



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
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CA 94103-2479

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**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, August 23, 2017**
 Time: **Not before 9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance (Rear Yard)**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 2828 Octavia Street	Case No.: 2016-006469VAR
Cross Street(s): Filbert St. & Union St.	Building Permit: 201707252933
Block /Lot No.: 0529 / 093	Applicant (agent/architect): Andy Rodgers
Zoning District(s): RH-3 / 40-X	Telephone: (415) 309 - 9612
Area Plan: N/A	E-Mail: ardesign@att.net

PROJECT DESCRIPTION

The proposal is to construct an approximately 140 square foot horizontal addition on the third floor at the rear of the three-story, single-family dwelling which will extend into the required rear yard. The proposal will include converting the existing rear balcony into additional habitable living space and constructing a new gabled roof at the rear of the building.

SECTION 134 OF THE PLANNING CODE requires the subject property to maintain a rear yard of 15 feet, with the last 10 feet of building envelope limited to 30 feet in height. The existing building is legal noncomplying, as it encroaches into the required rear yard at varying depths. As proposed, the horizontal addition on the third floor (with approximately 7.5 feet of building envelope exceeding 30 feet in height) will extend approximately 5 feet into the required rear yard, and result in a rear yard of approximately 10 feet; therefore, the project requires a variance from the rear yard requirement of the Planning Code.

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://notice.sfplanning.org/2016-006469VAR.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:
 Planner: **Sharon M. Young** Telephone: **(415) 558-6346** E-Mail: sharon.m.young@sfgov.org

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. The mailing of such notification will be performed separately.

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

GENERAL NOTES

ALL CONSTRUCTION AND INSTALLATION SHALL CONFIRM TO THE FOLLOWING CODES:
 2016 TITLE 24 & CALIFORNIA BUILDING CODE (CBC) & SAN FRANCISCO AMENDMENTS
 2016 CALIFORNIA MECHANICAL CODE (CMC) & CALIFORNIA PLUMBING CODE (CPC)
 2016 CALIFORNIA ELECTRICAL CODE (CED) & CALIFORNIA ENERGY CODE (CEC)
 2016 CALIFORNIA FIRE CODE WITH SAN FRANCISCO AMENDMENTS
 2002 NFPA 13 INSTALLATION OF SPRINKLER SYSTEMS, 2002 NFPA13R SPRINKLER SYSTEMS FOR RESIDENTIAL OCCUPANCIES UP TO 4 STORIES IN HT. & 2002 NFPA 72 NATIONAL FIRE ALARM CODE AS APPLICABLE, AND ANY OTHER GOVERNING CODES & ORDINANCES. IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL APPLY.

THE CONTRACTOR SHALL REVIEW AND VERIFY ALL DIMENSIONS OF BUILDING AND SITE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION.

THE GENERAL CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL DIMENSIONS AND SITE CONDITIONS. THE GENERAL CONTRACTOR SHALL INSPECT THE EXISTING PREMISES AND TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING PRICES. NO CLAIM SHALL BE ALLOWED FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE REASONABLY BEEN INFERRED FROM SUCH AN EXAMINATION.

CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN ARCHITECTURAL, STRUCTURAL, LANDSCAPE, CIVIL, MECHANICAL, PLUMBING, ELECTRICAL AND FIRE PROTECTION. THIS INCLUDES REVIEWING REQUIREMENTS OF INDIVIDUAL SYSTEMS BEFORE ORDERING AND INSTALLATION OF ANY WORK. VERIFY ALL ARCHITECTURAL DETAILS AND ALL FINISH CONDITIONS (WHETHER DEPICTED IN DRAWINGS OR NOT) WITH SAME DISCIPLINES.

ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER BEFORE PROCEEDING WITH THE WORK.

DO NOT SCALE DRAWINGS. WRITTEN DIMENSION GOVERN.

ALL CLEAR DIMENSIONS ARE NOT TO BE ADJUSTED WITHOUT APPROVAL OF THE ARCHITECT.

WHEN SHOWN IN PLAN, ALL DIMENSIONS ARE TO FACE OF GYPSUM BOARD, CONCRETE, CENTERLINE OF COLUMNS, OR CENTERLINE OF STUD WITHIN WALL ASSEMBLIES, UNLESS OTHERWISE NOTED.

WHEN SHOWN IN SECTION OR ELEVATION, ALL DIMENSIONS ARE TO TOP OF PLATE OR TOP OF CONCRETE UNLESS OTHERWISE NOTED.

DETAILS SHOWN ARE TYPICAL, SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING AND OBTAINING ALL REQUIRED INSPECTIONS TO CONFIRM WITH LOCAL BUILDING AND FIRE CODES.

PROVIDE AND INSTALL 2x FLAT WOOD BLOCKING FOR ALL BATH ACCESSORIES, HANDRAILS, CABINETS, TOWEL BARS, WALL MOUNTED FIXTURES AND ANY OTHER ITEMS ATTACHED TO WALLS.

ALL CHANGES IN FLOOR MATERIALS OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENINGS UNLESS OTHERWISE INDICATED ON THE DRAWINGS.

INSTALL ALL FIXTURES, EQUIPMENT, AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS AND THE REQUIREMENTS OF THE CODES. ALL APPLIANCES, FIXTURES, AND EQUIPMENT ASSOCIATED WITH PLUMBING, ELECTRICAL, AND MECHANICAL SYSTEMS SHALL BE LISTED BY A NATIONALLY RECOGNIZED AND APPROVED AGENCY.

VERIFY CLEARANCES FOR FLUES, VENTS, CHASES, SOFFITS, FIXTURES, FIREPLACES, ETC., BEFORE ANY CONSTRUCTION, ORDERING OF, OR INSTALLATION OF ANY ITEM OF WORK.

PROVIDE FIRE-BLOCKING AND DRAFTSTOPPING AT ALL CONCEALED DRAFT OPENINGS (VERTICAL & HORIZONTAL). AS PER 1997/98 UBC 708, FIREBLOCKING & DRAFTSTOPS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:
 1) IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10-FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL.
 2) IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.
 3) IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS.

WINDOW SIZES ON DRAWINGS ARE NOMINAL DIMENSIONS. REFER TO MANUFACTURER FOR ACTUAL ROUGH OPENING SIZES.

MECHANICAL, PLUMBING, ELECTRICAL, AND OTHER PENETRATIONS OF FLOORS, WALLS AND CEILINGS SHALL BE SEALED AIRTIGHT WITH ACOUSTICAL SEALANT AND FIRESAFING AS REQUIRED.

ALL EXTERIOR DOORS AND WINDOWS ARE TO BE WEATHERSTRIPPED PER TITLE 24 REQUIREMENTS.

ALL WALL, FLOOR, ROOF, AND SHAFT CONSTRUCTION TO BE RATED, U.O.N.

DISCREPANCIES: WHERE A CONFLICT IN REQUIREMENTS OCCURS BETWEEN THE SPECIFICATIONS AND DRAWINGS, OR ON THE DRAWINGS, AND A RESOLUTION IS NOT OBTAINED FROM THE ARCHITECT BEFORE THE BIDDING DATE, THE MORE STRINGENT ALTERNATE WILL BECOME THE CONTRACTUAL REQUIREMENTS.

CONTRACTOR SHALL NOTIFY GEOTECHNICAL ENGINEER FOR INSPECTION OF COMPRESSION GROUTING, BUILDING PAD, FOUNDATION EXCAVATION, DEPTH, BACK FILL MATERIALS, AND DRAINAGE AS APPLICABLE.

CONTRACTOR SHALL ENSURE THAT GUIDELINES SET FORTH ON SHEET NO.6 ARE MAINTAINED DURING CONSTRUCTION, INSTALLATION, AND FINISHING OF ALL ASPECTS OF THIS PROJECT.

ALL CONCEALED SPACES UNDER RAISED SLEEPING PLATFORMS MUST BE SPRINKLERED.

PROVIDE I.C.B.O. EVALUATION SERVICES INC. REPORT ON TEST DATA FOR ALL SKYLIGHTS.

PROVIDE SAFETY GLAZING AT ALL HAZARDOUS LOCATIONS, INCLUDING, BUT NOT LIMITED TO GLAZING WITHIN 18" OF A WALKING SURFACE. GLAZING IN DOORS AND WINDOWS ADJACENT TO DOORS IN ACCORDANCE WITH SECTION 2406.4.

ALL TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL PER UBC 2406.2.

ALL SMOKE DETECTORS TO BE HARD WIRED.

OPENINGS IN 1, 2, OR 3-HOUR RATED ASSEMBLIES SHOULD BE PROTECTED WITH (1), (2), OR (3)-HOUR RATED ASSEMBLIES, RESPECTIVELY.

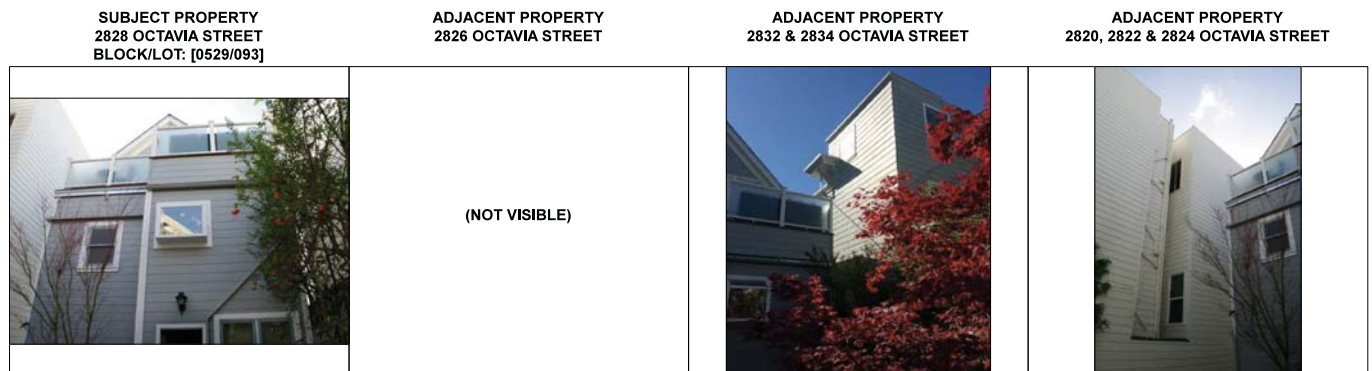
ALL ASSEMBLIES SHOULD BE APPROVED.

ALL DUCT PENETRATIONS THROUGH RATED WALLS SHOULD BE PROTECTED WITH SMOKE AND FIRE DAMPERS.

SITE PHOTOS



1 BUILDING WEST (FRONT) FACADE



2 BUILDING EAST (REAR) FACADE

SIDE (REAR NOT VISIBLE)

SIDE (REAR NOT VISIBLE)

ABBREVIATIONS

AB. ANCHOR BOLT	ELEV. ELEVATION	HT. HEIGHT	(R) REMODELED OR
A.F.F. ABOVE FINISHED FLOOR	EMER. EMERGENCY	HVAC. HEATING, VENTILATION, AND AIR CONDITIONING	RELOCATED
AGGR. AGGREGATE	ENCL. ENCLOSURE	I.D. INSIDE DIAMETER	R.D. REFER TO ...
AL. ALUMINUM	EQ. EQUAL	INSUL. INSULATION	RE: REFRIGERATOR
ALT. ALTERNATE	EQUIP. EQUIPMENT	INT. INTERIOR	REINF. REINFORCED
APPROX. APPROXIMATE	E.W. EACH WAY	JAN. JANITOR	REQ'D REQUIRED
ARCH. ARCHITECTURAL	W.E.C. ELECTRIC WATER COOLER	JNT. JOINT	RM ROOM
BD. BOARD	EXP. EXPANSION	JST. JOIST	R.D. ROUGH OPENING
BLDG. BUILDING	EXT. EXTERIOR	KIT. KITCHEN	S SOUTH
BLK. BLOCK	F.A. FIRE ALARM	LAB. LABORATORY	S.C. SOLID CORE
BLK'G. BLOCKING	F.D. FLOOR DRAIN	LAM. LAMINATE	SCHED. SCHEDULE
BM. BEAM	F.D.C. FIRE DEPARTMENT CONNECTION	LAV. LAVATORY	SECT. SECTION
BOT. BOTTOM	FDN. FOUNDATION	LT. LIGHT	S.F. SQUARE FOOT
BTWN. BETWEEN	F.A. FIRE EXTINGUISHER	MAX. MAXIMUM	SHT. SHEET
B.U.R. BUILT UP ROOFING	F.A.C. FIRE EXTINGUISHER CABINET	MECH. MECHANICAL	SIM. SIMILAR
B.W. BOTH WAYS	F.B. FINISH FLOOR	MEMB. MEMBRANE	SPEC. SPECIFICATION
C.J. CONTROL JOINT	F.H.C. FIRE HOSE CABINET	MFR. MANUFACTURER	SQ. OR ϕ SQUARE
CLG. CEILING	FIN. FINISH	M.H. MANHOLE	S.S. STAINLESS STEEL
CLKG. CAULKING	F.L. FLOW LINE	MIN. MINIMUM	STAGG. STAGGERED
CLR. CLEAR	FLR. FLOOR	MISC. MISCELLANEOUS	STD. STANDARD
C.M.U. CONCRETE MASONRY UNIT	FLUR. FLUORESCENT	MASONRY OPENING	STIFF. STIFFENER
COL. COLUMN	FND. FOUNDATION	MUL. MULLION	STL. METAL
CONC. CONCRETE	F.O.B. FACE OF BRICK	NORTH	STRUC. STRUCTURAL
CONN. CONNECTION	F.O.C. FACE OF CONCRETE	(N) NEW	SUSP. SUSPENDED
CONSTR. CONSTRUCTION	F.S. FULL SIZE	N.I.C. NOT IN CONTRACT	TR. TREAD
CONT. CONTINUOUS	FT. FOOT OR FEET	NO. NUMBER	T & B TOP AND BOTTOM
C.T. CERAMIC TILE	FTG. FOOTING	N.O.M. NOMINAL	T & G TONGUE AND GROOVE
DEG. DEGREE	FURR. FURRING	N.T.S. NOT TO SCALE	THK. THICK
DET./DTL. DETAIL	GA. GALVANIZED	O.C. ON CENTER	TYP. TYPICAL
D.F. DRINKING FOUNTAIN	G.C. GENERAL CONTRACTOR	O.D. OUTSIDE DIAMETER	U.O.N. UNLESS OTHERWISE NOTED
DIAG. DIAGONAL	G.L. GLASS	OH. OPENING	VCT. VINYL COMPOSITION TILE
DIA. ϕ DIAMETER	G.R. GRADE	OPG. OPPOSITE	VER. VERIFY
DN. DOWN	GYP. GYPSUM	OPP. OPPOSITE	VERT. VERTICAL
DS. DOWNSPOUT	GYP. BD. GYPSUM BOARD	PCT. PRE-CAST	W WEST
DWG. DRAWING	H.B. HOSE BIBB	P.L. PLASTIC LAMINATE	W.C. WATER CLOSET
E EAST	H.C. HOLLOW CORE	PLAS. PLASTER	WD. WOOD
(E) EXISTING	H/C. HANDICAPPED	PLYWD. PLYWOOD	W/O WITHOUT
EA. EACH	H/DWD. HARDWARE	PR. PAIR	PROPERTY LINE CENTERLINE
E.J. EXPANSION JOINT	H.M. HOLLOW METAL	Q.T. QUARRY TILE	
E.I.F.S. EXTERIOR INSULATION AND FINISH SYSTEM	HR. HOUR	R. RISER	
EL. ELEVATION			
ELEC. ELECTRICAL			

NOTE: CLARIFY WITH ARCHITECT - ALL ABBREVIATIONS NOT LISTED

SYMBOLS LEGEND

	SECTION: SECTION LETTER SHEET NUMBER
	DETAIL: DETAIL NUMBER SHEET NUMBER
	ELEVATION: ELEVATION LETTER SHEET NUMBER
	DOOR NUMBER
	WINDOW TYPE
	SHEET LAYOUT DESIGNATION VIEW NUMBER SHEET NUMBER
	SCALE
	NORTH DESIGNATION
	ROOF SLOPE INDICATION
	EQUIPMENT NUMBER
	ELEVATION TAG
	SPOT ELEVATION
	REVISION
	PROPERTY LINE
	CENTER LINE

PROJECT INFORMATION

PROJECT ADDRESS: 2828 OCTAVIA STREET
SAN FRANCISCO, CA 94123

BLOCK/LOT: 0529 / 093

ZONING: RH-3

CONSTRUCTION TYPE: 5B

OCCUPANCY: R3

NUMBER OF FLOORS: 3

SPRINKLERING: NO

EXISTING LIVING AREA: 1,440 SF

PROPOSED LIVING AREA: 1,580 SF (+140 SF)

PROJECT DESCRIPTION:
 REAR ADDITION AT 3RD FLOOR. CONVERT EXISTING REAR DECK TO ENCLOSED HABITABLE SPACE. NEW GABLED ROOF AT REAR OF BUILDING. SCOPE TO INCLUDE RENOVATION OF EXISTING BATHROOM, ENLARGE EXISTING BEDROOM, ADD NEW CLOSETS. SOME NEW EXTERIOR DOORS & WINDOWS. NEW ELECTRICAL AND PLUMBING WORK AS REQUIRED. NO CHANGE TO FOOTPRINT OF EXISTING BUILDING.

SHEET INDEX

- A0.1 PROJECT INFORMATION, GENERAL NOTES, ETC.
- A0.2 SITE PLAN EXISTING
- A0.3 SITE PLAN PROPOSED
- A1.1 FLOOR PLANS
- A2.1 ELEVATIONS
- A2.2 ELEVATIONS
- A2.3 ELEVATIONS
- A3.1 SECTIONS

PROJECT DIRECTORY

PROJECT ARCHITECT
 ANDY RODGERS ARCHITECTURE
 156 SOUTH PARK
 SAN FRANCISCO, CA 94107
 P: 415.309.9612
 E: ardesign@att.net

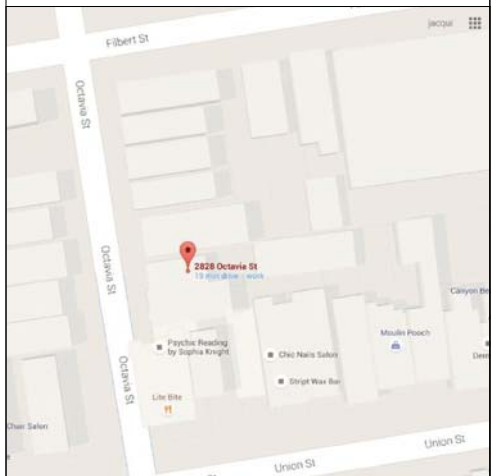
GENERAL CONTRACTOR
 TBD

STRUCTURAL ENGINEER
 TBD

T24 CONSULTANT
 TBD

BUILDING OWNER
 JAMIE FEINBERG
 2828 OCTAVIA STREET
 SAN FRANCISCO, CA 94123
 P: 415.264.4468
 E: jamie.lynn.feinberg@gmail.com

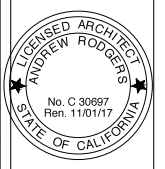
PROJECT LOCATION



REVISIONS

**andy
rodgers
design
studio**

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www.rodgersarchitecture.com



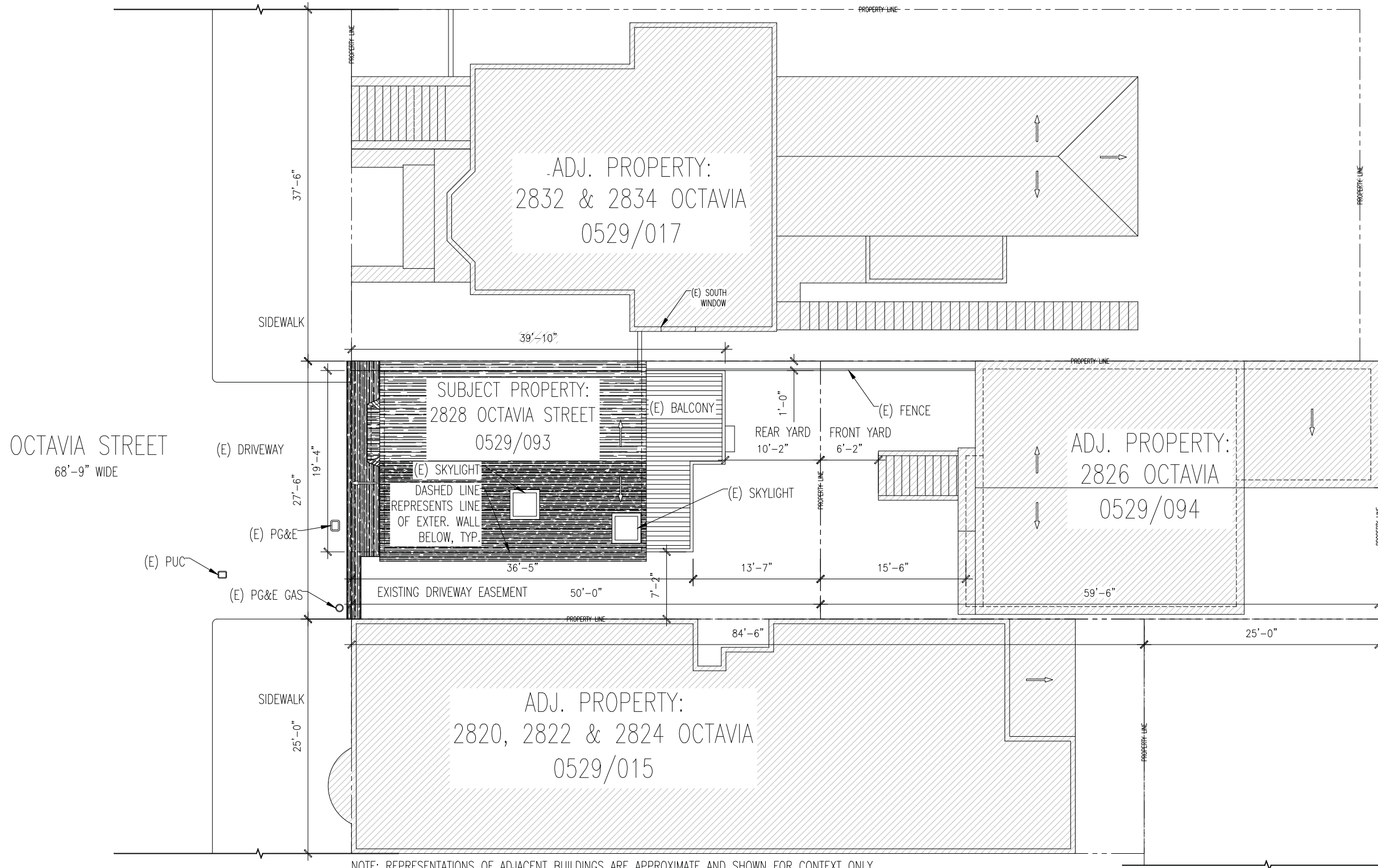
ALTERATIONS TO:
 2828 OCTAVIA STREET
 SAN FRANCISCO, CA 94123
 OWNER: JAMIE FEINBERG

FOR VARIANCE APP. & SITE PERMIT APP

TITLE SHEET, PROJECT INFO, GEN. NOTES

DATE 14 JULY 2017
 SCALE AS NOTED
 DRAWN JS
 JOB

A0.1

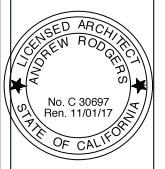


NOTE: REPRESENTATIONS OF ADJACENT BUILDINGS ARE APPROXIMATE AND SHOWN FOR CONTEXT ONLY



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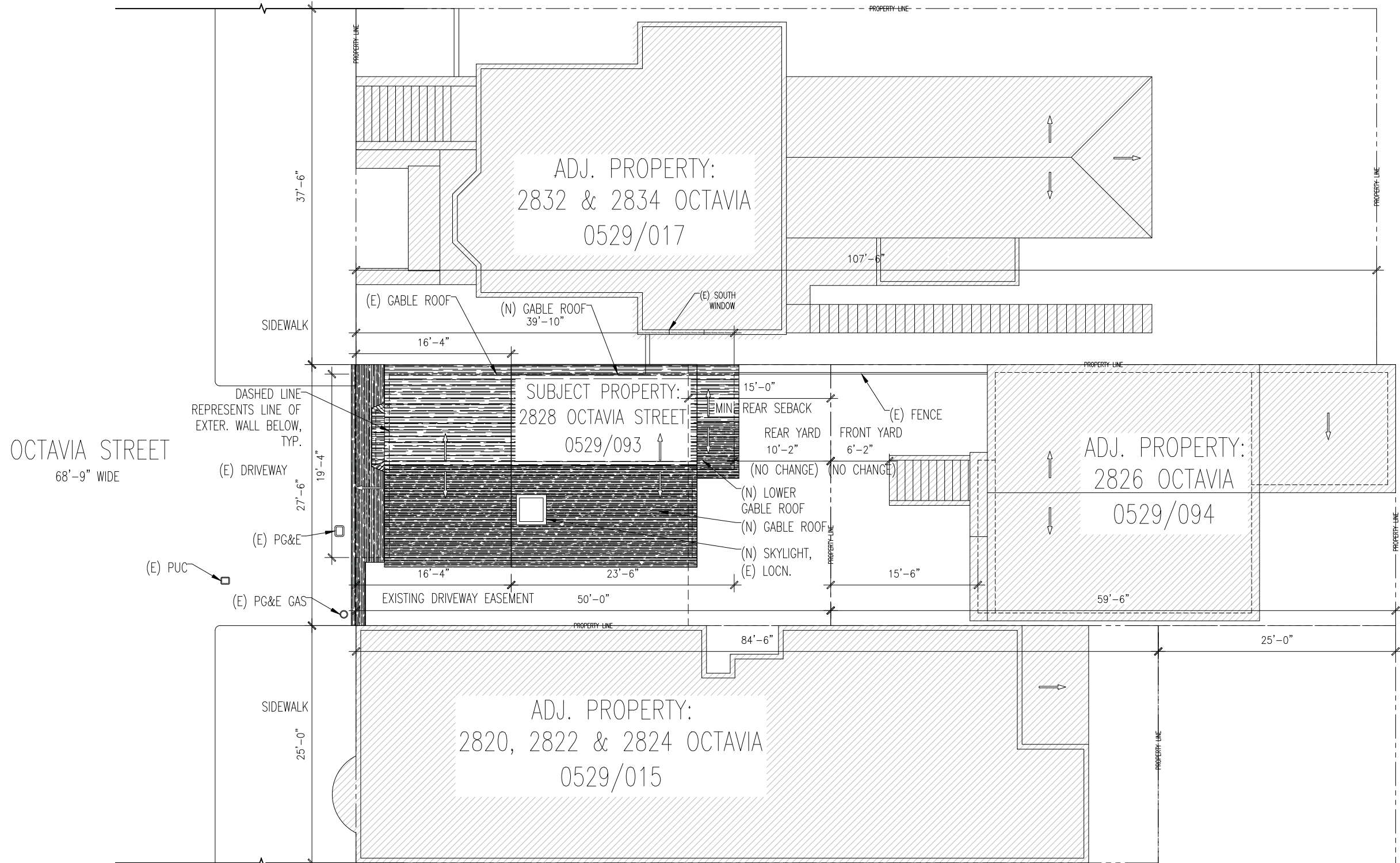
ALTERATIONS TO:
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SAN FRANCISCO, CA 94123
OWNER: JAMIE FENBERG

FOR VARIANCE APP.
&
SITE PERMIT APP

SITE PLAN:
EXISTING

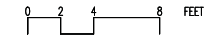
DATE 14 JULY 2017
SCALE AS NOTED
DRAWN JS
JOB

A0.2



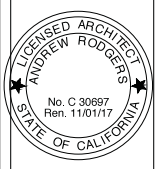
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1 PROPOSED SITE PLAN
SCALE: 3/16" = 1'-0"



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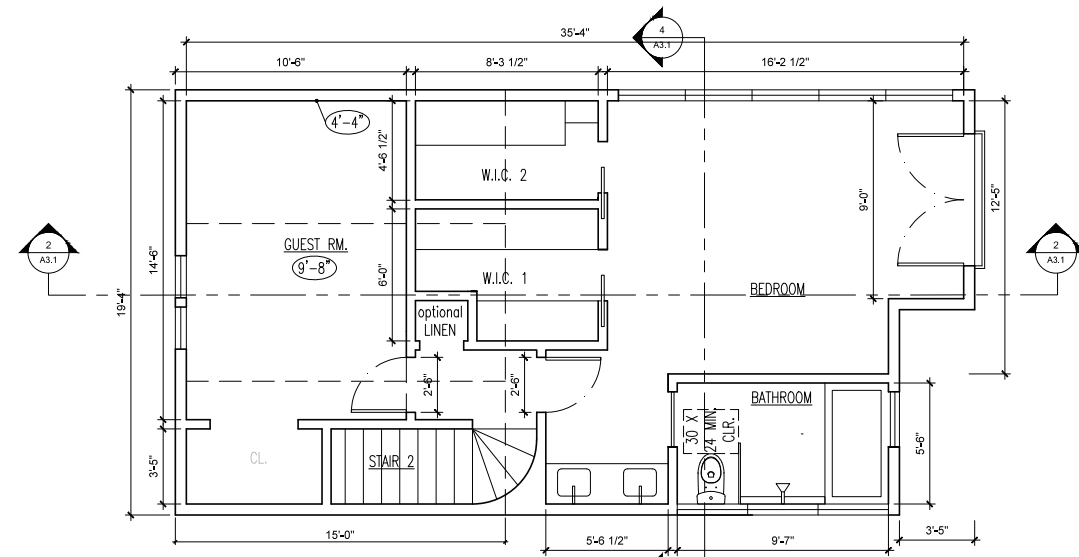
ALTERATIONS TO:
2828 OCTAVIA STREET
SAN FRANCISCO, CA 94123
OWNER: JAMIE FENBERG

FOR VARIANCE APP.
&
SITE PERMIT APP

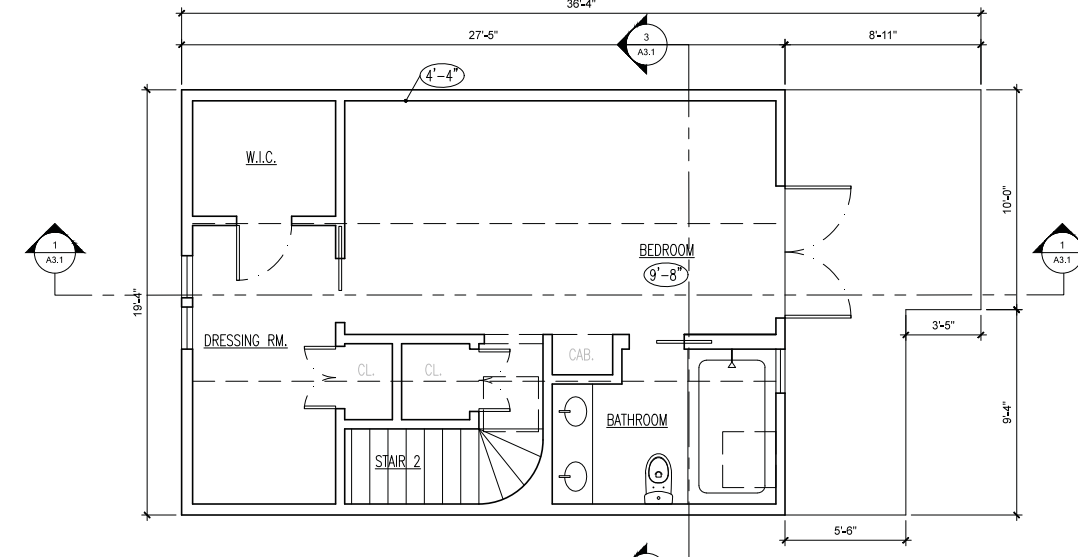
SITE PLAN:
PROPOSED

DATE 14 JULY 2017
SCALE AS NOTED
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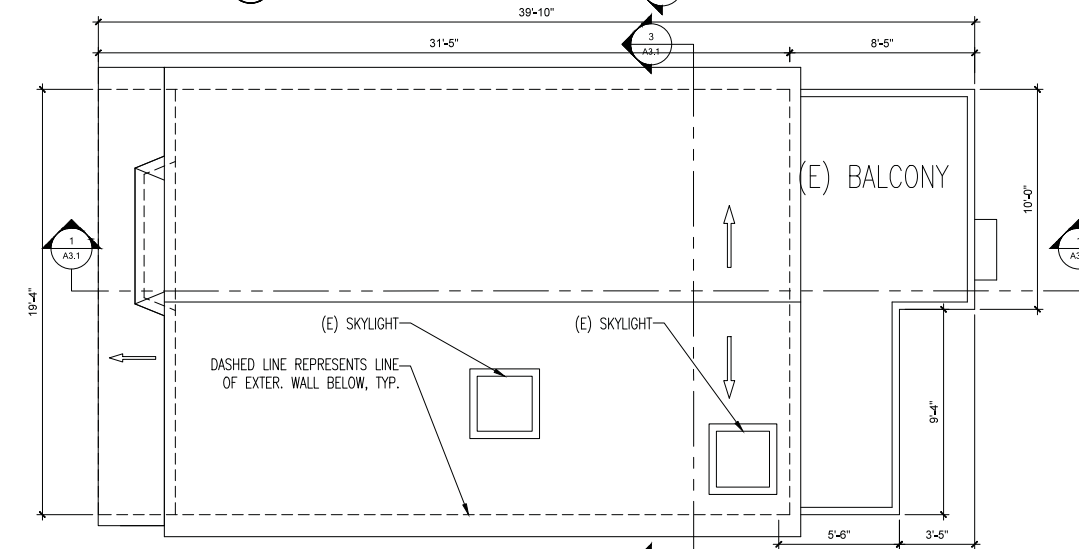
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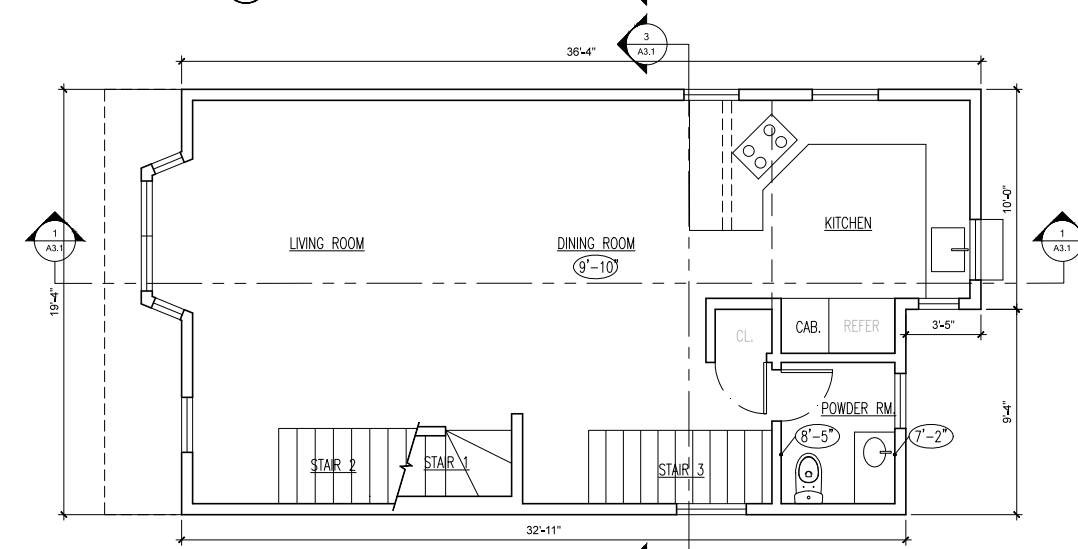
4 PROPOSED THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"



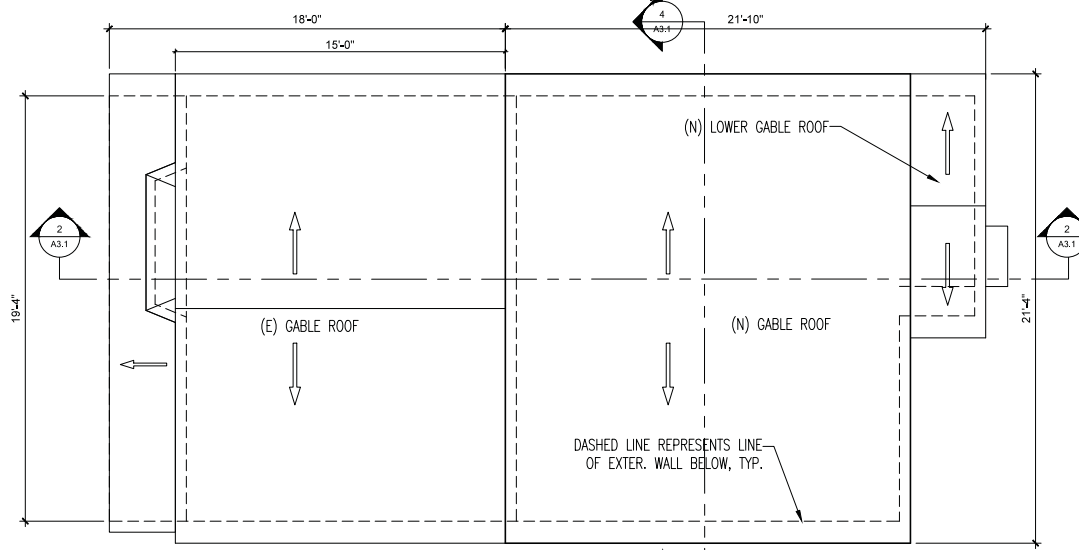
3 EXISTING THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"



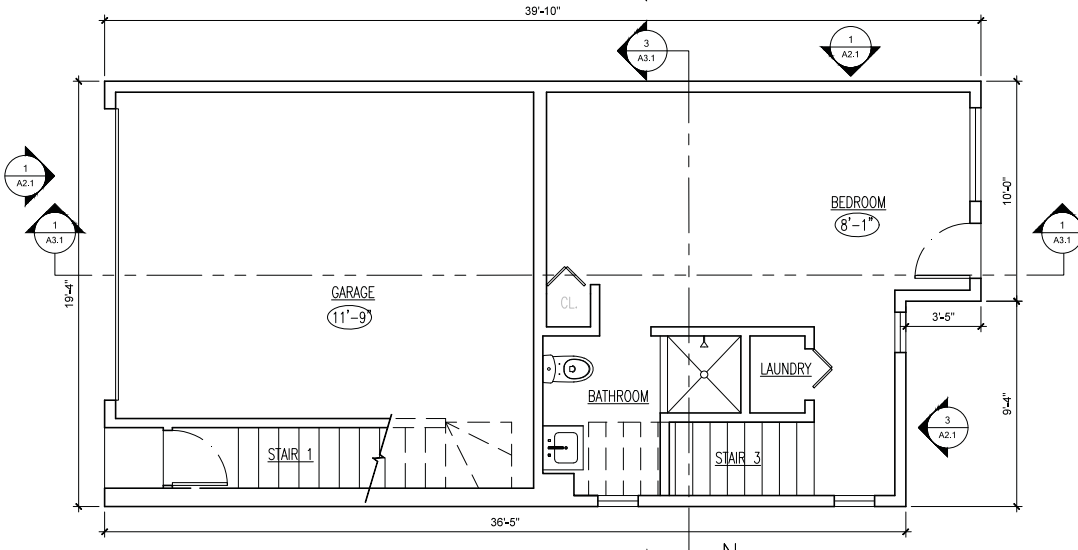
5 EXISTING ROOF PLAN
SCALE: 1/4" = 1'-0"



2 EXISTING SECOND FLOOR PLAN (NO CHANGE)
SCALE: 1/4" = 1'-0"



6 PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"

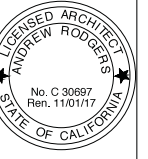


1 EXISTING FIRST FLOOR PLAN (NO CHANGE)
SCALE: 1/4" = 1'-0"



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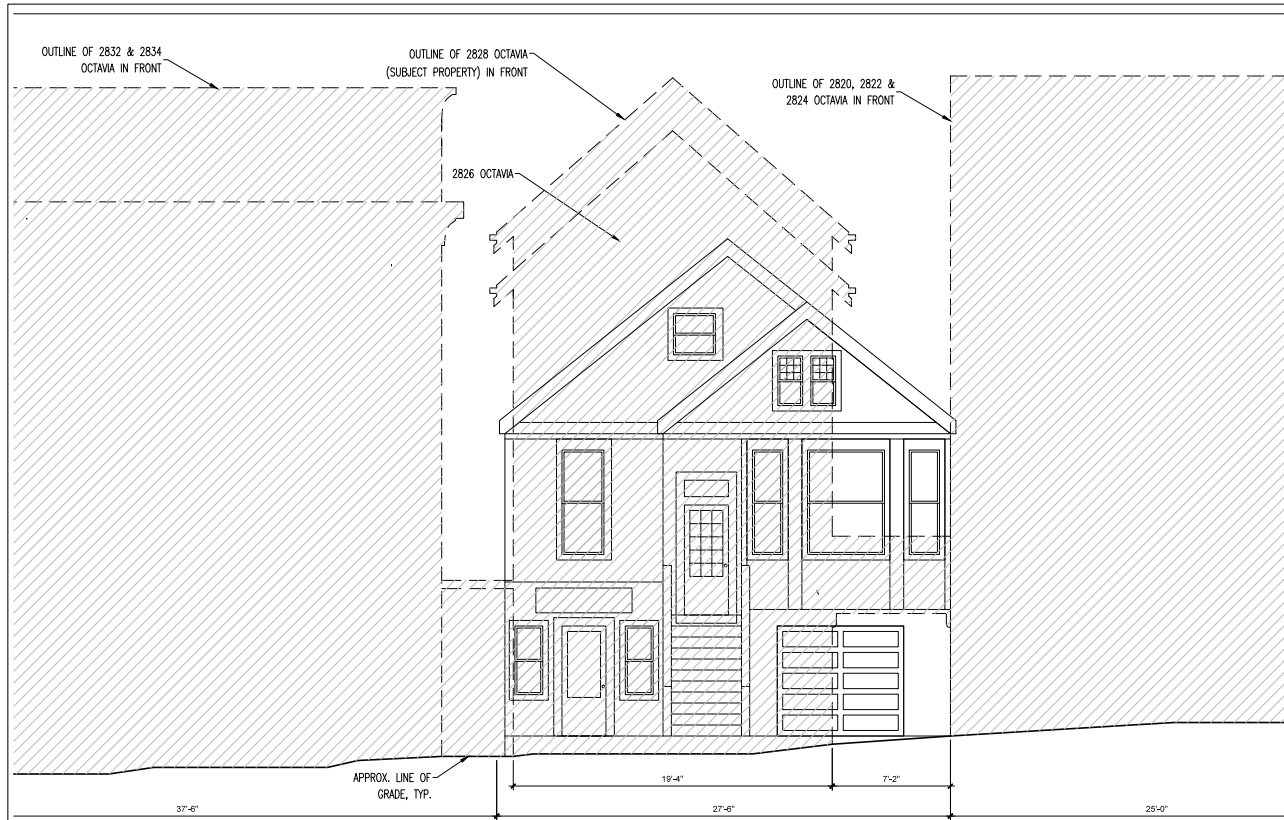
ALTERATIONS TO:
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SAN FRANCISCO, CA 94123
OWNER: JAMIE FENBERG

FOR VARIANCE APP.
&
SITE PERMIT APP

FLOOR PLANS:
EXISTING &
PROPOSED

DATE 14 JULY 2017
SCALE AS NOTED
DRAWN JS
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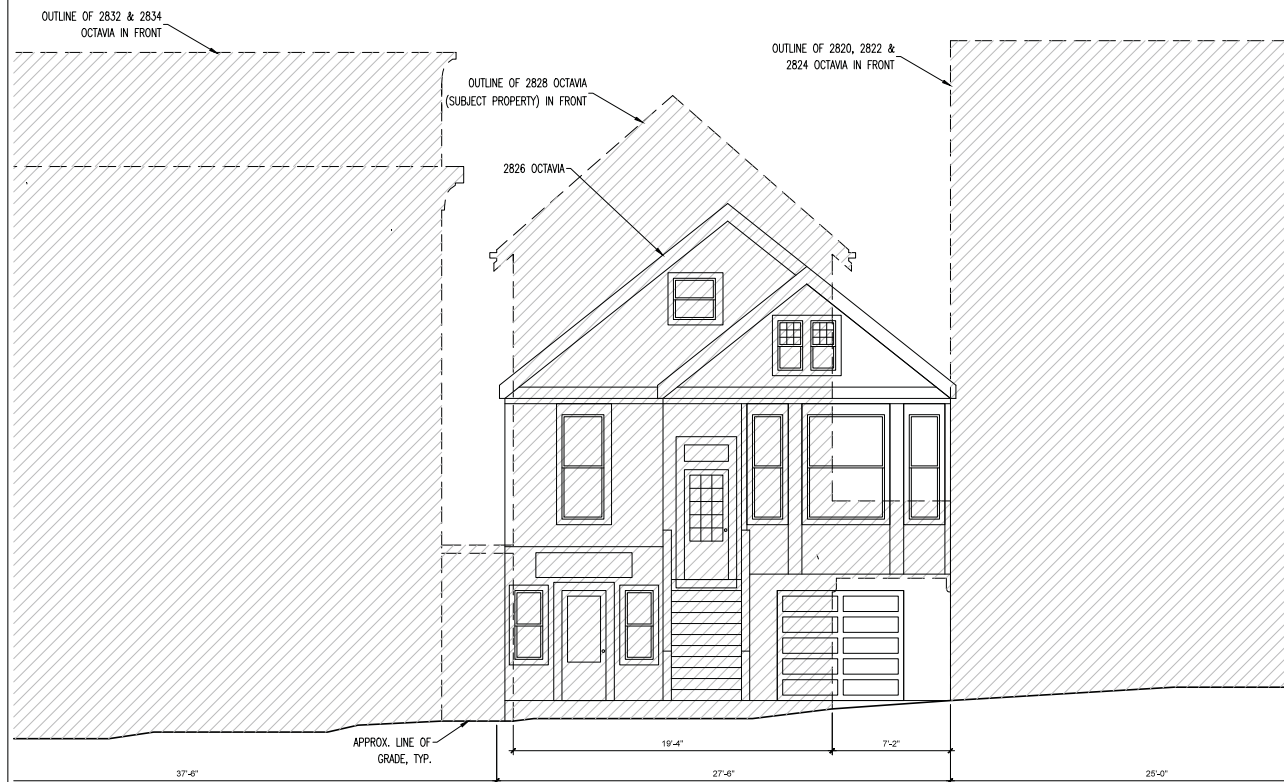
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④ WEST ELEVATION - PROPOSED (ALT. VIEW)
SCALE: 3/16" = 1'-0"



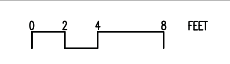
② WEST ELEVATION - PROPOSED
SCALE: 3/16" = 1'-0"



③ WEST ELEVATION - EXISTING (ALT. VIEW)
SCALE: 3/16" = 1'-0"

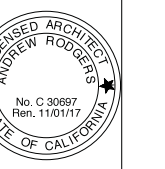


① WEST ELEVATION - EXISTING
SCALE: 3/16" = 1'-0"



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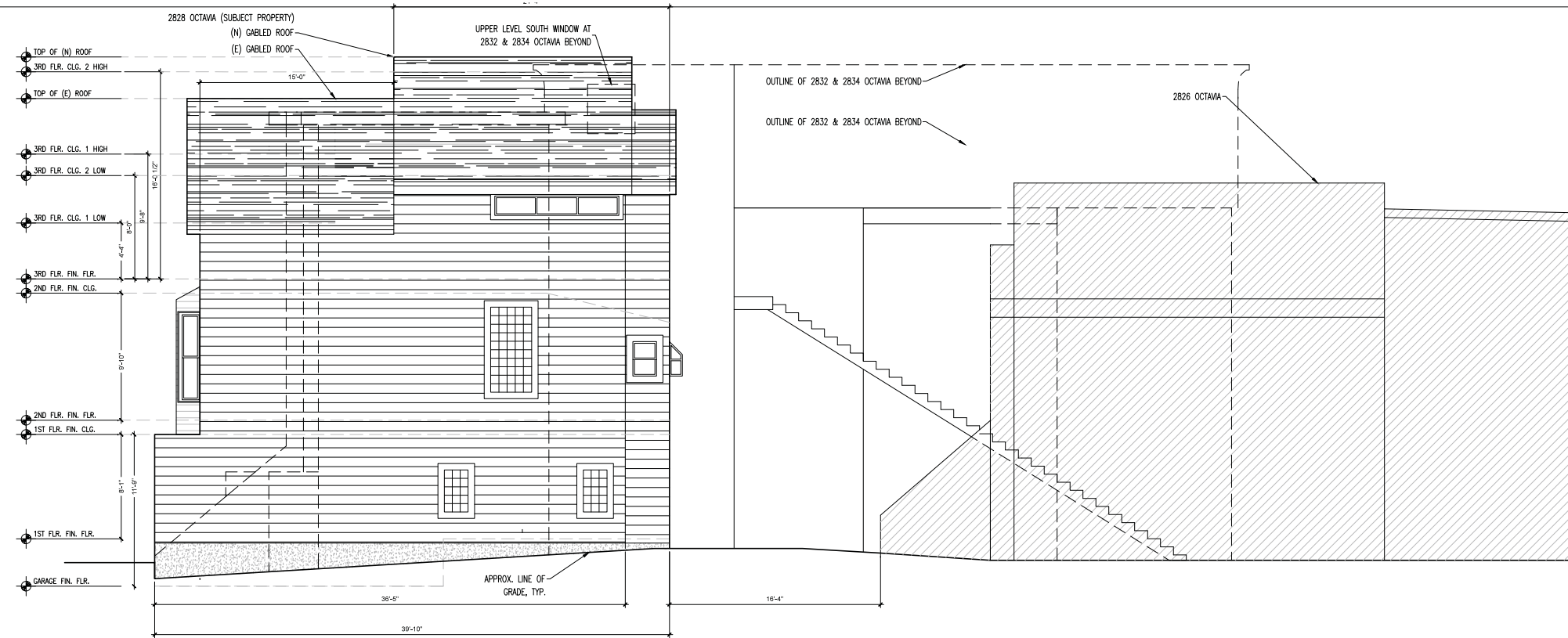
ALTERATIONS TO:
2828 OCTAVIA STREET
SAN FRANCISCO, CA 94123
OWNER: JAMIE FENBERG

FOR VARIANCE APP.
&
SITE PERMIT APP

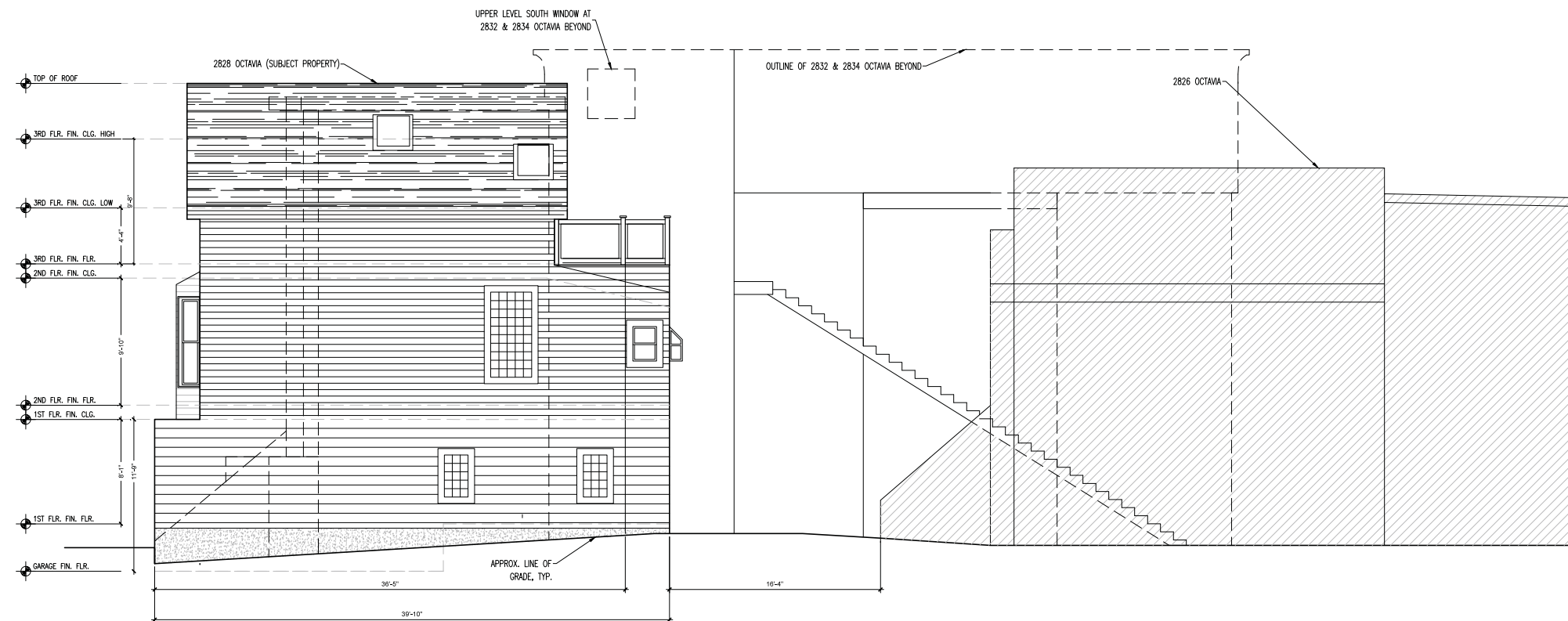
ELEVATIONS:
EXISTING &
PROPOSED

DATE 14 JULY 2017
SCALE AS NOTED
DRAWN JS
JOB

A2.1



② SOUTH ELEVATION - PROPOSED
SCALE: 3/16" = 1'-0"



① SOUTH ELEVATION - EXISTING
SCALE: 3/16" = 1'-0"

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ELEVATIONS:
EXISTING &
PROPOSED

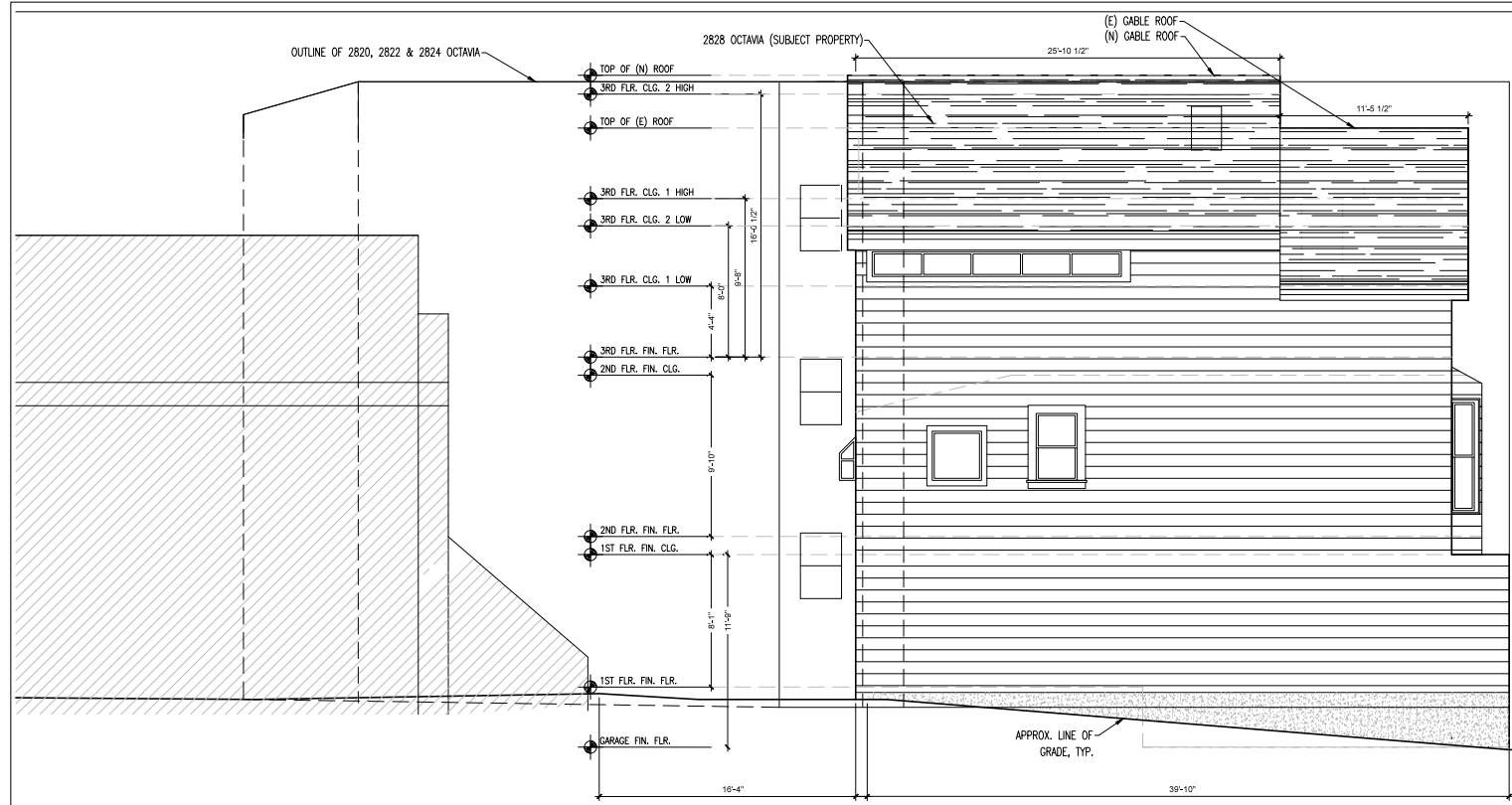
DATE 14 JULY 2017

SCALE AS NOTED

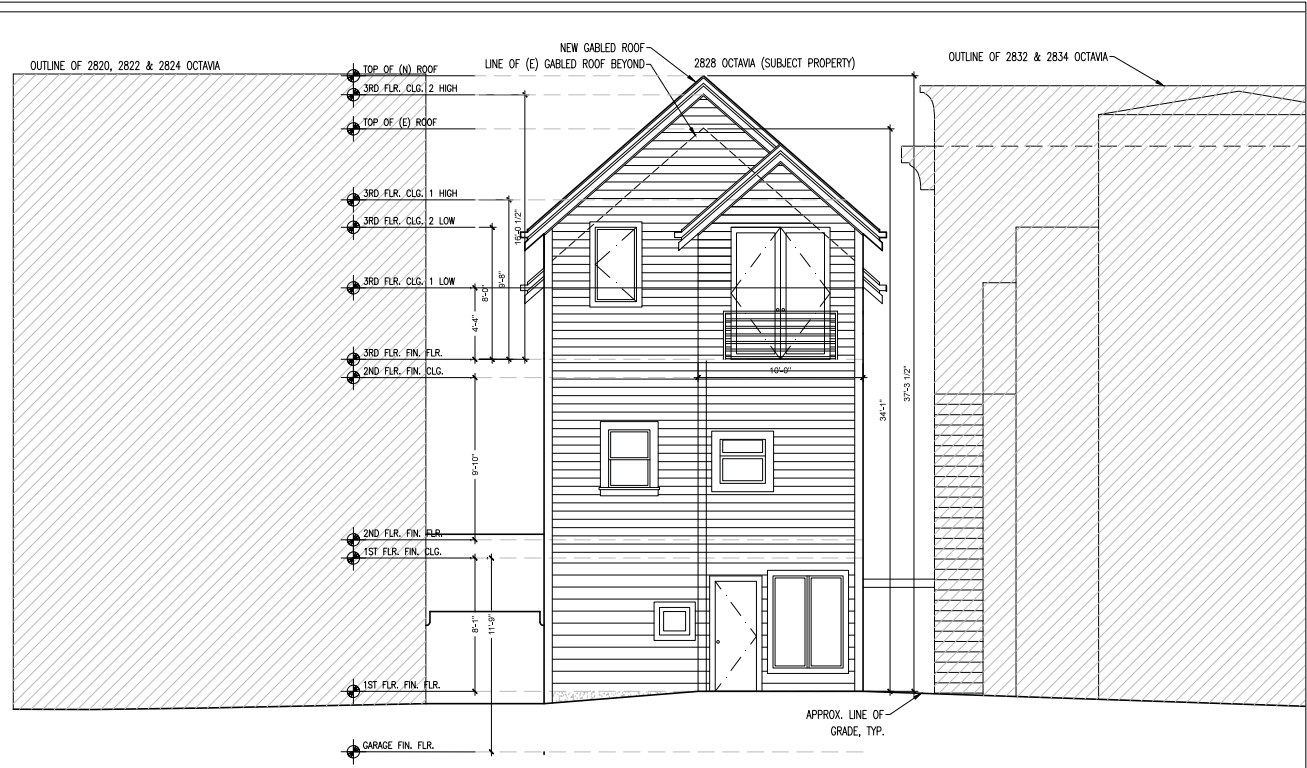
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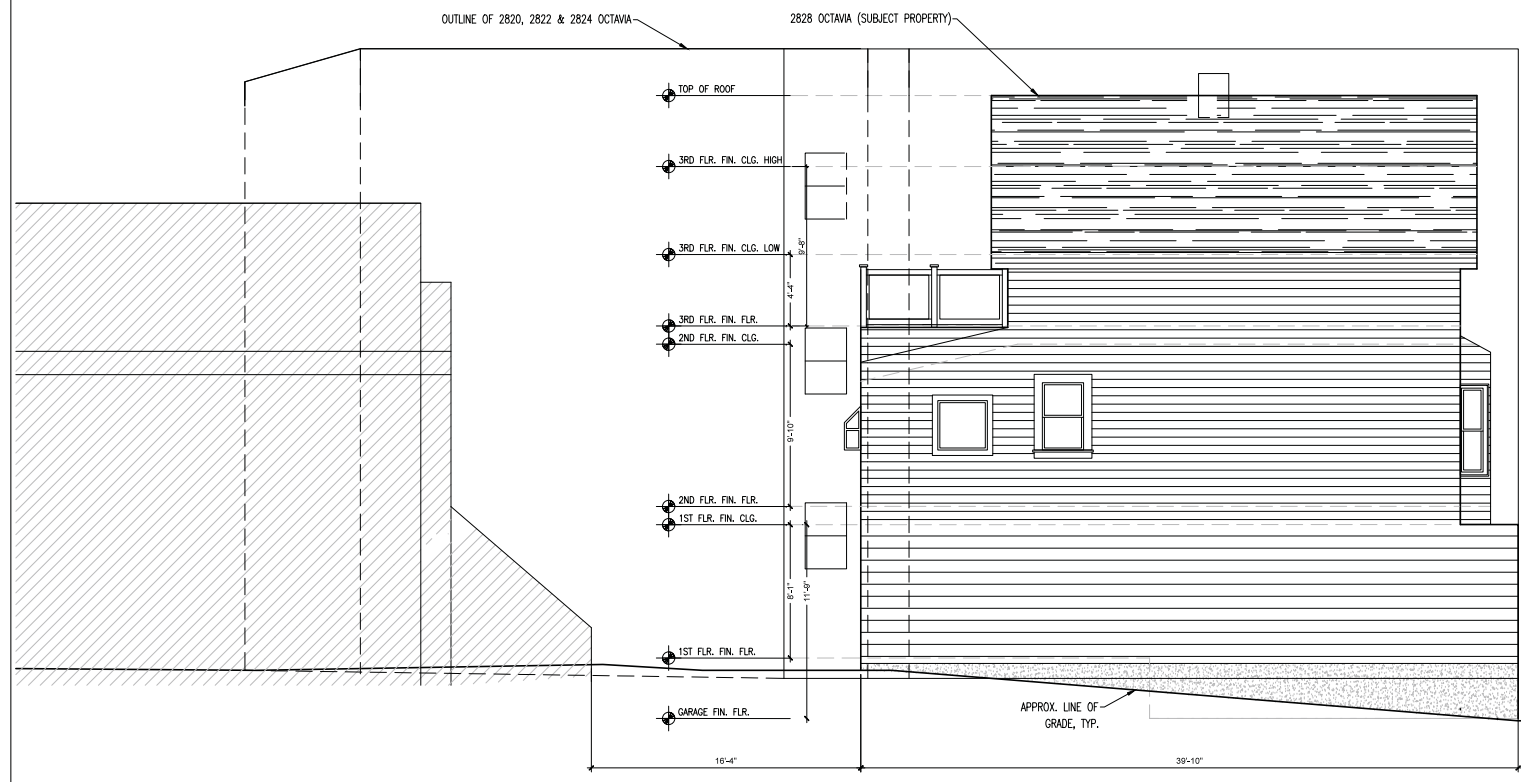
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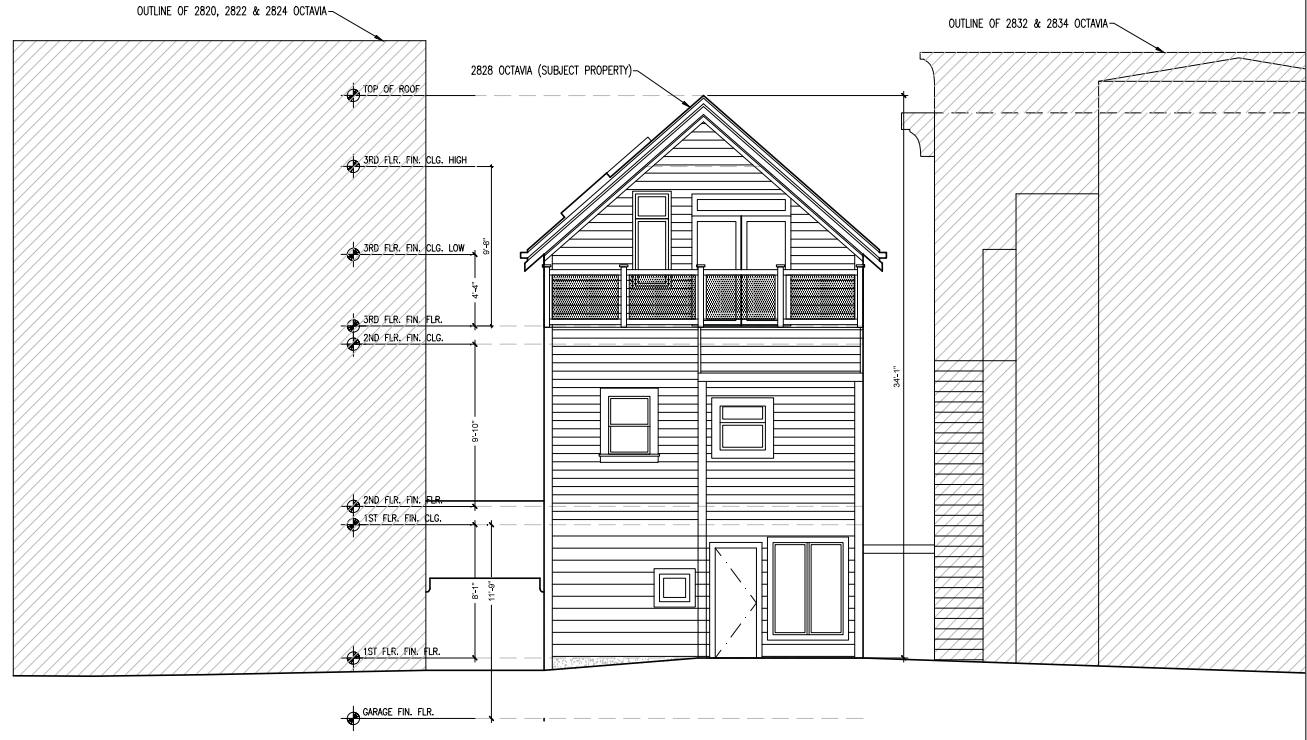
4 NORTH ELEVATION - PROPOSED
SCALE: 3/16" = 1'-0"



2 EAST ELEVATION - PROPOSED
SCALE: 3/16" = 1'-0"



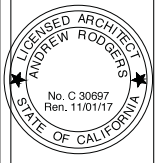
3 NORTH ELEVATION - EXISTING
SCALE: 3/16" = 1'-0"



1 EAST ELEVATION - EXISTING
SCALE: 3/16" = 1'-0"

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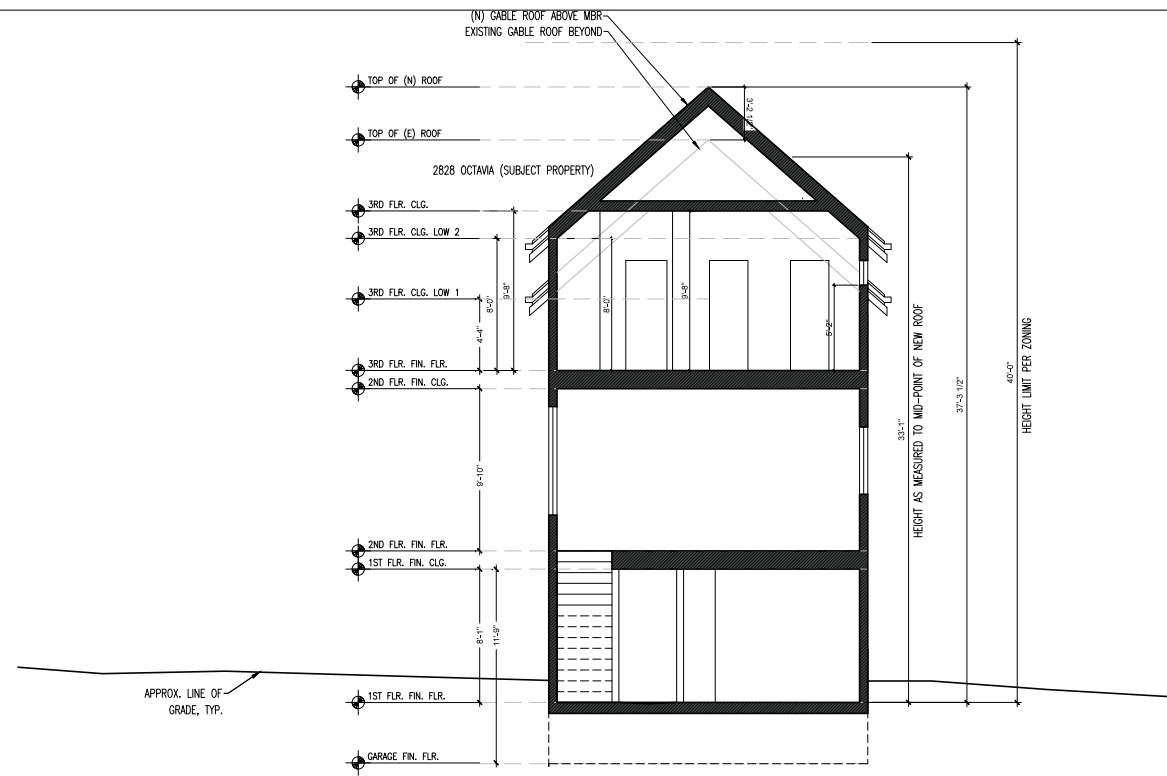
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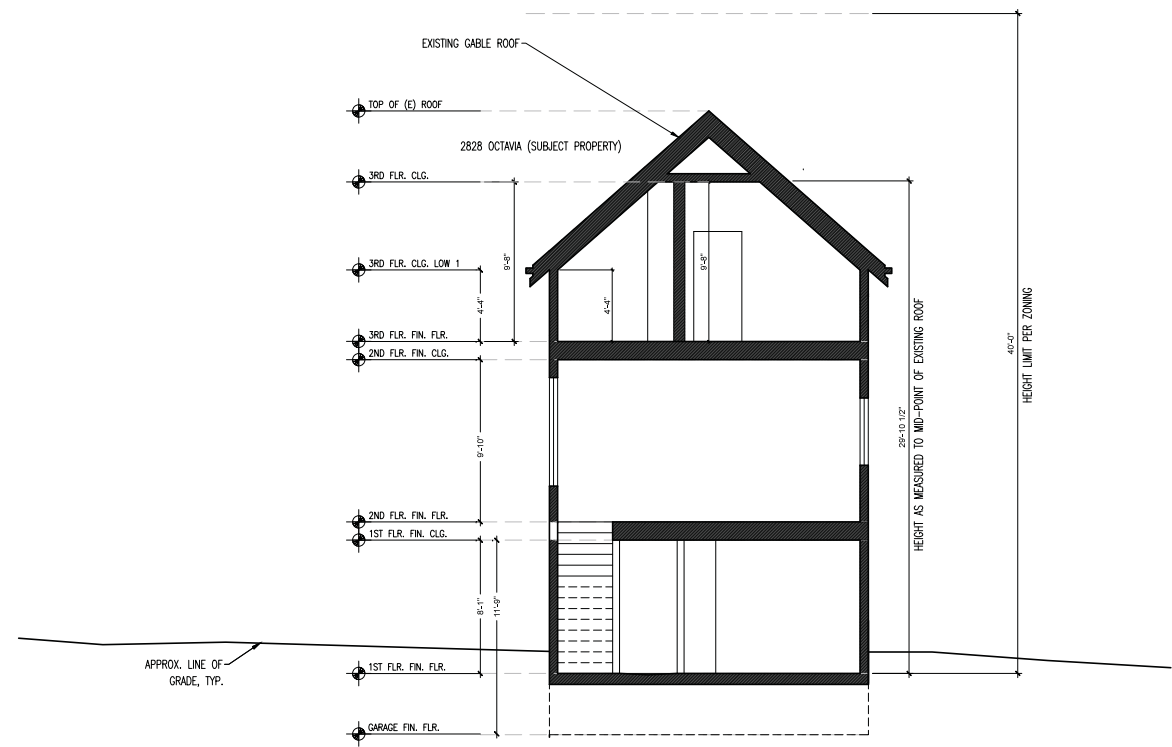
ELEVATIONS:
EXISTING &
PROPOSED

DATE 14 JULY 2017
SCALE AS NOTED
DRAWN JS
JOB

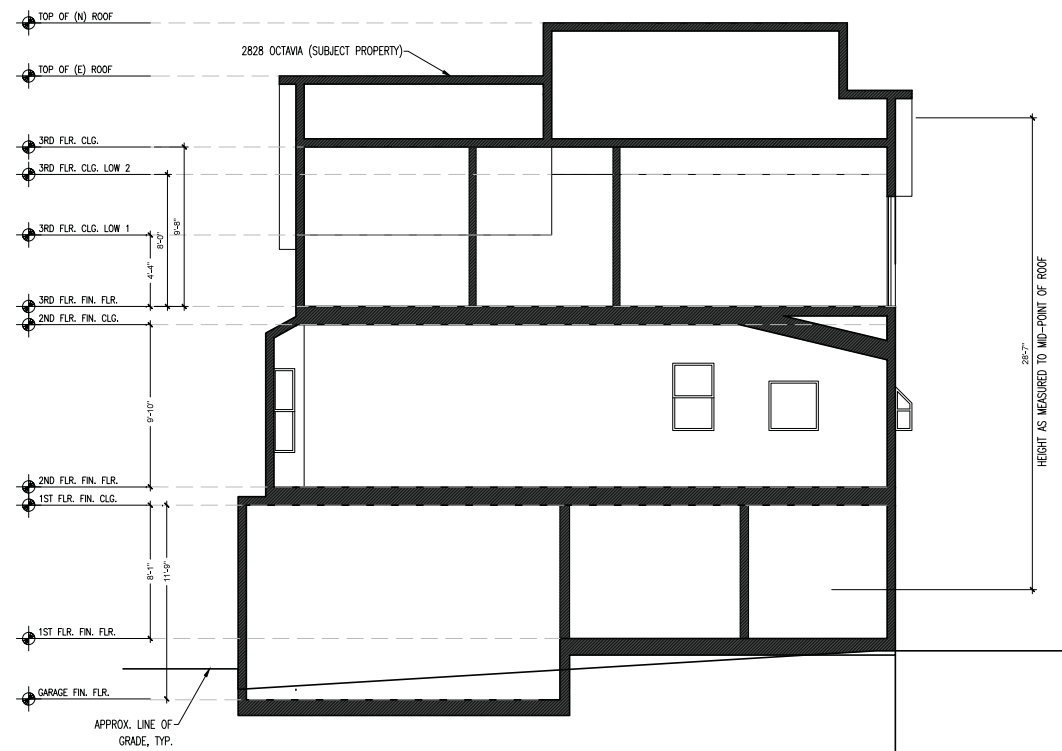
A2.3



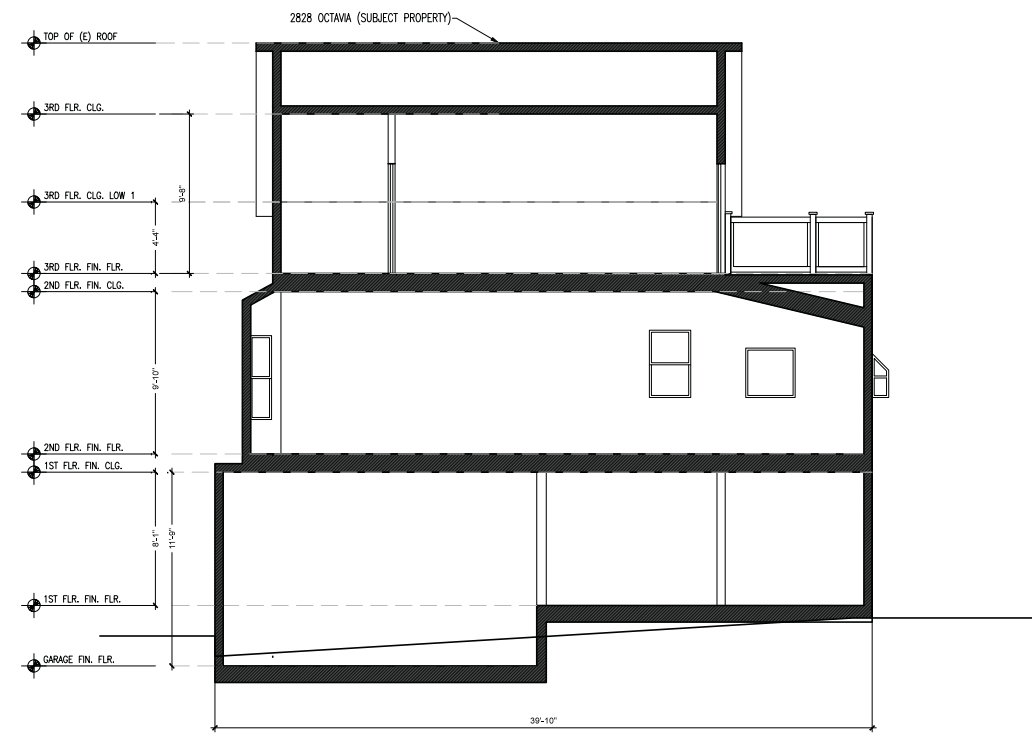
4 SECTION - PROPOSED
SCALE: 3/16" = 1'-0"



3 SECTION - EXISTING
SCALE: 3/16" = 1'-0"



2 SECTION - PROPOSED
SCALE: 3/16" = 1'-0"



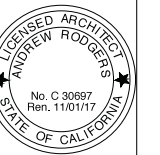
1 SECTION - EXISTING
SCALE: 3/16" = 1'-0"

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SECTIONS

DATE 14 JULY 2017

SCALE AS NOTED

DRAWN JS

JOB

A3.1