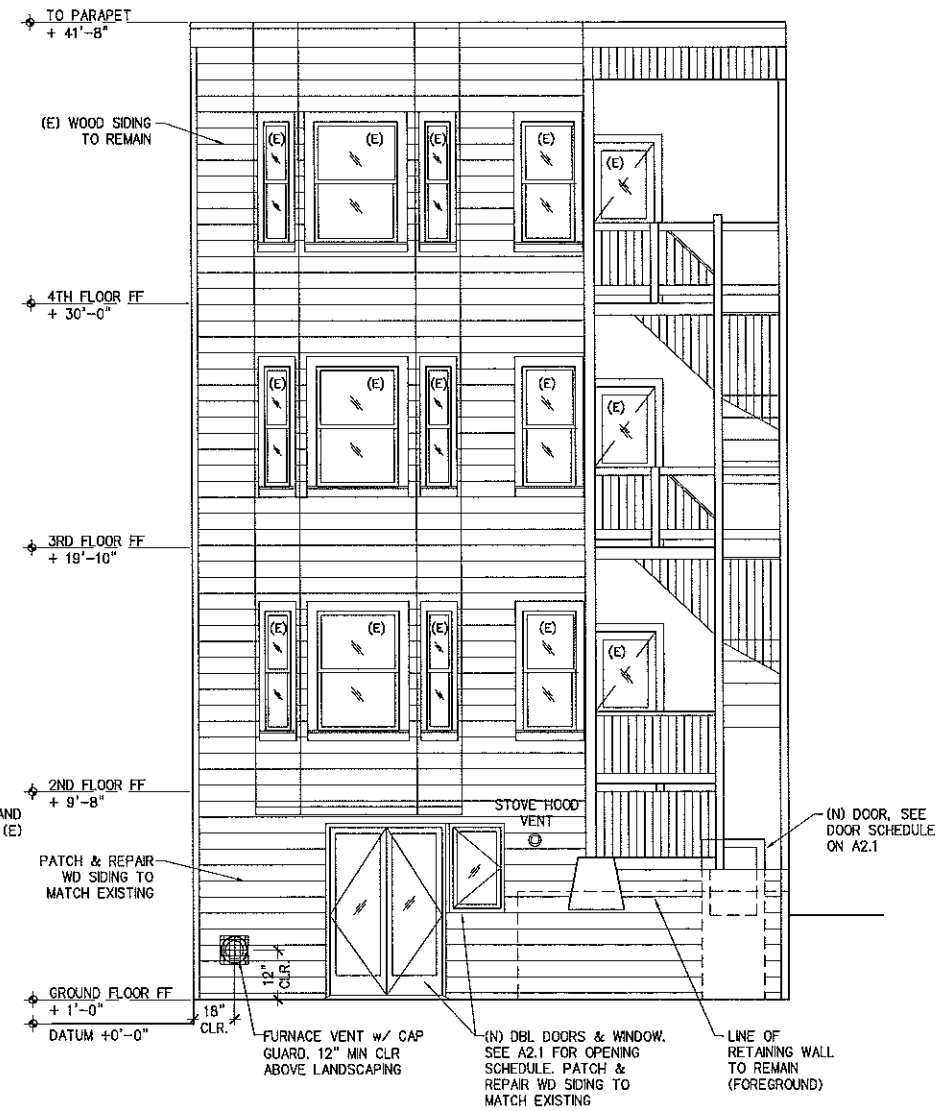


NOTE:  
STREET FACADE TO REMAIN  
AS IS - NO CHANGE

**C** EXISTING EXTERIOR ELEVATION - WEST  
SCALE: 1/4" = 1'-0"



**B** EXISTING EXTERIOR ELEVATION - EAST  
SCALE: 1/4" = 1'-0"



**A** PROPOSED EXTERIOR ELEVATION - EAST  
SCALE: 1/4" = 1'-0"